

GENERAL SITE CONSTRUCTION SPECIFICATIONS

BITUMINOUS PAVING

GENERAL

1. THE CONTRACTOR SHALL CONSULT THESE SECTIONS IN DETAIL, AS HE WILL BE RESPONSIBLE FOR WORK INDICATED AND GOVERNED BY CONDITIONS SET FORTH THERE IN.

QUALITY ASSURANCE

1. PERFORM WORK IN ACCORDANCE WITH APPLICABLE DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. MIXING PLANT: DELAWARE DEPARTMENT OF TRANSPORTATION APPROVED FACILITY.
3. OBTAIN MATERIALS FROM SAME SOURCE THROUGHOUT.

ENVIRONMENTAL REQUIREMENTS

1. DO NOT PLACE BITUMINOUS WHEN AMBIENT AIR OR COARSE STONE BASE COURSE SURFACE TEMPERATURE IS LESS THAN 40 DEGREES F, NOR WHEN SURFACE IS WET OR FROZEN.

MATERIALS

1. BINDER COURSE: DELDOT TYPE B
2. WEARING COURSE: DELDOT TYPE C
3. TACK COAT: EMULSIFIED ASPHALT
4. FORMS: WOOD FORM MATERIAL, PROFILED TO SUIT CONDITIONS.
5. PAVEMENT MARKINGS IN ACCORDANCE WITH DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

EXECUTION

1. VERIFY THAT COMPACTED SUBBASE IS DRY AND READY TO SUPPORT PAVING AND IMPOSED LOADS. SEE STRUCTURAL FILL SECTION.
2. VERIFY GRADIENTS AND ELEVATIONS OF BASE ARE CORRECT.
3. APPLY TACK COAT TO VERTICAL CONTACT SURFACES OF EXISTING CURBS, PAVEMENTS, AND STRUCTURES.
4. COAT SURFACES OF MANHOLE OR INLET FRAMES WITH OIL TO PREVENT BOND WITH BITUMINOUS CONCRETE PAVEMENT. DO NOT TACK COAT THESE SURFACES.
5. PLACE BITUMINOUS MIXTURE WHEN TEMPERATURE IS NOT MORE THAN 15 F DEGREES FROM THE TEMPERATURE OF THE COMPLETED MIXTURE AT THE PLANT.
6. PLACE WEARING COURSE WITHIN TWO HOURS OF PLACING AND COMPACTING BINDER COURSE. IF NOT PLACED WITHIN TWO HOURS, APPLY TACK COAT OVER BINDER COURSE TO ASSURE ADHESION.
7. COMPACT PAVEMENT BY ROLLING WITH MINIMUM 10 TON ROLLER. DO NOT DISPLACE OR EXTRUDE PAVEMENT FROM POSITION. HAND COMPACT IN AREAS INACCESSIBLE TO ROLLING EQUIPMENT WITH HOT IRON TAMPERS, WEIGHING NOT LESS THAN 25 LBS.
8. PERFORM ROLLING WITH CONSECUTIVE PASSES TO ACHIEVE EVEN AND SMOOTH FINISH, WITHOUT ROLLER MARKS.
9. LONGITUDINAL JOINT IN ONE LAYER SHALL OFFSET THE PREVIOUS JOINT IN THE LAYER IMMEDIATELY BELOW BY APPROXIMATELY 6 INCHES. WHERE ABUTTING PAVING IS NOT PLACED THE SAME DAY OR THE ABUTTING JOINT IS DISTORTED, THE JOINT SHALL BE TRIMMED TO A TRUE SURFACE AND PAINTED WITH A TACK COAT.
10. TRANSVERSE JOINTS SHALL BE STRAIGHT-EDGED TO ASSURE SMOOTHNESS, AND THE JOINT FACE SHALL BE PAINTED WITH A TACK COAT. CROSS ROLL, TO OBTAIN THOROUGH COMPACTION OF JOINT.
11. IMMEDIATELY AFTER PLACEMENT, PROTECT PAVEMENT FROM MECHANICAL INJURY UNTIL ADEQUATE STABILITY AND ADHESION HAVE BEEN OBTAINED AND THE MATERIAL HAS COOLED SUFFICIENTLY TO PREVENT DISTORTION OR LOSS OF FINES.
12. NO VEHICULAR TRAFFIC SHALL BE PERMITTED ON THE NEW SURFACE IN LESS THAN SIX (6) HOURS AFTER THE SURFACE HAS BEEN FINISHED.

PAVEMENT MARKINGS

GENERAL

1. THE CONTRACTOR SHALL CONSULT THESE SECTIONS IN DETAIL, AS HE WILL BE RESPONSIBLE FOR WORK INDICATED AND GOVERNED BY CONDITIONS SET FORTH THERE IN.
2. THIS WORK SHALL CONSIST OF FURNISHING AND INSTALLING OF PAVEMENT MARKINGS TO VARIOUS SURFACES AT LOCATIONS AND PATTERNS AS SPECIFIED IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE ENGINEER/ARCHITECT. THIS INCLUDES DURABLE AND NONDURABLE LINE MARKINGS (STRIPINGS), LEGENDS (LETTERS AND NUMBERS), AND SYMBOLS.

MATERIALS

1. MATERIALS SHALL MEET THE REQUIREMENTS OF THE DELAWARE DEPT. OF TRANSPORTATION AND AS INDICATED ON THE DRAWINGS.

EXECUTION

1. INSTALLATION SHALL BE IN ACCORDANCE WITH THE DELAWARE DEPT. OF TRANSPORTATION AND AS INDICATED ON THE DRAWINGS.
2. MAINTAIN THE STRIPING AND PAVEMENT MARKINGS, EXISTING OR CONSTRUCTED BY THIS CONTRACTOR, IN "LIKE NEW" CONDITION FOR THE DURATION OF THE CONTRACT. REPAIR OR REPLACE UNSUITABLE PAVEMENT MARKINGS WITH NEW PAVEMENT MARKINGS MEETING THE REQUIREMENTS OF THIS SPECIFICATION.

EARTHWORK

QUALITY INSURANCE

1. FILLS SHOULD BE PLACED IN LAYERS NOT EXCEEDING 8 INCHES COMPACTED MEASURE. THIS CRITERION MIGHT BE ADJUSTED BY THE GEOTECHNICAL ENGINEER IN THE FILED DEPENDING ON THE CONDITIONS PRESENT AT THE TIME OF CONSTRUCTION, ON THE COMPACTION EQUIPMENT USED, AND ON FILL MATERIAL SELECTED. FILLS FOR SUPPORT OF PAVEMENTS SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE LABORATORY DETERMINED DRY DENSITY, ASTM D-698, WHEN SMALL, HAND-OPERATED COMPACTION EQUIPMENT IS USED, AND TO AT LEAST 95 PERCENT OF THE LABORATORY DETERMINED DRY DENSITY, ASTM D-1557, WHEN SELF-PROPELLED, HEAVY DUTY CONSTRUCTION EQUIPMENT IS USED.
2. UNDER PAVEMENTS, PREPARED SUBGRADES SHOULD BE THOROUGHLY PROOF ROLLED USING A MINIMUM 10-TON VIBRATORY ROLLER OPERATED IN STATIC MODE OR A FULLY LOADED DUMP TRUCK IN AN ATTEMPT TO IDENTIFY UNSTABLE (SOFT, YIELDING, ETC.) SURFACE AREAS. DURING PROOFROLLING ANY UNSTABLE AREA FOUND SHOULD BE STABILIZED BY EXCAVATING AND REPLACING THOSE SOILS WITH SUITABLE SOILS.
3. A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN, PAID FOR BY THE OWNER, SHALL MONITOR ALL SITE PREPARING, GRADING, AND FILL CONSTRUCTION. THE ENGINEER/TECHNICIAN SHOULD OBSERVE AND DOCUMENT THE SITE PREPARATION, EXISTING FILL MATERIAL REMOVAL, AND FILL/BACKFILL CONSTRUCTION WORK, AND MAKE APPROPRIATE FILED TESTS, AS NECESSARY, TO VERIFY THAT ACCEPTABLE FILL MATERIALS ARE BEING USED AND THAT CONSTRUCTION IS BEING PERFORMED IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND ACCEPTABLE CONSTRUCTION PRACTICES.

STRUCTURAL BACKFILL

1. STRUCTURAL FILL SHOULD BE INCLUDED IN THE CONTRACT DOCUMENTS. GRANULAR FILL SHOULD CONSIST OF WELL-GRADED MATERIAL WITH MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES, MOT MORE THAN 20 PERCENT PASSING THE NO. 200 SIEVE AND HAVE A PLASTICITY INDEX (PI) NOT GREATER THAN 8 PERCENT.
2. IMPORTED STRUCTURAL FILL SHOULD BE APPROVED AND SAMPLED BY TESTING AGENCY PRIOR BACKFILL OPERATIONS.
3. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL SOIL LAYER BEFORE COMPACTION TO WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT
4. DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST OR ICE.

FIELD QUALITY CONTROL

1. TESTING AGENCY TO INSPECT AND TEST SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLIES WITH REQUIREMENTS.
2. TESTING AGENCY WILL TEST COMPACTION OF SOILS IN PLACE ACCORDING TO ASTM D 1556, ASTM D2167, ASTM D 2922, AND ASTM D 2937, AS APPLICABLE.
3. TEST PAVED AREA SUBGRADES AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST FOR EVERY 2000 SQUARE FEET, BUT NO FEWER THAN 3 TESTS.
4. WHEN TESTING AGENCY REPORTS SUBGRADE, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.

DEWATERING

1. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREAS. THE BIDDER IS RESPONSIBLE FOR COMPLETE DEWATERING FOR ALL SITE WORK INCLUDING STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES. ALL DEWATERING METHODS MUST BE APPROVED BY DNREC AND MUST BE PER THE DNREC ESC HANDBOOK, LATEST VERSION EFFECTIVE FEBRUARY, 2019.
2. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN AND EATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS WHERE PONDING DOES OCCUR. THE WATER SHOULD BE PUMPED IMMEDIATELY, AND GRADES SHOULD THEN BE ESTABLISHED TO PREVENT FURTHER PONDING.

BAY POINTE APARTMENTS

CIVIL CONSTRUCTION PLANS

CITY OF DOVER, EAST DOVER HUNDRED, KENT COUNTY, DELAWARE

INITIAL ISSUED: JULY 14, 2021

LAST REVISED: MARCH 14, 2023

PREPARED FOR:

OWNER/DEVELOPER

PATEL HOSPITALITY PROPERTIES

3171 DUPONT PARKWAY

TOWNSEND, DELAWARE 19734

APPLICATION # C-21-04



LOCATION MAP

Scale: 1" = 400'

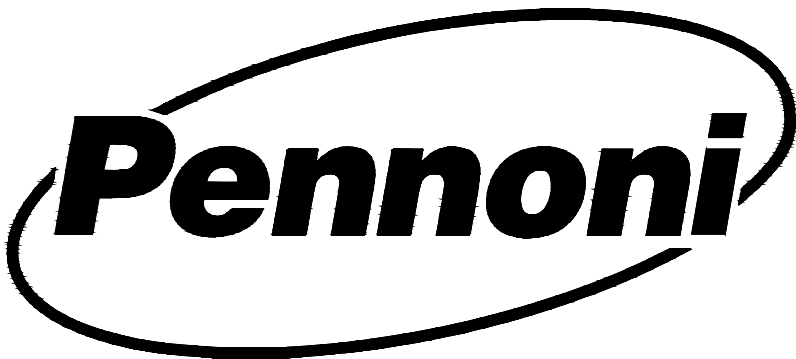


LOCATION MAP

Scale: 1" = 1200'

PREPARED BY:

PENNONI ASSOCIATES INC.



Christiana Executive Campus

121 Continental Drive, Suite 207

Newark, DE 19713-4310

T 302.655.4451

F 302.654.2895

LEGEND

	EXISTING BUILDING
	RIGHT-OF-WAY / PROPERTY LINE
	CURB
	SIDEWALK
	PAVEMENT
	SIGN
	UTILITY POLE AND LIGHT
	HYDRANT
	MAJOR CONTOUR
	MINOR CONTOUR
	WATER LINE
	UNDERGROUND GAS LINE
	UNDERGROUND STEAM LINE
	SANITARY SEWER
	DRAINAGE SEWER
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELECOMM LINE
	UNDERGROUND COMMUNICATIONS LINE
	MANHOLES
	VALVES
	INLET
	TREE
	PROPOSED BUILDING
	PROPOSED PROPERTY LINE
	PROPOSED CONCRETE CURB
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED LIGHT DUTY CONCRETE
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER
	PROPOSED COMMUNICATIONS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SITE IMPROVEMENT PLAN
4	ACTIVE RECREATION PLAN
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	UTILITY PROFILES
10	UTILITY PROFILES
11	SITE DETAILS
12	SANITARY SEWER DETAILS
13	WATER DETAILS
14	STORM SEWER DETAILS

CALL BEFORE YOU DIG
Call Miss Utility of Delmarva
800-282-8555
Ticket Number(s):

OWNER'S CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE AUTHORIZED AGENT OF THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO ME BY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

DOMINIC J. BALASCIO
PATEL HOSPITALITY PROPERTIES
3171 DUPONT PARKWAY
TOWNSEND, DELAWARE 19734

PROFESSIONAL CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

STEVEN ANDERSON JR., PE (DE PER 13187)
PENNONI ASSOCIATES INC.
121 CONTINENTAL DRIVE, SUITE 207
NEWARK, DE 19713-4310

PHONE: (302) 351-5227 FAX: (302) 654-2895

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

BAY POINTE APARTMENTS

BAY ROAD
CITY OF DOVER, DELEWARE 19801

COVER SHEET

PATEL HOSPITALITY PROPERTIES

3171 DUPONT PARKWAY
TOWNSEND, DELAWARE 19734

			ALS	BRD	BRD	GBR	BY
			FINAL PLANS	REVISED PER COD PW	REVISED PER KC PW	PER DAC COMMENTS - CHECK PRINTS	REVISIONS
			2023-03-14	02/17/22	02/11/22	9/24/21	NO.
							DATE

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PROJECT PLAWX21003

DATE 2021-07-14

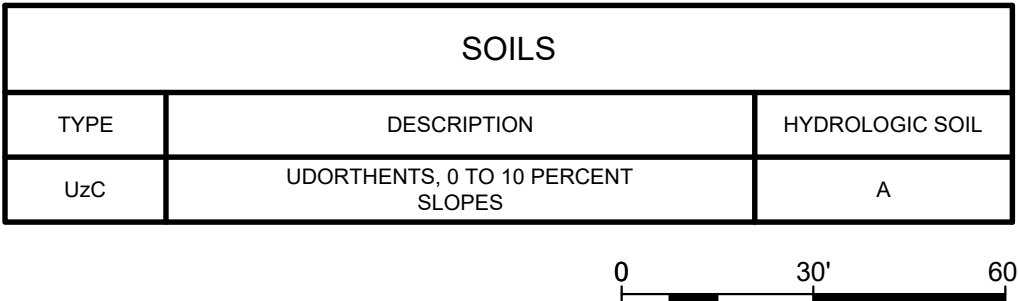
DRAWING SCALE 1"=30'

DRAWN BY SRA

APPROVED BY GBR

CS0001

SHEET 1 OF 14



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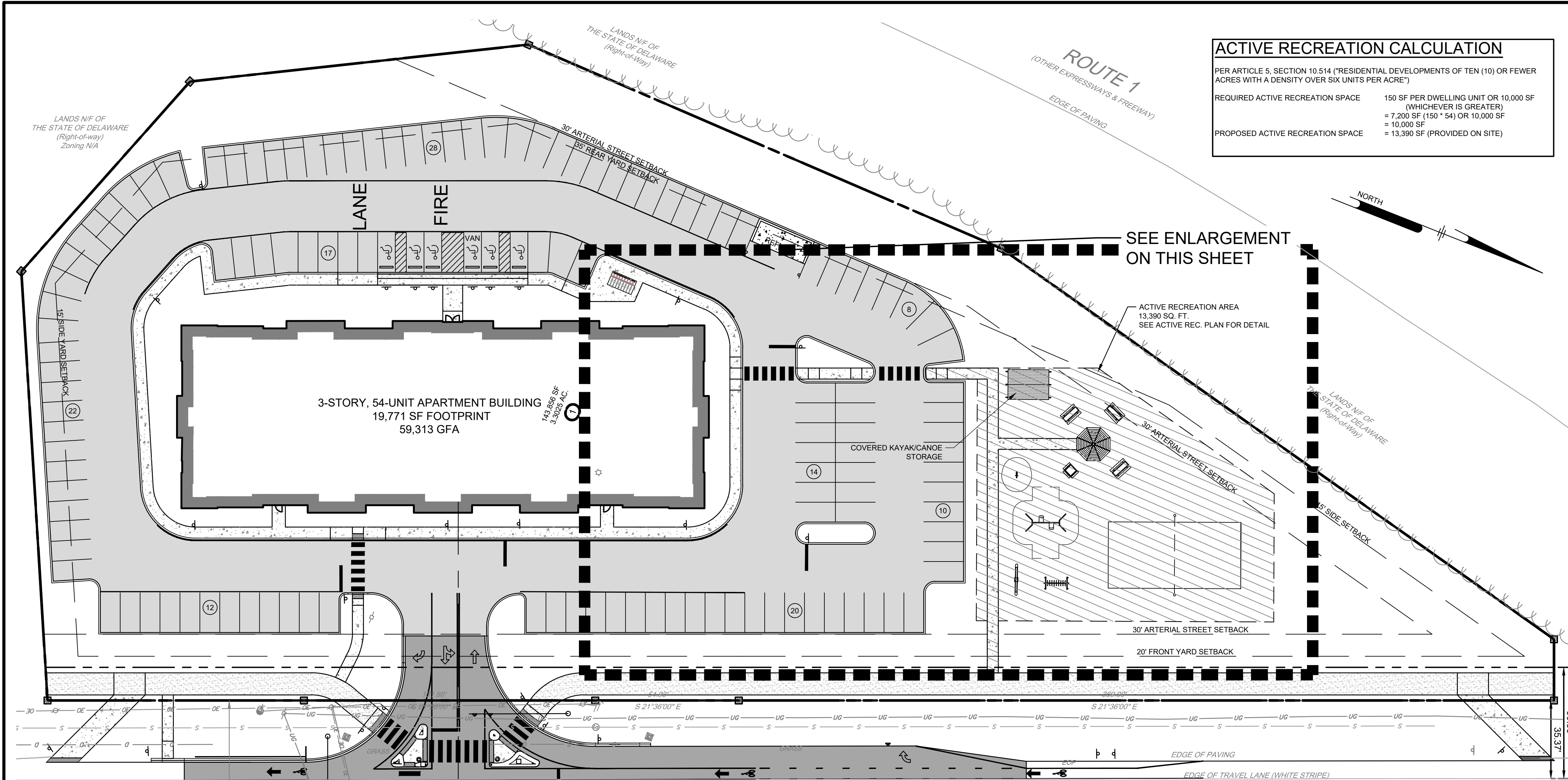


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TOWNSEND, DELAWARE 19734

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CS0201

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ACTIVE RECREATION CALCULATION

PER ARTICLE 5, SECTION 10.514 (RESIDENTIAL DEVELOPMENTS OF TEN (10) OR FEWER ACRES WITH A DENSITY OVER SIX UNITS PER ACRE*)

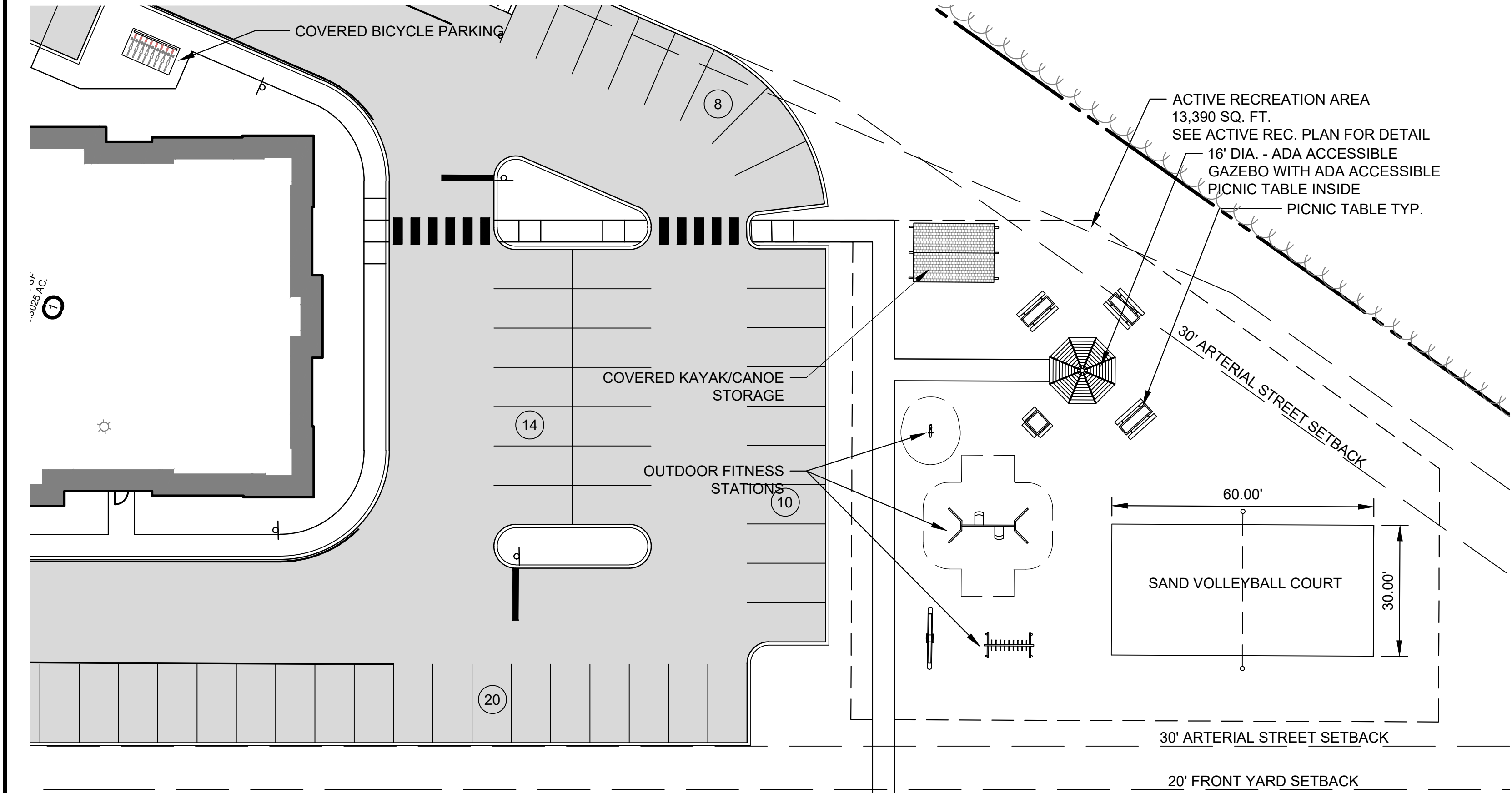
REQUIRED ACTIVE RECREATION SPACE
150 SF PER DWELLING UNIT OR 10,000 SF
(WHICHEVER IS GREATER)
= 7,200 SF (150 * 54) OR 10,000 SF
= 10,000 SF
PROPOSED ACTIVE RECREATION SPACE
= 13,390 SF (PROVIDED ON SITE)

SEE ENLARGEMENT
ON THIS SHEET

ACTIVE RECREATION AREA
13,390 SQ. FT.
SEE ACTIVE REC. PLAN FOR DETAIL

0 30' 60'

OVERALL RECREATION PLAN SCALE: 1" = 30'



ACTIVE RECREATION AREA ENLARGEMENT SCALE: 1" = 20'



OUTDOOR FITNESS STATIONS



SAND VOLLEYBALL COURT



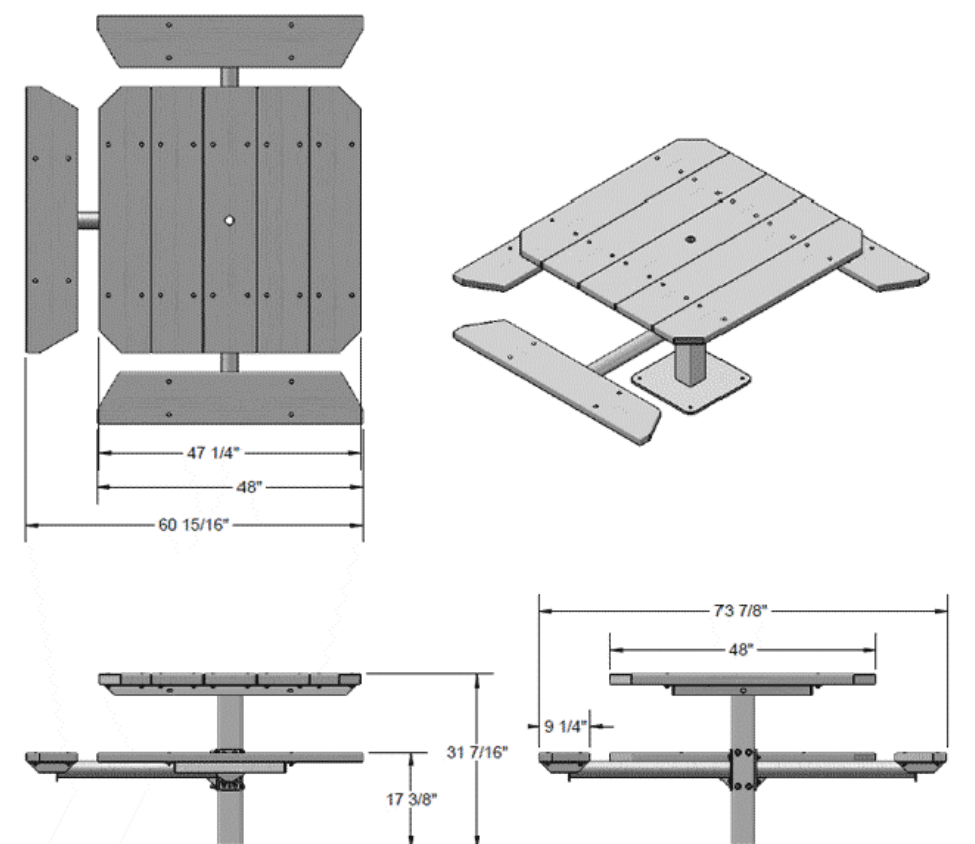
PICNIC PAVILION/GAZEBO



CANOE/KAYAK STORAGE



COVERED BICYCLE RACK



ADA COMPLIANT PICNIC TABLE

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BAY POINTE APARTMENTS
BAY ROAD
CITY OF DOVER, DELAWARE 19801

ACTIVE RECREATION PLAN

PATEL HOSPITALITY PROPERTIES
3171 DUPONT PARKWAY
TOWNSEND, DELAWARE 19734

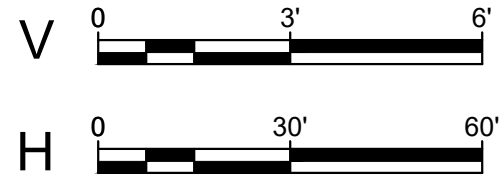
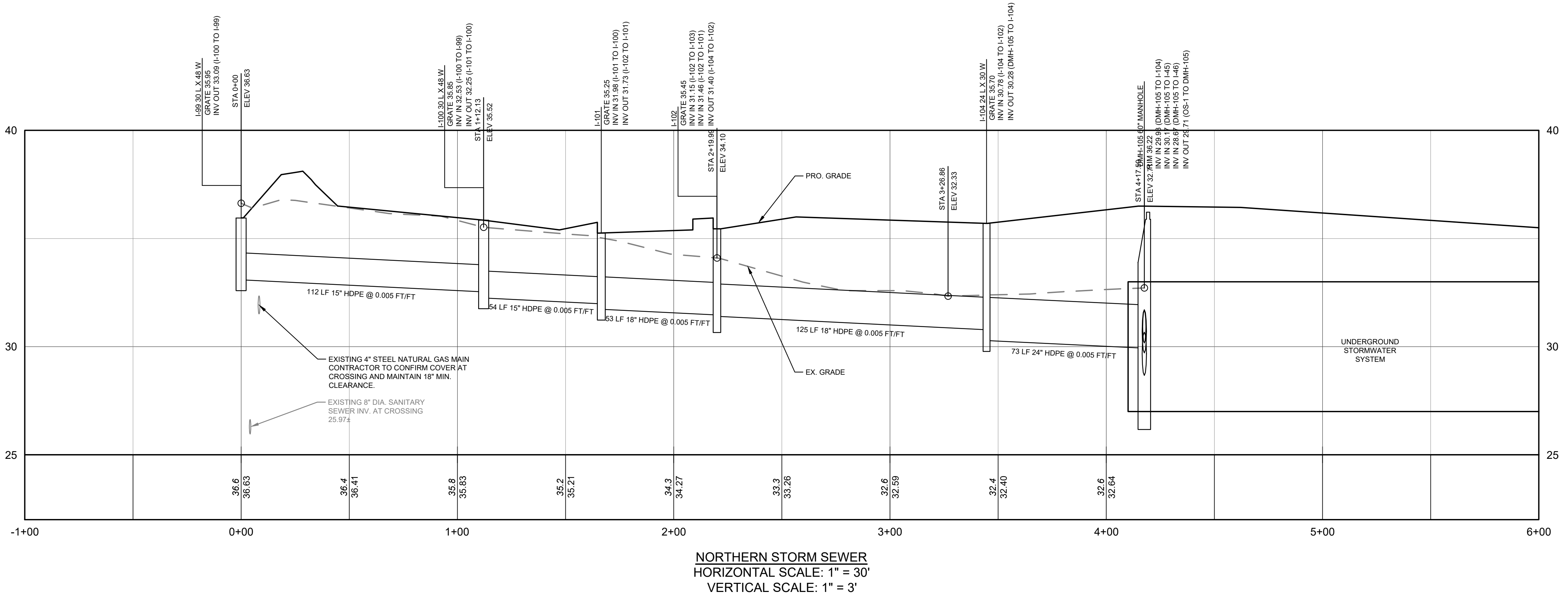
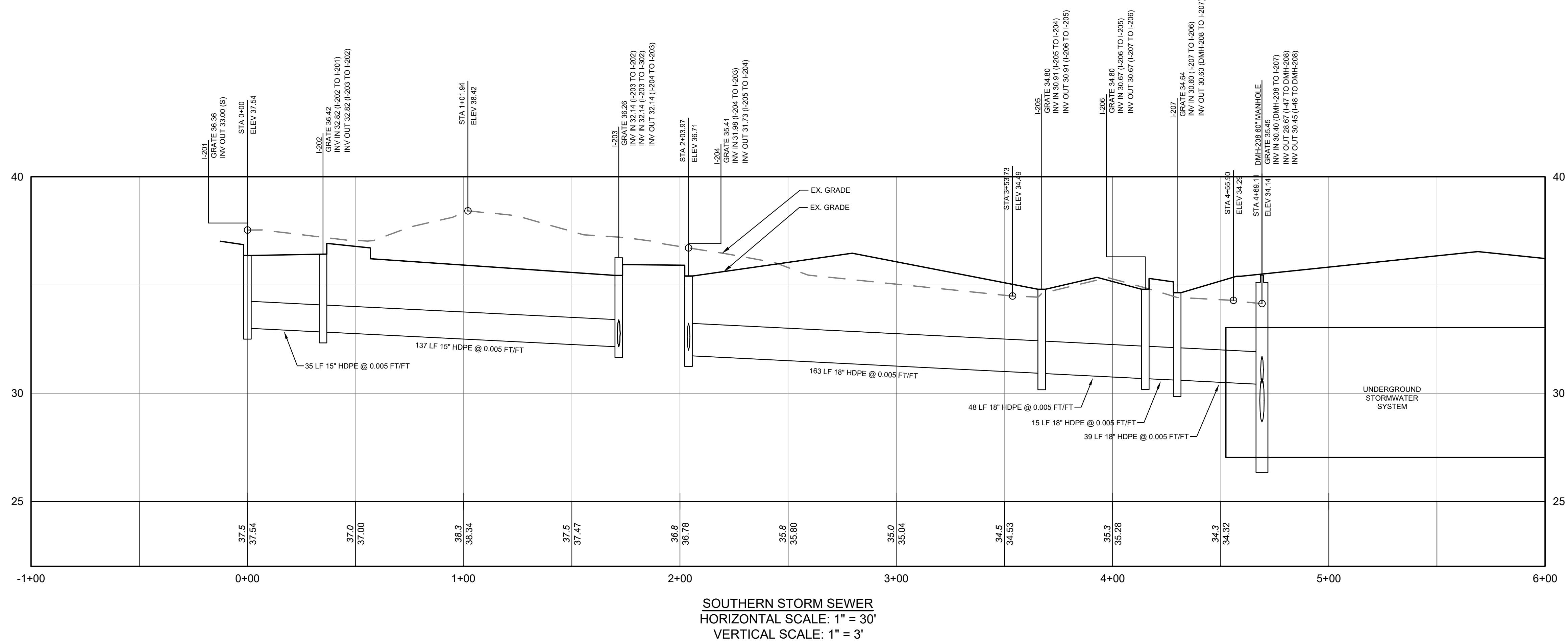
NO.	DATE	BY	REVISIONS
1	02/11/22	GBR	REVISED PER AG PW
2	02/11/22	GBR	REVISED PER AG PW
3	02/11/22	GBR	REVISED PER AG PW
4	02/11/22	GBR	REVISED PER AG PW

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EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	PLAWX21003
DATE	2021-07-14
DRAWING SCALE	AS SHOWN
DRAWN BY	SRA
APPROVED BY	GBR

		PENNONI ASSOCIATES INC. Christiana Executive Campus 121 Continental Drive, Suite 207 Newark, DE 19718-4310 T 302.655-4451 F 302.654.2895	
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BAY POINTE APARTMENTS BAY ROAD CITY OF DOVER, DELAWARE 19901			
LIGHTING PLAN			
PATEL HOSPITALITY PROPERTIES 3717 DUPONT PARKWAY TOWNSEND, DELAWARE 19734			
			ALS
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			BY
			REVISIONS
			NO.
			DATE
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DATE	2021-07-14		
DRAWING SCALE	1"=30'		
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APPROVED BY	GBR		
CS2201			
SHEET	8	OF	14

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DATE	NO.	REVISIONS
03/14/23	4	FINAL PLANS
02/17/22	3	REVISED PER COD PW
02/11/22	2	REVISED PER KC PW
9/24/21	1	PER DAC COMMENTS/CHECK PRINT SUBMISSION

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PROJECT

PLAWX21003

DATE

2021-07-14

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BRD

APPROVED BY

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CS4001

SHEET 9 OF 14

BAY POINTE APARTMENTS
BAY ROAD
CITY OF DOVER, DELEWARE 19801

UTILITY PROFILES

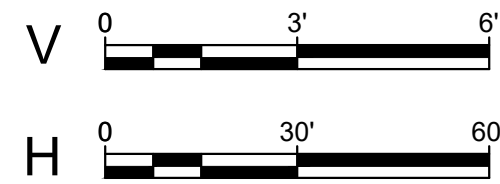
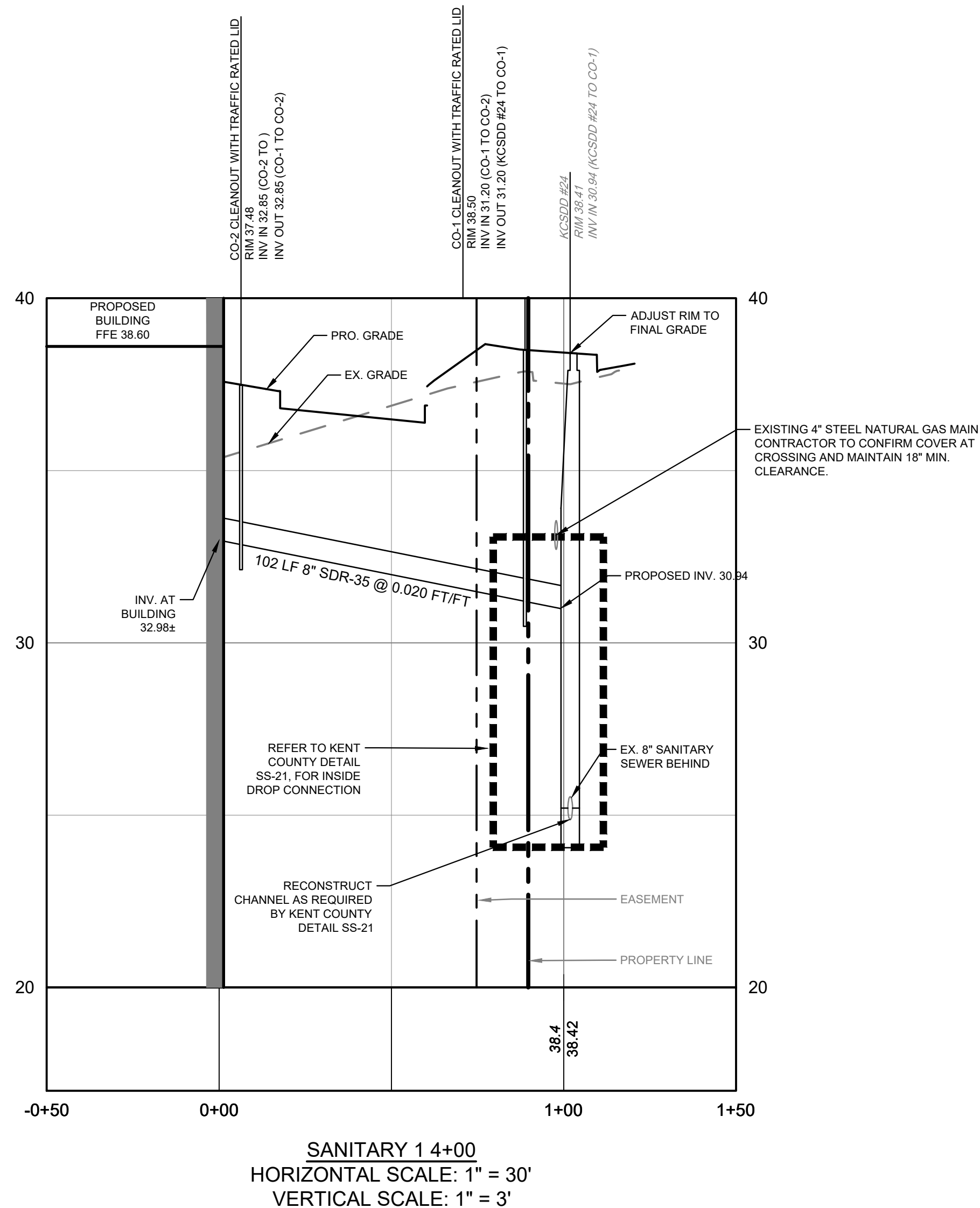
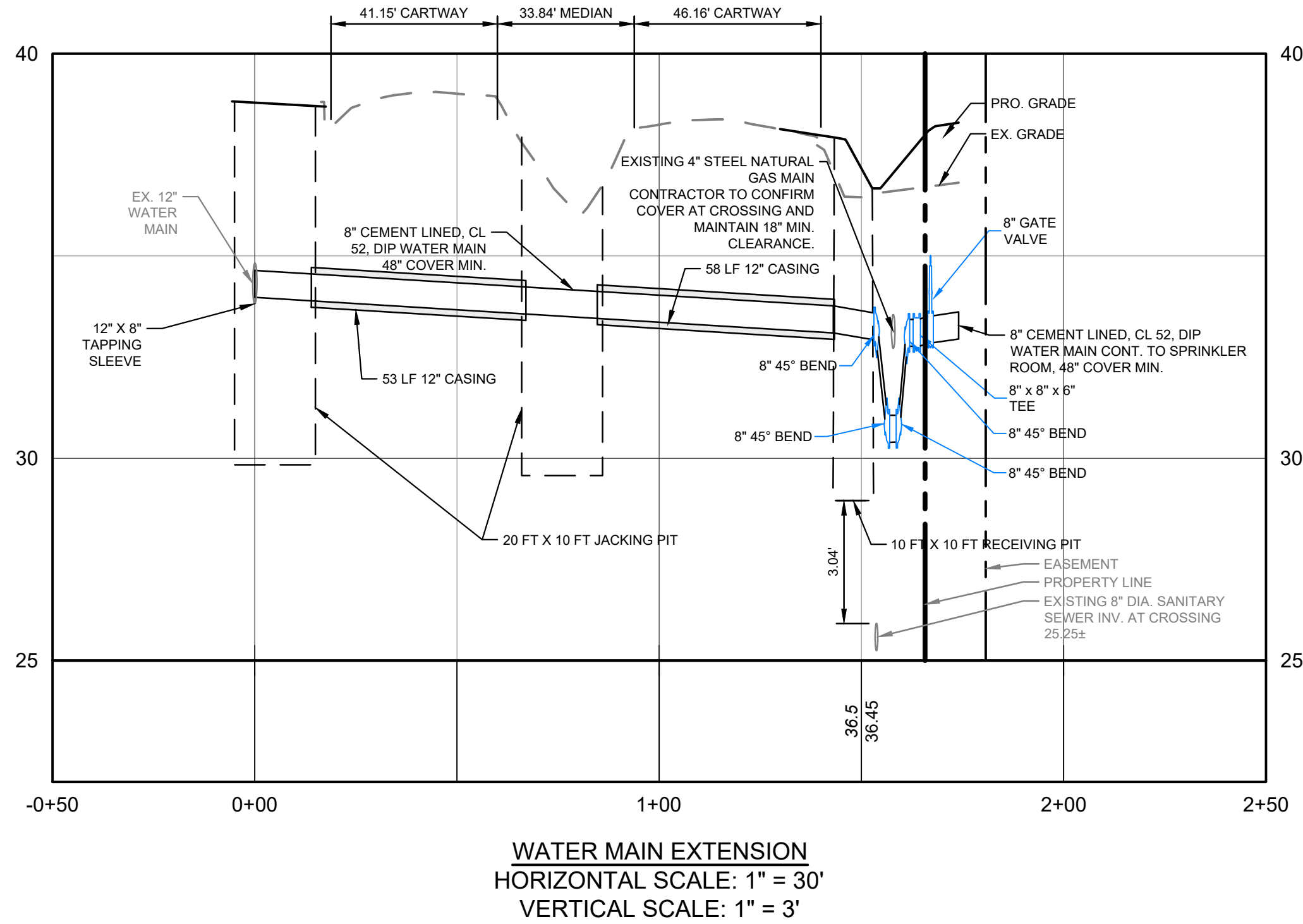
PATEL HOSPITALITY PROPERTIES
3171 DUPONT PARKWAY
TOWNSEND, DELAWARE 19734

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Pennon

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BAY POINTE APARTMENTS

BAY ROAD

CITY OF DOVER, DELAWARE 19801

UTILITY PROFILES

PATEL HOSPITALITY PROPERTIES

3171 DUPONT PARKWAY

TOWNSEND, DELAWARE 19734

			ALS	ALS	BRD	BRD	GBR	BY						
			FINAL PLANS	REVISED PROFILE DETAIL LABEL	REVISED PER COD PW	REVISED PER KC PW	PER DAC COMMENTS/CHECK PRINT SUBMISSION							
		5	03/14/23	4	10/03/22	3	02/17/22	2	02/11/22	1	9/24/21	DATE	NO.	REVISIONS

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PROJECT

PLAWX21003

DATE

2021-07-14

DRAWING SCALE

AS NOTED

DRAWN BY

BRD

APPROVED BY

GBR

CS4002

SHEET 10 OF 14



1. ALL PAVED AREAS SHALL BE PROOF ROLLED IN THE PRESENCE OF SITE ENGINEER OR INDEPENDENT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF AGGREGATE.



1. ALL PAVED AREAS SHALL BE PROOF ROLLED IN THE PRESENCE OF SITE ENGINEER OR INDEPENDENT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF AGGREGATE.



1. THE SIGN SHALL HAVE A WHITE SCOTCHLITE BACKGROUND WITH RED SCOTCHLITE LETTERS EXCEPT FOR THE WORD "NO" WHICH SHALL HAVE COLOR SCHEME REVERSED.
2. ALL LETTERING SHALL BE 3" IN HEIGHT EXCEPT FOR THE WORD "PARKING" WHICH SHALL BE 2" IN HEIGHT. MOUNT ABOVE FINISHED GRADE NO HIGHER THAN 8 FEET.



PENALTY
 \$250 1st OFFENSE
 SUBSEQUENT OFFENSES
 \$250 MIN. AND
 UP TO 90 DAYS
 COMMUNITY SERVICE
 TOW-AWAY ZONE
 VAN
 ACCESSIBLE



NOTES

1. SIGN SHALL BE MANUFACTURED AND PROVIDED PER DIMENSIONAL AND COLOR STANDARDS AS SET FORTH IN THE MUTCD, LATEST EDITION.
2. MOUNT SIGN TO BREAK AWAY POST A MINIMUM OF 7'-0" ABOVE FINISHED GRADE TO BOTTOM EDGE OF SIGN.
3. LOCATE SIGN PER LOCATIONS SHOWN ON SITE PLAN. SIGN SHALL BE PLACED A MINIMUM OF 2'-0" FROM WALKWAYS AND CARTWAYS FROM THE OUTER EDGE OF THE SIGN.

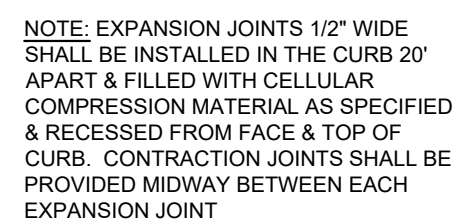
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JOINT SPACING



SIDEWALK SECTION

