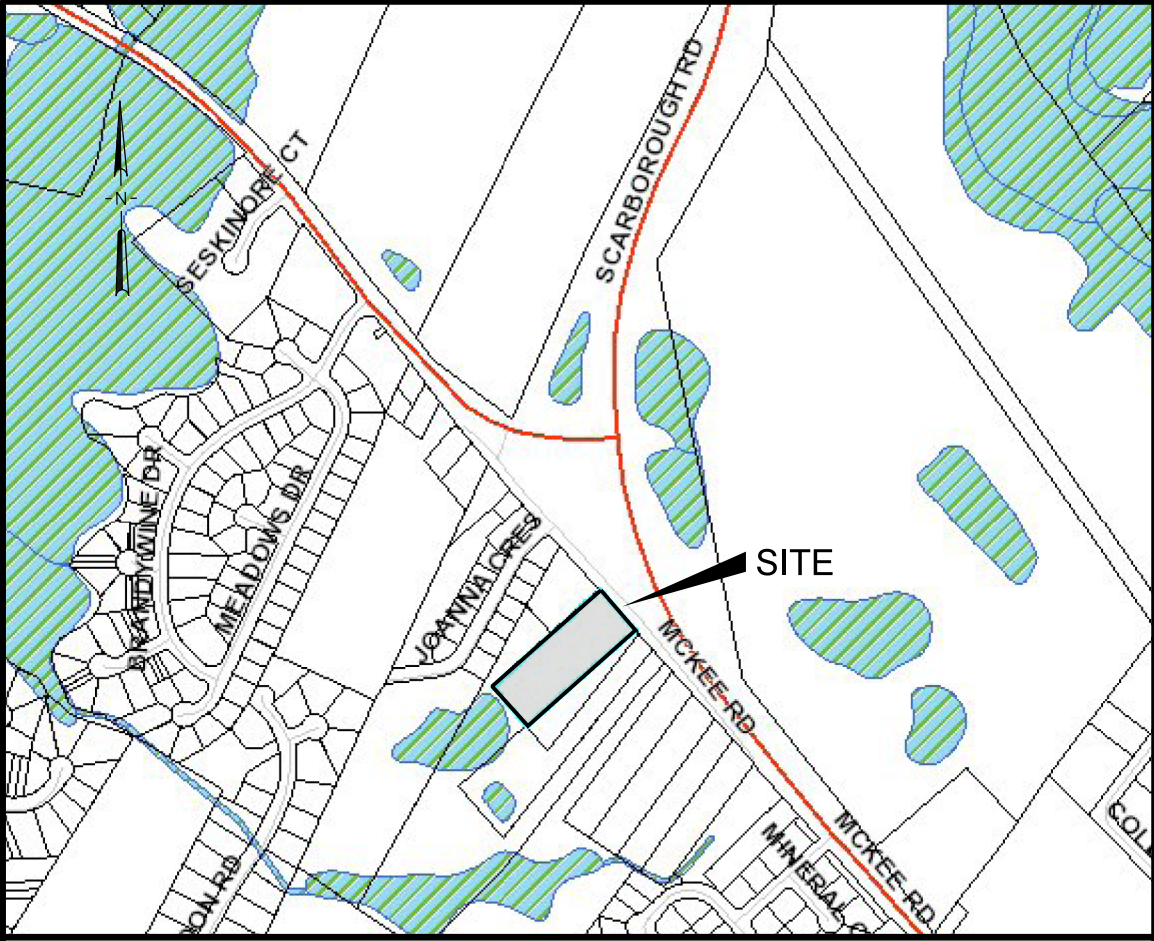




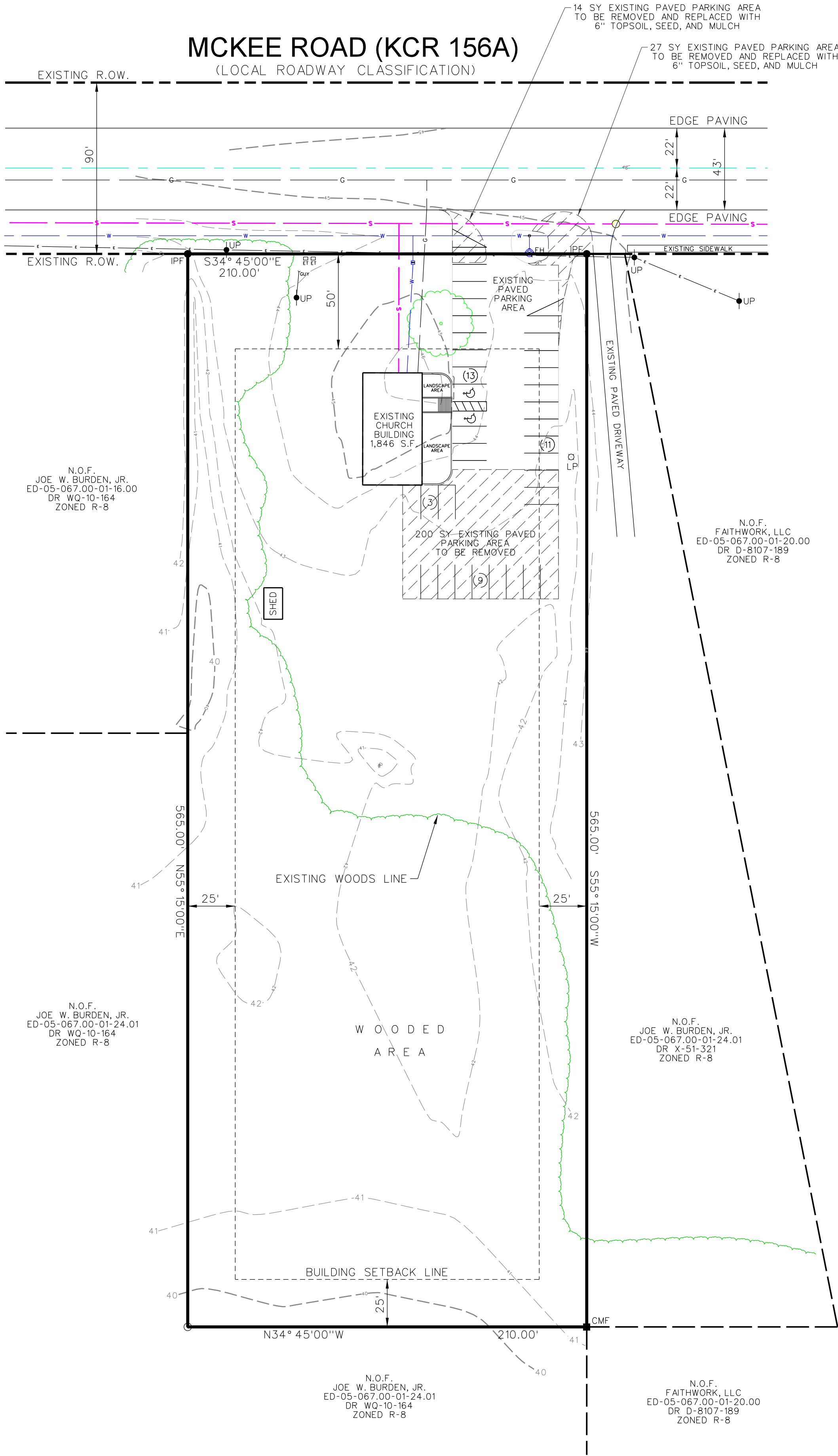
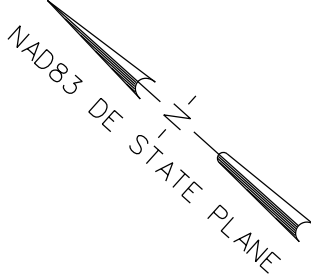
STATE WETLANDS MAP SCALE: 1" = 1000'

GENERAL NOTES

- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A FIELD SURVEY AS PERFORMED BY CLIFTON L. BAKSH, JR., INC.
- THIS PROPERTY IS NOT IMPACTED BY WETLANDS REGULATED BY THE STATE OF DELAWARE OR THE U.S. ARMY CORPS OF ENGINEERS.
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD BOUNDARY AS DEPICTED ON THE FEMA MAP COMMUNITY PANEL NUMBER 10001C0166H DATED MAY 5, 2003.
- THIS PROPERTY IS NOT IMPACTED BY THE DOVER AIR FORCE BASE AIR INSTALLATION COMPATIBLE USE ZONE.
- NO NEW EASEMENTS ARE CREATED BY THIS PLAN.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH BEST AVAILABLE INFORMATION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND ALLOW FOR THEIR LOCATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- NOTIFY MISS UTILITY 48 HOURS PRIOR TO ANY EXCAVATION AT (800) 282-8555
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE KENT CONSERVATION DISTRICT.
- THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION OR SEDIMENT CONTROL MEASURE AS IT DEEMS NECESSARY.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- NO ENTRANCES ARE APPROVED TO BE CONSTRUCTED BY THIS PLAT.
- NO IDENTIFIED TRANSPORTATION IMPROVEMENT DISTRICTS IN THE VICINITY.
- MONUMENTATION FOR THE DEDICATED RIGHT OF WAY CREATED BY THIS PLAT TO BE IN ACCORDANCE WITH DELDOT'S STANDARD DETAIL M-2(2011).
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.

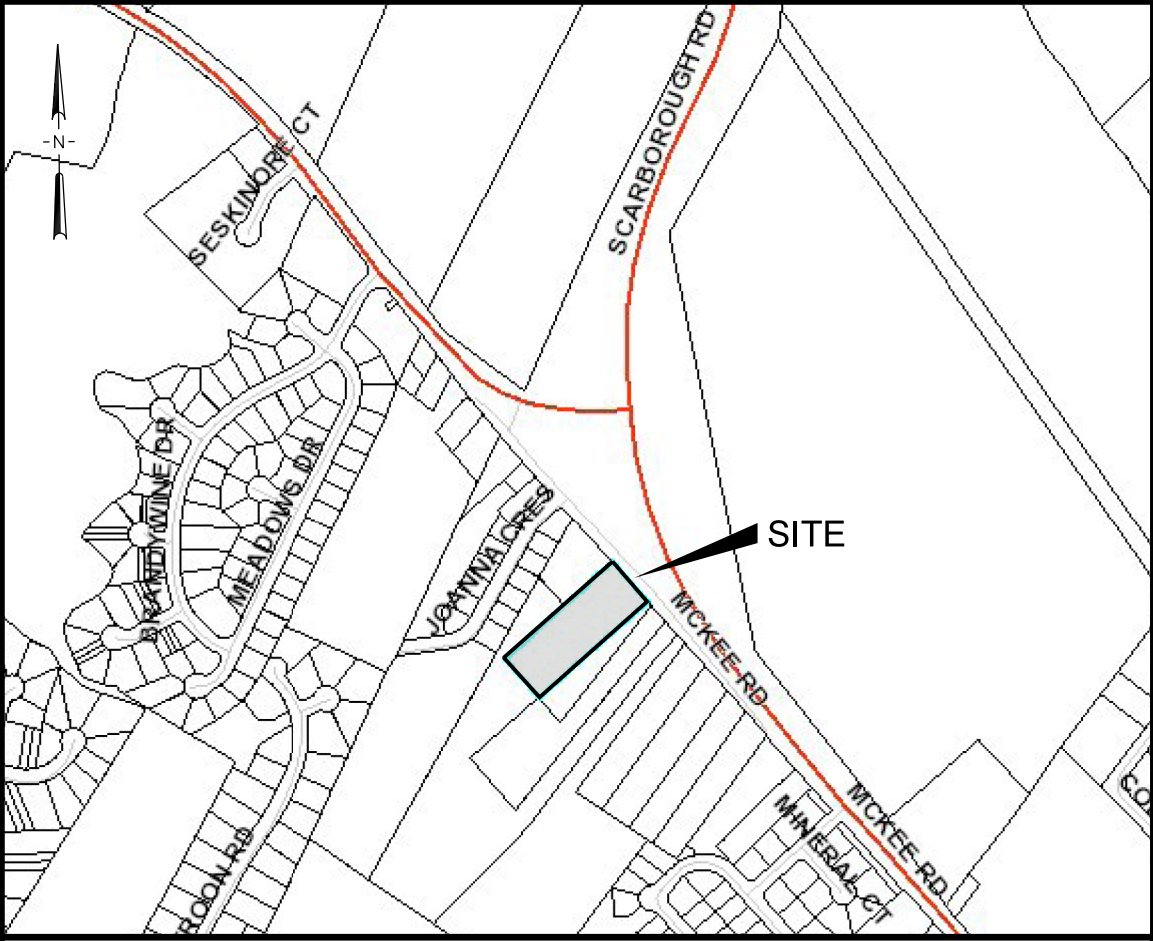
LEGEND

PROPERTY BOUNDARY	
RIGHT-OF-WAY LINE	
LOT LINE	
BUILDING SETBACK LINE	
TREE LINE	
LOT NUMBER	
EXISTING CONTOUR	
TEST PIT LOCATION	
APPROVED SOILS LINE	
EXISTING UTILITY POLE	
OVERHEAD ELECTRIC LINE	
WETLAND DELINEATION LINE	
WETLAND BUFFER LINE	
BLUE LINE STREAM BUFFER	
100 YEAR FLOOD PLAIN	
TAX DITCH ROW LINE	
CONCRETE MONUMENT FOUND	CMF ☐
CAPPED PIN SET	CPS ☒



CONSTRUCTION PLAN SHEET INDEX

SHEET SP-1	EXISTING CONDITIONS
SHEET SP-2	PRELIMINARY SITE PLAN
SHEET SP-3	SITE PLAN DETAILS
SHEET LS-1	LANDSCAPE PLAN
SHEET LS-2	LANDSCAPE PLAN DETAILS
SHEET KCD-1	SEDIMENT & STORMWATER COVER SHEET
SHEET KCD-2	SEDIMENT & STORMWATER PLAN
SHEET KCD-3	SEDIMENT & STORMWATER DETAILS
SHEET KCD-4	SEDIMENT & STORMWATER DETAILS
SHEET UP-1	UTILITY AND GRADING PLAN
SHEET UP-2	UTILITY PLAN DETAILS



LOCATION MAP SCALE: 1" = 1000'

DATA COLUMN

ACREAGE WITHIN BOUNDARIES:	2.72 ACRES
TAX PARCEL NO:	ED-05-067.00-01-17.00-000
CITY OF DOVER PLAN APPLICATION NUMBER:	XX
EXISTING ZONING:	R-8 (ONE FAMILY RESIDENCE) COZ-1 (CORRIDOR OVERLAY ZONE)
EXISTING USE:	CHURCH
EXISTING BUILDING GFA:	1,846 S.F. (TOTAL)
EXISTING PARKING:	36 SPACES (2 HANDICAP)
BUILDING SETBACKS:	50' FRONT 25' SIDE 25' REAR
EXISTING BUILDING HEIGHT:	20 FEET
EXISTING BUILDING COVERAGE:	1.5%
EXISTING IMPERVIOUS COVERAGE:	11.8% (13,965 S.F.)
VERTICAL DATUM:	NAVD88
HORIZONTAL DATUM:	NAD83
AREA IN WOODLANDS:	1.7 ACRES
APPROXIMATE WETLAND AREA:	0 ACRES
EXISTING STORMWATER MANAGEMENT AREA:	0 ACRES
PERMANENT MONUMENTS FOUND:	2 (IPF) 1 (CMF)
PERMANENT MONUMENTS PLACED:	0
WATER SERVICE:	CITY OF DOVER
SEWER SERVICE:	CITY OF DOVER
INVESTMENT LEVEL AREA:	4
PERCENT SLOPE:	1% TO 4%
POSTED SPEED LIMIT:	25 MPH (MCKEE ROAD)
OWNER OF RECORD:	WASHINGTON ADVISORY BOARD CHURCH OF THE NAZARENE PO BOX 327 FREDERICK, DE 19946



868 Greenwood Road - Greenwood, DE 19950
(302) 697-2239 • (302) 349-5381

REVISIONS:

PROJECT NO: 21-203

DGN FILE: 21-203

EXISTING CONDITIONS

CHURCH OF THE NAZARENE

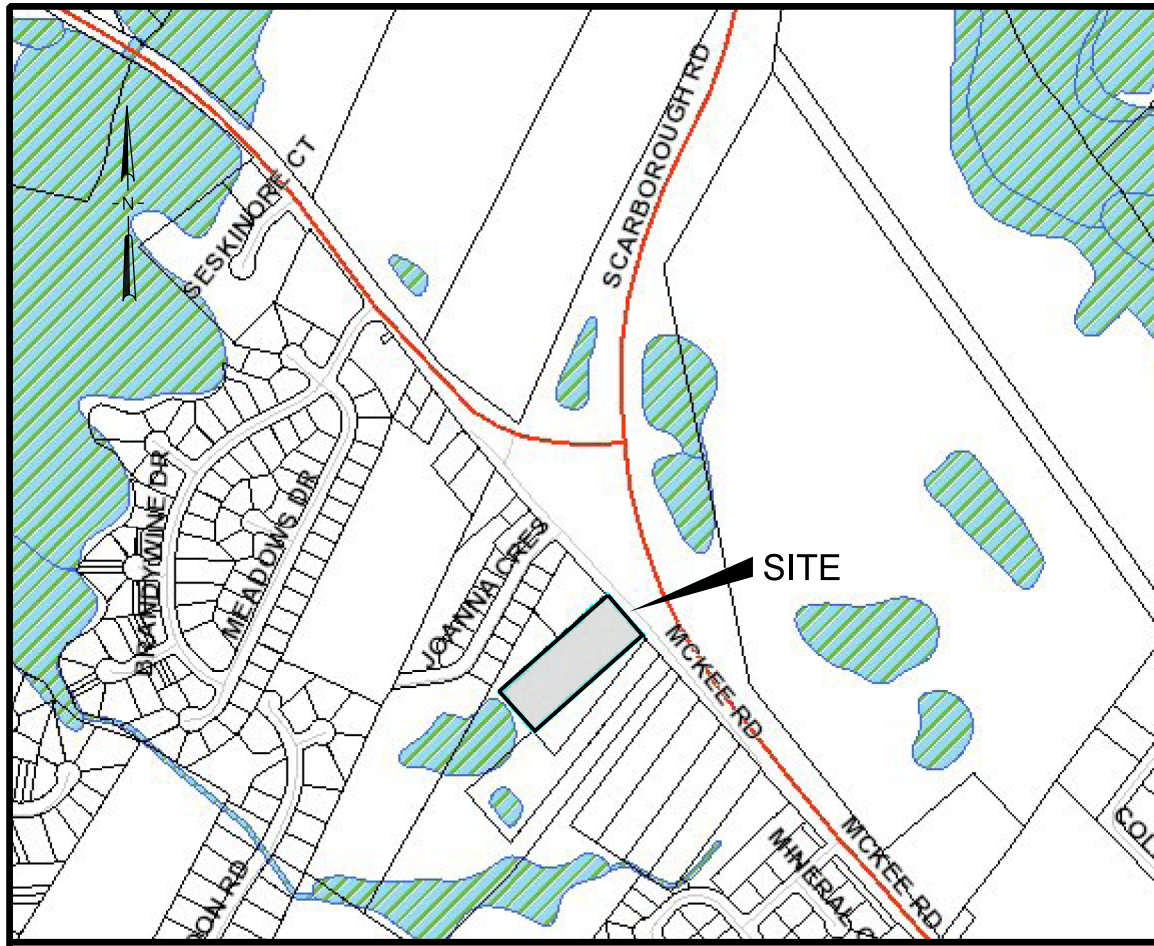
SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0 20 40 80

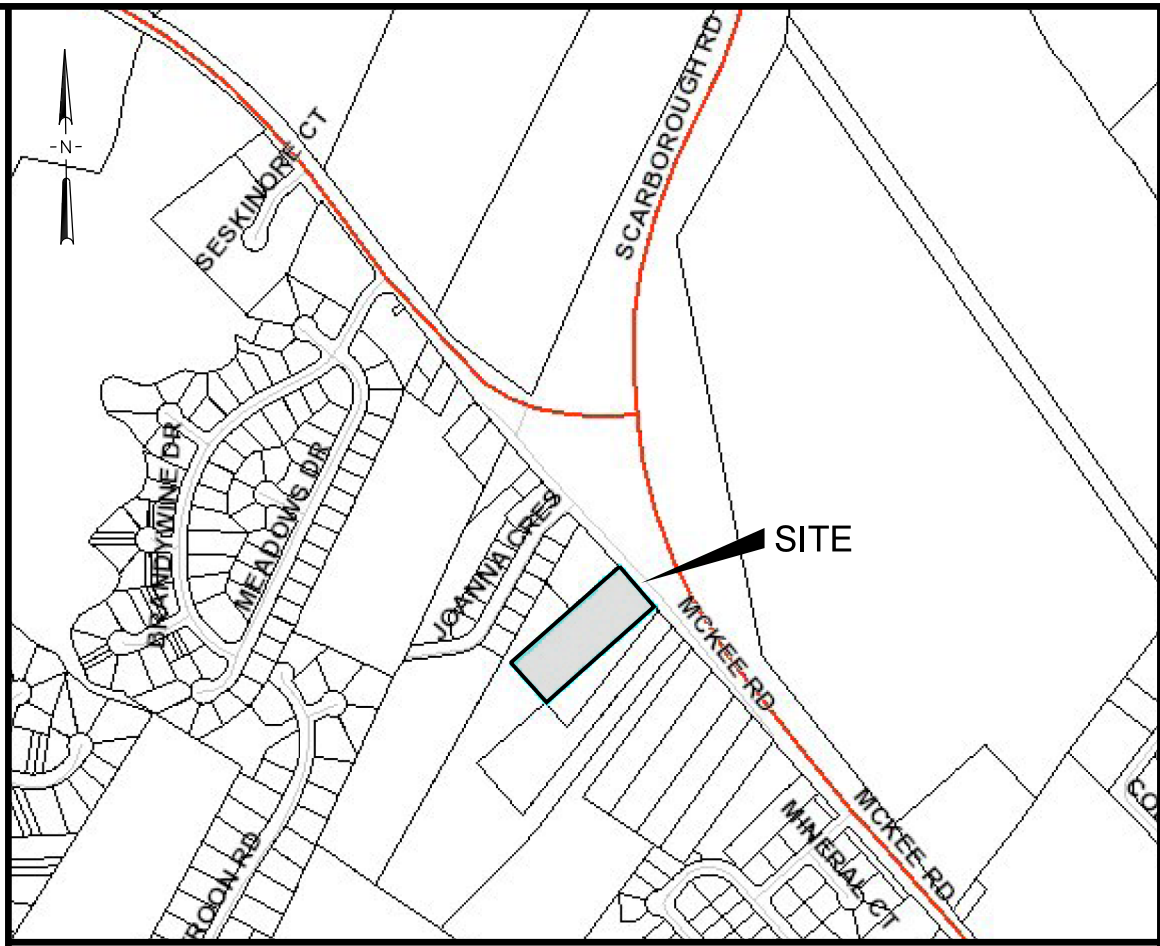
DATE: 07/05/24

SCALE: 1" = 40'

SHT: SP-1



STATE WETLANDS MAP SCALE: 1" = 1000'



LOCATION MAP SCALE: 1" = 1000'

GENERAL NOTES

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- THIS PROPERTY IS NOT IMPACTED BY WETLANDS REGULATED BY THE STATE OF DELAWARE OR THE U.S. ARMY CORPS OF ENGINEERS.
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD BOUNDARY AS DEPICTED ON THE FEMA MAP COMMUNITY PANEL NUMBER 100100166H DATED MAY 5, 2003.
- THIS PROPERTY IS NOT IMPACTED BY THE DOVER AIR FORCE BASE AIR INSTALLATION COMPATIBLE USE ZONE.
- NO NEW EASEMENTS ARE CREATED BY THIS PLAN.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH BEST AVAILABLE INFORMATION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND ALLOW FOR THEIR LOCATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- NOTIFY MISS UTILITY 48 HOURS PRIOR TO ANY EXCAVATION AT (800) 282-8555.
- THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION OR SEDIMENT CONTROL MEASURE, AS IT DEEMS NECESSARY.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE KENT CONSERVATION DISTRICT.
- THE KENT CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH DELAWARE STATE FIRE PREVENTION REGULATIONS.
- THE PROPOSED BUILDING WILL BE PROTECTED BY AN AUTOMATIC SPRINKLER AND FULL FIRE ALARM SYSTEM.
- A KNOX BOX WILL BE REQUIRED FOR THIS PROJECT.
- ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH THE CURRENT CITY OF DOVER REQUIREMENTS AND PRACTICES.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- NO ENTRANCES ARE APPROVED TO BE CONSTRUCTED BY THIS PLAT.
- NO IDENTIFIED TRANSPORTATION IMPROVEMENT DISTRICTS IN THE VICINITY.

LEGEND

PROPERTY BOUNDARY	
RIGHT-OF-WAY LINE	
LOT LINE	
BUILDING SETBACK LINE	
TREE LINE	
LOT NUMBER	
EXISTING CONTOUR	
TEST PIT LOCATION	
APPROVED SOILS LINE	
EXISTING UTILITY POLE	
OVERHEAD ELECTRIC LINE	
WETLAND DELINEATION LINE	
WETLAND BUFFER LINE	
BLUE LINE STREAM BUFFER	
100 YEAR FLOOD PLAN	
TAX DITCH ROW LINE	
CONCRETE MONUMENT FOUND	CMF ☐
CAPPED PIN SET	CPS ☒

OWNER CERTIFICATION

WE, CHURCH OF THE NAZARENE, HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTIONS, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DANIEL ADJOCY - CHURCH OF THE NAZARENE

DATE

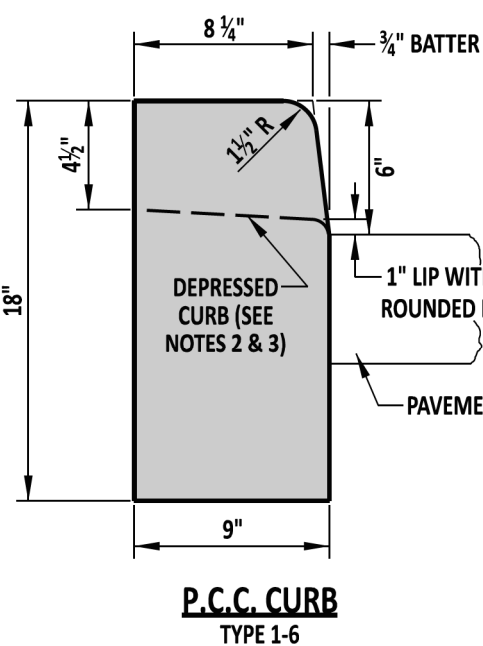
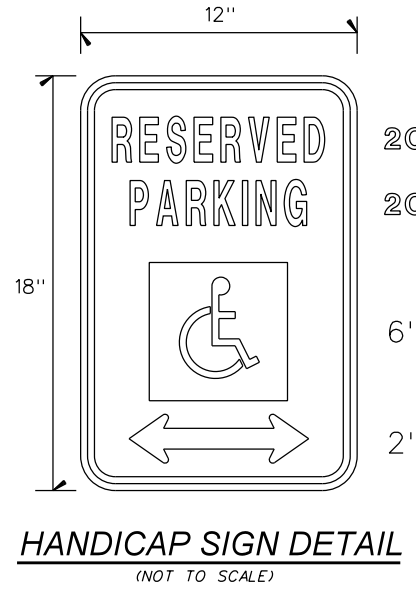
ENGINEER CERTIFICATION

I, KEVIN R. MINNICH, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

KEVIN R. MINNICH, PE #9027

DATE

TRIP GENERATION - MCKEE ROAD (KCR 156A)	
(FULL MOVEMENT)	
	ROAD TRAFFIC DATA: FUNCTIONAL CLASSIFICATION - LOCAL ROADWAY POSTED SPEED LIMIT 25 MPH AADT = 118 (FROM 2023 DELDOT TRAFFIC SUMMARY) 10 YR PROJECTED AADT 116 x 118 TRIPS=137 TRIPS TRAFFIC PATTERN GROUP 4 (2023 TRAFFIC SUMMARY) K-FACTOR=13, D-FACTOR=57.6, TRUCK COMBO UNIT=NA
	SITE TRAFFIC DATA: SOURCE: ITE TRIP GENERATION MANUAL 11TH EDITION ENTRANCE - FULL MOVEMENT DESIGN VEHICLE: SINGLE UNIT TRUCK (SU-30) ITE LAND USE 560 (CHURCH) 11TH EDITION EXISTING CHURCH GROSS FLOOR AREA=1,836 S.F. SUN ADT: 58 TRIPS (29 ENTER, 29 EXIT) SUN PK HR: 20 TRIPS (10 ENTER, 10 EXIT) PROPOSED CHURCH GROSS FLOOR AREA=9,306 S.F. SUN ADT: 293 TRIPS (147 ENTER, 146 EXIT) SUN PK HR: 97 TRIPS (47 ENTER, 50 EXIT) NET INCREASE IN TRIPS: SUN ADT: 236 TRIPS (118 ENTER, 118 EXIT) SUN PK HR: 78 TRIPS (37 ENTER, 41 EXIT) 95% TO/FROM WEST, 5% TO/FROM EAST PEAK HOUR HV% OF SITE = 10%
TRAFFIC GENERATION DIAGRAM	
TRIPS PER DAY (SUN PK HOUR DISTRIBUTION PERCENTAGE)	



DATA COLUMN

ACREAGE WITHIN BOUNDARIES:	2.70 ACRES
TAX PARCEL NO:	ED-05-067.00-01-17.00-000
CITY OF DOVER PLAN APPLICATION NUMBER:	XX
EXISTING ZONING:	R-8 (ONE FAMILY RESIDENCE) COZ-1 (CORRIDOR OVERLAY ZONE)
EXISTING USE:	CHURCH
PROPOSED USE:	CHURCH
EXISTING BUILDING GFA:	1,846 S.F.
PROPOSED BUILDING GFA:	9,306 S.F. (TOTAL) 4,653 S.F. (FIRST FLOOR) 4,653 S.F. (BASEMENT)
EXISTING PARKING:	36 SPACES
PARKING REQUIRED:	44 SPACES (176 SEATS)(1 SP/4 SEATS) = 44 SPACE
PARKING PROVIDED:	55 SPACES (2 HANDICAP)
BUILDING SETBACKS:	50' FRONT 25' SIDE 25' REAR
BUILDING CONSTRUCTION TYPE:	TYPE II (000) METAL & MASONRY
MAXIMUM BUILDING HEIGHT:	35 FEET
PROPOSED BUILDING HEIGHT:	20 FEET
MAXIMUM BUILDING COVERAGE:	20%
PROPOSED BUILDING COVERAGE:	4.5% (5,270 S.F.)
EXISTING IMPERVIOUS COVERAGE:	11.7% (13,800 S.F.)
PROPOSED IMPERVIOUS COVERAGE:	6.1% (7,200 S.F.)
TOTAL IMPERVIOUS COVERAGE:	17.8% (21,000 S.F.)
VERTICAL DATUM:	NAVD88
HORIZONTAL DATUM:	NAD83
AREA IN WOODLANDS:	1.7 ACRES
APPROXIMATE WETLAND AREA:	0 ACRES
STORMWATER MANAGEMENT AREA:	0 ACRES
PERMANENT MONUMENTS FOUND:	2 (IPF) 1 (CMF)
PERMANENT MONUMENTS PLACED:	0
WATER SERVICE:	CITY OF DOVER
SEWER SERVICE:	CITY OF DOVER
INVESTMENT LEVEL AREA:	4
PERCENT SLOPE:	1% TO 4%
POSTED SPEED LIMIT:	25 MPH (MCKEE ROAD)
OWNER OF RECORD:	WASHINGTON ADVISORY BOARD CHURCH OF THE NAZARENE PO BOX 327 FREDERICA, DE 19946

Engineering & Land Planning
Designing Quality Not Quantity

868 Greenwood Road - Greenwood, DE 19950
(302) 697-2239 • (302) 349-5381

REVISIONS:	
PROJECT NO: 21-203	DGN FILE: 21-203

PRELIMINARY SITE PLAN

CHURCH OF THE NAZARENE

SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0 20 40 80

DATE: 07/05/24 SCALE: 1" = 40' SHT: SP-2

1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black



Upscale stylish look for downtown shopping and business districts.

- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Concrete mounting hardware sold separately.

More Images

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAP.	WT. (LBS.)	PRICE EACH		ADD TO CART	
					1	3+		
H-2892	1-Loop	22 x 2 1/2 x 34"	3	27	\$170	\$160	1	ADD

The diagram set includes three views of a dumpster enclosure with a gate:

- ELEVATION VIEW**: Shows the front of the enclosure. The gate is 10' - 0" wide and 7' - 0" high. It features a black vinyl coated 2.5" gate post, a fulcrum latch with a strike strap, a 2" black vinyl coated square gate frame, and a tension bar. The mesh is black vinyl coated 3/8" mesh. The enclosure walls are made of 8" CMU with brick rowlock caps and brick veneer. The base is a 3,000 PSI poured concrete footer with #4 reinforcement bars at 4' - 0" OC.
- CROSS SECTION A-A**: Shows the vertical section of the enclosure. The gate is 7' - 0" high and 10' - 0" wide. The enclosure walls are 8" CMU with brick rowlock caps and brick veneer. The base is a 3,000 PSI poured concrete footer with #4 reinforcement bars at 4' - 0" OC. The ground is compacted subgrade with crushed stone and a slope of 1/4" / FT to parking.
- PLAN VIEW**: Shows the top of the enclosure. The gate is 10' - 0" wide and 7' - 0" high. The enclosure walls are 8" block with 4" brick veneer. The base is a 3,000 PSI poured concrete footer with #4 reinforcement bars at 4' - 0" OC.

DUMPSTER ENCLOSURE WITH GATE DETAIL

M

E

Minnich

Engineering & Land Planning

Designing Quality Not Quantity

868 Greenwood Road - Greenwood, DE 19950

(302) 697-2239 • (302) 349-5381

REVISIONS:

PROJECT NO: 21-203

DGN FILE: 21-203

SITE PLAN DETAILS

CHURCH OF THE NAZARENE

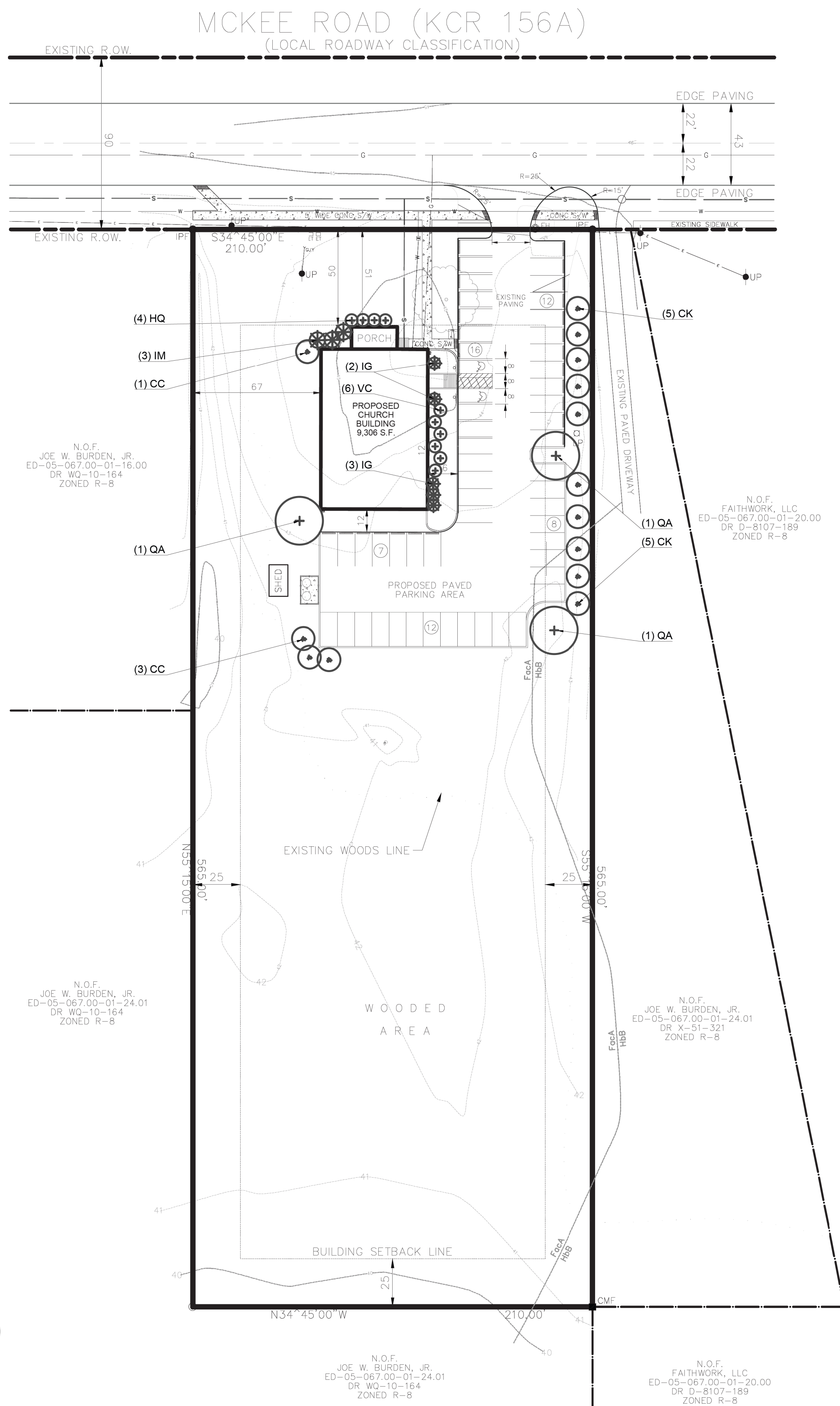
SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0204080

SCALE: 1" = 40'

DATE: 07/05/24

SHT: SP-3



KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
CC	Cornus canadensis	Redbud	4	2" Cal.	R&B Full Heavy Vigorous
CK	Cercus koaia	Koua Dogwood	4	2" Cal.	R&B Full Heavy Vigorous
HQ	Quercus laevis	Oaked Hydrangea	10	2-2.5"	R&B Full Heavy Vigorous
IG	lex glabra 'Compacta'	Compact Ink Berry Holly	5	2-2.5"	R&B Full Heavy Vigorous
IM	Ilex meserveae 'Blue Prince'	Blue Holly	2 male 1 female	2-2.5"	R&B Full Heavy Vigorous
QA	Quercus carolin	White Oak	3	2" Cal.	R&B Full Heavy Vigorous
VC	Viburnum alba	Korean Spice Viburnum	6	2-2.5"	R&B Full Heavy Vigorous

PROPERTY BOUNDARY
RIGHT-OF-WAY LINE
LOT LINE
BUILDING SETBACK LINE
REE LINE
LOT NUMBER
EXISTING CONTOUR
TEST PIT LOCATION
APPROVED SOILS LINE
EXISTING UTILITY POLE
OVERHEAD ELECTRIC LINE
WETLAND DELINEATION LINE
WETLAND BUFFER LINE
BLUE LINE STREAM BUFFER
100 YEAR FLOOD PLAIN
TAX DITCH ROW LINE
CONCRETE MONUMENT FOUND
CAPPED PIN SET

CMF ☐
CPS ☒

CONWAY J. BRISTOW III, PLA #1060

07.16.2024



Rev:	Date:	Description:
△		
△		
△		
△		
△		

Designed By:	JM
Drawn By:	JM
Approved By:	CB
Project No:	124014



HARBOR GROUP
LANDSCAPE ARCHITECTURE

85 HENLOPEN GARDENS
LEWES, DE 19958
302.690.6760
CONWAY@HARBORGROUPDE.COM



868 Greenwood Road - Greenwood, DE 19950
(302) 697-2239 - (302) 349-5381

PROJECT NO: 21-203	DGN FILE: 21-203
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SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

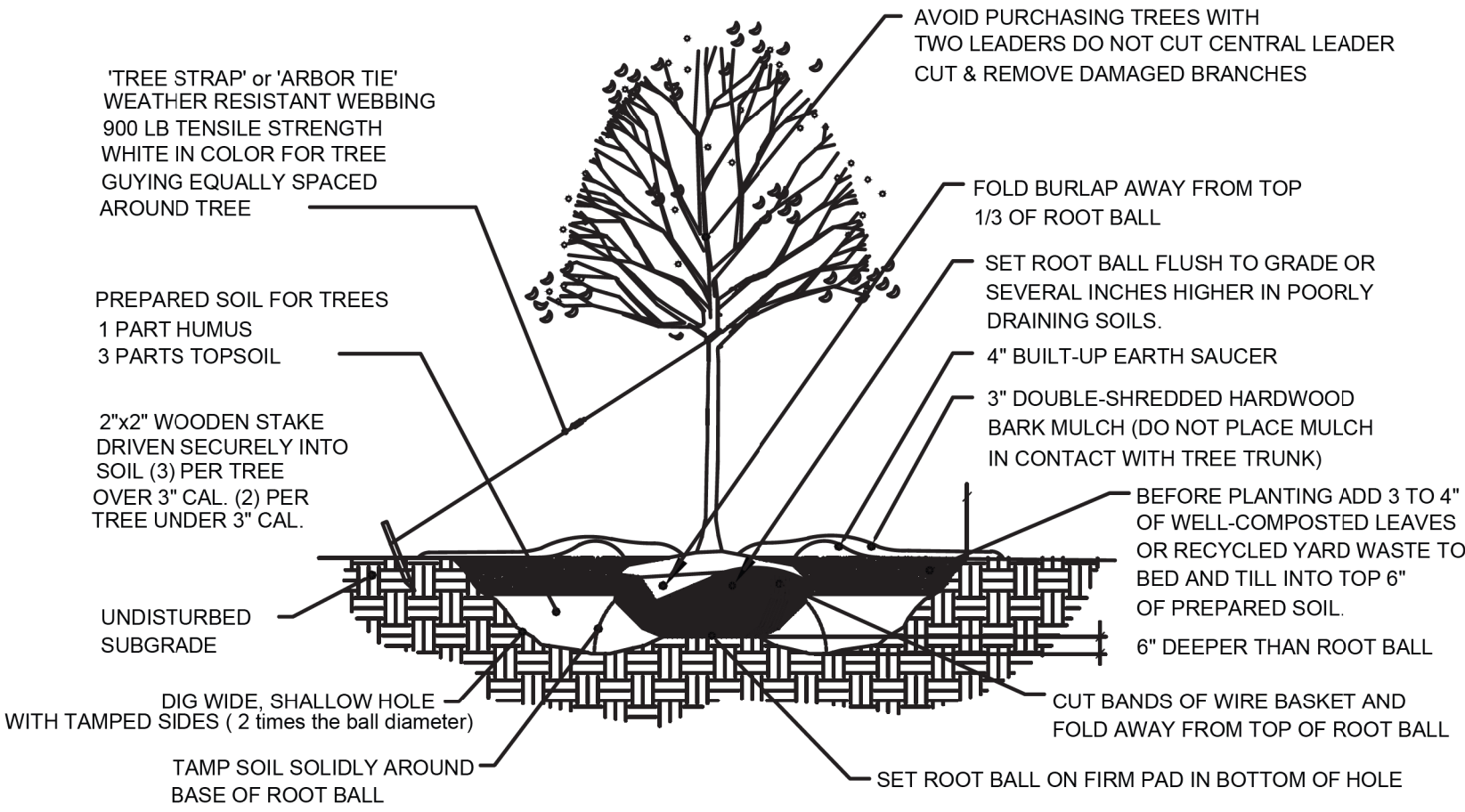
DATE: 07/16/24 SCALE: 1" = 40' SHT: LS-1

PLANT QUALITY

1. PLANT NAMES INDICATED COMPLY WITH STANDARDIZED PLANT NAMES AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE. PROVIDE STOCK TRUE TO BOTANICAL NAME LEGIBLY TAGGED.
2. ALL PLANT MATERIALS SHALL BE OF 'SPECIMEN' QUALITY. HAVE DENSELY DEVELOPED BRANCHES. FRESHLY DUG WITH VIGOROUS, FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, FREE FROM DISEASE, ALL FORMS OF INSECT INFESTATIONS OR OTHER PHYSICAL DEFORMITIES. ALL PLANTS SHALL CONFORM TO GRADING AND SIZING STANDARDS OF THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED WITH 25% AS THE MINIMUM AND 75% AS THE MAXIMUM SIZE INDICATED.
3. OWNER, DEVELOPER OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS DUE TO POOR QUALITY, SIZE OR IMPROPER HANDLING. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE MATERIALS AT NO ADDITIONAL COST.
4. ALL PLANT MATERIALS SHALL BE COVERED DURING TRANSPORT TO PREVENT WIND BURNING. ALL PLANTS SHALL BE PLANTED IMMEDIATELY UPON DELIVERY OR 'HEELED IN' IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT. HANDLE ALL PLANTS BY THE ROOT SYSTEM.
5. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO STARTING INSTALLATION FOR INSPECTIONS OF PLANT LOCATIONS, QUANTITIES, QUALITY AND SIZE AND UPON COMPLETION FOR FINAL INSPECTION OF PLANTING, MULCHING, STAKING AND CLEAN UP.

PLANTING IMPLEMENTATION

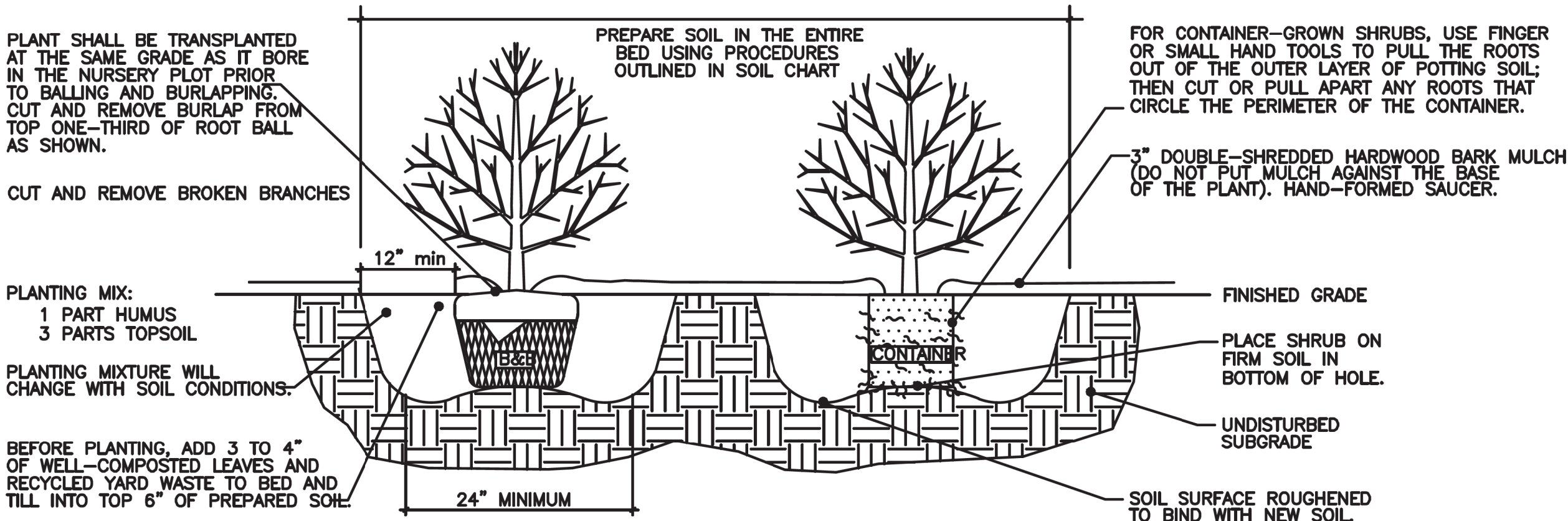
1. PLANTING PITS : EXCAVATED CIRCULAR PITS WITH VERTICAL SIDES. PROVIDE SHRUB PITS 24" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM AND 48" GREATER FOR TREES. (DEPTH OF PIT TO ACCOMMODATE ROOT SYSTEM) SCARIFY THE BOTTOM OF THE PIT TO A DEPTH OF 4" BELOW DEPTH OF BALL.
2. PLANTING MIX: PROVIDE WEED AND SEED FREE HUMUS OR PEAT MOSS. MIX ONE (1) PART HUMUS TO FOUR (4) PARTS EXISTING TOP SOIL. MIX THOROUGHLY WITH A 12-12-12 FERTILIZER ACCORDING TO THE MANUFACTURERS' DIRECTIONS.
3. SET PLANTS: PLACE IN PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUMB AND FACED TO GIVE THEIR BEST APPEARANCE. SET PLANTS WITH BALL 2" TO 3" ABOVE FINISHED GRADE. DO NOT FILL OVER BALL. STEMS, OR TRUNK, BACKFILL AND TAMP PLANTING MIX IN 4" LAYERS. CUT AND REMOVE TOP 1/3 OF BURLAP. ALL LACING, ROPES, WIRES, STRINGS OR WIRE BASKETS, FORM A SOIL RING AROUND BALL ABOVE FINISHED GRADE. THOROUGHLY WATER IN PLANTING MIX TO FILL ALL VOIDS AND FILL RIM OF PIT.
4. MULCH: MULCH ALL PLANTS WITH 3" OF AN APPROVED MULCH WITHIN 48 HOURS AFTER PLANTING. APPLY AN APPROVED PRE-EMERGENT WEED CONTROL ACCORDING TO MANUFACTURERS' DIRECTIONS IN ALL PLANTING BEDS PRIOR TO MULCHING.
5. STAKING: ALL TREES SHALL BE STAKED. TREES UNDER 3" IN CALIPER SHALL HAVE 2 STAKES. TREES OVER 3" IN CALIPER SHALL HAVE 3 STAKES. STAKES SHALL BE EVENLY SPACED AND DRIVEN FIRMLY INTO UNDISTURBED SUBSOIL. PLACE STAKES PARALLEL TO WALKS, ROADS AND BUILDINGS.
6. PRUNING: PRESERVE NATURAL SHAPE OF PLANT. DO NOT CUT THE CENTRAL LEADER OF TREES. REMOVE OR CUT BACK DAMAGED OR UNSYMMETRICAL GROWTH.
7. ANTI-DISCANT: APPLY "WILT PROOF" OR EQUIVALENT TO ALL PLANTS. APPLY OVER ALL PLANT LEAVES OR NEEDLE AREAS ACCORDING TO MANUFACTURE'S DIRECTIONS.
8. GROUNDCOVER AND PERENNIAL BEDS: STRIP EXISTING LAWN OR WEEDS. SPREAD A 1" LAYER OF PEAT MOSS OR APPROVED HUMUS ON ENTIRE AREA. APPLY 8-18-10 FERTILIZER ACCORDING TO MANUFACTURERS DIRECTIONS. ROTO-TILL ENTIRE AREA TO A DEPTH OF 6". FINE GRADE BED. APPLY APPROVED PRE-EMERGENT WEED CONTROL ACCORDING TO MANUFACTURER'S DIRECTIONS. MULCH ENTIRE AREA WITH 2" MULCH AS SPECIFIED. PLANT GROUNDCOVERS AND PERENNIALS THROUGH MULCH INTO SOIL AND WATER.
9. TOPSOIL SHALL BE SANDY LOAM. IT SHALL NOT HAVE A MIXTURE OF SUBSOIL AND SHALL NOT CONTAIN CHINDERS, STONES, LUMPS, STICKS, ROOTS OR OTHER EXTRANEIOUS MATTER LARGER THAN 1/2" DIAMETER. TOPSOIL MUST BE FREE OF WIREGRASS, QUACKGRASS, NUTSEDGE, POISON IVY, OR CANADA THISTLE. TOPSOIL SHALL HAVE A pH OF 5.5 - 7.5 AND NOT HAVE SOLUBLE SALTS HIGHER THAN 500 PARTS PER MILLION. PROVIDE CERTIFICATION FROM A RECOGNIZED LABORATORY.
10. ALL PLANT MATERIALS FURNISHED BY THE LANDSCAPE CONTRACTOR FOR THIS CONTRACT SHALL BE GUARANTEED FOR 100 % OF THE COST OF REPLACEMENT (MATERIALS AND LABOR), TO LIVE AND REMAIN IN A HEALTHY, VIGOROUS CONDITION, FOR A PERIOD OF (1) YEAR AFTER COMPLETION AND ACCEPTANCE BY THE OWNER AND DEVELOPER. ANY PLANTS THAT REMAIN UNHEALTHY OR HAVE LOST THEIR SHAPE DUE TO DEAD BRANCHES OR OTHERWISE ARE UNACCEPTABLE IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHALL BE REMOVED AND REPLACED AT NOT ADDITIONAL COST TO THE OWNER OR DEVELOPER. GUARANTEE SHALL NOT INCLUDE DAMAGE OR LOSS OF PLANTS, MATERIALS, ET. CAUSED BY FIRE, FLOODS FREEZING RAINS, LIGHTING STORMS OR WINDS (OVER 76 MPH), ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER OR DEVELOPER. REMOVE ALL STAKES AND GUYS FROM PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. REPLACEMENT PLANTS SHALL BE GUARANTIED FOR AN ADDITIONAL YEAR AFTER INSTALLATION.
11. MAINTAIN PLANTINGS & SEED AND/OR SOD UNTIL COMPLETION AND ACCEPTANCE BY OWNER OF ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE MOWING, PRUNING, CULTIVATION, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES & FUNGICIDES AS NECESSARY TO MAINTAIN PLANTS & SEEDING/SODDING FROM INSECTS & DISEASE.
12. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO DELIVER TO THE OWNER OR DEVELOPER A COMPLETE RELEASE OF LIENS THAT MAY ARISE OUT OF THIS CONTRACT OR RECEIPTS PAID IN FULL IN LIEU THEREOF.



NOTES:

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

TYPICAL DETAIL: TREE PLANTING
NOT TO SCALE



NOTE:

Apply approved pre-emergent weed control on all shrub beds prior to mulching.

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

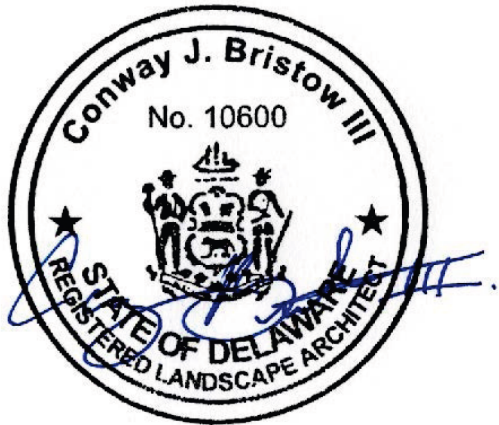
SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE ARCHITECT CERTIFICATION

I, CONWAY J. BRISTOW III, HEREBY CERTIFY THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE. THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD LANDSCAPE ARCHITECTURAL PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Conway J. Bristow III
CONWAY J. BRISTOW III, PLA #10600

07.16.2024
DATE



Rev.	Date:	Description:
▲		
▲		
▲		
▲		
▲		
Designed By: JM		
Drawn By: JM		
Approved By: CB		
Project No: 124014		



HARBOR GROUP
LANDSCAPE ARCHITECTURE

85 HENLOPEN GARDENS
LEWES, DE 19958
302.690.6760
CONWAY@HARBORGROUPE.COM



868 Greenwood Road - Greenwood, DE 19950
(302) 697-2239 - (302) 349-5381

REVISIONS:

PROJECT NO: 21-203	DGN FILE: 21-203

LANDSCAPE DETAILS
CHURCH OF THE NAZARENE

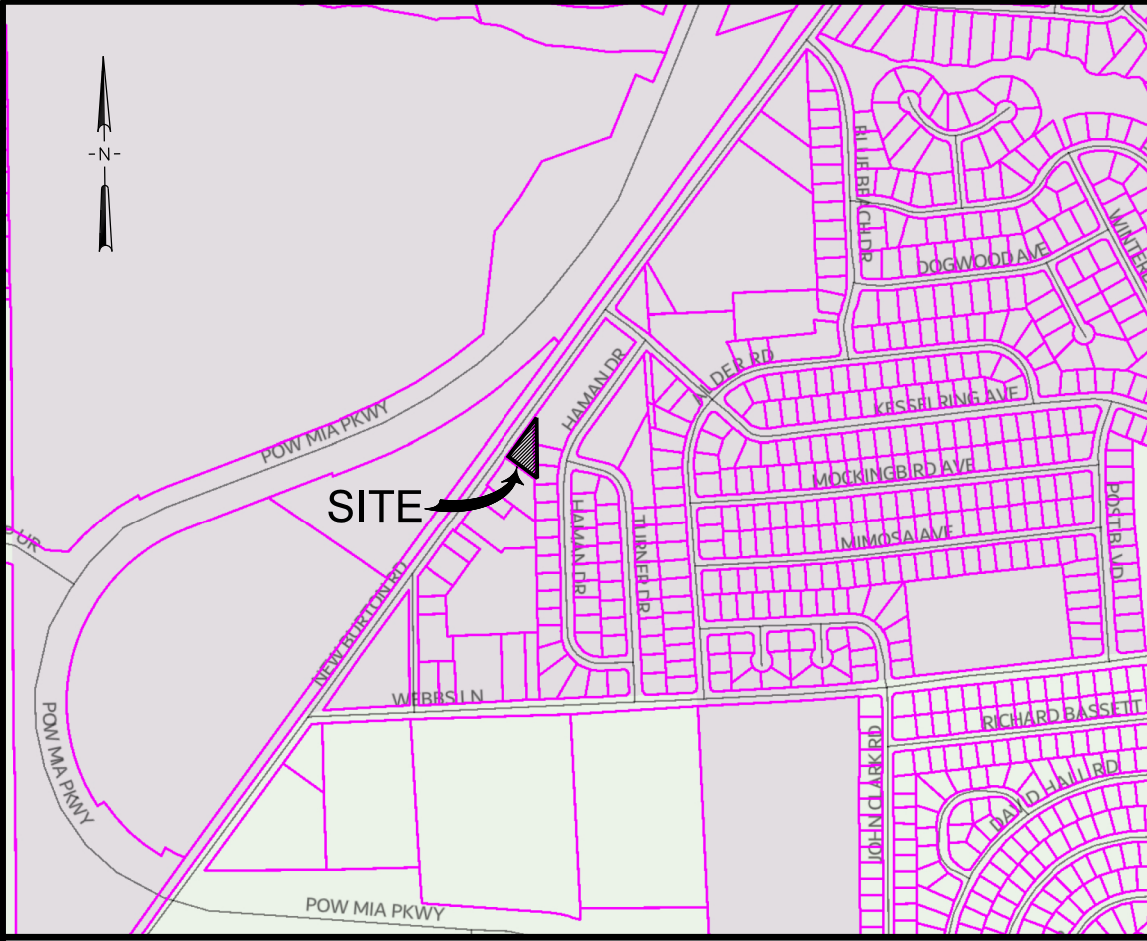
SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0 20 40 80
SCALE: 1" = 40'

DATE: 07/16/24

SCALE: 1" = 40'

SHT: LS-2



LOCATION MAP SCALE: 1" = 1200'

WATER NOTES

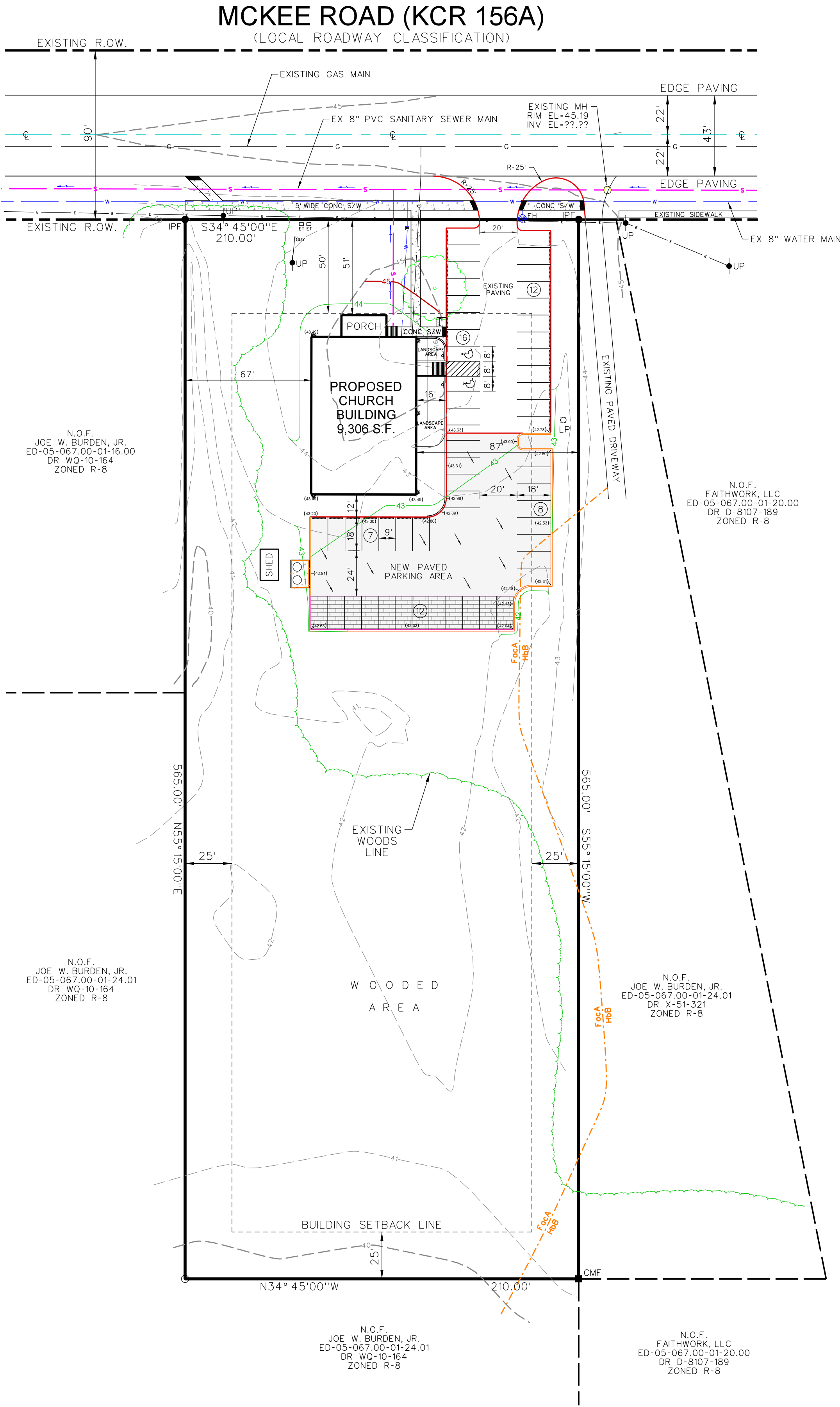
- ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH THE CURRENT CITY OF DOVER REQUIREMENTS AND PRACTICES.
- ALL WATER UTILITY COMPONENTS MUST MEET THE REQUIREMENTS OF THE WATER WASTEWATER HANDBOOK, EFFECTIVE MARCH 22, 2010.
- HYDRANT CONNECTIONS BY THE CONTRACTOR ARE PROHIBITED. THIS METHOD MAY NOT BE UTILIZED DURING ANY PHASE OF THE PROJECT.
- ANY EXISTING WATER LINES NOT TO BE UTILIZED BY THE PROPOSED FACILITY MUST BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF WATER & WASTEWATER SPECIFICATIONS AND REQUIREMENTS.
- THE SITE CONTRACTOR SHALL CONTACT THE CITY OF DOVER DEPARTMENT OF WATER & WASTEWATER CONSTRUCTION MANAGER AT (302) 736-7025 PRIOR TO THE START OF CONSTRUCTION. A REPRESENTATIVE FROM THE CITY OF DOVER DEPARTMENT OF WATER & WASTEWATER MUST OBSERVE AND APPROVE ALL CITY OWNED WATER AND SANITARY SEWER INTERCONNECTIONS AND TESTING. ALL WATER TAPS MUST BE PERFORMED BY A CITY OF DOVER APPROVED CONTRACTOR. THE PROPOSED LOCATION FOR THE WATER CONNECTION MAY NEED TO BE ADJUSTED IN THE FIELD DUE TO CONDITIONS OF THE EXISTING MAIN. POSSIBLE CONDITIONS THAT WOULD REQUIRE TAPPING RELOCATION INCLUDE PROXIMITY TO PIPE JOINTS, OTHER TAPS, CONCRETE ENCASEMENTS, CONFLICT WITH OTHER UTILITIES, AND THE LIKE. TEST HOLES MUST BE PERFORMED BY THE CONTRACTOR TO DETERMINE THE BEST TAPPING LOCATION. THE CITY OF DOVER WILL NOT BE HELD RESPONSIBLE FOR FIELD CONDITIONS REQUIRING ADJUSTMENT OF THE TAPPING LOCATION OR FOR ANY WORK REQUIRED BY THE CONTRACTOR TO MAKE AN APPROPRIATE AND LAWFUL CONNECTION.
- A NEW 5/8" x 3/4" MUELLER 420 SERIES WATER METER SHALL BE INSTALLED FOR THIS BUILDING. THE METER MUST BE PURCHASED THROUGH THE CITY OF DOVER. PLEASE CONTACT OUR OFFICE A MINIMUM OF SIX (6) WEEKS PRIOR TO REQUIRING THE METER. A DUAL CHECK VALVE MUST BE INSTALLED DOWNSTREAM OF THE METER. A WATER METER BYPASS LINE IS NOT PERMITTED FOR THIS TYPE OF BUILDING APPLICATION.

WASTEWATER NOTES

- ALL WASTEWATER UTILITY COMPONENTS MUST MEET THE REQUIREMENTS OF THE WATER WASTEWATER HANDBOOK, EFFECTIVE MARCH 22, 2010.
- ANY EXISTING SANITARY SEWER LINES NOT TO BE UTILIZED BY THE PROPOSED FACILITY MUST BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF WATER AND WASTEWATER SPECIFICATIONS AND REQUIREMENTS.
- PART II, CHAPTER 180, ARTICLE III, SECTION 180-10 OF THE CODE OF KENT COUNTY REQUIRES THAT "NO PERSON SHALL DISCHARGE OR CAUSE TO BE DISCHARGED ANY STORMWATER, SURFACE WATER, UNCONTAMINATED GROUNDWATER, ROOF RUNOFF, SUBSURFACE DRAINAGE, UNCONTAMINATED NONCONTACT COOLING WATER OR UNPOLLUTED INDUSTRIAL PROCESS WATERS TO ANY SANITARY SEWER". THIS SHALL INCLUDE CONDENSATE. SEC. 110-231 OF THE CITY OF DOVER CODE DEFINES STORM SEWER AS ". ANY SYSTEM USED FOR CONVEYING RAIN WATER, SURFACE WATER, CONDENSATE, COOLING WATER OR SIMILAR LIQUID WASTES, EXCLUSIVE OF SEWAGE". THE CONTRACTOR, DEVELOPER, OWNER AND DESIGNERS SHALL ENSURE DURING CONSTRUCTION THAT NO ILLEGAL DISCHARGES TO THE SANITARY SEWER SYSTEM ARE CREATED WITH THE SITE IMPROVEMENTS.

LEGEND

PROPERTY BOUNDARY	---
RIGHT-OF-WAY LINE	---
LOT LINE	---
BUILDING SETBACK LINE	---
EXISTING CONTOUR	---(26)---
PROPOSED CONTOUR	---(26)---
EXISTING STORM DRAIN	=====
PROPOSED STORM DRAIN	=====
EXISTING SANITARY SEWER	---S---
PROPOSED SANITARY SEWER	---S---
EXISTING WATER LINE	---W---
PROPOSED WATER LINE	---W---
EXISTING UTILITY POLE	●
EXISTING ROAD SIGN	○
EXISTING SPOT ELEVATION	26x27
PROPOSED SPOT ELEVATION	(26x27)



STREETS NOTES

- STANDARD CITY OF DOVER SIDEWALK, AS PER CHAPTER 98, ARTICLE IV OF THE DOVER CODE OF ORDINANCES, SHALL BE REQUIRED TO BE INSTALLED ALONG THE ENTIRE PUBLIC STREET FRONTAGE OF A PROPERTY, WHERE FRONTAGE SIDEWALK EXISTS BUT DOES NOT MEET THE STANDARDS OF CHAPTER 98, ARTICLE IV. THE SIDEWALK SHALL BE RE-LAID TO MEET THE STANDARDS. SIDEWALK SHALL INCLUDE BARRIER-FREE ACCESS RAMPING AT POINTS OF INTERSECTION WITH STREET CROSSINGS AND AT OTHER LOCATIONS SO AS TO AFFORD REASONABLE BARRIER-FREE PEDESTRIAN MOVEMENT AND SITE ACCESS.
- IN ACCORDANCE TO APPENDIX A, ARTICLE VI, SECTION B.3, ALL SIDEWALKS SHALL ASCEND FROM THE CURBSTONE TO THE BUILDING LINE AT THE RATIO OF ONE-QUARTER OF AN INCH TO THE FOOT. NOTHING IN THIS SECTION SHALL BE CONSTRUED TO AFFECT ANY PAVEMENT PREVIOUSLY LAID BY ORDER OF THE CITY COUNCIL, UNTIL IT IS TAKEN UP AND RELAID.



LOCATION MAP SCALE: 1" = 400'

DATA COLUMN

ACREAGE WITHIN BOUNDARIES:	2.70 ACRES
TAX PARCEL NO:	ED-05-067.00-01-17.00-000
CITY OF DOVER PLAN APPLICATION NUMBER:	XX
EXISTING ZONING:	R-8 (ONE FAMILY RESIDENCE) COZ-1 (CORRIDOR OVERLAY ZONE)
EXISTING USE:	CHURCH
PROPOSED USE:	CHURCH
PROPOSED BUILDING GFA:	9,306 S.F. (TOTAL) 4,653 S.F. (FIRST FLOOR) 4,653 S.F. (BASEMENT)
EXISTING PARKING:	36 SPACES
PARKING REQUIRED:	44 SPACES (176 SEATS)/(1 SP/4 SEATS) = 44 SPACE
PARKING PROVIDED:	55 SPACES (2 HANDICAP)
BUILDING SETBACKS:	50' FRONT 25' SIDE 25' REAR
BUILDING CONSTRUCTION TYPE:	TYPE I (000) METAL & MASONRY
MAXIMUM BUILDING HEIGHT:	35 FEET
PROPOSED BUILDING HEIGHT:	20 FEET
MAXIMUM BUILDING COVERAGE:	20%
PROPOSED BUILDING COVERAGE:	4.5% (5,270 S.F.)
EXISTING IMPERVIOUS COVERAGE:	11.7% (13,800 S.F.)
PROPOSED IMPERVIOUS COVERAGE:	6.1% (7,200 S.F.)
TOTAL IMPERVIOUS COVERAGE:	17.8% (21,000 S.F.)
VERTICAL DATUM:	NAVD88
HORIZONTAL DATUM:	NAD83
AREA IN WOODLANDS:	1.7 ACRES
APPROXIMATE WETLAND AREA:	0 ACRES
STORMWATER MANAGEMENT AREA:	0.15 ACRES
PERMANENT MONUMENTS FOUND:	2 (IPF) 1 (CMF)
PERMANENT MONUMENTS PLACED:	0
WATER SERVICE:	CITY OF DOVER
SEWER SERVICE:	CITY OF DOVER
INVESTMENT LEVEL AREA:	4
PERCENT SLOPE:	1% TO 4%
POSTED SPEED LIMIT:	25 MPH (MCKEE ROAD)
OWNER OF RECORD:	WASHINGTON ADVISORY BOARD CHURCH OF THE NAZARENE PO BOX 327 FREDERICA, DE 19946



868 Greenwood Road - Greenwood, DE 19950
(302) 697-2239 · (302) 349-5381

REVISIONS:

PROJECT NO: 21-203 | DGN FILE: 21-203

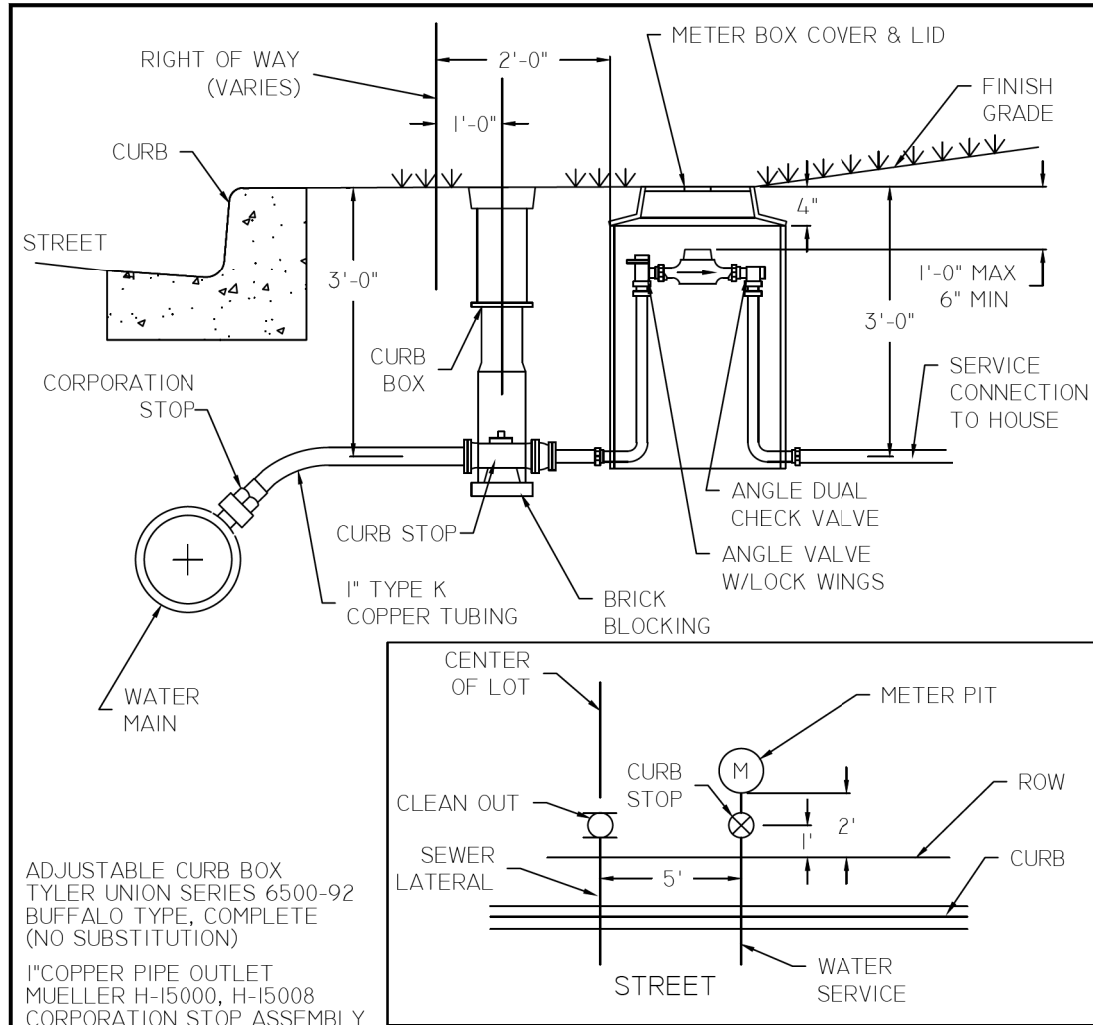
UTILITY & GRADING PLAN

CHURCH OF THE NAZARENE

SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

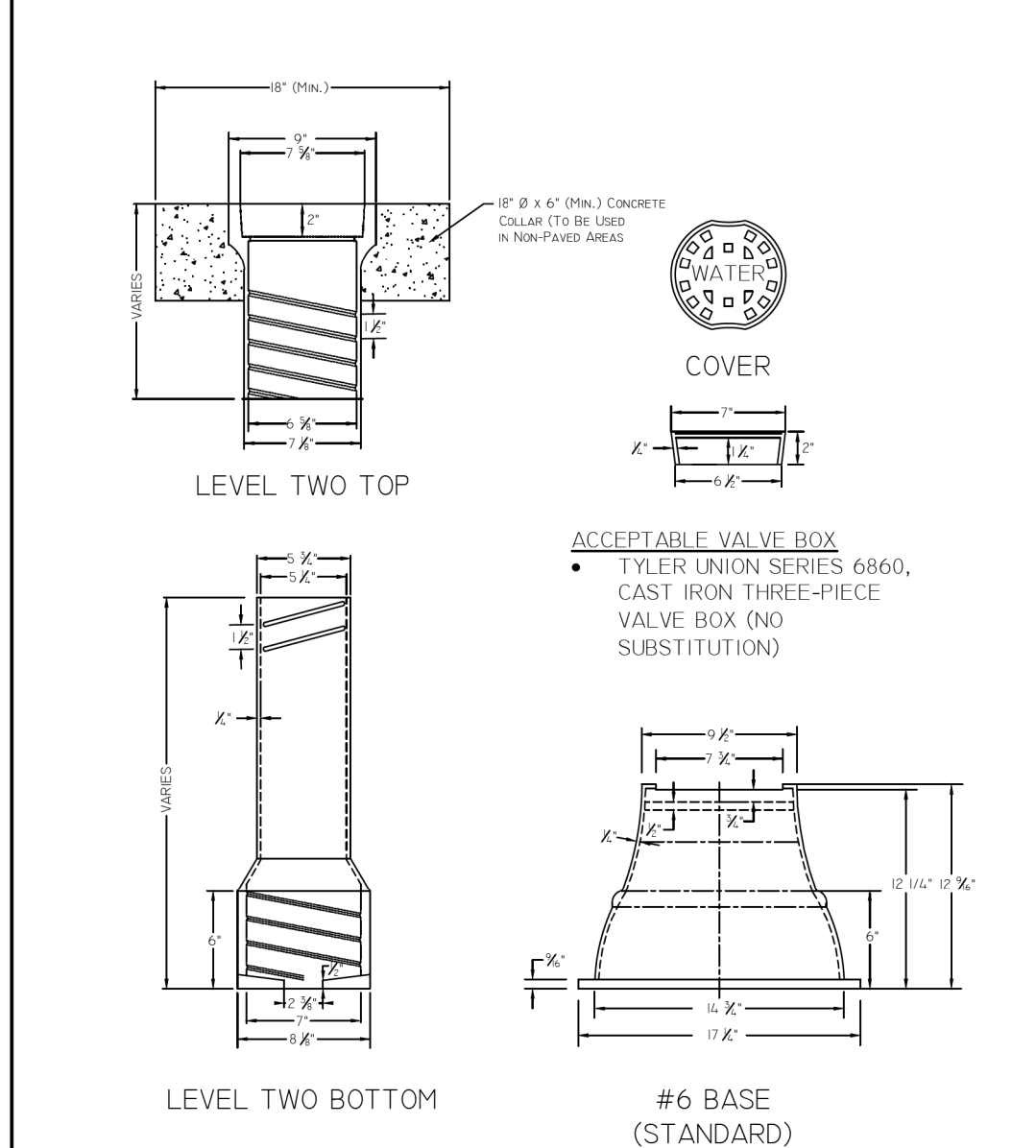
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DATE: 07/05/24 SCALE: 1" = 40' SHT: UP-1

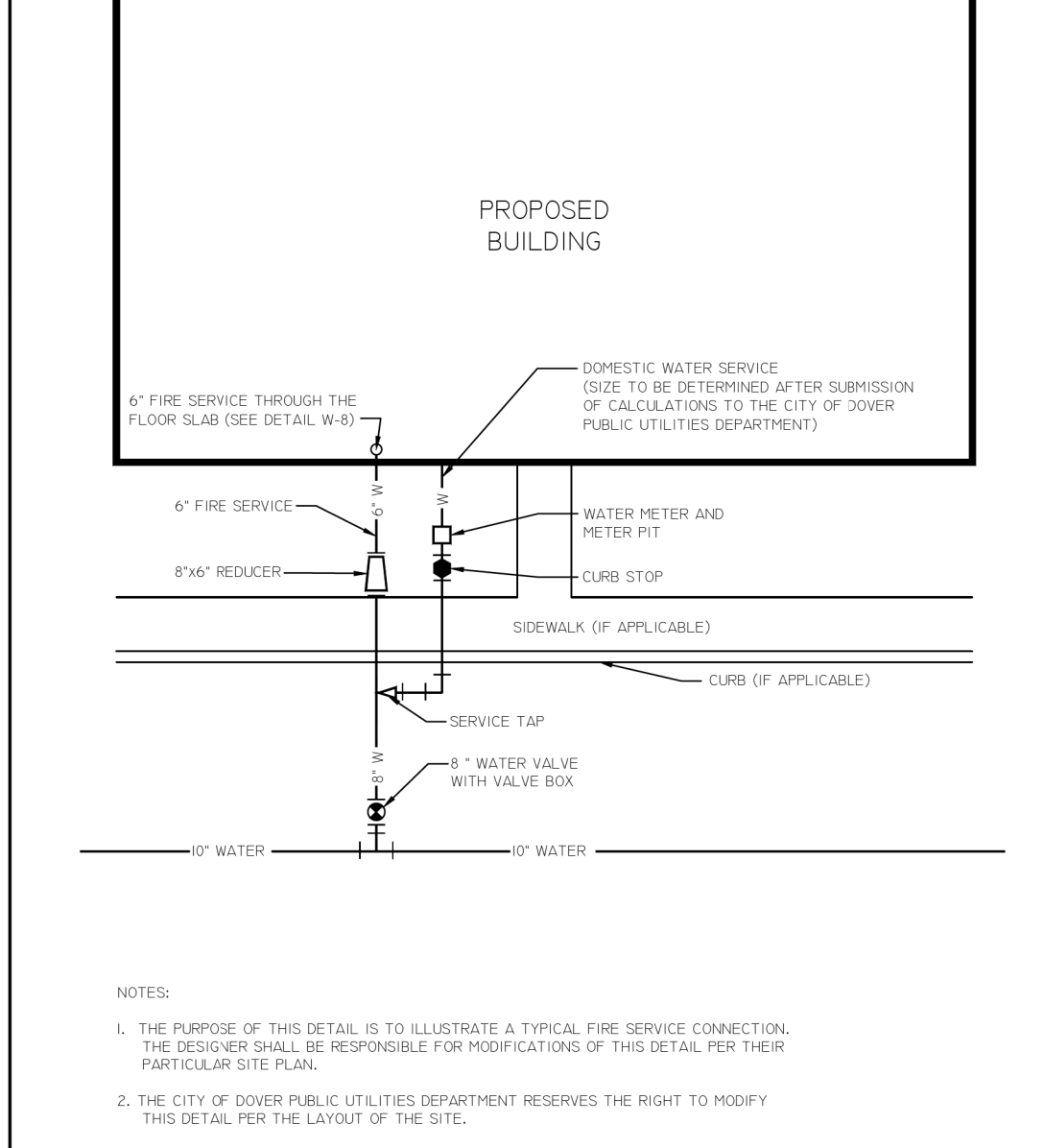


ADJUSTABLE CURB BOX
TYLER UNION SERIES 6500-92
BUFFALO TYPE, COMPLETE
(NO SUBSTITUTION)
1\"/>

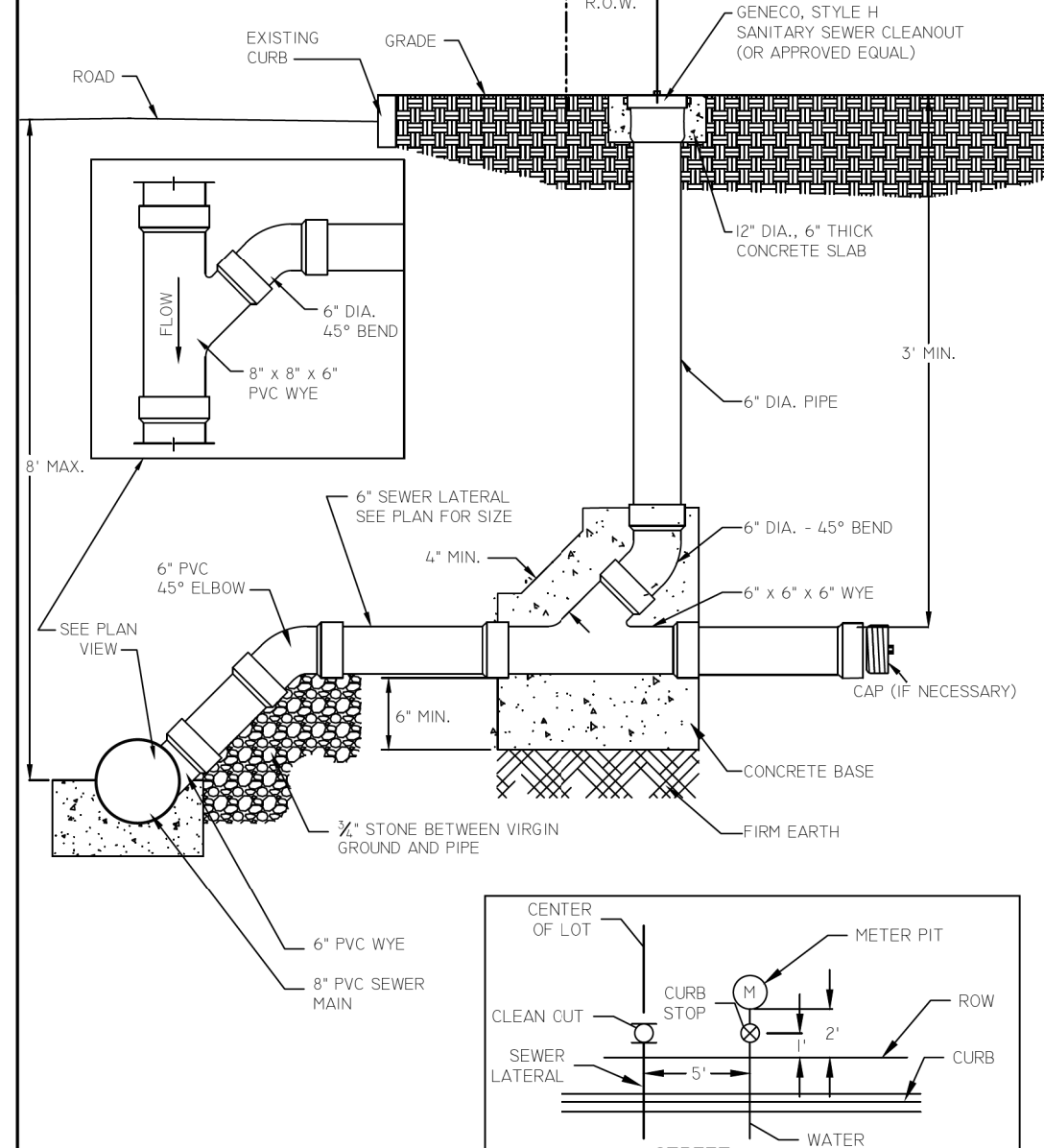
City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 12-09-03 CKD: R.H/REM SCALE: NONE APRVD: S.J DWG. NO: W-1	RESIDENTIAL WATER SERVICE & METER PIT INSTALLATION DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 12-09-03	
	CKD: R.H/REM SCALE: NONE	
	APRVD: S.J DWG. NO: W-1	



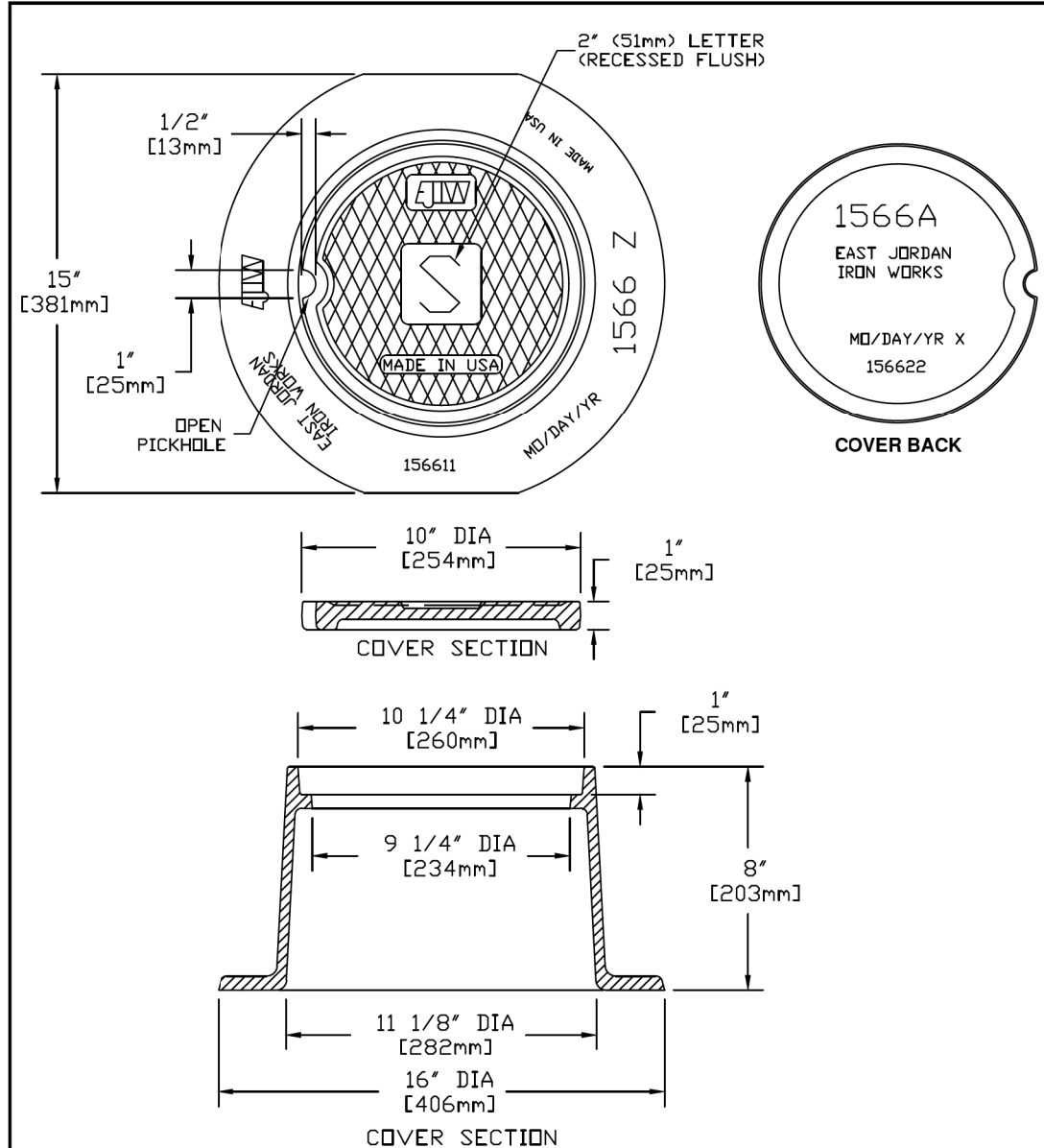
City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 06-30-08 CKD: R.H/REM SCALE: NTS APRVD: S.J DWG. NO: W-2	VALVE BOX - SCREW TYPE DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 06-30-08	
	CKD: R.H/REM SCALE: NTS	
	APRVD: S.J DWG. NO: W-2	



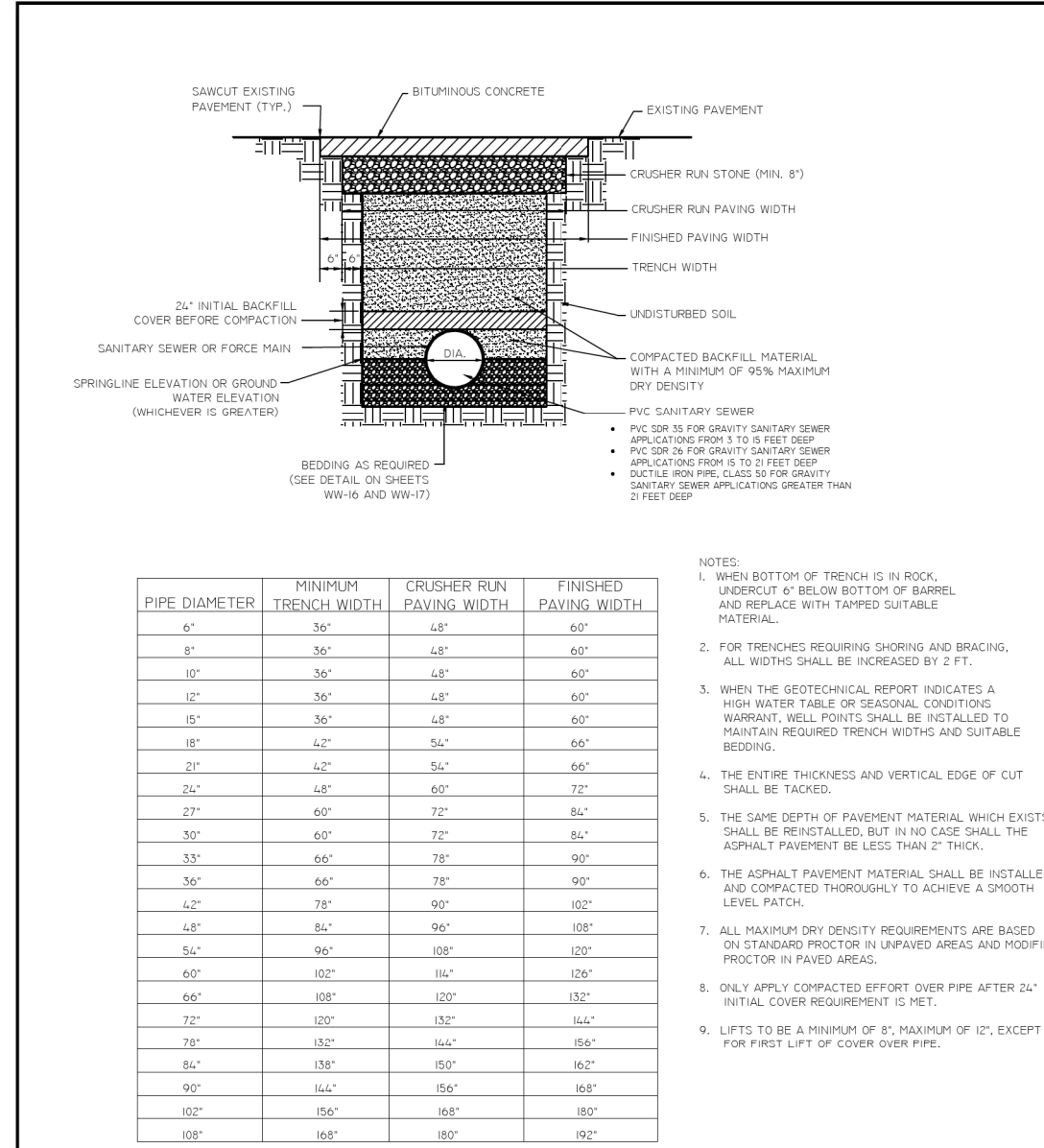
City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 06-30-08 CKD: R.H/REM SCALE: NTS APRVD: S.J DWG. NO: W-3	DOMESTIC AND FIRE SERVICE CONNECTION DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 06-30-08	
	CKD: R.H/REM SCALE: NTS	
	APRVD: S.J DWG. NO: W-3	



City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 01-05-09 CKD: R.H/REM SCALE: NTS APRVD: S.J DWG. NO: WW-1	RESIDENTIAL SEWER LATERAL DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 01-05-09	
	CKD: R.H/REM SCALE: NTS	
	APRVD: S.J DWG. NO: WW-1	



City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 12-01-08 CKD: REM/R.H SCALE: NTS APRVD: S.J DWG. NO: WW-9	SANITARY SEWER CLEANOUT DETAIL DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 12-01-08	
	CKD: REM/R.H SCALE: NTS	
	APRVD: S.J DWG. NO: WW-9	



City of Dover DEPARTMENT OF PUBLIC UTILITIES DRAWN: JAL DATE: 03-05-09 CKD: REM/R.H SCALE: NTS APRVD: S.J DWG. NO: WW-15	TRENCH PAVEMENT WIDTH DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL DATE: 03-05-09	
	CKD: REM/R.H SCALE: NTS	
	APRVD: S.J DWG. NO: WW-15	

868 Greenwood Road - Greenwood, DE 19950

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REVISIONS:	
PROJECT NO: 21-203	DGN FILE: 21-203

UTILITY PLAN DETAILS

CHURCH OF THE NAZARENE

SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0 20 40 80

DATE: 07/05/24 SCALE: 1" = 40' SHT: UP-2

SEQUENCE OF CONSTRUCTION

- OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE AGENCIES.
- NOTIFY THE KENT CONSERVATION DISTRICT FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH THE AGENCY CONSTRUCTION SITE REVIEWER, THE LAND OWNER/DEVELOPER, CONTRACTOR, AND CERTIFIED CONSTRUCTION REVIEWER ARE REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING.
- INSTALL SILT FENCING IN LOCATIONS SHOWN ON THE APPROVED PLAN.
- INSTALL INLET PROTECTION ON EXISTING STORM SEWER INLETS IF NECESSARY.
- CONTACT THE KENT CONSERVATION DISTRICT INSPECTOR FOR A PERIMETER INSPECTION PRIOR TO PROCEEDING TO THE NEXT STEP IN THE SEQUENCE OF CONSTRUCTION.
- ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE KENT CONSERVATION DISTRICT SITE INSPECTOR AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
- NOTIFY THE KENT CONSERVATION DISTRICT SITE INSPECTOR AND CCR A MINIMUM OF THREE (3) DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION. STORMWATER FACILITIES MUST BE REVIEWED THROUGHOUT THEIR CONSTRUCTION.
- REQUIRED CONSTRUCTION REVIEWS PER BMP STANDARDS AND SPECIFICATIONS, SECTION 1.8:
 - PRE-CONSTRUCTION MEETING.
 - INITIAL SITE PREPARATION INCLUDING INSTALLATION OF EROSION AND SEDIMENT CONTROLS AND SENSITIVE AREA PROTECTION SURROUNDING INFILTRATION PRACTICE LOCATIONS.
 - EXCAVATION AND GRADING INCLUDING INTERIM AND FINAL ELEVATIONS.
 - IMPLEMENTATION OF REQUIRED STABILIZATION.
 - FINAL CONSTRUCTION REVIEW INCLUDING DEVELOPMENT OF A PUNCH LIST FOR FACILITY ACCEPTANCE.
- CONSTRUCT TEMPORARY SEDIMENT TRAP BY EXCAVATING INFILTRATION BASIN AREA TO ELEVATION 36.00 FOR PROPOSED BUILDING (CONSTRUCTION OF THE 13' FOOT ABOVE THE FINAL BOTTOM ELEVATION). STABILIZE ACCORDANCE WITH TEMPORARY STABILIZATION NOTES. NO HEAVY EQUIPMENT IS TO BE USED ON THE BOTTOM OF THE INFILTRATION BASIN DURING CONSTRUCTION AND WATER.
 - FINAL GRADE AND STABILIZE SLOPES AS EXCAVATION CONTINUES.
 - INSTALL FOREBAYS WITH CHAIN LINK GABIONS.
 - INSTALL INLET PIPES WITH RIPRAP APRONS.
 - FINAL GRADE BOTTOM AND COMPLETE FINAL STABILIZATION.
- STRIP TOPSOIL IN ENTRANCE AND PARKING LOT AREAS AND STOCKPILE IN APPROVED STOCKPILE LOCATIONS SHOWN PER PLANS. TEMPORARY STOCKPILE AREAS TO BE STABILIZED WITH SEED AND MULCH AND SURROUNDED WITH SILT FENCING IN ACCORDANCE WITH THE TEMPORARY STABILIZATION NOTES.
- INSTALL UNDERGROUND UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE, WATER, SEWER, AND STORM DRAINAGE. INSTALL INLET PROTECTION AROUND ALL CATCH BASINS.
- INSTALL CURB, FINAL GRADE PARKING AREA, AND INSTALL CRUSHER RUN AS SPECIFIED IN THE CONSTRUCTION DRAWINGS.
- FINE GRADE DISTURBED AREA. STABILIZE WITH SEED AND STRAW MULCH.
- PAVE ENTRANCE AND PARKING AREA TO LIMITS SHOWN.
- FINE GRADE DISTURBED AREA AND PROVIDE FINAL STABILIZATION WITH SEED AND MULCH ON DISTURBED AREAS.
- CONVERT TEMPORARY SEDIMENT TRAP TO PERMANENT STORMWATER MANAGEMENT BASIN FOLLOWING AUTHORIZATION OF A KENT CONSERVATION DISTRICT INSPECTOR.
 - PROPERLY DE-WATER SEDIMENT BASIN IN AN APPROVED MANNER.
 - REMOVE ACCUMULATED SEDIMENT AND RESTORE BASIN TO DESIGN GRADE WITH BOTTOM ELEVATION OF 35.0 AS SHOWN.
 - CONFIRMATORY TESTING OF INFILTRATION FACILITY IS REQUIRED DURING, OR IMMEDIATELY FOLLOWING, FACILITY CONVERSION PER BMP STANDARDS AND SPECIFICATIONS, APPENDIX 1 AND FINDINGS SUBMITTED TO KCD.
- AS-BUILT SURVEY OF ALL PERMANENT STORMWATER MANAGEMENT FACILITIES ARE TO BE PERFORMED AND SUBMITTED FOR REVIEW BY THE KENT CONSERVATION DISTRICT PRIOR TO PROJECT CLOSE OUT.
- EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH THE KENT CONSERVATION DISTRICT SITE INSPECTORS' APPROVAL.
- FOLLOWING AUTHORIZATION FROM THE AGENCY CONSTRUCTION SITE REVIEWER, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES. SEED AND MULCH ALL DISTURBED AREAS.
- THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE. ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.
- THE CONTRACTOR SHALL, AT ALL TIMES, PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.

SEDIMENT AND STORMWATER CONSTRUCTION NOTES

- THE KENT CONSERVATION DISTRICT MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
- THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR THE PURPOSES OF PERIODIC SITE INSPECTION.
- REVIEW AND APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE KENT CONSERVATION DISTRICT.
- FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROPOSED SITE.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- WHENEVER A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
- APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
- POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE KENT CONSERVATION DISTRICT WITHIN 60 DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
- APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- THE NOTICE OF INTENT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER NPDES GENERAL PERMIT FOR THIS PROJECT IS 7069. AT ANY TIME, THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITTEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITIES UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
- THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT.
- BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ONSITE.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
- BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE EMPLOYED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH THE REQUIREMENTS OF 7 DEL.C. 01-60 AND THE CURRENT DELAWARE CONSTRUCTION GENERAL PERMIT (CGP).
- DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN.
- A THIRD PARTY CCR IS REQUIRED FOR THIS PROJECT.
- THE DEPARTMENT OR DELEGATED AGENCY MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS IN THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, OR ALTERNATIVE MEASURES THAT PROVIDE FUNCTIONAL EQUIVALENCY.
- A COPY OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL SITE DEWATERING SHALL BE DONE THROUGH AN APPROVED FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. KCD INSPECTOR MUST APPROVE DEWATERING FILTER PLACEMENT AND USE PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
- SOIL STOCKPILE AREAS MUST BE DELINEATED. LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE. STOCKPILES MUST BE SURROUNDED WITH SILT FENCE OR A STABILIZED EARTHEN BERM. STOCKPILE AREAS MUST BE SEEDED WITH A TEMPORARY SEEDING MIXTURE AND MULCHED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AND INFILTRATION BASIN.
- SHOULD DUST CONTROL BECOME A PROBLEM, THE SITE SHALL BE SPRINKLED WITH WATER.
- NORTH AMERICAN GREEN S75BN EROSION CONTROL MATTING IS TO BE SPECIFIED FOR THIS PROJECT OR EQUIVALENT. DNREC NOW REQUIRES ALL MATTING TO BE BIODEGRADABLE.
- ALL STONE, WITH THE EXCEPTION OF ROCK CHECK DAMS, IS TO BE UNDERLAIN WITH A GEOTEXTILE FABRIC (MIRAFI 600X, WINFAB GS1), OR APPROVED EQUIVALENT PRACTICE.

Church of the Nazarene

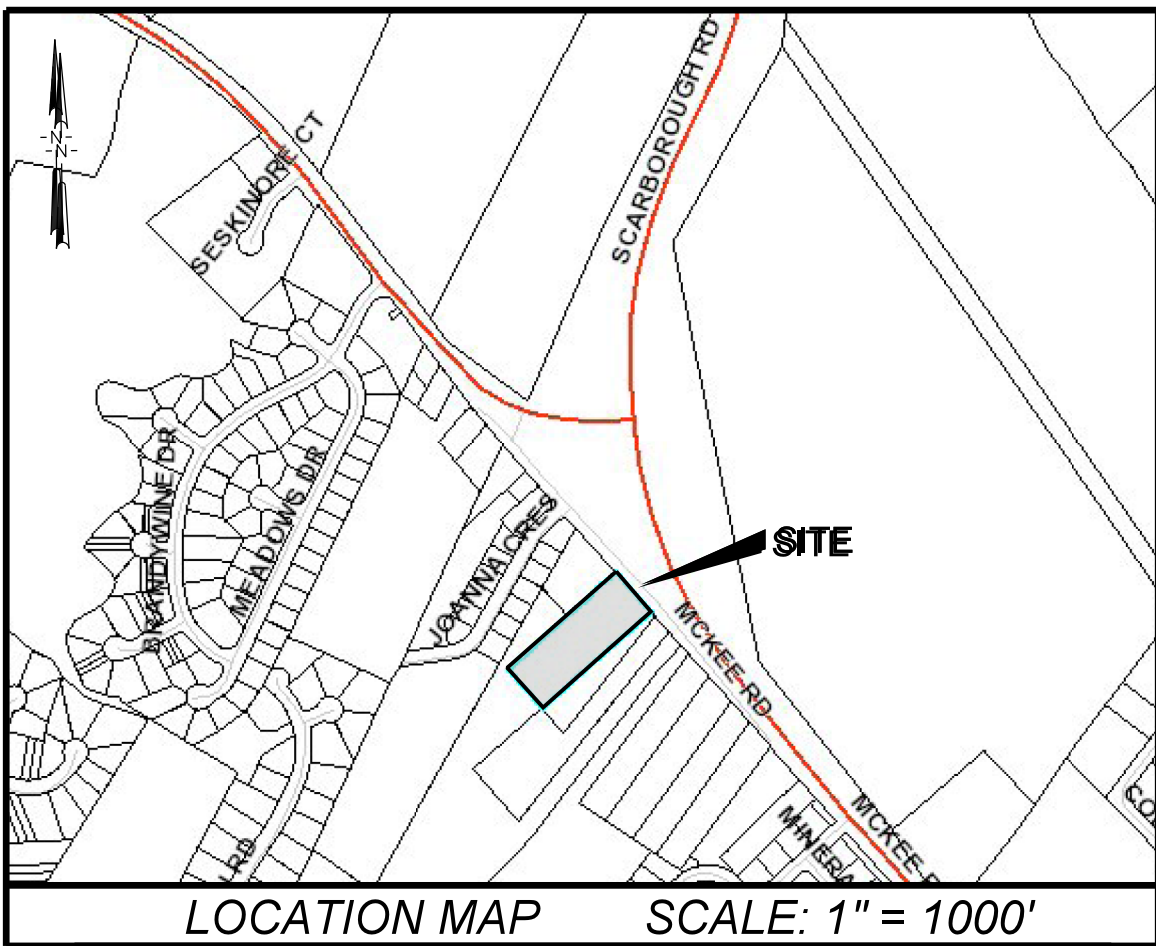
Sediment and Stormwater Management Plan

East Dover Hundred

St Jones River Watershed

Tax Parcel: ED-05-067.00-01-17.00-000

Kent County, Delaware



LEGEND

- | | |
|---------------------------|------------------|
| PROPERTY BOUNDARY | ===== |
| RIGHT-OF-WAY LINE | ----- |
| STREET CENTERLINE | ----- |
| LOT LINE | ----- |
| BUILDING SETBACK LINE | ----- |
| STREAM BUFFER LINE | ----- |
| WETLANDS LINE | ----- |
| WOODS LINE | ----- |
| LOT NUMBER | 23 |
| EXISTING CONTOUR | ----- 26 ----- |
| PROPOSED CONTOUR | ----- (26) ----- |
| EXISTING STORM DRAIN | ===== |
| PROPOSED STORM DRAIN | ===== |
| EXISTING SANITARY SEWER | ----- S ----- |
| EXISTING WATER LINE | ----- W ----- |
| PROPOSED SANITARY SEWER | ----- S ----- |
| PROPOSED WATER LINE | ----- W ----- |
| EXISTING UTILITY POLE | ● |
| EXISTING ROAD SIGN | ⊕ |
| EXISTING SPOT ELEVATION | 26x27 |
| PROPOSED SPOT ELEVATION | (26x27) |
| SILT FENCE | ----- SF ----- |
| SUPER SILT FENCE | ----- SSF ----- |
| SOIL DELINEATION LINE | ----- LOD ----- |
| LIMIT OF DISTURBANCE LINE | ----- LOD ----- |
| INLET PROTECTION TYPE 2 | IP-2 |
| COMPOST FILTER LOG | ----- CFL ----- |

DATA COLUMN

ACREAGE WITHIN BOUNDARIES:	2.70 ACRES
TAX PARCEL NO:	ED-05-067.00-01-17.00-000
CITY OF DOVER PLAN APPLICATION NUMBER:	XX
EXISTING ZONING:	R-8 (ONE FAMILY RESIDENCE) COZ-1 (CORRIDOR OVERLAY ZONE)
EXISTING USE:	CHURCH
PROPOSED USE:	CHURCH
PROPOSED BUILDING GFA:	9,306 S.F. (TOTAL) 4,653 S.F. (FIRST FLOOR) 4,653 S.F. (BASEMENT)
EXISTING PARKING:	36 SPACES
PARKING REQUIRED:	44 SPACES (176 SEATS)(1 SP/4 SEATS) = 44 SPACE
PARKING PROVIDED:	53 SPACES (2 HANDICAP)
BUILDING SETBACKS:	50' FRONT 25' SIDE 25' REAR
BUILDING CONSTRUCTION TYPE:	TYPE II (000) METAL & MASONRY
MAXIMUM BUILDING HEIGHT:	35 FEET
PROPOSED BUILDING HEIGHT:	10 FEET
MAXIMUM BUILDING COVERAGE:	20%
PROPOSED BUILDING COVERAGE:	4.5% (5,270 S.F.)
EXISTING IMPERVIOUS COVERAGE:	11.7% (13,800 S.F.)
PROPOSED IMPERVIOUS COVERAGE:	6.1% (7,200 S.F.)
TOTAL IMPERVIOUS COVERAGE:	17.8% (21,000 S.F.)
VERTICAL DATUM:	NAVD88
HORIZONTAL DATUM:	NAD83
AREA IN WOODLANDS:	1.7 ACRES
APPROXIMATE WETLAND AREA:	0 ACRES
STORMWATER MANAGEMENT AREA:	0 ACRES
PERMANENT MONUMENTS FOUND:	2 (IP) 1 (CMP)
PERMANENT MONUMENTS PLACED:	0
WATER SERVICE:	CITY OF DOVER
SEWER SERVICE:	CITY OF DOVER
INVESTMENT LEVEL AREA:	4
PERCENT SLOPE:	1% TO 4%
POSTED SPEED LIMIT:	25 MPH (MCKEE ROAD)
STORMWATER MANAGEMENT AREA:	0.15 ACRES
SITE BENCHMARK:	EXISTING MH RIM MH RIM ELEV=45.19
SITE AREA LIMIT OF DISTURBANCE:	1.2 ACRES
SITE LATITUDE & LONGITUDE:	39.108292, -75.543242
PROPOSED DISCHARGE LOCATION:	POROUS PAVEMENT FACILITY
LIMIT OF DISTURBANCE AT DISCHARGE LOCATION:	1.2 ACRES
OWNER OF RECORD:	WASHINGTON DISTRICT ADVISORY BOARD CHURCH OF THE NAZARENE PO BOX 327 FREDERICA, DE 19946
SITE ADDRESS:	1430 MCKEE ROAD DOVER, DE 19904

SHEET INDEX

- | | |
|-------------|---------------------------------------|
| SHEET KCD-1 | SEDIMENT & STORMWATER COVER SHEET |
| SHEET KCD-2 | SEDIMENT & STORMWATER MANAGEMENT PLAN |
| SHEET KCD-3 | SEDIMENT AND STORMWATER DETAILS |
| SHEET KCD-4 | SEDIMENT AND STORMWATER DETAILS |

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE STATE AND LOCAL REGULATIONS AND ORDINANCES.

KEVIN R. MINNICH, PROFESSIONAL ENGINEER MINNICH ENGINEERING & LAND PLANNING INC. 868 GREENWOOD ROAD GREENWOOD, DE 19850 (302) 697-2239 VOICE krminnich@comcast.net	DATE
---	------

OWNER'S CERTIFICATION:

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT, AS REFERENCED ON THIS COVER SHEET.

WASHINGTON DISTRICT ADVISORY BOARD
CHURCH OF THE NAZARENE
DANIEL ADJOY
PO BOX 327
FREDERICA, DE 19946
DANIEL_ADJ@YAHOO.COM

M

E

Minnich

Engineering & Land Planning

Designing Quality Not Quantity

868 Greenwood Road - Greenwood, DE 19950

(302) 697-2239 - (302) 349-5381

REVISIONS:

PROJECT NO: 21-203 || DGN FILE: 21-203

COVER SHEET

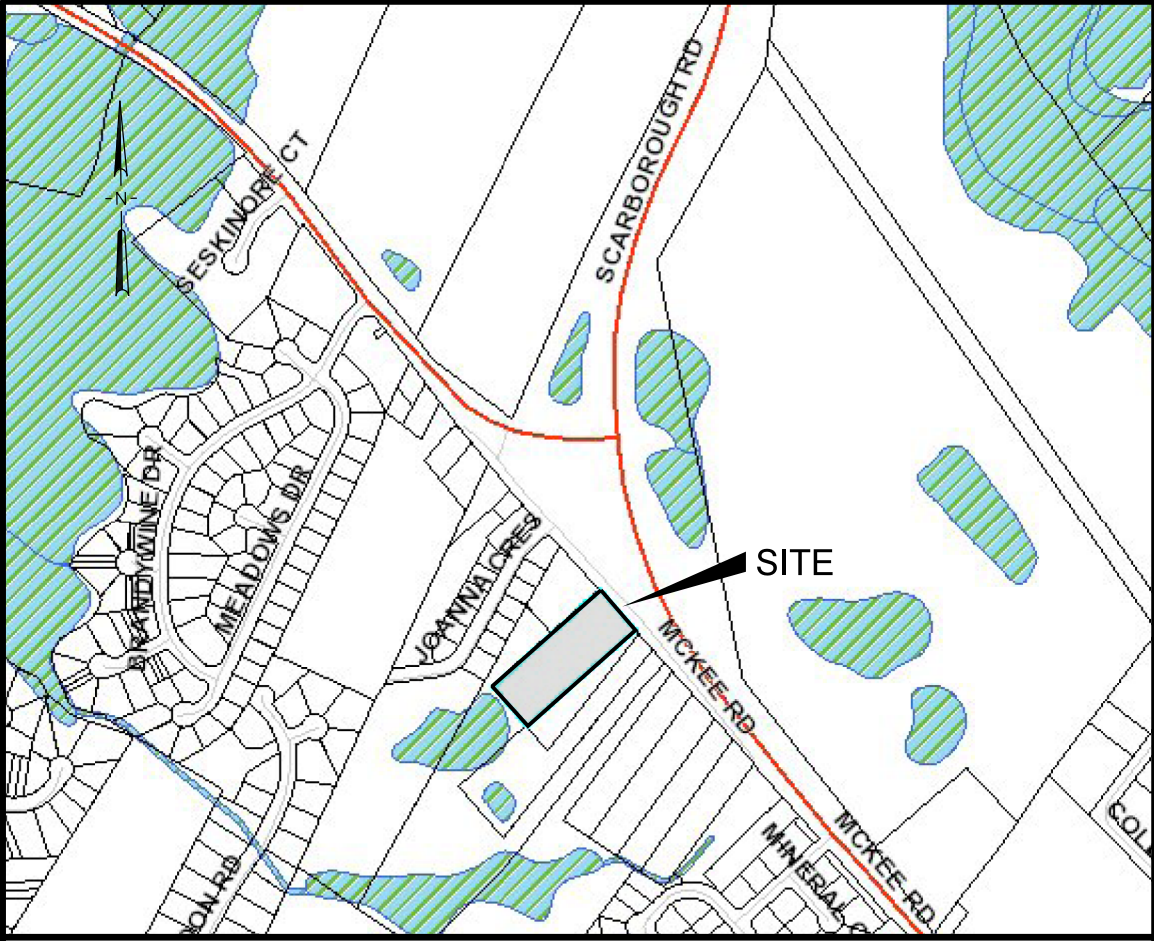
CHURCH OF THE NAZARENE

SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0204080

SCALE: 1" = 40'

DATE: 07/05/24 || SHT: KCD-1



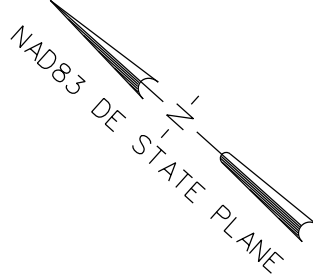
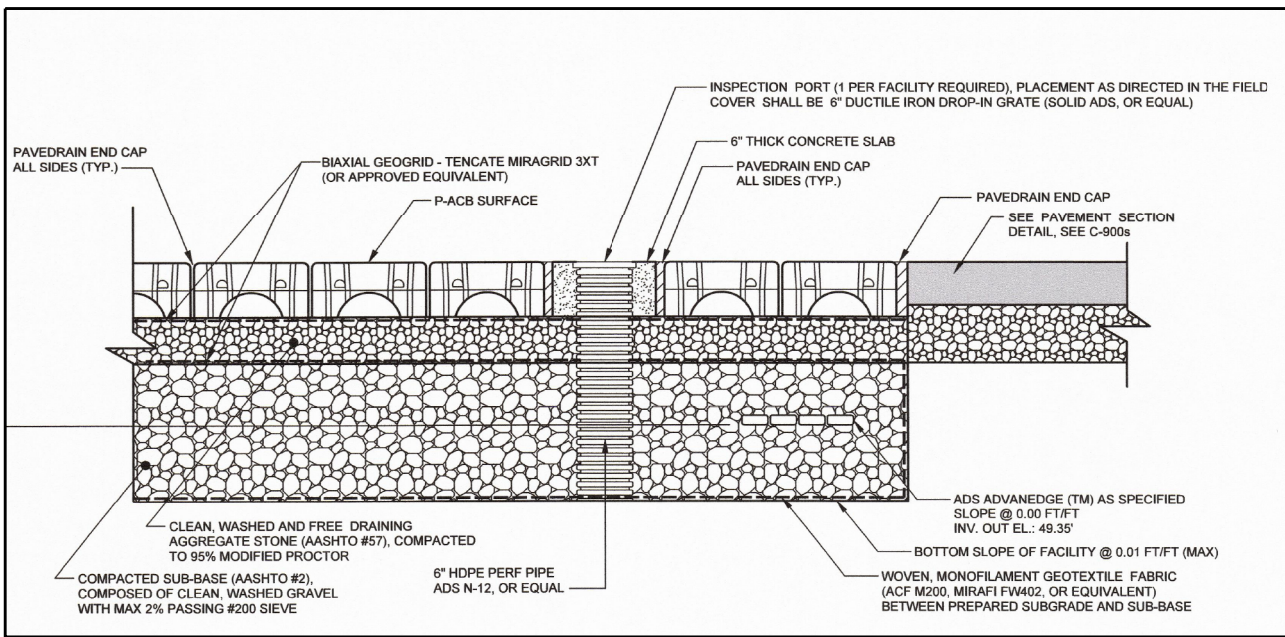
STATE WETLANDS MAP SCALE: 1" = 1000'

GENERAL NOTES

- THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED ON A FIELD SURVEY AS PERFORMED BY CLIFTON L. BAKSH, JR., INC.
- THIS PROPERTY IS NOT IMPACTED BY WETLANDS REGULATED BY THE STATE OF DELAWARE OR THE U.S. ARMY CORPS OF ENGINEERS.
- THIS PROPERTY IS NOT IMPACTED BY THE 100 YEAR FLOOD BOUNDARY AS DEPICTED ON THE FEMA MAP COMMUNITY PANEL NUMBER 10001C0166H DATED MAY 5, 2003.
- THIS PROPERTY IS NOT IMPACTED BY THE DOVER AIR FORCE BASE AIR INSTALLATION COMPATIBLE USE ZONE.
- NO NEW EASEMENTS ARE CREATED BY THIS PLAN.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH BEST AVAILABLE INFORMATION AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND ALLOW FOR THEIR LOCATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY AND ALL DAMAGES DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- NOTIFY MISS UTILITY 48 HOURS PRIOR TO ANY EXCAVATION AT (800) 282-8555
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE KENT CONSERVATION DISTRICT.
- THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY, OR DELETE ANY EROSION OR SEDIMENT CONTROL MEASURE AS IT DEEMS NECESSARY.
- ALL ENTRANCES SHALL CONFORM TO DELDOT'S DEVELOPMENT COORDINATION MANUAL (DCM) AND SHALL BE SUBJECT TO ITS APPROVAL.
- SHRUBBERY, PLANTINGS, SIGNS AND/OR OTHER VISUAL BARRIERS THAT COULD OBSTRUCT THE SIGHT DISTANCE OF A DRIVER PREPARING TO ENTER THE ROADWAY ARE PROHIBITED WITHIN THE DEFINED DEPARTURE SIGHT TRIANGLE AREA ESTABLISHED ON THIS PLAN. IF THE ESTABLISHED DEPARTURE SIGHT TRIANGLE AREA IS OUTSIDE THE RIGHT-OF-WAY OR PROJECTS ONTO AN ADJACENT PROPERTY OWNER'S LAND, A SIGHT EASEMENT SHOULD BE ESTABLISHED AND RECORDED WITH ALL AFFECTED PROPERTY OWNERS TO MAINTAIN THE REQUIRED SIGHT DISTANCE.
- NO ENTRANCES ARE APPROVED TO BE CONSTRUCTED BY THIS PLAN.
- NO IDENTIFIED TRANSPORTATION IMPROVEMENT DISTRICTS IN THE VICINITY.
- MONUMENTATION FOR THE DEDICATED RIGHT OF WAY CREATED BY THIS PLAN TO BE IN ACCORDANCE WITH DELDOT'S STANDARD DETAIL M-2(2011).
- IF THE RESIDUAL LANDS OF THE APPLICANT ARE EVER DEVELOPED INTO A MAJOR SUBDIVISION, THEN ACCESS TO THE PARCELS CREATED BY THIS MINOR SUBDIVISION PLAN MAY BE REQUIRED TO BE FROM AN INTERNAL SUBDIVISION STREET.

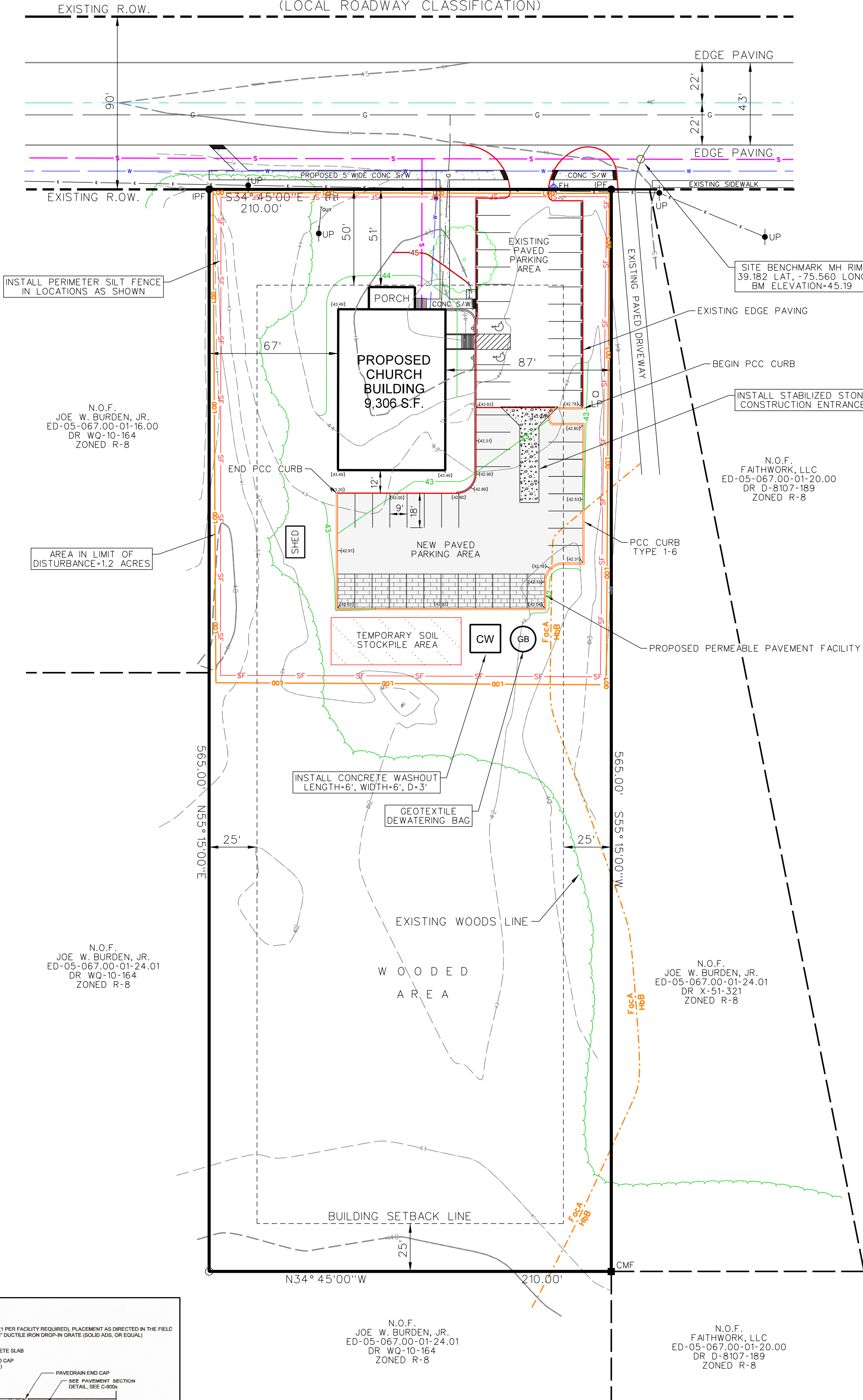
LEGEND

PROPERTY BOUNDARY	
RIGHT-OF-WAY LINE	
LOT LINE	
BUILDING SETBACK LINE	
TREE LINE	
LOT NUMBER	
EXISTING CONTOUR	
TEST PIT LOCATION	
APPROVED SOILS LINE	
EXISTING UTILITY POLE	
OVERHEAD ELECTRIC LINE	
WETLAND DELINEATION LINE	
WETLAND BUFFER LINE	
BLUE LINE STREAM BUFFER	
100 YEAR FLOOD PLAIN	
TAX DITCH ROW LINE	
CONCRETE MONUMENT FOUND	
CAPPED PIN SET	



MCKEE ROAD (KCR 156A)

(LOCAL ROADWAY CLASSIFICATION)



SOILS DESCRIPTION

FacA—Fallsington sandy loams, 0 to 2 percent slopes, Mid-Atlantic Coastal Plain

Map Unit Setting

National map unit symbol: 2496z
Elevation: 40 to 50 feet
Mean annual precipitation: 42 to 48 inches
Mean annual air temperature: 52 to 58 degrees F
Frost-free period: 180 to 220 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Fallsington, undrained, and similar soils: 48 percent
Fallsington, drained, and similar soils: 25 percent
Minor components: 25 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

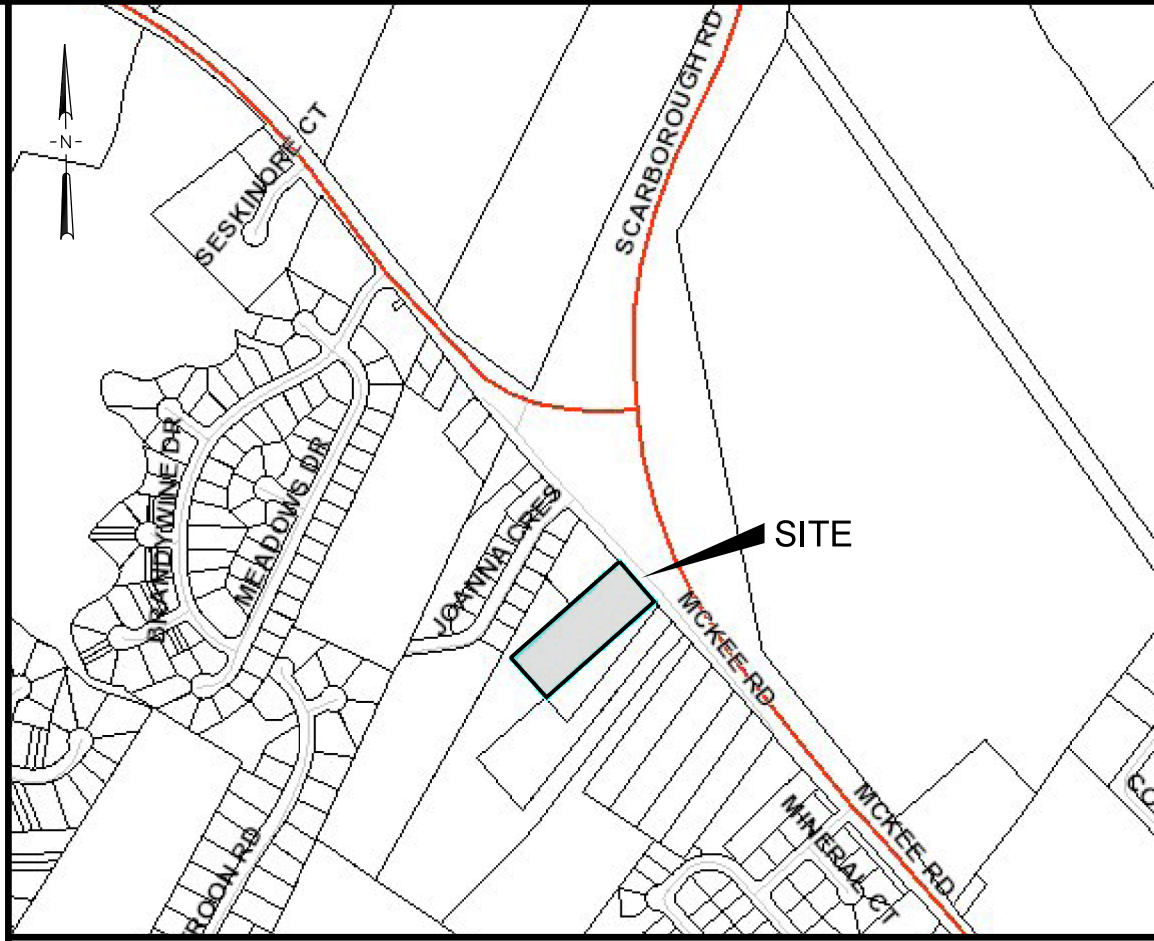
Description of Fallsington, Undrained

Setting

Landform: Depressions, flats, drainageways, swales
Landform position (three-dimensional): Dip, tail
Down-slope shape: Concave, linear
Across-slope shape: Concave, linear
Parent material: Loamy fluviomarine deposits

Typical profile

Oe - 0 to 2 inches: mucky peat
A - 2 to 10 inches: sandy loam
Bg - 10 to 32 inches: sandy clay loam
Bg - 32 to 39 inches: loamy sand
Cg1 - 39 to 46 inches: sandy clay loam
Cg2 - 46 to 80 inches: sand



LOCATION MAP SCALE: 1" = 1000'

DATA COLUMN

ACREAGE WITHIN BOUNDARIES:	2.70 ACRES
TAX PARCEL NO:	ED 05-067.00-01-17.00-000
CITY OF DOVER PLAN APPLICATION NUMBER:	XX
EXISTING ZONING:	R-8 (ONE FAMILY RESIDENCE) COZ-1 (CORRIDOR OVERLAY ZONE)
EXISTING USE:	CHURCH
PROPOSED USE:	CHURCH
PROPOSED BUILDING GFA:	9,306 S.F. (TOTAL) 4,653 S.F. (FIRST FLOOR) 4,653 S.F. (BASEMENT)
EXISTING PARKING:	36 SPACES
PARKING REQUIRED:	44 SPACES (176 SEATS)(1 SP/4 SEATS) = 44 SPACE
PARKING PROVIDED:	53 SPACES (2 HANDICAP)
BUILDING SETBACKS:	50' FRONT 25' SIDE 25' REAR
BUILDING CONSTRUCTION TYPE:	TYPE II (000) METAL & MASONRY
MAXIMUM BUILDING HEIGHT:	35 FEET
PROPOSED BUILDING HEIGHT:	20 FEET
MAXIMUM BUILDING COVERAGE:	20%
PROPOSED BUILDING COVERAGE:	4.5% (5,270 S.F.)
EXISTING IMPERVIOUS COVERAGE:	11.7% (13,800 S.F.)
PROPOSED IMPERVIOUS COVERAGE:	6.1% (7,200 S.F.)
TOTAL IMPERVIOUS COVERAGE:	17.8% (21,000 S.F.)
VERTICAL DATUM:	NAVD88
HORIZONTAL DATUM:	NAD83
AREA IN WOODLANDS:	1.7 ACRES
APPROXIMATE WETLAND AREA:	0 ACRES
STORMWATER MANAGEMENT AREA:	0.15 ACRES
PERMANENT MONUMENTS FOUND:	2 (IPF) 1 (CMF)
PERMANENT MONUMENTS PLACED:	0
WATER SERVICE:	CITY OF DOVER
SEWER SERVICE:	CITY OF DOVER
INVESTMENT LEVEL AREA:	4
PERCENT SLOPE:	1% TO 4%
POSTED SPEED LIMIT:	25 MPH (MCKEE ROAD)
OWNER OF RECORD:	HAITIAN CHURCH OF THE NAZARENE 1430 MCKEE ROAD DOVER, DE 19904



REVISIONS:

PROJECT NO: 21-203	DGN FILE: 21-203

SEDIMENT & STORMWATER MANAGEMENT PLAN

CHURCH OF THE NAZARENE

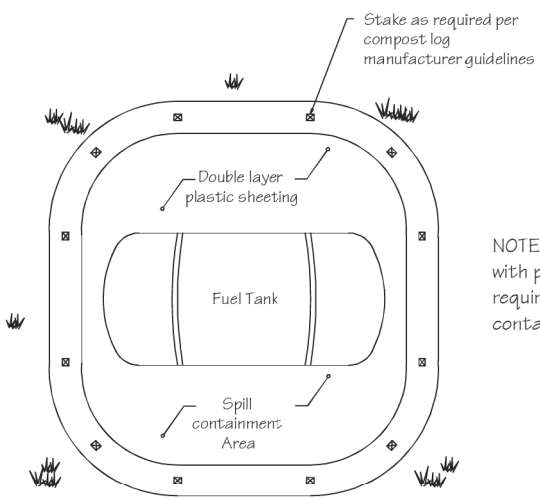
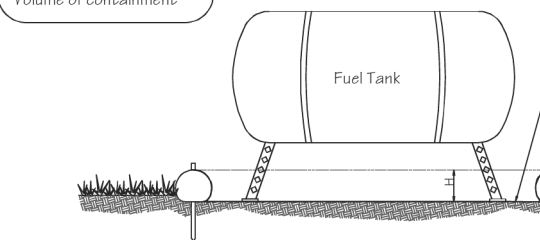
SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

0 20 40 80

DATE: 07/05/24 SCALE: 1" = 40' SHT: KCD-2

Standard Detail & Specifications
Fueling & Spill Control

DATA TO BE PROVIDED:
Volume of Potential Pollution
Height of containment
Area of containment
Volume of containment



NOTE: Double-walled tanks with proper labeling meet EPA requirements for secondary containment.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.4 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications
Fueling & Spill Control

Pollution Prevention – Fueling & Spill Control

- Fueling should only take place in signed designated areas, away from downstream drainage facilities and watercourses.
- Fueling must be with nozzles equipped with automatic shut-off to control drips. Do not top off.
- Protect the areas where equipment or vehicles are being repaired, maintained, fueled or parked from storm water run-on and runoff.
- Use barriers such as berms to prevent storm water run-on and runoff, and to contain spills.
- Place a "Fueling Area" sign next to each fueling area.
- Store hazardous materials such as fuel, solvents, oil and chemicals in secondary containment.
- Inspect vehicles and equipment for leaks on each day of use. Repair fluid and oil leaks immediately.
- Absorbent spill clean-up materials and spill kits must be available in fueling areas and on fuel trucks.
- If fueling is to take place at night, make sure the fueling area is sufficiently illuminated.
- Properly dispose of used oil, fluids, lubricants and spill clean-up materials.

CLEAN UP SPILLS

- If it is safe to do so, immediately contain and clean up any chemical and/or hazardous material spills.
 - Properly dispose of used oil, fluids, lubricants and spill clean-up materials.
 - Do not bury spills or wash them down with water.
- LEAKS AND DRIPS
- Use drip pans or absorbent pads at all times. Place under and around leaky equipment.
 - Do not allow oil, grease, fuel or chemicals to drip onto the ground.
 - Have spill kits and clean up material on-site.
 - Repair leaky equipment promptly or remove problem vehicles and equipment from the site. Clean up contaminated soil immediately.
 - Store contaminated waste in sealed containers constructed of suitable material. Label these containers properly.
 - Clean up all spills and leaks. Promptly dispose of waste and spent clean up materials.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.4 Sheet 2 of 2 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Delaware NPDES Discharge Permit

General Permit for Discharge of Stormwater from Construction Activities

((Project Name))
((NOI Permit Number))
((Agency Plan Approval ID))
((Contact Name & Number for Additional Site Information))
((Contact Name & Number to Obtain Copy of Approved Plan))

If you observe indicators of stormwater pollutants in the discharge or in the receiving waterbody, call the DNREC Spill Notification 24 HR Hotline at

1-800-662-8802

Example Construction General Permit (CGP) Signature

NOTE:
1. Minimum sign size 2' x 2'
2. Minimum text size 1"
3. Sign must be posted at a safe, publicly accessible location close to construction site
4. Signs must be visible from the public road nearest the active construction site
5. Signs posted within a DelDOT or other public road right-of-way (ROW) must be in accordance with all local and/or State requirements in regards to safety, location, orientation, etc.

Source:	Symbol:	Detail No.
Delaware ESC Handbook		DE-ESC-3.6.1 Sheet 1 of 4 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes:

The Construction Site Pollution Prevention Plan includes the following elements:

1. Material Inventory

Document the storage and use of the following materials:

- Concrete
- Detergents
- Paints (enamel and latex)
- Cleaning solvents
- Pesticides
- Fertilizers
- Petroleum based products

2. Good housekeeping practices

- Store only enough product required to do the job.
- Store all materials in a neat, orderly manner in their original labeled containers and covered.
- Do not mix different substances.
- When possible, use all of a product prior to disposal of the container.
- Manufacturers' instructions for disposal should be strictly adhered to.
- Designate someone to inspect all BMPs daily.

3. Waste management practices

- Collect and store all waste materials in securely lidded dumpsters in a location that does not drain to a waterbody.
- Salvage and/or recycle waste materials whenever possible.
- The dumpsters shall be emptied a minimum of twice per week, or more if necessary. The licensed trash hauler is responsible for cleaning out dumpsters.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 2 of 4 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes (cont.)

- Dispose of all trash in accordance with all applicable Delaware laws.
 - Littering is strictly prohibited. Trash cans should be placed at all lunch spots and recycle bins should be placed near the construction trailer.
 - If fertilizer bags can not be stored in a weather-proof location, they should be kept on a pallet and covered with plastic sheeting which is overlapped and anchored.
4. Equipment maintenance practices
- If possible, equipment should be taken to off-site commercial facilities for washing and maintenance.
 - If performed on-site, wash vehicles with high-pressure water spray without detergents in an area contained by an impervious berm.
 - Use drip pans for all equipment maintenance.
 - Inspect equipment for leaks on a daily basis.
 - Direct washout from concrete trucks into a temporary pit for hardening and proper disposal.
 - Equip fuel nozzles with automatic shut-off valves.
 - Dispose of all used products such as oil, antifreeze, solvents and tires in accordance with manufacturers' recommendations and local, state and federal laws and regulations.
5. Spill prevention practices
- Identify potential spill areas and contain them in covered areas with no connection to the storm drain system.
 - Post warning signs in hazardous material storage areas.
 - Perform preventive maintenance on all tanks, valves, pumps, pipes and other equipment as necessary.
 - Prioritize low or non-toxic substances for use.

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 3 of 4 Effective July 2023

Standard Detail & Specifications
Construction Site Pollution Prevention

Notes (cont.)

- Prominently post contact information for reporting spills through the DNREC 24-Hour Toll Free Number.
6. Education
- Include Best Management Practices (BMPs) for construction site pollution control as part of regular progress meetings.
 - Information regarding waste management, equipment maintenance and spill prevention should be prominently posted in the construction trailer.

CONTACT INFORMATION

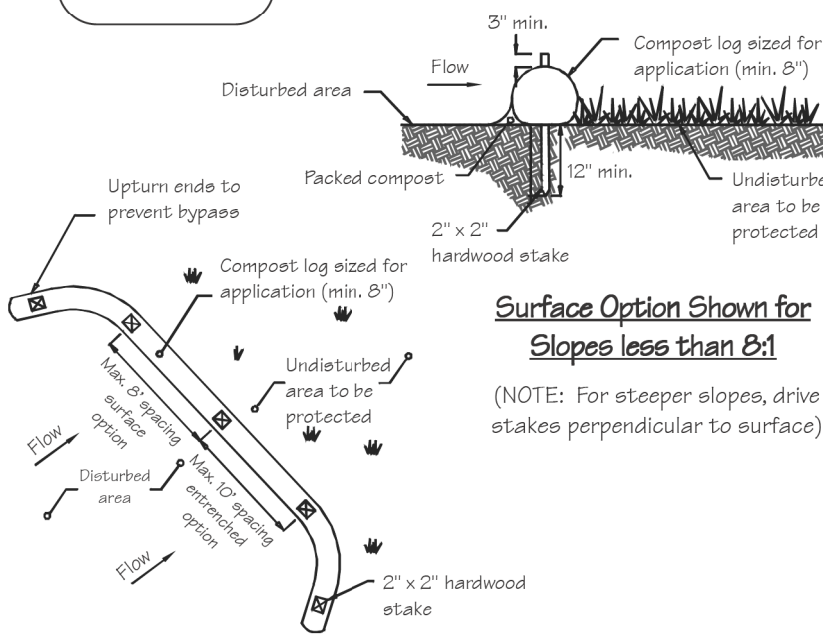
DNREC 24-Hour Toll Free Number 800-662-8802
DNREC Solid & Hazardous Waste Management Section 302-739-9403

Source:	Symbol:	Detail No.
Adapted from USEPA Pub. 840-B-92-002		DE-ESC-3.6.1 Sheet 4 of 4 Effective July 2023

Standard Detail & Specifications
Compost Filter Log

DATA

Log diameter (D)
Sock Material



NOTE: Manufacturer's recommendations supersede any installation details shown for this practice

Source:	Symbol:	Detail No.
Adapted from MD Stds & Specs for ESC & Filtrix™ International	CFL	DE-ESC-3.1.7 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications
Compost Filter Log

Construction Notes:

- Prior to installation, clear bedding area of obstructions including rocks or debris larger than 1 inch and fill in any sharp depression areas.
- If socks are prepared on-site, fill the sock fabric using a pneumatic blower so that the logs are rigid and do not deform. Terminate at the desired length.
- For trenched applications, excavate 2 to 4 inches below grade along the width and length of the compost filter log.
- Install the compost filter logs perpendicular to the flow direction and parallel to the slope with the beginning and end of the installation pointing up the slope a minimum of 1 foot elevation difference. On sites where this is not possible, upturn at a minimum length of 10' at a 30 degree angle to prevent runoff bypass.
- For untrenched applications, blow or hand pack soil, mulch, or compost on the upslope side of the log, filling the bottom void area.
- Stake the filled log every 10 feet maximum through the center of the sock for trenched applications, or every 8 feet for untrenched. The stake shall be a 2" by 2" hardwood. It should extend 12" below grade and protrude at least 3" above the top of the sock. If located on a slope greater than 8:1, the stake shall be angled downslope at a 45 degree angle to prevent the force of the water from dislodging to log.
- When the length of the compost filter log needed exceeds the available compost filter sock length, the next sock shall be overlapped a minimum of 12" before being filled, and a stake placed through both socks at the overlap.
- Remove accumulated sediment when it has reached half of the effective height of the log.
- Inspect weekly and after rain event. If sock is degrading or the sock is failing, vegetation to secure the compost, replace the log, or reinforce with an additional log. If the log has been crushed due to construction equipment, it can be "fluffed" back to its effective height. If the effective height can no longer be restored, the log shall be replaced or reinforced with an additional compost filter log.

Source:	Symbol:	Detail No.
Adapted from MD Stds & Specs for ESC & Filtrix™ International	CFL	DE-ESC-3.1.7 Sheet 2 of 2 Effective July 2023

Standard Detail & Specifications
Topsoiling

Construction Notes:

- Site Preparation (Where Topsoil is to be added)

Note: When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, waterways and sediment basins.

- Grading - Grades on the areas to be topsoiled which have been previously established shall be maintained.
- Liming - Where the topsoil is either highly acid or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet). Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- Tilling - After the areas to be topsoiled have been brought to grade, and immediately prior to dumping and spreading the topsoil, the subgrade shall be loosened by discing or by scarifying to a depth of at least 3 inches to permit bonding of the topsoil to the subsoil. Pack by passing a bulldozer up and down over the entire surface area of the slope to create horizontal erosion check slots to prevent topsoil from sliding down the slope.

2. Topsoil Material and Application

Note: Topsoil salvaged from the existing site may often be used but it should meet the same standards as set forth in these specifications. The depth of topsoil to be salvaged shall be no more than the depth described as a representative profile for that particular soil type as described in the soil survey published by USDA-SCS in cooperation with Delaware Agricultural Experimental Station.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 1 of 2 Effective July 2023

Standard Detail & Specifications
Topsoiling

Construction Notes (cont.)

- Materials - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand or other soil as approved by an agronomist or soil scientist. It shall not have a mixture of contrasting textured subsoil and contain no more than 5 percent by volume of cinders, stones, slag, coarse fragment, gravel, shales, rocks, trash or other extraneous materials larger than 1 1/2 inches in diameter. Topsoil must be free of plants or plant parts of bermudagrass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistles, or others as specified. All topsoil shall be tested by a reputable laboratory for organic matter content, pH and soluble salts. A pH of 5.0 to 7.5 and an organic content of not less than 1.5 percent by weight is required. If pH value is less than 6.0 lime shall be applied and incorporated with the topsoil to adjust the pH to 6.5 or higher. Topsoil containing soluble salts greater than 500 parts per million shall not be used.

Note: No sod or seed shall be placed on soil which has been treated with soil sterilant or chemicals used for weed control until sufficient time has elapsed to permit dissipation of toxic materials.

- Grading - The topsoil shall be uniformly distributed and compacted to a minimum of four (4) inches. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

Note: Topsoil substitutes or amendments as approved by a qualified agronomist or soil scientist, may be used in lieu of natural topsoil. Compost material used to improve the percentage of organic matter shall be provided by a certified supplier.

Compost amendments that are intended to meet specific post-construction stormwater management goals shall further meet the requirements of Appendix 3.06.2 Post Construction Stormwater Management BMP Standards and Specifications, Section 14.0 Soil Amendments.

Source:	Symbol:	Detail No.
USDA - NRCS		DE-ESC-3.4.1 Sheet 2 of 2 Effective July 2023



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REVISIONS:

PROJECT NO: 21-203	DGN FILE: 21-203

SEDIMENT & EROSION
CONTROL DETAILS
CHURCH OF THE
NAZARENE

SITUATE IN: EAST DOVER HUNDRED - CITY OF DOVER, DELAWARE

DATE: 07/05/24

NOT TO SCALE

SHT: KCD-4