

GENERAL PROJECT REQUIREMENTS:

1. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IBC, 2021 NFPA 101 LIFE SAFETY CODE, AND ALL CODES, RULES AND REGULATIONS OF THE CITY OF DOVER. AT THE TIME OF PERMIT APPLICATION.
2. WRITTEN DIMENSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE, DO NOT SCALE THE DRAWINGS.
3. ALL DIMENSIONS ON DRAWINGS ARE TO AND FROM FACE OF NEW STUDS UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK BEFORE PROCEEDING. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND / OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE ARCHITECT AND CONTRACTOR BEFORE START OF CONSTRUCTION OR THE CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
5. EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CONTRACTOR UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK. OR THE SUB-CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
6. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF THE CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT.
7. THE GENERAL CONTRACTOR SHALL PROVIDE BLOODING AS REQUIRED FOR MECHANICAL, ELECTRICAL, GRAB BARS, & OTHER ITEMS AS NECESSARY.
8. ALL DOOR SIZES SHALL BE FIELD MEASURED & VERIFIED PRIOR TO FABRICATION OR PLACING OF ORDER.
9. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
10. THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE & MAINTAIN THE BUILDING, GROUNDS, LANDSCAPING, & ADJACENT BUILDINGS & MATERIALS, & TO ASSURE THE SAFETY OF THE PUBLIC.
11. THE CONTRACTOR IS TO CONFINER OPERATIONS & STORAGE TO THE WORK AREA APPROVED BY THE OWNER. THE WORK AREAS & THE BUILDING ARE TO BE KEPT CLEAN & ORDERLY. PROVIDE NECESSARY SIGNAGE, BARRICADES, FENCING, & LIGHTING AS REQUIRED FOR SECURITY & TO RESTRICT SITE ACCESS. NORMAL PUBLIC ACCESS & USE OF THE BUILDING SHALL BE MAINTAINED IN A SAFE & ORDERLY MANNER DURING NORMAL BUSINESS HOURS.
12. AT THE TIME OF PROJECT CLOSEOUT, THE CONTRACTOR SHALL CLEAN HIS WORK LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED.
A. REMOVE NON-PERMANENT PROTECTION & LABELS.
B. POLISH GLASS
C. CLEAN EXPOSED FINISHES
D. TOUCH UP MINOR FINISH DAMAGE.
E. CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS.
F. REMOVE & DISPOSE OF ALL DEBRIS FROM SITE.
G. BROOM CLEAN UNOCCUPIED SPACES.
H. CLEAN LIGHT FIXTURES. REPLACE BURNED OUT LAMPS.
13. ALL WOOD FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE SURFACES SHALL BE PRESSURE TREATED.
14. ALL DRYWALL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS OF EGGSHELL PAINT.

GENERAL PLUMBING NOTES:

1. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS: IBC, NFPA, UL, & IPC.
2. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL LABOR, TOOLS, MATERIALS AND SUPERVISION TO COMPLETE ALL THE PLUMBING WORK AS DESCRIBED ON THE DRAWINGS. ALL INCIDENTAL MATERIALS NORMALLY REQUIRED FOR AN OPERATIONAL PLUMBING SYSTEM, ARE UNDERSTOOD TO BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL WORK INCLUDING MATERIALS ARE SUBJECT AT THE OWNER'S APPROVAL. ANY QUESTIONS PERTAINING TO THIS PROJECT MUST BE RESOLVED WITH THE OWNER PRIOR TO COMMENCING WORK.
3. THE PLUMBING CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS OF FEDERAL STATE AND CITY OF DOVER AUTHORITIES. THESE INCLUDE DNREC, CITY OF DOVER, PUBLIC WORKS, HEALTH DEPT., AND BUILDING INSPECTORS OFFICE.
4. THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE COMPLETION OF HIS WORK. HE SHALL ARRANGE AND PAY FOR ALL INSPECTIONS AND TESTS REQUIRED AND FURNISH THE REQUIRED CERTIFICATES OF INSPECTION TO THE OWNER PRIOR TO FINAL PAYMENT.
5. THE PLUMBING SYSTEM RE-DESIGN AND PIPE RE-ROUTING SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR. ROUTING MAY BE MODIFIED BY THE CONTRACTOR AFTER VERIFYING ALL DIMENSIONS AND CONDITIONS FOR POSSIBLE INTERFERENCES WITH MECHANICAL EQUIPMENT, DUCTWORK, LIGHTS, AND STRUCTURAL SUPPORTS ETC. COORDINATE ALL WORK WITH OTHERS.
6. THE PLUMBING CONTRACTOR SHALL DETERMINE INVERTS OF SANITARY PIPING AND ADJUST INDICATED SLOPES AS REQUIRED. ADJUSTMENTS SHALL CONFORM TO MINIMUM SLOPES AS PER IPC CODE (1/8" PER FOOT MINIMUM).
7. CLEAN OUTS TO BE THE SAME SIZE AS PIPE SERVICING UP TO 4" IN PIPE SIZE. FOR 4" AND LARGER PIPE SIZES, CLEAN OUTS ARE TO BE 4" IN SIZE. INSTALL CLEAN OUTS AS PLUGGED ENDS LEVEL WITH GRADES, FINISH FLOORS, WALL SURFACE, ETC. MAKE CLEAN OUTS ACCESSIBLE.
8. MAKE CHANGES IN DIRECTION AND CONNECTIONS OF DRAIN, SOIL AND WASTE LINES WITH PROPER FITTINGS AND NECESSARY OFFSETS.
9. TRAP ALL NEW FIXTURES AT A DISTANCE OF NO MORE THAN 2' FROM FIXTURE. THE DISCHARGE FROM ANY FIXTURE SHOULD NOT PASS THROUGH MORE THAN ONE TRAP BEFORE REACHING THE DRAIN. PROVIDE TRAPS WITH SEAL OF 24" MINIMUM AND 4" MINIMUM AND VENT TO PREVENT SIPHONING.
10. INSTALL OFFSETS IN MAIN VENT LINES NOT LESS THAN 45 DEGREES TO HORIZONTAL. CONNECT VENT LINE AT BOTTOM WITH SOIL AND WASTE LINE IN SUCH A MANNER THAT FOREIGN DEBRIS WILL BE WASHED BY WATER FLOW FROM FIXTURES. INSTALL BRANCH VENTS ABOVE TOPS OF FIXTURES TO WHICH CONNECTED. EXTEND VENT THROUGH ROOF A MINIMUM OF 12". TIE INTO EXISTING VENTS IF POSSIBLE. FLASHING OF NEW VENTS IS BY THE ROOFING CONTRACTOR. COORDINATE FINAL LOCATION OF ANY NEW VENT PIPE PENETRATIONS WITH THE MECHANICAL CONTRACTOR TO MAINTAIN A MINIMUM OF 12'-0" TO NEAREST HVAC INTAKE OR OPERABLE WINDOW.
11. DOMESTIC HOT AND COLD WATER AND CONDENSATE DRAIN PIPING WITHIN BUILDING SHALL BE CPVC PLASTIC PIPE SOLVENT WELDED.
12. SANITARY WASTE AND VENT PIPE WITHIN BUILDING SHALL BE PVC SCHEDULE 40 SOLVENT WELDED.
13. INSULATE NEW DOMESTIC HOT AND COLD WATER PIPING AND ANY NEW CONDENSATE DRAING FROM AIR CONDITIONING UNITS WITH 4" THICK ARMISTRONG TYPE "AF" ARMAREX.
14. PRESSURE TEST ALL SOIL, WASTE AND VENT PIPING SYSTEMS UNTIL A 12'-0" MINIMUM SLATCH HEAD OF WATER OR 8 PSIG. MAXIMUM PRESSURE IS MAINTAINED FOR 60 MINUTES WITHOUT LOSS OF PRESSURE. COORDINATE TESTING WITH OWNER. TEST CERTIFICATION IS REQUIRED UPON REQUEST.
15. PRESSURE TEST ALL SYSTEMS OF DOMESTIC WATER PIPING IN PLACE FOR 24 HOUR PERIOD TO 100 PSIG. MAXIMUM PRESSURE DROP 1/2 OF TEST PRESSURE. COORDINATE TESTING WITH OWNER. TEST CERTIFICATION IS REQUIRED UPON REQUEST.
16. ADJUST AND CLEAN ALL NEW FIXTURES AND FITTINGS FOR PROPER OPERATION AND FLOW RATES. PROTECT CLOSET BOWL, LAVATORY, ETC., FROM DEBRIS DURING WORK. REMOVE ANY DEBRIS FROM NEW FIXTURE BEFORE APPLYING WATER FOR THE FIRST TIME AND LEAVE WORK AREA CLEAN AND FREE FROM ALL DIRT, ETC.
17. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND NOTES FOR INSTALLATION OF EQUIPMENT.
18. PROVIDE CHROME PLATED STOPS FOR EACH PLUMBING FIXTURE. PROVIDE BOLT CAPS FOR WATER CLOSETS. PROVIDE TAIL PIECE FOR LAVATORIES AND SINKS. CAULK BETWEEN FIXTURE AND FINISHED SURFACE WITH SILICONE CAULKING. PROVIDE CHROME ESCUTCHEON FOR PIPING PENETRATION AT ALL FINISHED SURFACE.
19. MAKE CONNECTIONS OF DISSIMILAR METALLIC PIPING WITH DIELECTRIC UNIONS.
20. THE PLUMBING CONTRACTOR IS RESPONSIBLE TO PROTECT ALL PIPING FROM FREEZING WEATHER CONDITIONS.
21. ANY NEW GAS PIPING TO BE SCHEDULE 40 BLACK STEEL PIPE WITH MALLEABLE IRON SOLDERED FITTINGS.
23. ALL NEW PIPING AND ACCESSORIES SHALL BE INSTALLED TO PERMIT ACCESS TO EQUIPMENT FOR MAINTENANCE.
24. PLUMBING SYSTEM LAYOUT:
A. LAY OUT THE REVISED PLUMBING SYSTEM IN CAREFUL COORDINATION WITH THE DRAWINGS, DETERMINING PROPER ELEVATIONS FOR ALL COMPONENTS OF THE SYSTEM AND USING ONLY THE MINIMUM NUMBER OF BENDS TO PRODUCE A SATISFACTORILY FUNCTIONING SYSTEM
B. FOLLOW THE GENERAL FIXTURE LAYOUT SHOWN ON THE DRAWINGS.
C. LAY OUT THE PIPES TO FALL WITHIN PARTITION, WALL, OR ROOF CAVITIES, AND TO NOT REQUIRE FURRING OTHER THAN AS SHOWN ON THE DRAWINGS.
25. THE PLUMBING CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND EVALUATE THE EXISTING PLUMBING SYSTEM PRIOR TO BIDDING. OBSERVATIONS AND DETERMINATIONS SHALL BE MADE AS TO THE DESIGN AND CAPACITY OF THE EXISTING PLUMBING SYSTEM TO CARRY THE ADDITIONAL PLUMBING NEEDS FOR DETERMINED TO BE NECESSARY SHALL BE INCLUDED IN THE PLUMBING CONTRACTORS BID.
26. PLUMBING CONTRACTOR SHALL TIE ALL NEW DOMESTIC WATER AND NEW SANITARY TO THE EXISTING PLUMBING SYSTEM.

GENERAL ELECTRICAL NOTES:

1. THE REQUIREMENTS OF THE FOLLOWING SHALL GOVERN THE EQUIPMENT, MATERIALS, AND INSTALLATION: NATIONAL ELECTRICAL CODE, NATIONAL BOARD OF FIRE UNDERWRITERS, AUTHORITIES HAVING JURISDICTION. ALL MATERIALS AND EQUIPMENT SHALL BE ALL APPROVED FOR THE INTENDED USE.
2. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE COMPLETION OF HIS WORK. THE ELECTRICAL CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS AND TESTS REQUIRED BY THE ABOVE AGENCIES. HE SHALL FURNISH REQUIRED CERTIFICATES OF INSPECTION TO THE OWNER, INCLUDING THE ELECTRICAL CERTIFICATE FROM AN INSPECTION AGENCY LICENSED IN THE STATE OF DELAWARE.
3. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, TOOLS, MATERIALS AND SUPERVISION TO COMPLETE ALL THE NEW ELECTRICAL WORK AS DESCRIBED ON THE DRAWINGS. ALL INCIDENTAL MATERIALS NORMALLY REQUIRED FOR AN OPERATIONAL ELECTRICAL SYSTEM, ALTHOUGH NOT SPECIFICALLY IDENTIFIED ON THE DRAWING, ARE UNDERSTOOD TO BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL NEW WORK, INCLUDING MATERIALS, IS SUBJECT TO APPROVAL OF THE TENANT. ANY QUESTIONS PERTAINING TO THESE NOTES OR LOCATIONS OF EQUIPMENT AND DEVICES MUST BE RESOLVED WITH THE TENANT.
4. THE ELECTRICAL SYSTEM RE-DESIGN AND WIRE RE-ROUTING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR. ROUTING MAY BE MODIFIED BY THE CONTRACTOR AFTER VERIFYING ALL DIMENSIONS AND CONDITIONS FOR POSSIBLE INTERFERENCES WITH MECHANICAL EQUIPMENT, PLUMBING, DUCTWORK, STRUCTURAL SUPPORTS, ETC.
5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL REQUIRED SUPPORTS FOR FIXTURES AND EQUIPMENT.
6. PROVIDE ALL WIRING, GROUNDING CONDUCTORS AND GROUNDING DEVICES REQUIRED TO COMPLY WITH THE NATIONAL ELECTRICAL CODE.
7. MOUNT NEW SWITCH OUTLETS 4'-0" AFF.
8. MOUNT NEW RECEPTACLES 8" ABOVE COUNTERTOPS OR SINKS WHERE INDICATED. MOUNT NEW RECEPTACLES 4" AFF. UNLESS OTHERWISE NOTED.
9. NEW LIGHTING FIXTURES, FANS, ETC., SHALL BE SECURELY MOUNTED TO OUTLET BOXES AND BUILDING CONSTRUCTIONS PROVIDE LAMPS FOR ALL FIXTURES.
10. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENERGIZING ALL NEW DEVICES, FIXTURES, AND EQUIPMENT REQUIRING ELECTRICAL POWER.
11. COORDINATE FINAL LOCATION OF ALL NEW ELECTRICAL OUTLETS, SWITCHES, SMOKE DETECTORS, TELEPHONE OUTLETS, FANS, AND LIGHT FIXTURES, ETC., WITH TENANT.
12. NEW OUTLET BOXES SHALL BE NON-METALLIC, NON-GANGABLE KNOCKOUT TYPE. MINIMUM SIZE SHALL BE 4" X 2". PROVIDE PLASTER RINGS OF DEPTH REQUIRED TO REACH FINISHED SURFACES.
13. NEW COVER PLATES FOR WIRING DEVICES SHALL BE SMOOTH UNDEGRADABLE NYLON WORKY COLOR. COVER PLATES FOR WEATHERPROOF DEVICES SHALL BE GASKETED LEXAN, SELF-CLOSING TYPE.
14. THE ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL, AND CONNECT THE NEW TELEPHONE SYSTEM, JACKS, AND WIRING.
15. INSTALL GFI RECEPTACLES AS PER NATIONAL ELECTRICAL CODE.
16. ALL NEW FEEDS TO HAVE FULL SIZE NEUTRAL.
17. UPON COMPLETION OF THE WORK, THE ELECTRICAL CONTRACTOR SHALL DEMONSTRATE THAT THE INSTALLATIONS ARE COMPLETE AND IN PERFECT OPERATING ORDER WITH WIRING FREE FROM GROUNDS OR SHORTS AND WITH EQUIPMENT AND RACEWAYS PROPERLY GROUNDED.
18. THE ELECTRICAL CONTRACTOR SHALL TEST ALL EQUIPMENT AND DEVICES INSTALLED TO THE SATISFACTION OF THE TENANT. RESPONSIBILITY AS TO THE OPERATION OF ALL EQUIPMENT SHALL APPLY ONLY TO THOSE ITEMS FURNISHED BY THE ELECTRICAL CONTRACTOR, BUT THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURATE WORK.
19. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR AND TEST INSTRUMENTS REQUIRED FOR TESTING THIS ELECTRICAL WORK.
20. IDENTIFY ALL NEW CIRCUITS BY NUMBER IN PANEL BOARD INDEX CARDS. NUMBER CIRCUIT BREAKERS ACCORDINGLY.
21. THE CONTRACTOR SHALL FURNISH THE OWNER WITH A MANUAL THAT PROVIDES BASIC DATA RELATING TO THE NEW DESIGN.
22. MAINTENANCE OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM: THE MANUAL SHALL INCLUDE A SINGLE LINE DIAGRAM OF THE "AS-BUILT" BUILDING ELECTRICAL DISTRIBUTION SYSTEM, A SCHEMATIC DIAGRAM OF ELECTRICAL CONTROL SYSTEM, AND MANUFACTURER'S OPERATIONAL AND MAINTENANCE INFORMATION FOR ELECTRICAL EQUIPMENT.
23. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LED SURFACE MOUNTED LIGHT FIXTURES IN THE CEILINGS OF ALL SPACES. NEW LIGHT FIXTURES AND THEIR LOCATIONS SHALL BE APPROVED BY THE TENANT.
24. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND EVALUATE THE EXISTING ELECTRICAL SYSTEMS PRIOR TO BIDDING. OBSERVATIONS AND DETERMINATIONS SHALL BE MADE AS THE CAPACITY OF THE EXISTING PROPOSED CONSTRUCTION. ANY COSTS OF MODIFICATIONS OR UPGRADES DETERMINED TO BE NECESSARY SHALL BE INCLUDED IN THE ELECTRICAL CONTRACTORS BID.
25. USE VELOCOR STRAPS WIRE HOLDERS AND TIES.
26. DATA CONTRACTOR SHALL COORDINATE ROUGH-IN INSTALLATION AND FINAL HOOKUP WITH PROJECT SUPERINTENDENT.

FIRST FLOOR RENOVATIONS TO THE HIVE

28 W. LOOCKERMAN ST.

DOVER, DELAWARE 19904

IBC PROJECT DATA:

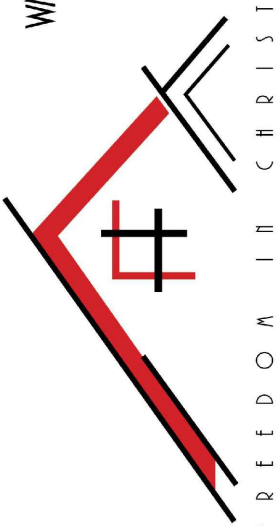
OWNER'S NAME AND ADDRESS:	CONEXT, LLC C/O CHEYONNE BOYD 1041 NORTH DUPONT HIGHWAY #1222 DOVER, DE 19901		
TAX MAP NUMBER:	2-05-07709-04-1500-000		
ZONING:	C-2 CENTRAL BUSINESS DISTRICT H (HISTORIC DISTRICT ZONE)		
CODES:	IBC 2009, IFC 2009, DE STATE FIRE PREVENTION REGULATIONS 2021, NFPA 101 2021, & ANSI A117.1-3 2003 CODE OF ORDINANCES CITY OF DOVER: CHAPTER 22 - BUILDINGS AND BUILDING REGULATIONS ARTICLE III - BUILDING CODE. CHAPTER 46 - FIRE PREVENTION AND PROTECTION		
OCCUPANCY:	NON-SEPARATED: ASSEMBLY GROUP A-3(LECTURE HALL), EXISTING MERCANTILE GROUP M (POP-UP).		
BUILDING AREA:	FIRST FLOOR: 2,493 S.F., EXISTING		
CONSTRUCTION TYPE:	TYPE IIIB, EXISTING CONSTRUCTION - MASONRY EXTERIOR WALLS AND WOOD CONSTRUCTION INTERIOR.		
OCCUPANT LOAD:	BUSINESS (OFFICE): 495 S.F. ÷ 100 S.F. = 5 OCCUPANT ASSEMBLY: 926 S.F. ÷ 15 NET S.F. PER PERSON (TABLES & CHAIRS) = 62 OCCUPANTS STORAGE: 448 S.F. ÷ 300 S.F. PER PERSON = 2 OCCUPANTS TOTAL OCCUPANT LOAD: 69 OCCUPANTS		
NO. OF EXITS:	PER 1015.1, 2 EXITS REQUIRED ACTUAL IS 2 PROVIDED, 1 EXISTING, 1 NEW		
ACCESSIBLE ENTRANCE:	PER 1105.1, AT LEAST 60% OF PUBLIC ENTRANCES SHALL BE ACCESSIBLE. ACTUAL IS ONE PUBLIC ENTRANCE, WHICH IS ACCESSIBLE, FOR 100%.		
LENGTH OF EXIT TRAVEL:	PER TABLE 1016.1, MAXIMUM TRAVEL DISTANCE TO EXIT IS 250' WHEN SPRINKLERED. ACTUAL IS 110'.		
COMMON PATH OF TRAVEL:	PER 1014.3, COMMON PATH SHALL BE ≤ 100' WHEN SPRINKLERED. ACTUAL IS 81'		
SEPARATION OF OCCUPANCIES:	PER TABLE 508.4, 1-HOUR SEPARATION REQUIRED BETWEEN NEW ASSEMBLY AND EXISTING RESIDENTIAL ON SECOND FLOOR WHEN SPRINKLERED. PROVIDED: - ONE-HOUR FLOOR-CEILING ASSEMBLY U.L. DESIGN NO. L501		
FIRE ALARM SYSTEM:	PER [F]907.2.1, FIRE ALARM SYSTEM IN GROUP A OCCUPANCY IS REQUIRED TO ACTIVATE UPON SPRINKLER WATER FLOW. MANUAL FIRE ALARM BOXES ARE NOT REQUIRED AND SHALL BE MODIFIED TO CONFORM TO NEW FIT OUT. ACTUAL: - FIRE ALARM IS PROVIDED TO MONITOR SPRINKLER.		
SPRINKLERS:	SPRINKLER SYSTEM IS EXISTING, NO MODIFICATIONS ARE NEEDED FOR THIS RENOVATION.		
PLUMBING FIXTURES:	PER TABLE [P]2902.1, BASED ON 28 OCCUPANTS IN GROUP A FACILITY: REQUIRED MALE TOILETS = 78 ÷ 125 = 1 TOILET PROVIDED = 1 REQUIRED FEMALE TOILETS = 78 ÷ 65 = 1 TOILET PROVIDED = 1 REQUIRED LAVATORIES = 78 ÷ 200 = 1 LAVATORIES REQUIRED PROVIDED: 3 SERVICE SINK: 1 REQUIRED. PROVIDED: 1 EXISTING DRINKING FOUNTAIN: 49 ÷ 100 = 1 DRINKING FOUNTAIN REQUIRED PROVIDED: 1 NEW BOTTLE FILLER		

DRAWING LIST:

- G1 TITLE SHEET, IBC PROJECT DATA, AND GENERAL NOTES
FP1 FIRE PROTECTION PLAN & NFPA FIRE CODE INFO.
A1 DEMOLITION & RENOVATION PLAN & NOTES

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T O T E D O A I N C R O I S T

FIRST FLOOR RENOVATIONS TO

THE HIVE

28 W. LOOCKERMAN ST.

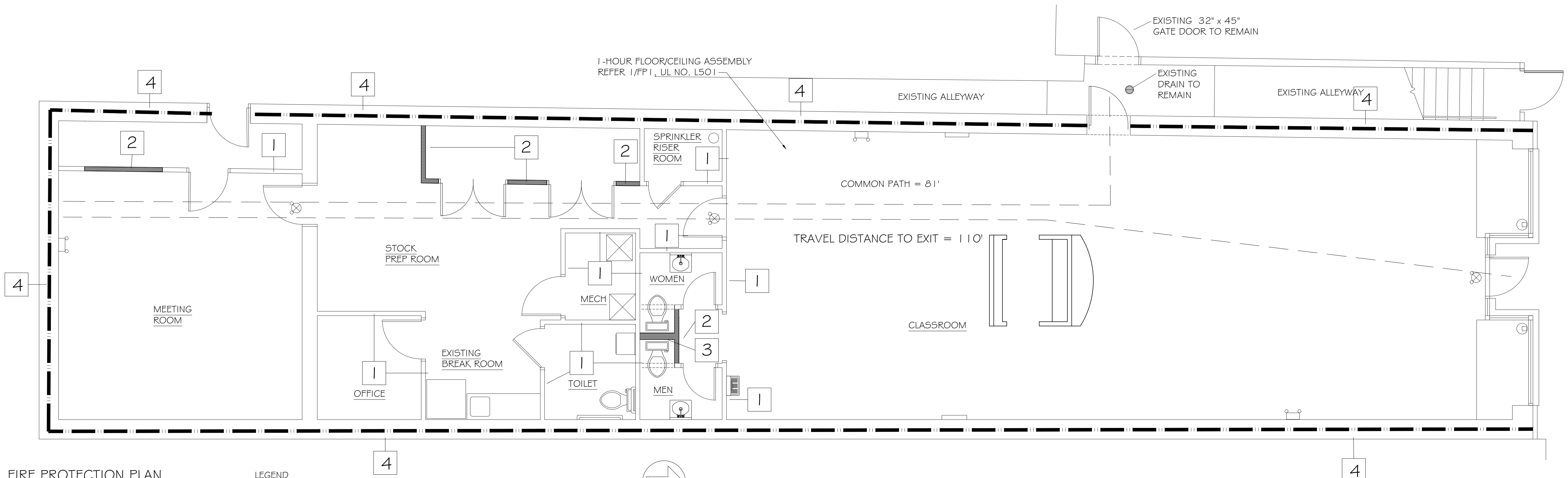
DOVER DE 19904

TITLE SHEET, IBC
PROJECT DATA &
GENERAL NOTES

DESIGN R.K.L.
CHECKED W.B.
DATE 4-4-2023
SCALE NOTED
SHEET NO. C1602-0223
SHEET

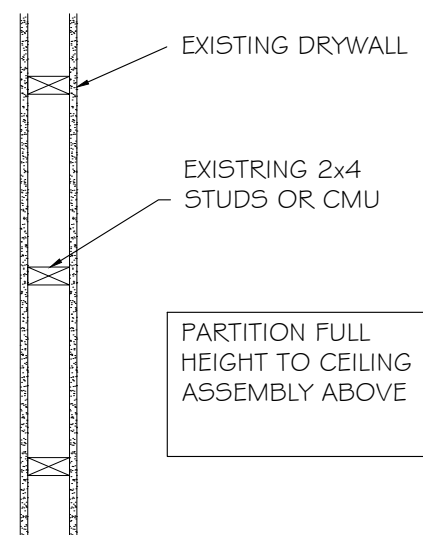
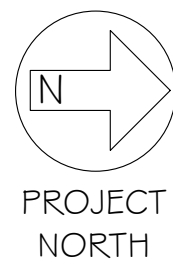
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OF SHEETS

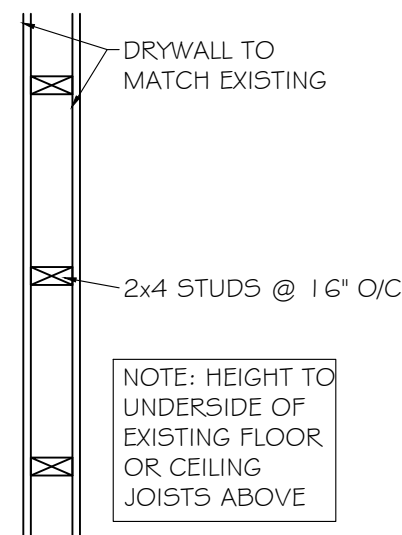


FIRE PROTECTION PLAN
3/4" = 1'-0"

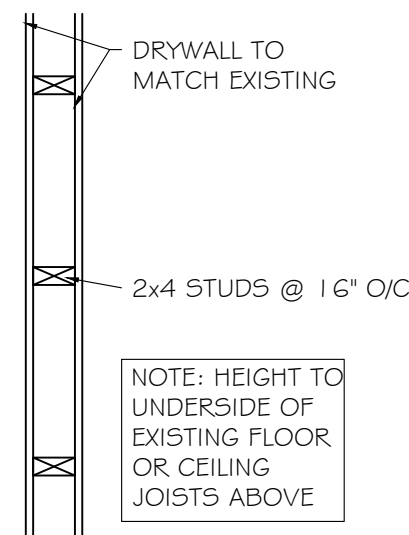
- LEGEND
- EXISTING DUAL HD. EMERGENCY LT. W/ BATTERY BACK-UP
 - EXISTING EXIT LIGHT WITH BATTERY BACKUP WITH DAUL EMERGENCY HEAD LIGHTS
 - 2-HOUR WALL, BEAM, EXISTING



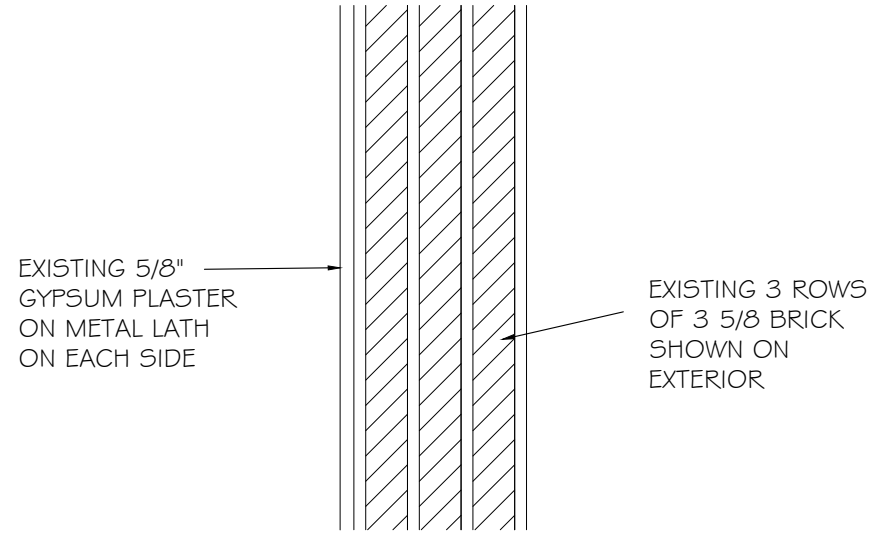
1 EXISTING WALL TO REMAIN



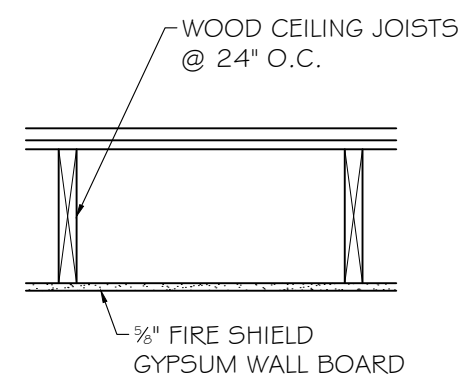
2 4" NEW WALLS



3 6" NEW WALLS



4 SIMILAR TO U902. THE WALL IS 1/2" AND 4 HRS FIRE RATED



1/2" FIRE-FIRE SHIELD KAL-KORE, SECURED TO 2 X 8 WOOD JOISTS SPACED 16" O/C W/ 6d NAILS SPACED 6" O/C.

1-HOUR CEILING DETAIL
3/4" = 1'-0" UL NO. L501

NFPA 101 LIFE SAFETY CODE 2021 PROJECT DATA:

- OCCUPANCY ASSEMBLY: PER 6.1.2 AND 6.1.1.4.3, MIXED OCCUPANCY: BUSINESS + POP-UP MERCANTILE
- BUILDING AREA: FIRST FLOOR: 2,493 S.F., EXISTING
- HAZARD CLASSIFICATION: ORDINARY PER 6.2.2.3
- NO. OF EXITS: PER 12.2.4 AND 7.4.1.1, 2 EXITS ARE REQUIRED PROVIDED: 2, ONE EXISTING, ONE NEW
- OCCUPANT LOAD: BUSINESS (OFFICE): 990 S.F. + 100 S.F. = 10 OCCUPANTS
MERCANTILE (POP-UP): 360 S.F. + 30 S.F. = 12 OCCUPANTS
TRAINING AND SKILL DEVELOPMENT: 357 S.F. + 15 NET S.F. PER PERSON (TABLES + CHAIRS) = 24 OCCUPANTS
COMMERCIAL KITCHEN: 71 S.F. + 100 S.F. = 1 OCCUPANT
STORAGE: 448 S.F. + 300 S.F. PER PERSON = 2 OCCUPANTS
TOTAL OCCUPANT LOAD: 49 OCCUPANTS
- TYPE OF CONSTRUCTION: TYPE III(200), EXISTING CONSTRUCTION.

LENGTH OF EXIT TRAVEL (MAX.): ALLOWED PER 12.2.6.2(1): 250' WHEN SPRINKLERED. PROVIDED: 110' (BEFORE NEW DOOR PUT IN)

MINIMUM CONSTRUCTION REQUIREMENTS: PER TABLE 12.1.6, 3 STORY ASSEMBLY ALLOWED WITH TYPE III(200) WHEN SPRINKLERED PROVIDED: SINGLE STORY

COMMON PATH (MAX.): ALLOWED PER 12.2.5.2 - 20' FOR ANY NUMBER OF OCCUPANTS, AND 75' FOR LESS THAN 50 OCCUPANTS PROVIDED: 110' (BEFORE NEW DOOR PUT IN)

DEAD END CORRIDOR LIMIT: PER 12.2.5.3, MAXIMUM 20' DEAD END CORRIDOR ALLOWED WHEN SPRINKLERED ACTUAL: 7'

SEPARATION OF OCCUPANCIES: PER TABLE 6.1.4.1.4.1 (A + B), 1-HOUR SEPARATION REQUIRED BETWEEN NEW BUSINESS AND EXISTING SECOND STORY APARTMENT WHEN SPRINKLERED. PER TABLE 602 EXTERIOR WALLS NEED TO HAVE A 1 HOUR RATED WALL BETWEEN TWO BUILDINGS FOR FIRE SEPARATION DISTANCE. PROVIDED: - ONE-HOUR FLOOR-CEILING ASSEMBLY U.L. DESIGN NO. L501. ONE- HOUR WALLS EXISTS BETWEEN BOTH BUILDINGS.

FIRE ALARM SYSTEM: PER 12.3.4.2.1(2), INITIATION OF FIRE ALARM BY SPRINKLER SYSTEM WATER FLOW IS REQUIRED. PROVIDED: FIRE ALARM SHALL BE PROVIDED TO MONITOR SPRINKLER CLASS A, B, OR C IN ASSEMBLY AREAS WITH <300 OCCUPANTS PER 12.3.3.3

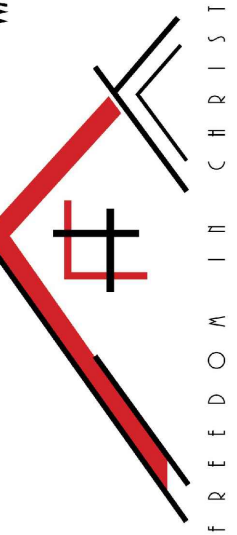
SPRINKLERS: SPRINKLER SYSTEM IS EXISTING

INTERIOR WALL AND CEILING FINISH: CLASS A, # B IN EXITS PER 12.3.3.2

INTERIOR FLOOR FINISHES: INTERIOR FLOOR FINISH SHALL COMPLY WITH SECTION 10.2 PER 12.3.3.5.1, 12.3.3.5.2, # 12.3.3.5.3

REVISIONS	BY

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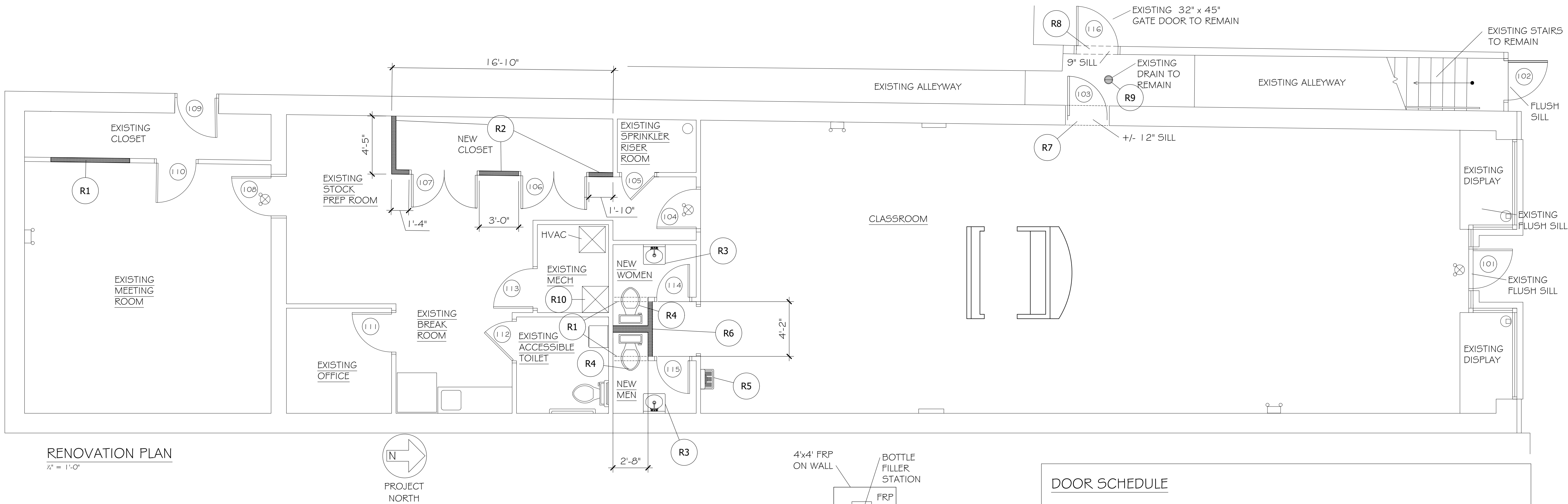
FIRST FLOOR RENOVATIONS TO
THE HIVE
28 W. LOCKERMAN ST.
DOVER, DE 19904

FIRE
PROTECTION
PLAN & NFPA
FIRE CODE INFO

DRAWN
R.K.L.
CHECKED
W.B.
DATE
4-4-2023
SCALE
NOTED
JOB NO.
C1602-0223
SHEET

FP 1

OF SHEETS



RENOVATION PLAN
1/2" = 1'-0"

RENOVATION NOTES

- R1** REMOVE EXISTING DOOR AND CLOSE IN EXISTING DOOR OPENING WITH NEW 2x4S AND DRYWALL. FINISH AND PAINT.
- R2** NEW 2X4 STUD WALL AND DRYWALL PARTITION. FINISH AND PAINT
- R3** NEW WALL HANG LAVATORY WITH 16"x30" MIRROR.
- R4** NEW WATER CLOSET.
- R5** WATER BOTTLE FILLER, REFER TO ELEVATION ON SHEET A1
- R6** REMOVE EXISTING PARTITION. PATCH AND REPAIR WALL, FLOOR, AND CEILING SCARS.
- R7** REMOVE PORTION OF EXISTING 16"THICK BRICK WALL FOR NEW DOOR OPENING. PROVIDE NEW TRIPLE 4x8 MASONRY UNTEL. PATCH BRICK SILL AND JAMBS TO RECEIVE NEW HOLLOW METAL DOOR, FRAME, AND THRESHOLD.
- R8** EXISTING 32" x 45" WOOD GATE TO REMAIN. REMOVE PADLOCK HARDWARE. PROVIDE AND INSTALL NEW F82 LOCK SET.
- R9** EXISTING FLOOR DRAIN TO REMAIN.
- R10** EXISTING SERVICE SINK TO REAMAIN.

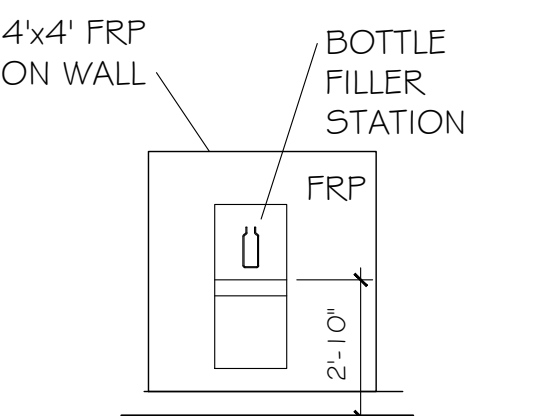
FINISH GROUPS

- F-1 BATHROOMS**
 - FLOOR - CONCRETE OR WOOD VINYL PER OWNERS REQUEST
 - BASE - PAINTED WOOD BASE TO MATCH EXISTING
 - WALLS - DRYWALL: PRIME COAT & TWO COATS EGGSHELL
 - WAINSCOT - FRP PANELS WHERE SHOWN ON ELEVATIONS
 - CEILING - DRYWALL: PRIME COAT & TWO COATS FLAT
- F-2 FIRE ESCAPE DOOR**
 - FLOOR - CONCRETE IN DOOR WAY SMOOTHED TO EXISTING WOOD FLOORING
 - BASE - PAINTED WOOD BASE TO MATCH EXISTING
 - WALLS - DRYWALL: PRIME COAT & TWO COATS EGGSHELL
 - WAINSCOT - NONE
 - CEILING - DRYWALL: PRIME COAT & TWO COATS FLAT

NOTE: ALL FINAL COLORS AND FINISHES SHALL BE SELECTED BY TENANT

GENERAL DOOR NOTES

- DOORS SHALL BE PAINTED ON ALL SIX SIDES. DO NOT NEGLECT PAINTING THE TOP AND BOTTOM EDGES.
- ALL DOORS SHALL HAVE LEVER HANDLES.
- IF A DOOR HAS A CLOSER, THE SWEEP PERIOD SHALL BE ADJUSTED TO TAKE THREE SECONDS TO MOVE FROM 70° OPEN TO WITHIN 3" FROM THE LATCH.
- THE MAXIMUM FORCE FOR PULLING OR PUSHING A DOOR SHALL BE 5lbf.
- IF A DOOR HAS A THRESHOLD, THE MAXIMUM HEIGHT SHALL BE 1/2" WITH LEADING EDGES BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- LOCKS, WHERE PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE. EXCEPTION: DOOR WITH SIGN "NOT AN EXIT..."
- HARDWARE SHALL BE COMMERCIAL GRADE 2 OR HIGHER. APPROVED MANUFACTURERS ARE AS FOLLOWS: YALE, SCHLAGE, AND CORBINRUSSWIN.
- ON THE PUSH SIDE OF EXIT DOORS, INCLUDING TOILET ROOM DOORS, PER ANSI A117.2009 SECTION 404.2.9, DOOR SURFACES WITHIN 1'0" OF THE FLOOR (VERTICALLY), SHALL BE SMOOTH SURFACE EXTENDED FULL WIDTH OF THE DOOR. CAVITIES SHALL NOT EXCEED 1/16". RETROFIT KICK PLATE MAY BE USED TO COMPLY WITH THIS SECTION AND SHALL BE CAPPED.



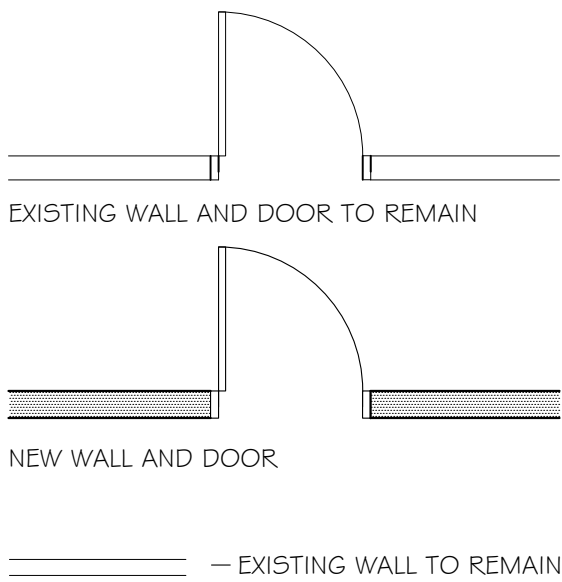
ELEVATION AT BOTTLE FILLER
1/2" = 1'-0"

LOCK FUNCTIONS

- F76** PRIVACY, BEDROOM OR BATH LOCK: LATCH BOLT OPERATED BY LEVER FROM EITHER SIDE. OUTSIDE LEVER IS LOCKED BY PUSHBUTTON INSIDE AND UNLOCKED BY EMERGENCY KEY OUTSIDE, ROTATING INSIDE LEVER, OR CLOSING DOOR.
- F82** ENTRY LOCK: DEAD-LOCKING LATCH BOLT OPERATED BY LEVER FROM EITHER SIDE EXCEPT WHEN OUTSIDE LEVER IS LOCKED BY PUSHING BUTTON IN INSIDE LEVER. WHEN OUTSIDE LEVER IS LOCKED, OPERATING KEY IN OUTSIDE LEVER OR ROTATING INSIDE LEVER RETRACTS LATCH BOLT AND RELEASES PUSHBUTTON. CLOSING DOOR DOES NOT RELEASE PUSHBUTTON.
- F86** STOREROOM OR CLOSET LOCK: DEAD-LOCKING LATCH BOLT OPERATED BY KEY IN OUTSIDE LEVER OR BY ROTATING INSIDE LEVER. OUTSIDE LEVER IS ALWAYS FIXED.

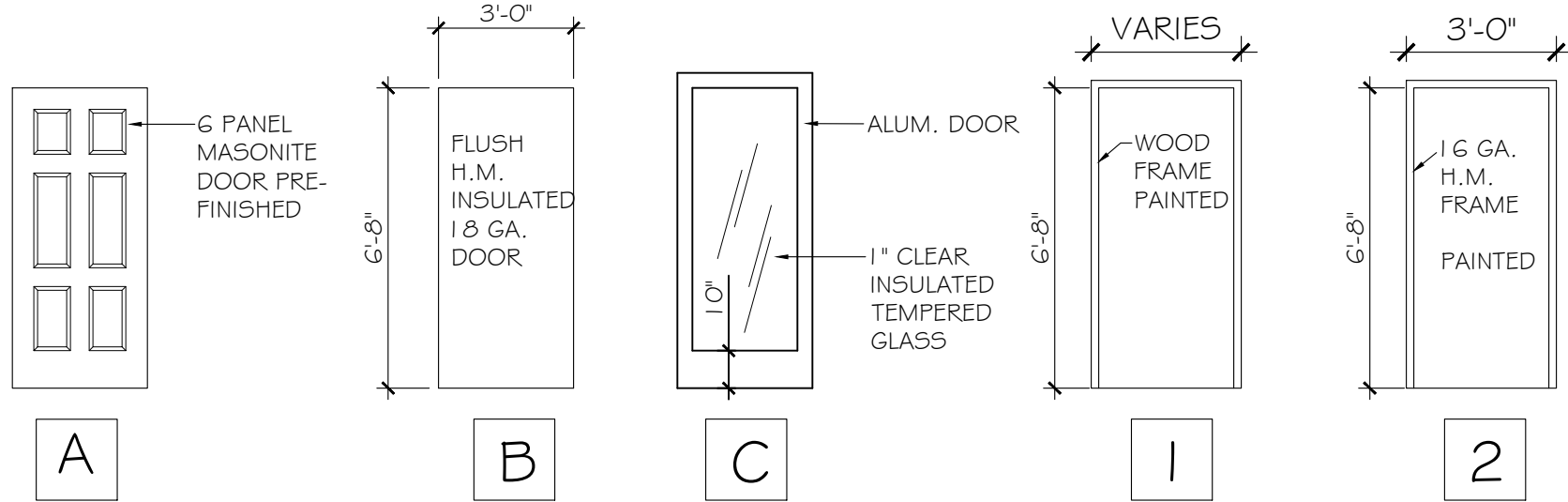
ALL NEW LATCH SETS TO HAVE LEVER HANDLES.

WALL LEGEND



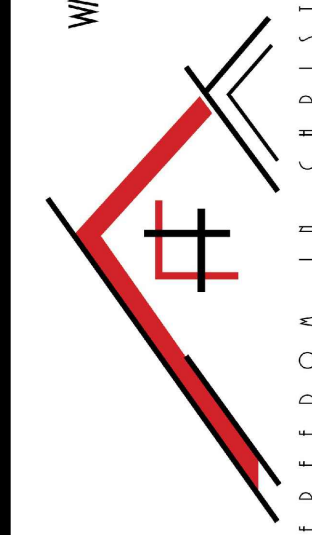
DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME		REMARKS	HARDWARE				
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL		CLOSER	DOOR STOP	THRESHOLD	WEATHER STRIP	LOCK FUNCTION
101	3'-0"	7'-0"	1 3/4"	FULL GLASS ALUM.	C	ALUM.	1					
102	3'-0"	6'-8"	1 3/4"									
103	3'-0"	6'-8"	1 3/4"	HM	B	HM	2					F82
104	3'-0"	6'-8"	1 3/4"									
105	3'-0"	6'-8"	1 3/4"									
106	2'-6"	6'-8"	1 3/4"	MASONITE	A	WOOD	1					F86
107	2'-6"	6'-8"	1 3/4"	MASONITE	A	WOOD	1					F86
108	3'-0"	6'-8"	1 3/4"									
109	2'-6"	4'-0"	1 3/4"									
110	3'-0"	6'-8"	1 3/4"									
111	3'-0"	6'-8"	1 3/4"									
112	3'-0"	6'-8"	1 3/4"									
113	3'-0"	6'-8"	1 3/4"									
114	2'-6"	6'-8"	1 3/4"									F76
115	2'-6"	6'-8"	1 3/4"									F76
116	32"	45"	-									F82



REVISIONS	BY

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FIRST FLOOR RENOVATIONS TO
THE HIVE
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DOVER, DE 19904

DEMOLITION &
RENOVATION
PLANS & NOTES

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W.B.
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4-4-2023
SCALE
NOTED
JOB NO.
C1602-0223
SHEET

A1
OF SHEETS