

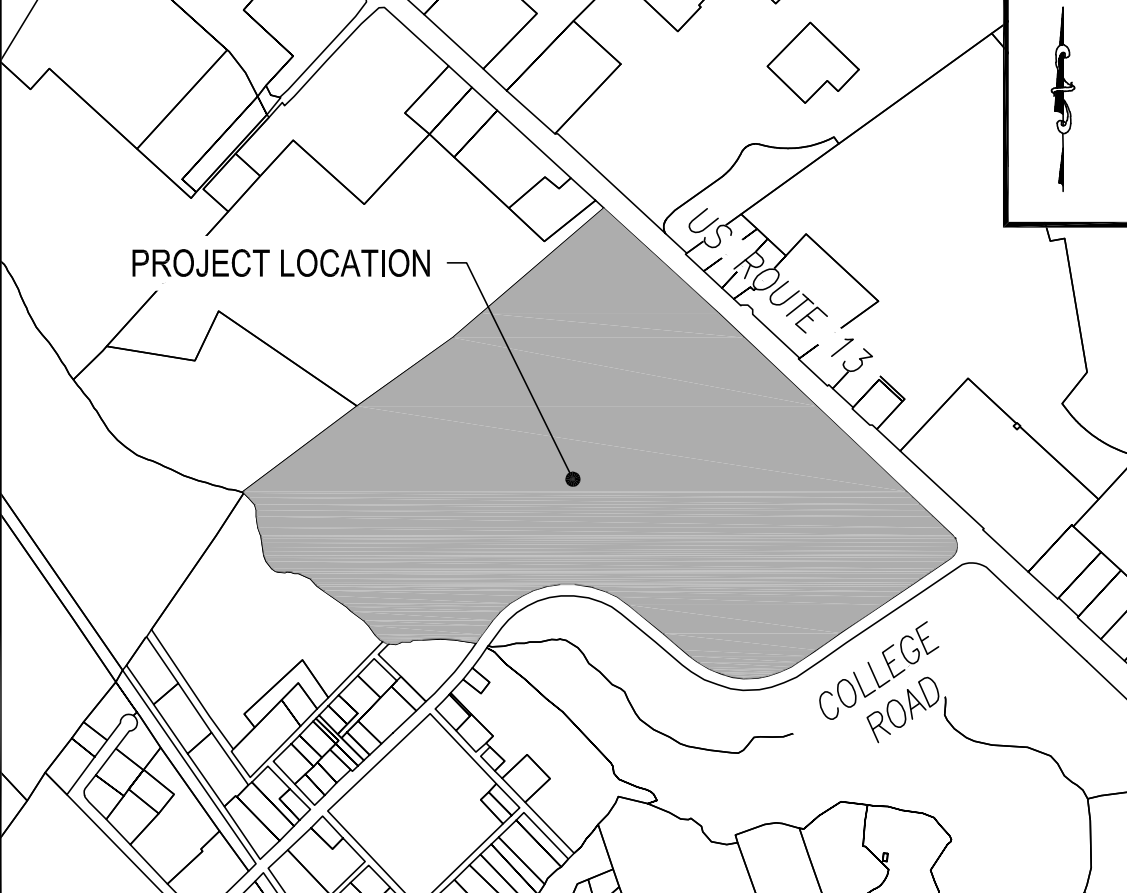


C:\Projects\2023\2855\001X_0501 - ECIC\CAD\DWG\Sheet\200_Cover.dwg, 5/20/2023 9:47 AM

- SEQUENCE OF CONSTRUCTION
1. NOTIFY THE DNREC IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN.
 2. PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES, OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED. THE LANDOWNER/DEVELOPER AND CONTRACTOR ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE ENGINEER IS RECOMMENDED TO ATTEND.
 3. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.
 4. CLEAR AND GRUB AS REQUIRED TO INSTALL STABILIZED CONSTRUCTION ENTRANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCE. CLEAR AND GRUB TO INSTALL SILT FENCE. INSTALL SILT FENCE.
 5. ALL PERIMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CONSTRUCTION SITE REVIEWER AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION.
 6. CLEAR AND GRUB AREAS WITHIN THE LIMIT OF DISTURBANCE.
 7. REMOVE CONCRETE SIDEWALKS AS SHOWN ON THE PLAN.
 8. INSTALL SITE POLLUTION PREVENTION DEVICES PER DNREC STANDARD DETAILS & SPECIFICATIONS, INCLUDING CONCRETE WASHOUT.
 9. INSTALL FENCING AROUND EXISTING TRANSFORMERS.
 10. CONSTRUCT NEW ECIC BUILDING. INSTALL UTILITY CONNECTIONS.
 11. CONSTRUCT NEW SIDEWALKS AND WALKING PATHS.
 12. INSTALL PLAYGROUND EQUIPMENT AND LANDSCAPING.
 13. CLEAR AREAS AS NEEDED WITHIN LOC.
 14. MILL AND OVERLAY EXISTING PARKING LOT AND PERFORM ROUGH GRADING PROJECT WIDE.
 15. PERFORM FINAL SITE GRADING. SEED AND STABILIZE ALL DISTURBED AREAS.
 16. EROSION & SEDIMENT CONTROL DEVICES SHALL BE REMOVED ONLY AFTER WORK IN AN AREA HAS BEEN COMPLETED AND STABILIZED, WITH WRITTEN APPROVAL FROM THE OWNER.

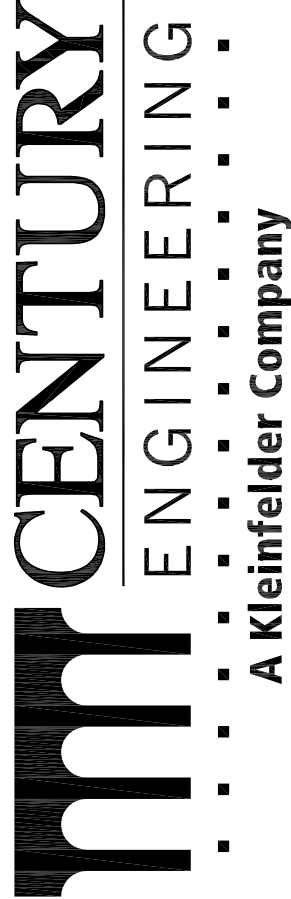
INDEX OF SHEETS

C200	COVER SHEET
C201	LEGEND
C202	GENERAL PROJECT NOTES
C203	EXISTING CONDITIONS & DEMOLITION PLAN
C204	SITE LAYOUT PLAN
C205	WALKING PATH LAYOUT PLAN
C206	CONSTRUCTION DETAILS
C207	GRADES & GEOMETRICS
C208	SIGNING & STRIPING
C209	UTILITY PLAN
C210	LIGHTING PLAN
C211	FIRE MARSHAL PLAN
C212	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C213	EROSION AND SEDIMENT CONTROL DETAILS
C214	EROSION AND SEDIMENT CONTROL DETAILS
C215	EROSION AND SEDIMENT CONTROL DETAILS
C216	EROSION AND SEDIMENT CONTROL DETAILS
LS101	LANDSCAPE AND PLAYGROUND PLAN
LS102	LANDSCAPE DETAILS
LS103	PLAYGROUND EQUIPMENT DETAILS
LS104	PLAYGROUND EQUIPMENT DETAILS



LOCATION MAP		SCALE: 1" = 1200'
DATA COLUMN		
1. COUNTY TAX MAP:	ED-05-057.00-01-21.00	
2. ADDRESS OF SITE:	1200 N. DUPONT HIGHWAY DOVER, DE 19901	
3. ZONING:	EXISTING: IO (INSTITUTIONAL/OFFICE) PROPOSED: IO (INSTITUTIONAL/OFFICE)	
4. PARCEL AREA:	213.60± ACRES	
5. PROJECT AREA:	1.452± ACRES	
6. SOURCE OF TITLE:	D.R. H-11-113	
7. EXISTING USE:	COLLEGE/UNIVERSITY	
8. PROPOSED USE:	COLLEGE/UNIVERSITY	
9. DATUM:	VERTICAL - NAVD83 HORIZONTAL - NAD27	
10. FLOOD PLAIN MAP:	PER FIRM MAP NUMBER 10001C0166H, DATED MAY 5, 2003; THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.	
11. PURPOSE OF PLAN:	THE PURPOSE OF THIS PLAN IS FOR CONSTRUCTION OF A NEW 14,512± S.F. ECIC BUILDING AND ASSOCIATED IMPROVEMENTS.	
12. DEBRIS DISPOSAL:	NO DEBRIS SHALL BE BURIED ON THE SITE. ANY BURIED DEBRIS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.	
13. TOPOGRAPHY:	TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PERFORMED BY CENTURY ENGINEERING, LLC, OCTOBER 2022.	
14. BOUNDARY SURVEY:	NO BOUNDARY SURVEY WAS PERFORMED NOR REQUESTED.	
15. TOTAL LAND DISTURBANCE:	THE TOTAL LAND DISTURBANCE PROPOSED BY THIS PLAN IS 0.78± ACRES.	
16. LIMITS OF CONSTRUCTION:	THE TOTAL LIMITS OF CONSTRUCTION FOR THE SITE IS 0.78± ACRES.	
17. WETLANDS:	NO SITE INVESTIGATION WAS PERFORMED NOR REQUESTED.	
18. WATER SUPPLY:	CITY OF DOVER	
19. SANITARY SEWER:	CITY OF DOVER	
20. OWNER/EQUITABLE OWNER:	KHALID ZERRAD DELAWARE STATE UNIVERSITY 1200 N. DUPONT HIGHWAY DOVER, DE 19901 (302) 734-9188 ALEXANDER E. SCHMIDT, P.E.	
21. ENGINEER:	CENTURY ENGINEERING, LLC. 550 BAY ROAD DOVER, DE 19901 (302) 734-9188 ALEXANDER E. SCHMIDT, P.E.	
IMPERVIOUS BREAKDOWN		
EXISTING	PROPOSED	
BUILDING: 17,147.71 S.F. (0.393 ACRES)	BUILDING: 11,336.16 S.F. (0.260 ACRES)	
ASPHALT/CONC.: 23,965.80 S.F. (0.550 ACRES)	ASPHALT/CONC.: 19,965.35 S.F. (0.458 ACRES)	
TOTAL: 41,113.51 S.F. (0.943 ACRES)	TOTAL: 31,301.51 S.F. (0.718 ACRES)	
PROJECT AREA % IMPERVIOUS: 0.943/1.452 = 64.9%	PROJECT AREA % IMPERVIOUS: 0.718/1.452 = 49.4%	
SITE AREA BREAKDOWN		
EXISTING	PROPOSED	
BUILDING: 17,147.71 S.F. (0.393 ACRES)	BUILDING: 11,336.16 S.F. (0.260 ACRES)	
ASPHALT/CONC.: 23,965.80 S.F. (0.550 ACRES)	ASPHALT/CONC.: 19,965.35 S.F. (0.458 ACRES)	
OPEN SPACE: 22,172.04 S.F. (0.508 ACRES)	OPEN SPACE: 31,873.04 S.F. (0.734 ACRES)	
TOTAL: 63,285.55 S.F. (1.452 ACRES)	TOTAL: 63,285.55 S.F. (1.452 ACRES)	

CERTIFICATION OF DEVELOPER	CERTIFICATION OF OWNERSHIP	PROFESSIONAL CERTIFICATION
I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED STANDARD PLAN AND THAT RESPONSIBLE PERSONNEL (I.E., BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS.	I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO ME BY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.	I, ALEXANDER E. SCHMIDT, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.
KHALID ZERRAD DELAWARE STATE UNIVERSITY 1200 N. DUPONT HIGHWAY DOVER, DE 19901 (302) 857-7085	KHALID ZERRAD DELAWARE STATE UNIVERSITY 1200 N. DUPONT HIGHWAY DOVER, DE 19901 (302) 857-7085	ALEXANDER E. SCHMIDT, P.E., DE NO. 16139 CENTURY ENGINEERING, LLC. 550 BAY ROAD DOVER, DELAWARE 19901 (302) 734-9188
DATE	DATE	05/23/2023 DATE



CENTURY
ENGINEERING
A Kleinfelder Company

REVISIONS

ADDENDUM

△ DESCRIPTION

DATE

SEAL

PROJECT

NEW ECIC BUILDING CONSTRUCTION PLAN

FOR

T.P. NO. ED-05-057.00-01-21.00

DELAWARE STATE UNIVERSITY

1200 N. DUPONT HIGHWAY, DOVER, DE 19901

CITY OF DOVER, EAST DOVER HUNDRED, STATE OF DELAWARE

SHEET TITLE

COVER SHEET

CITY OF DOVER

SUBMISSION

MAY 2023

DRAWN

CHK'D/DESIGNER

CRK

AES

SCALE

SHEET NO.

1" = 400'

C200

PROJECT NO.

20232855.001