



DATA SHEET FOR SITE PLAN REVIEW

DEVELOPMENT ADVISORY COMMITTEE MEETING OF October 8, 2025

PLANNING COMMISSION MEETING OF October 20, 2025

Plan Title: 7-Eleven with Fuel Pumps- 736 North Dupont Highway
S-25-15

Plan Type: Site Development Plan

Location: North end of the peninsula at Route 13 (North Dupont Highway) and North State Street just south of Leipsic Road

Owner: Harrington Four Seasons, LLC & Asher Four Seasons LLC (738 N Dupont)

Addresses: 736 North DuPont, Dover DE 19901
(Related Properties) 738 North DuPont Highway; 1021 North State Street; 1027 North State Street

Tax Parcel: ED05-068.09-01-07.00-000
(Related Properties) ED05-068.09-01-06.00-000 ED05-068.09-01-04.01-000, ED05-068.09-01-04.00-000

Size: 72,251 +/- square feet (1.6587 +/- acres) Gross Area
-5,922 +/- square feet (0.1360 acres) for ROW Dedication
66,329 +/- square feet (1.5227 +/- acres) Net Site Area

Present Uses: Several commercial businesses – Universal Assembling Enterprise, LLC (handyperson), Harrington Realty, Inc, and Auto for You (used car sales/lot) & a single-story building (1021 North State St)

Proposed Use: Convenience retail store with fuel pumps

Zoning: C-4 (Highway Commercial Zone)

Building Area: 9,763 +/- SF in Total
Building - 4,816 +/- SF
Fuel Canopy – 4,947 +/- SF

Onsite Parking: 30 total vehicle parking spaces: 28 standard parking spaces, 2 handicap parking spaces, and 5 bicycle spaces (1 rack); Parking Rationale attached

Sewer & Water: City of Dover

Waiver Requests: Partial Elimination of Upright Curbing
Reduction of Arterial Street Buffer

CITY OF DOVER
DEVELOPMENT ADVISORY COMMITTEE
APPLICATION REVIEW COMMENTARY
D.A.C. MEETING DATE: October 8, 2025

APPLICATION: 7-Eleven with Fuel Pumps, Review of a Site Development Plan at 736 N DuPont Hwy

FILE #: S-25-15 REVIEWING AGENCY: City of Dover Planning

CONTACT PERSON: Dawn Melson-Williams, AICP PHONE: 302-736-7196

NOTE: The Review Report was initially prepared by Staff of the Rossi Group (under a Planning services contract with the City of Dover). The Report was completed with additional review and editing by the City's Planning Office.

I. PLAN SUMMARY

This Application is for Review of a Site Development Plan to permit construction of a convenience retail store with fuel pumps in the City of Dover, to be located on the north end of the peninsula at Route 13 (North Dupont Highway) and North State Street just south of Leipsic Road in Dover, DE. The proposal includes demolition of existing buildings on the property and construction of a 1-story, 4,816 SF convenience store and 4,947 SF fuel island canopy, with 30 vehicle parking spaces, landscaping, and stormwater management features. The 1.5227 +/- acre property is currently occupied with single-story properties: Universal Assembling Enterprise, LLC (handyperson), Harrington Realty, Inc, and Auto for You (used car sales/lot) & a 736 SF building (1021 North State St). The property is zoned C-4 (Highway Commercial Zone). The current owners of record are Harrington Four Seasons, LLC and Asher Four Seasons LLC. Property Addresses: 736 North DuPont Highway, 738 North DuPont Highway, 1021 North State Street; 1027 North State Street, Dover DE 19901. Tax Parcels: ED05-068.09-01-07.00-000, ED05-068.09-01-06.00-000, ED05-068.09-01-04.01-000, ED05-068.09-01-04.00-000. Council District 3.

Preliminary Land Use Services Review (PLUS):

The PLUS Review is required by a City of Dover Memorandum of Understanding (MOU) for certain types of projects. As the proposed structure area is not equal to or exceeds 75,000 SF, this project was not required to complete PLUS Review process.

II. PROJECT DESCRIPTION

The application proposes construction of a 7-Eleven convenience store with fuel pumps in the City of Dover. The property is located on the north end of the peninsula at Route 13 North Dupont Highway and North State Street just south of Leipsic Road in Dover, DE. The 4,816 SF single-story

structure is being designed to include a 4,947 SF fuel island canopy, a 30-vehicle parking space lot, landscaping, and stormwater management features. The proposed site access will connect to N. DuPont Highway to N. State Street on each side of the site.

The 7-Eleven will be located directly between Commerce Bank (north side) and Valvoline Instant Oil Change (south side) on North DuPont Highway and the Silver Lake Beauty Salon/Family Dollar/Planet Fitness shopping plaza (south side) on North State Street.

Surrounding Land Uses

The subject property is located near the intersection of North DuPont Highway and North State Street. The site is bordered by North DuPont Highway to the east and North State Street to the west. As previously noted, the applicant is seeking to consolidate four abutting parcels (ED05-068.09-01-07.00-000, ED05-068.09-01-06.00-000, ED05-068.09-01-04.01-000, ED05-068.09-01-04.00-000) as a single lot. Each of the parcels are zoned C-4 (Highway Commercial Zone). Properties immediately adjacent to the subject project location are also zoned C-4. The subject parcel properties have structures from previous commercial businesses that will be demolished prior to proposed construction: Universal Assembling Enterprise, LLC (handyperson), Harrington Realty, Inc, and Auto for You (used car sales/lot) & a single-story building (1021 North State St). Surrounding uses are also zoned C-4 (Highway Commercial Zone). The abutting commercial businesses are Commerce Bank (north side) and Valvoline Instant Oil Change (south side) on North DuPont Highway and the Silver Lake Beauty Salon/Family Dollar/Planet Fitness shopping plaza (south side) on North State Street. A Tim Horton's Restaurant is under construction across North DuPont Highway to the east and an apartment complex is located across North State Street to the west.

III. ZONING REVIEW

C-4 (Highway Commercial Zone)

The subject property is zoned C-4 (Highway Commercial Zone). Article 3 §16 of the *Zoning Ordinance* details the permitted uses within the C-4 (Highway Commercial Zone). Based upon the uses permitted in this zone, the proposed use as a retail use with automobile service (fuel pumps) is permitted. Article 4, §4.15 provides the bulk standards for the C-4 zone. See compliance summary below. The subject property fronts on two streets, north DuPont Highway and North State Street.

C-4 Zone	Required	Provided
Lot Width	150 ft.	166 ft.
Lot Depth	150 ft.	316 ft.
Front Yard	20 ft.	N. State St. 113 ft. N. DuPont Hwy 170 ft. to bldg. +/- 63 ft. to canopy
Arterial Buffer	30 ft.	20 ft. – waiver requested
Side Yard	15 ft.	61.4 ft. north side 16.3 ft. south side

Rear Yard	10 ft. or equal to bldg. height	N/A – no rear yard
Building Height	6 stories / 75 ft.	1 story/24 ft. 8 in.
FAR	4.0	0.14
Lot Coverage	75%	70.4%

The plan as presented does not currently comply with design standards for motor vehicle service facilities found in the *Zoning Ordinance*, Article 3 §16(m)(2) in that portions of the southeast driveway on North Dupont Highway are within 10 feet of the southern property line, as stated below:

(2) Entrance and exit driveways shall have an unrestricted width of not less than 16 feet, shall be located not nearer than ten feet from any property line and shall be so laid out as to avoid the necessity of any vehicle leaving the property to back out across any public right-of-way or portion thereof.

The applicant has indicated that the design of this exit (right-out only) to DuPont Highway will be modified to satisfy the 10-foot requirements. See the Colored Site Exhibit set, page 3 with red line alterations to entrance designs.

IV. PARKING SUMMARY

The C-4 (Highway Commercial Zone) includes a minimum parking requirement. Article 4 §15 of the *Zoning Ordinance* requires that parking is calculated at 1 parking space per 300 SF floor area. Available handicap parking is calculated at 2% of the required standard parking spaces. Based on the submitted plans of the proposed Convenience Store area (4,816 SF), a minimum of 16 standard parking spaces and 1 handicap space would be required. The Plans submitted include 30 total parking spaces: 28 standard and 2 handicap parking spaces.

Bicycle Parking

Bicycle parking shall be provided for parking spaces at a rate of one (1) bicycle parking space for every twenty (20) parking spaces. Based on the 30 parking spaces provided, 2 bicycle spaces are required. The Plans submitted include 5 bicycle parking spaces (1 bicycle rack) on the north side of the northern drive aisle.

V. SITE CONSIDERATIONS

Site Access

The site layout provides vehicle access on to the site from North State Street and North DuPont Highway. The access to North State Street is shown as a 40-foot-wide driveway designed for two-way traffic. The access to North DuPont Highway is shown on the plan as two 30-foot-wide access points, with ingress shown at the north access and egress shown at the southern access location. The entrance plans for North State Street and North DuPont Highway are subject to review and approval by the Delaware Department of Transportation (DelDOT). See also updated Colored Site Exhibit set.

Pedestrian Site Access

The site plan shows existing sidewalk on North State Street. On the Site Plan, no sidewalk is shown on the North DuPont Highway frontage of the site; however, the applicant intends to implement a

sidewalk as proposed on the Colored Site Exhibit Set and include the connecting sidewalk into the site for pedestrian access. A frontage sidewalk is required on all street frontages. A connecting sidewalk into the site is also shown from North State Street.

Dumpster/Trash Collection

This site will utilize private trash collection. The *Zoning Ordinance* requires two (2) dumpsters per property for nonresidential uses. The applicant proposes two (2) external dumpsters near the North State Street driveway. Trash collection must be provided for trash and recycling.

Waiver Request: Partial Elimination of Upright Curbing

The applicant has submitted an attached request to permit parking spaces and sidewalks adjacent to the building to be set flush at the same grade elevation, omitting an upright curb as required by Article 6 §3.6(b) of the *Zoning Ordinance*. The applicant is proposing to install bollards between the parking spaces and the building to permit an accessible transition from parking spaces to the sidewalk surrounding the building. Other convenience stores in Dover have used these flush walkway configurations to provide increased accessibility between the parking spaces and the walkway for building entry.

VI. BUILDING ARCHITECTURE

The application proposes a convenience store building. The proposed 4,816 SF single-story building is being designed to include an adjacent 4,947 SF fuel island canopy with six fuel pumps. The proposed one-story building will be 24 feet 8 inches tall with a flat roof. The proposed building will feature two main material palettes. The first includes a beige/tan with matte black metal trim and window frames. The second includes warm brown tones from the vertical plank along the front/front-left sides. The building facing North DuPont Highway includes windows along the building front and a canopy that extends along 62 feet of the building's front wall. This is designed as the building's front entrance, with a variety of materials and colors. Signage is proposed along with the color branding along over the front door and above and in line with the canopy. The building face that fronts North State Street includes an entrance door with branding signage above it, and a blank wall with little architectural relief.

The separate canopy structure over the fuel pumps is 17 feet six inches tall, with an open area of 14 feet six inches. The three-foot tall canopy roof fascia includes the 7-Eleven branding striping on all four sides and signage on the front. Under this canopy are six dual sided fuel pumps (for 12 dispensers).

The branding and signage shown on the architectural elevations is not considered as part of the Site Plan review. A separate application for Sign Permits is required. All signage must comply with the requirements of *Zoning Ordinance*, Article 5 §4 Sign Regulations. While all signage submitted has not been reviewed for compliance with Article 5 §4, please note the following:

- The sign shown as P2 on page 1 of 22 of the Architecture and Signage package is a pylon sign which is not permitted on North State Street. A monument sign of up to 32 square feet in sign area and seven (7) feet in height is permitted in this location.
- The Sign Regulations permit two wall signs per frontage. As this property has two frontages, four (4) wall signs are permitted. The canopy signs are considered wall signs.
- Gas station signage provisions are provided in the *Zoning Ordinance*, Article 5 §4.9 (C):
 1. *Canopy signs.*

- (a) Canopy sign height shall not exceed 30 feet.
- (b) Canopy sign copy shall be directed toward a public street.
- (c) Canopy sign area shall be limited to no greater than 20 percent of the area of the canopy face to which the sign is applied.

2. *Exempt signs.*

- (a) State or federal required price per gallon signage shall not count towards overall sign area for the site, unless they exceed 32 square feet in size.
- (b) Price per gallon signs not exceeding two square feet, located on the pump itself.

VII. TREE PLANTING AND LANDSCAPE PLAN

Tree Planting Requirements

The *Zoning Ordinance* further requires tree planting at a rate of one tree per 3,000 SF of non-woodland development area. Based on the total non-woodland area for the submitted plan of 66,329 SF, 23 trees are required to be planted. The applicant has proposed to preserve trees if possible and will plant 59 new trees and 40 shrubs as part of landscape development. The proposed trees are located primarily along the north property line, on the west side of the property along the North State Street frontage, and along the south property line on the west side of the property. There are also trees proposed along the North DuPont Highway frontage. Shrubs are shown between the stormwater pond and North State Street and in the Arterial Street Buffer along North DuPont Highway.

Because this property is across the street (North State Street) from residential, it is subject to the landscaping standards for parking lots described in the *Zoning Ordinance*, Article 5 §7.23 as follows:

Article 5

7.23 *Parking lots.* Whenever a parking lot is located across the street from a residential use, it shall be screened from view of such land by a thick hedge located along a line drawn parallel to the street, such hedge to be interrupted only at points of ingress and egress and to meet the corner visibility standards of appendix B, zoning, article 5, supplementary regulations, section 1.31. The open area between such hedge and the street shall be landscaped in harmony with the landscaping prevailing on neighboring properties fronting on the same street. The hedge shall be at least two feet in height at the time of planting and shall grow to no more than four feet in height at the time of maturity. While the hedge is growing to a suitable height, an adjacent four foot high fence may be required by either the planning commission or city planner, according to the type of review required by appendix B, zoning, article 10, planning commission.

The Site Plan as submitted includes this required buffer with the landscaping (row of shrub plantings) between the stormwater management pond and North State Street.

Waiver Request: Arterial Street Buffer

The applicant has submitted an attached request to permit an Arterial Street Buffer width of 23 feet from the right-of-way instead of the required 30 feet under Article 5 §7.3 of the *Zoning Ordinance*. The Waiver Request states that the dedication of the additional buffer would create a hardship and that other properties along North Dupont Highway have mixed buffering ranges from what appears to be no buffer up to 20 feet from the back of the sidewalk. As the site currently has no buffer, the proposed plan would create a landscape buffer along North DuPont Highway, which is classified as a Principal Arterial Street.

VIII. CITY AND STATE CODE REQUIREMENTS:

The subject proposal has been reviewed for code compliance, plan conformity, and completeness in accordance with the agency's authority and area of expertise. The following items have been identified as elements which need to be addressed by the applicant:

- 1) Any waivers granted by the Planning Commission (and City Planner) must be noted on the Final Plan. Waivers requested include the Arterial Street Buffer and Partial Elimination of Upright Curbing.
- 2) The proposed building area is calculated using the proposed convenience store (4,816 SF) and the fuel canopy (4,947 SF). The current listed building area is 9,766 SF +/-, while it should be 9,763 SF +/-; please clarify. This update should be applied to all sheets.
- 3) Property owner is currently listed as Harrington Four Seasons, LLC; however, the parcel at 738 N DuPont Hwy is shown in the Kent County property records with the owner Asher Four Seasons, LLC. Prior to consolidation, all four of the parcels must be listed under the same titled owner.
- 4) Provide a Record Plan sheet that shows lot consolidation and right-of-way dedication, and other easements if required.
 - a) Confirm width of required right-of-way dedication along North DuPont Highway frontage.
 - b) Confirm what site elements, i.e. signage and landscaping, can be allowed in any permanent easement required by DelDOT.
- 5) The construction of the site entrances and street improvements must comply with the requirements within Article 3 §16(m)(2). The portions of the exit driveway on the SE side of North DuPont Highway are currently planned within 10 feet of the property line on the south side; this must be revised to comply with the *Zoning Ordinance*. This should be coordinated with the DelDOT review process for Entrance Plan approvals. *Note: The applicant has provided a Colored Site Exhibit set showing the proposed design revision to accommodate the 10-foot setback for the entrance and other striping for traffic control measures at the entrances.*
- 6) A frontage sidewalk is required along the frontage of North DuPont Highway. The sidewalk/pathway format should be coordinated with DelDOT review. *Note: The applicant has provided a concept to implement this sidewalk.*
- 7) The architectural elevations include signage. Signage is not approved as part of the Site Development Plan review and must be applied for through separate sign permits.
- 8) Provide construction details for the following items but not limited to, dumpster enclosure, traffic control signage, lighting fixtures, bicycle racks, handicap signage, etc.
- 9) The construction of the site entrances and street improvements must comply with the requirements of DelDOT.
- 10) Erosion & Sediment Control Plans and Stormwater Management Plans granted approval by the Kent Conservation District and Delaware Sediment and Stormwater Management regulations must reflect the Site Plan layout and design conditionally approved by the Planning Commission and be in compliance with the *Zoning Ordinance* and technical review requirements of other

agencies.

- 11) The Final Plan set must include notes documenting any action taken by the Planning Commission on the requested waivers and must list any additional conditions of approval.

IX. RECOMMENDATIONS SUGGESTED AS CONDITIONS OF APPROVAL TO MEET CODE OBJECTIVES:

In accordance with the *Zoning Ordinance*, Article 10 §2.2, the Planning Commission in considering and acting upon Site Development Plans may prescribe appropriate conditions and safeguards so that the public health, safety, and welfare, the comfort and convenience of the public in general, and the residents of the immediate neighborhood in particular shall be taken into consideration. These safeguards may to the maximum extent possible further the expressed intent of the *Zoning Ordinance* and the accomplishment of several objectives in particular listed in subsections 2.21 to 2.28.

- 1) Waiver Request - Arterial Street Buffer: In accordance with Article 6, §7.3, the applicant has requested a waiver from the 30-foot Arterial Street Buffer, proposing a 23-foot-wide buffer. As this would be consistent with or exceed the Arterial Street Buffer in the adjacent area, Planning Staff recommends approval of this waiver. Additional greenspace will be located within the right-of-way between the property line and paved travel lanes.
- 2) Waiver Request - Elimination of Upright Curbing: In accordance Article 6, §3.6 (b) of the City of Dover *Zoning Ordinance*, upright curbing is not required in areas for handclapped access. As the plan proposes the elimination of curbing between the parking spaces and building perimeter sidewalk to facilitate access, the City Planner has granted the waiver for upright curbing in this area.
- 3) Bicycle Parking: While the presence of the bike rack meets the Bike Parking requirements for the site, Staff recommends that the bike rack location to be moved closer to the building to minimize pedestrians/cyclists crossing across the interior drive aisle and increase safety.
- 4) Building Architecture – The rear building elevation, which fronts on North State Street, is a blank building face with little architectural relief. Staff recommends that some of the architectural elements/ material changes proposed for the front and left elevations be carried to this rear elevation, which is also a second building front, to provide more visual appeal.

X. ADVISORY COMMENTS TO THE APPLICANT:

- 1) The Planning Commission should act upon the request for waivers as part of any motion regarding this project application, or as a separate motion as necessary. Note: All waivers are at the discretion of the Planning Commission. The Commission may approve or deny waiver requests.
- 2) In the event, that major changes and revisions to the Site Plan occur in the finalization of the Plan contact the Department of Planning and Inspections. Examples include relocation of site components like paving and increases in building footprint. These changes may require resubmittal for review by the Development Advisory Committee, Planning Commission, or other agencies and commissions making recommendations in regard to the Plan.

- 3) Following Planning Commission approval of the Site Plan, the Plan must be revised to meet all conditions of approval from the Development Advisory Committee or as otherwise noted. A Check Print must be submitted for review by Planning Office Staff and the other commenting agencies. Upon determination that the Plan is complete and all agency approvals have been received, copies of the Plan may be submitted for final endorsement (Final Plan Approval).
- 4) Other agencies and departments which participate in the Development Advisory Committee may provide additional comments related to their areas of expertise and code requirements.
- 5) The applicant/developer shall be aware that prior to any ground disturbing activities on the site the appropriate Site Plan approvals, Pre-Construction meetings, site inspections and permits are required.
- 6) For building new construction, the requirements of the building code and the fire code must be complied with. Consult with the Building Inspections Staff and City of Dover Fire Marshal for these requirements. The resolution of these items may impact the site design including such items as building dimensions and height, building openings, and fire protection needs, etc.
- 7) The applicant shall be aware that Site Plan approval does not represent a Building Permit and associated construction activity permits. A separate application process is required for issuance of a Building Permit from the City of Dover. Building Permits will be required for each building.
- 8) The applicant shall be aware that Plan approval does not represent a Sign Permit, nor does it convey permission to place any sign on the premises. Any proposed site or building identification sign may require a Sign Permit from the City of Dover prior to placement of any such sign in accordance with *Zoning Ordinance* Article 5 §4.

If you have any questions or need to discuss any of the above comments, please call the above contact person and the Planning Office as soon as possible.



CITY OF DOVER

DEVELOPMENT ADVISORY COMMITTEE

APPLICATION REVIEW COMMENTARY

STAFF D.A.C. MEETING DATE: OCTOBER 1, 2025



APPLICATION: 7-ELEVEN WITH FUEL PUMPS @ 736 & 738 N DUPONT
HIGHWAY & 1021 & 1027 N STATE STREET

FILE #: S-25-15

REVIEWING AGENCY: City of Dover Department of Public Works and Water & Wastewater

CONTACT PERSON: Jason A. Lyon, P.E., Director of Water & Wastewater / Engineering Services

CONTACT PHONE #: 302-736-7025

CONTACT EMAIL: jlyon@dover.de.us

THE SUBJECT PROPOSAL HAS BEEN REVIEWED FOR CODE COMPLIANCE, PLAN CONFORMITY AND COMPLETENESS IN ACCORDANCE WITH THIS AGENCY'S AUTHORITY AND AREA OF EXPERTISE.

THE FOLLOWING ITEMS HAVE BEEN IDENTIFIED AS ELEMENTS WHICH NEED TO BE ADDRESSED BY THE APPLICANT:

CITY AND STATE CODE REQUIREMENTS

SANITATION

1. Every commercial customer shall provide such premises with a sufficient number of solid waste containers to provide adequate capacity for the solid waste placed out for collection without overloading the capacity of the containers. The City of Dover shall provide commercial customers with a maximum of two (2), 90-gallon trash containers and two (2), 90-gallon recycling containers.
2. Trash collection site shall be oriented for side-loading pick-up if customer is utilizing City of Dover sanitation services.
3. Any commercial customer requiring more containers, or larger containers, than provided above, must utilize private service.

STORMWATER

1. Final site plan approval will not be granted until a copy of the approved Stormwater/Erosion and Sediment Control Plan from Kent Conservation District is submitted to our office.
2. The size, length, slope, type and flow directions must be shown on all existing and proposed storm sewer lines. Rim and invert elevations must be labeled on all stormwater structures.

STREETS

1. Final site plan approval will not be granted until a letter of no objection, signed by DelDOT is submitted to our office.
2. The current City of Dover standard street section provides for a 3' grass strip between the curb and sidewalk. This standard was administratively revised to meet ADA and FHA compliance with cross slope requirements and to prevent cars from scrapping at driveways. The revised standard utilizes a five feet (5') wide public sidewalk with a five feet (5') wide grass strip behind the curb. Sidewalk and curb shall be installed for the width of the project scope.
3. Please add the following notes to the plans:
 - a. Standard City of Dover sidewalk, as per chapter 98, article IV of the Dover Code of Ordinances, shall be required to be installed along the entire public street frontage of a property. Where frontage sidewalk exists but does not meet the standards of chapter 98, article IV, the sidewalk shall be re-laid to meet the standards. Sidewalk shall include barrier-free

access ramping at points of intersection with street crossings and at other locations so as to afford reasonable barrier-free pedestrian movement and site access.

- b. In accordance to Appendix A, Article VI, Section B.3, all sidewalks shall ascend from the curbstone to the building line at the ratio of one-quarter of an inch to the foot. Nothing in this section shall be construed to affect any pavement previously laid by order of the city council, until it is taken up and relaid.

WATER

1. All water utility components must meet the requirements of the Water Wastewater Handbook, effective date March 22, 2010. Please contact our office for more information.
2. The following notes must be added to the plans:
 - a. Hydrant connections by the contractor are prohibited. This method may not be utilized during any phase of the project.
 - b. Any existing water lines not to be utilized by the proposed facility must be properly abandoned at the mains in accordance with the City of Dover Department of Water & Wastewater specifications and requirements.
 - c. The site contractor shall contact the City of Dover Department of Water & Wastewater Construction Manager at (302) 736-7025 prior to the start of construction. A representative from the City of Dover Department of Water & Wastewater must observe and approve all City owned water and sanitary sewer interconnections and testing. All water taps must be performed by a City of Dover approved contractor. The proposed location for the water connection may need to be adjusted in the field due to conditions of the existing main. Possible conditions that would require tapping relocation include proximity to pipe joints, other taps, concrete encasements, conflict with other utilities, and the like. Test holes must be performed by the contractor to determine the best tapping location. The City of Dover will not be held responsible for field conditions requiring adjustment of the tapping location or for any work required by the contractor to make an appropriate and lawful connection.
3. The size, type, and location of all proposed and existing water lines and valves must be shown on the plan. Please be advised that effective May 1, 2022, water mains can now be constructed using DR 18 PVC.
4. Water usage projections (peak demand or plumbing fixtures) must be submitted to our office to correctly determine the size of the domestic and irrigation (if applicable) water meter for the proposed buildings. These projections must be submitted prior to approval so the meter size can be placed on the final site plan. The proposed water meters must be installed in a pit per City of Dover requirements and manufacturer's recommendations. The meter pit shall be installed in a non-traffic (including pedestrian) bearing location. Also, a dual check valve is required downstream of the meter.
5. The domestic service, fire main connection and valves must be clearly shown for each building. A valve must be installed at the tee to isolate combined fire and domestic water service to the building from the water loop. Typically, this valve is installed at the tee or an acceptable distance from the building. A valve must be provided on the domestic water service, which must be tapped off of the combined eight-inch (8") fire/domestic service outside of the building. The domestic water tap and valve should be as close to the building as possible. Typically, the domestic tap and valve are located within five feet (5') to ten feet (10') of the building. A blow up detail of this layout is recommended.
6. Provide a construction detail for the proposed restraining system for the fire main located within the buildings. There shall only be one (1) water service per building. The Department of Water & Wastewater will test and inspect all fire mains to a blind flange located inside the buildings. The blind flange with tap is used for hydrostatic pressure testing (200 psi for two (2) hours) and dechlorination. The flange must be restrained in the direction of the pipe entering the facility. A pipe entering horizontally through a wall sleeve shall be restrained with rods through the wall. A pipe entering vertically through a slab shall be restrained through the floor to the ninety degree (90°) bend and thrust block. All rods shall be a minimum of ¾" all thread. All pipes through walls and slabs must be Class 52 cement lined ductile iron pipe. Confirm particulars to meet this requirement with mechanical designer.
7. Water services shall be either type K copper or SDR-9. 1. All non-metallic water lines (mains and services) shall be installed with a tracer wire and identification tape. The wire shall be a minimum of twelve (12) gauge blue coated solid copper wire, wrapped around the pipe, and extending up into all valve and curb boxes. The identification tape shall be six-inches (6") wide, laid one foot (1') above the pipe, with the following text: "Caution: Buried Water Line Below". 3M marker balls, model 1423-XR, or approved equal shall be installed at every service line connection to the water main and all bends on the service line.

8. On October 24, 2022, City of Dover Council approved the new Cross Connection Control Program. This program requires certain backflow prevention assemblies on water service connections to the city's distribution system. Please provide a specific description of the activities in this building.

WASTEWATER

1. All wastewater utility components must meet the requirements of the Water Wastewater Handbook, effective date March 22, 2010. Please contact our office for more information.
2. The following notes must be added to the plans:
 - a. Any existing sanitary sewer lines not to be utilized by the proposed facility must be properly abandoned at the mains in accordance with the City of Dover Department of Water & Wastewater specifications and requirements.
 - b. Part II, Chapter 180, Article III, Section 180-10 of the Code of Kent County requires that "no person shall discharge or cause to be discharged any stormwater, surface water, uncontaminated groundwater, roof runoff, subsurface drainage, uncontaminated noncontact cooling water or unpolluted industrial process waters to any sanitary sewer", this shall include condensate. Sec. 110-231 of the City of Dover Code defines storm sewer as "...any system used for conveying rain water, surface water, condensate, cooling water or similar liquid wastes, exclusive of sewage." The contractor, developer, owner and designers shall ensure during construction that no illegal discharges to the sanitary sewer system are created with the site improvements.
3. The size, length, slope, type and flow directions must be shown on all existing and proposed sanitary sewer lines. Rim and invert elevations must be labeled on all sanitary structures. The minimum difference between a cleanout rim and invert shall be three-feet (3').
4. Cleanouts must be installed on sanitary sewer laterals within five feet (5') of the building, one foot (1') outside of the right-of-way and at all bends. Any cleanout located within a traffic bearing location shall be installed with a heavy duty cast iron frame and cover to prevent damage to the cleanout and lateral.
5. Sizing (flow) calculations must be submitted for all sanitary sewer mains showing that velocity and all other requirements are met.
6. The minimum size of all sanitary sewer laterals shall be six-inch (6").
7. If kitchen facilities are proposed a minimum 1,000 gallon, two chamber grease trap, meeting all Kent County ordinance requirements, must be provided. A construction detail for the proposed grease trap, as well as the proposed location, must be provided on the plan.
8. Depending on the effluent flow, the downstream pump station may be required to be evaluated by the developer / engineer to verify it can handle the additional effluent flow.

GENERAL

1. All existing utilities shall be adjusted to final grade in accordance with current City of Dover requirements and practices. This must be included as a note on the plan.
2. No trees may be planted within ten feet (10') of utility infrastructure.
3. No structure may be installed within ten feet (10') of utility infrastructure, please depict all underground utilities and structures on the utility plan sheet to confirm compliance.
4. The final site plan must be submitted in the following compatible digital formats:
 - a. AutoCAD 2018 (.dwg format).
 - b. Adobe Reader (.pdf format).

RECOMMENDATIONS SUGGESTED AS CONDITIONS OF APPROVAL TO MEET CODE OBJECTIVES

SANITATION / STORMWATER / STREETS / WATER / WASTEWATER / GENERAL

1. None.

ADVISORY COMMENTS TO THE APPLICANT

WATER

1. The City of Dover water system is available to this site. The developer is responsible for all costs associated with extending and providing service to the proposed development.
2. Prior to plan approval, the water system plans must be submitted to the Division of Public Health, Office of Drinking Water for review and approval. The owner/developer will be responsible for providing all completed forms and plan sets to the City of Dover as required for submission to the Office of Drinking Water. Plans will not be submitted to the Office of Drinking Water until review has been completed by our office.
3. Hydrant flow testing is currently only performed during the spring and fall. The applicant must call the Department of Water & Wastewater directly to schedule these tests. This applies to both existing hydrants as well as those proposed for the site.
4. Water impact fees will be required to be paid prior to Certificate of Occupancy for this project.

WASTEWATER

1. The City of Dover sanitary sewer system is available to this site. The developer is responsible for all costs associated with extending and providing service and capacity to the proposed development.
2. Prior to plan approval, it may be required to submit the sanitary sewer system plans to the DNREC, Division of Water Resources, Surface Water Discharges Section for review and approval. The owner/developer is responsible for providing all application fees, completed forms and plan sets directly to DNREC.
3. Profiles of the sanitary sewer main must be provided with the construction plans. All water, sanitary sewer and storm sewer crossings must be shown on the profiles.
4. Wastewater impact fees will be required to be paid prior to Certificate of Occupancy for this project.

GENERAL

1. The applicant is advised that depending upon the size of the existing water service and sanitary sewer lateral to be abandoned, flowable fill may be required.
2. Construction plans will not be reviewed by our office unless all previous comments have been clearly addressed within the plan set and accordingly identified within an itemized response letter and with the Water/Wastewater Initial Plan Submission Checklist, which can be obtained from the following website: https://imageserv9.team-logic.com/mediaLibrary/198/WaterWastewaterHandbookFinal_1.pdf, page 88.

SANITATION / STORMWATER / STREETS

1. None.

IF YOU HAVE ANY QUESTIONS OR NEED TO DISCUSS ANY OF THE ABOVE COMMENTS, PLEASE CALL THE ABOVE CONTACT PERSON AND THE PLANNING DEPARTMENT AS SOON AS POSSIBLE.

CITY OF DOVER ELECTRIC
DEVELOPMENT ADVISORY COMMITTEE
APPLICATION REVIEW COMMENTARY
STAFF D.A.C. MEETING DATE: OCT 1, 2025

APPLICATION: 7-Eleven with Fuel Pumps at 736 and 738 N. Dupont Highway and 1021 and 1027 N. State Street

FILE #: S-25-15

REVIEWING AGENCY: City of Dover Electric Department

CONTACT PERSON: Shawn Burgett, Engineering Services & System Ops Superintendent

CONTACT PHONE #: 302-674-7568

CONTACT EMAIL #: sburgett@dover.de.us

THE SUBJECT PROPOSAL HAS BEEN REVIEWED FOR CODE COMPLIANCE, PLAN CONFORMITY AND COMPLETENESS IN ACCORDANCE WITH THIS AGENCY'S AUTHORITY AND AREA OF EXPERTISE.

THE FOLLOWING ITEMS HAVE BEEN IDENTIFIED AS ELEMENTS WHICH NEED TO BE ADDRESSED BY THE APPLICANT:

CITY AND STATE CODE REQUIREMENTS

ELECTRIC

1. The roadway and curbing must be in.
2. The right-of-way must be within 6" of final grade.
3. The property corners must be staked.
4. Owner is responsible for locating all existing underground electric, communications and water facilities.
5. Owner is responsible for installing all conduits and equipment pads per the City of Dover Engineering Department specifications.
6. Owner is responsible for site and/or street lighting.
7. Meter locations will be determined by City of Dover Engineering Department.
8. Load sheets and AutoCAD compatible DXF or DWG diskettes of site plans, including driveways, are required prior to receiving approved electrical construction drawings.
9. Any relocation of existing electrical equipment will be engineered by the City of Dover Electric Department. Developer may be required to perform a quantity of the relocation. Any work performed by the City of Dover will be at the owner's expense.
10. Prior to construction, owner is responsible for granting an easement to the City of Dover Electric Department. Easement forms will be furnished and prepared by the City of Dover Electric Engineering Department.
11. Fees will be assessed upon final site plans. The owner will be responsible for fees assessed prior to construction. Owner is required to sign off plans prepared by the Electric Department.
12. Must maintain 10' clearance around all electrical equipment, unless pre-approved by the City of Dover Electric Engineering Department.

13. Prior to the completion of any/all designs and estimates, the owner is responsible for providing the Electric Engineering Department with a physical address of the property.
14. All Engineering and design for Dover Electric will be engineered upon final approved plans. All Engineering work will be furnished by the City's Electric Engineering Department.

RECOMMENDATIONS SUGGESTED AS CONDITIONS OF APPROVAL TO MEET CODE OBJECTIVES

ELECTRIC

1. Owner must give the City of Dover Electric Department three (3) months' notice prior to construction. Owner is responsible for following the requirements outlined in the City of Dover's Electric Service Handbook. The handbook is now available on the website at the following link: <https://evogov.s3.amazonaws.com/media/27/media/13108.pdf>.

ADVISORY COMMENTS TO THE APPLICANT

ELECTRIC

1. Provide load sheets as soon as possible for proper sizing of transformers and creation of primary fee estimates. Current load sheets can be found at the following link: <https://www.cityofdover.com/media/Electric%20Department/COD%20Electric%20Load%20Sheet.pdf>.

IF YOU HAVE ANY QUESTIONS OR NEED TO DISCUSS ANY OF THE ABOVE COMMENTS, PLEASE CALL THE ABOVE CONTACT PERSON AND THE PLANNING DEPARTMENT AS SOON AS POSSIBLE.

CITY OF DOVER

DEVELOPMENT ADVISORY COMMITTEE

APPLICATION REVIEW COMMENTARY

D.A.C. MEETING DATE: 10/01/25

APPLICATION: 7 Eleven with Fuel Pumps at 736 and 738 N DuPont Hwy and 1021 and 1027 N State St

FILE #: S-25-15 **REVIEWING AGENCY:** City of Dover, Office of the Fire Marshal

CONTACT PERSON: Jason Osika, Fire Marshal
josika@dover.de.us

PHONE #: (302) 736-4457

THE SUBJECT PROPOSAL HAS BEEN REVIEWED FOR CODE COMPLIANCE, PLAN CONFORMITY, AND COMPLETENESS IN ACCORDANCE WITH THIS AGENCY'S AUTHORITY AND AREA OF EXPERTISE.

THE FOLLOWING ITEMS HAVE BEEN IDENTIFIED AS ELEMENTS WHICH NEED TO BE ADDRESS BY THE APPLICANT:

CITY AND STATE CODE REQUIREMENTS:

1. Proposed occupancy classification is mercantile.
2. Building Access shall be no further than 50 feet from a primary entrance.

Where buildings are provided with an automatic sprinkler system installed in accordance with NFPA 13, access shall be no further than 100 feet from the primary entrance.
 (2021 Delaware State Fire Prevention Regulations, 705, Chapter 5, 3.4)

3. Parking shall be prohibited in front of the primary entrance for a width of not less than 1.5 times the width of the door(s) or for 10 feet, whichever is greater.
 (2021 Delaware State Fire Prevention Regulations, 705, Chapter 5, 6.3.2)
4. Perimeter access shall be 50% (25% if sprinklered) and clearly shown on the plans.

Perimeter Access minimum width shall be 10 feet for one-story buildings and 15 feet for buildings of two or more stories, measured from the face of the building at grade with a maximum slope of ten percent (10%). Plantings and utility services (includes condenser units, transformers, etc.) shall be permitted within the perimeter access, and shall not interfere with emergency services fire ground operations.

If a physical barrier (fence, pond, steep slope, etc) prevents access, that portion of the building perimeter shall not be included in the calculation of Percent of Perimeter Access.
 (2021 Delaware State Fire Prevention Regulations, 705, Chapter 5, 3.5)

Where parking is located between the building and perimeter access area, parking shall not be located closer than 10 feet to the exterior wall for one-story buildings and 15 feet to the exterior wall for building of two or more stories.

5. Speed Reduction Devices must be approved, please see City of Dover Ordinance Chapter 98-10 in reference to this process.

6. Fire hydrants shall be installed per the requirements of City of Dover Public Utilities Water/Wastewater Handbook, NFPA requirements, and Delaware State Fire Prevention Regulations. City Ordinance Sec 46-9 (f).

5.1.1 Hydrant spacing as shown in the Fire Flow Tables shall be used as a general rule. Hydrants shall be located at the direction of the State Fire Marshal so as to minimize friction in fire hose. All hydrant spacing shall be located along available roads or at the direction of the State Fire Marshal. This measurement shall be calculated by way of accessible thoroughfare(s) from the building to be protected to the hydrant and may not necessarily be a radius. 5.1.3 Additional hydrants shall be provided when the State Fire Marshal deems it necessary based on the configuration of the site, building(s), exposures, construction, occupancy, and/or specific hazard(s).

Fire Flow table 2, hydrant spacing shall be 800 feet on center for one and two family detached dwellings, other residential, rowhouses and townhouses, assembly, health care, business, education, storage, industrial, mercantile, and mini storage. (702, Chapter 6)

NFPA 1

18.5.2 detached one- and two-family dwellings, fire hydrants shall be provided for detached one- and two-family dwellings in accordance with both of the following: 1. the maximum distance to a fire hydrant from the closest point on the building shall not exceed 600 feet 2. the maximum distance between fire hydrants shall not exceed 800 feet.

18.5.3 buildings other than detached one- and two-family dwellings, fire hydrants shall be provided for buildings other than detached one- and two-family dwellings in accordance with both of the following 1. The maximum distance to a fire hydrant from the closet point on the building shall not exceed 400 feet 2. The maximum distance between fire hydrants shall not exceed 500 feet

7. All fire hydrants shall be marked as prescribed within the appropriate section of this regulation and as illustrated by the appropriate figures of this regulation.

All fire hydrants shall have minimum of four-inch (4") solid yellow demarcation lines to define specific areas, where fire hydrants are located along a curb line with permitted parking, the area between the fire hydrant and the street or fire lane shall be stenciled with four inch (4") demarcation lines and the words "NO PARKING", demarcation lines shall be measured from the center line of the fire hydrant and extend for a distance 15 feet on both sides.

Where fire hydrants are located in parking lots or other areas susceptible to blockage by parked vehicles they shall be treated as follows: fire hydrants shall be protected in all directions for a distance of seven feet (7') with barriers or curbing, Minimum four-inch (4") diameter steel bollards filled with concrete and marked yellow shall be installed at the outermost corners of the fire hydrant demarcation area. The minimum height of the bollard shall be 36 inches above the finished grade of the adjacent surface, and the steamer connection of all fire hydrants shall be positioned so as to be facing the edge of the street, or traffic lane.

(2021 Delaware State Fire Prevention Regulations, 705, Chapter 6, 2)

The owner is responsible if the hydrant is private.

8. Hydrant barrels shall be provided with reflective material, such as paint, durable for highway/roadway markings or a reflective tape of a minimum of 2" in width around the barrel under the top flange, hydrant bonnets shall be color coded based on the following criteria: class

AA 1500 GPM - painted light blue, class A 1,000 GPM - 1499 GPM - painted green, class B 500 - 999 GPM - painted orange, class C 250 - 499 GPM - painted red, class D under 250 GPM - painted black.

(2021 Delaware State Fire Prevention Regulations 703, Chapter 3. 4)

The owner is responsible if the hydrant is private.

9. Hydrants are to be Darling Co. B-62-B Breakaway <https://american-usa.com/products/valves-and-hydrants/fire-hydrants/5-1-4-american-darling-b-62-b-5>

10. NFPA 72 compliant Fire Alarm System TBD per occupancy code requirements.

Fire alarm in place of assembly. *Fire alarm required.* Any new occupancy or new portion of an occupancy determined to be a place of assembly by the fire marshal and is capable of receiving an occupant load of 75 persons or greater, shall be required to install a fire alarm in accordance with NFPA codes governing the installation of fire alarms and the National Electrical Code.

Fire alarm system required. Any existing occupancy or portion of an existing occupancy determined to be a place of assembly by the fire marshal, and is undergoing renovations in excess of 50 percent of the assessed value of the building and is capable of receiving an occupant load 75 persons or greater or is being enlarged to receive an occupant load of 75 persons or greater, shall be required to install a complete fire alarm system in accordance with NFPA codes governing the installation of fire alarms and the National Electrical Code.

Public mode audible requirements. To ensure that audible public mode signals are clearly heard by occupants of a structure, they shall have a sound level at least 15 decibels (dB) above the average ambient sound level or five decibels (dB) above the maximum sound level having a duration of at least 60 seconds, whichever is greater, measured five feet (1.5m) above the floor in the area required to be served by the system using the A-weighted scale dBA. In the event the stated requirement cannot be met a shunt trip relay/switches shall be the approved method of meeting the intent of this section of the Code.

(City Code of Ordinances 46-171)

11. The installation of natural gas and LP gas meters, regulators, valves, and LP gas bottles shall be protected from impact damage by impact protection. Natural gas and LP gas meters, regulators, and valves located inside structures shall have impact protection, except when located in separate protected utility rooms.

Dimensions of bollards. Bollards shall be a minimum of six-inch diameter filled with concrete. The bollard shall be set into the ground at a depth of at least 36 inches (three ft.) embedded in concrete at a minimum of 18 inches surrounding the bollard. The bollards must be a least 48 inches (four ft.) in height above the finish grade elevation. Any deviation of the stated requirements must be approved by the fire marshal and/or chief building inspector. The above dimensions shall serve as the requirement for installation; however, the fire marshal and/or chief building inspector shall have the authority to require more stringent dimensions to fit the needs of devices warranting impact protection.

Color of bollards. Bollards should be of the following colors; yellow, amber or orange. All colors shall be of fluorescent or have a reflective coating. Any deviation of the stated requirements must be approved by the fire marshal and/chief building inspector.

(City of Dover Code of Ordinances, 46-4)

12. Every house, building or structure used or intended for use as living quarters or as a place for conducting business, and having any wall facing or abutting any public or private street or alley,

shall have displayed on that wall, in legible, easily read characters which are of contrasting color to the background, the proper street number for such house, building, or structure in accordance with the following:

One-family and two-family residential structures, height, the number shall measure a minimum of four inches in height, *location*, the number shall be placed on the house above or to the left or right of the front entrance, *color*, the number shall be contrasting to the background color, *Arabic numerals*, all numbers shall be Arabic numerals.

Multiple-family dwellings, measurements, the number shall measure a minimum of six inches when identifying individual apartments with exterior doors, and 12 inches when identifying buildings with apartment complexes where there are two or more buildings not assigned street addresses. Individual buildings with street addresses shall have numbers measuring six inches, *location*, numbers shall be placed either in the center of the building or on the street end of the building so as to be visible from either the public or private street or from the parking lot, *color*, numbers shall be contrasting to the background color, *Arabic numerals*, all numbers used shall be Arabic numerals.

Commercial, industrial and office buildings, height, the numbers shall measure a minimum of 12 inches in height, *location generally*, numbers shall be placed either in the center of the building or on the street end of the building so as to be visible from either the public or private street or from the parking lot,

property line or driveway, should the building be located far enough from a public or private road so that the numbers are not clearly visible from the street, then the street address shall also be posted on the property at or near the property line or driveway to said building,

color; each building, numbers shall be contrasting to the background color and shall be placed on each building in the complex,

Arabic numerals, all numbers used shall be Arabic numerals,

Shopping centers. Shopping centers consisting of two or more stores shall have a tenant or suite number affixed to the front of the tenant space and on the outside of the rear door which corresponds with that tenant space. Numbers shall measure six inches in height.
(City of Dover Code of Ordinances, 98-344)

13. TBD A lock box (Knox) containing any and all means necessary for fire department access shall be provided at the following occupancies: any occupancy that contains a fire alarm signaling system that is monitored off-site, or any occupancy that contains an automatic sprinkler system.
(2021 Delaware State Fire Prevention Regulations 705, Chapter 5, 2.4)

Secured key systems. When required; exemption. A secured key system shall be required for any new or existing building where a fire alarm or sprinkler system is being installed. It shall be the responsibility of the owner or occupant to keep a set of keys in the secured key box that are current to the locks of the protected occupancy. Buildings with 24-hour staffing or guard service shall be exempt from this subsection.

Location. The secured key system shall be located as close to the main entrance as possible. Should the building design not allow the secured key system to be located

by the main entrance, the fire marshal and fire chief shall come to an agreement as to an alternate location for the key box. A secured key system, once installed, shall not be obstructed from view or obstructed by any means that would delay the fire department access to the box.

Required keys. Keys to be secured in the key box shall include keys to all points of ingress or egress, whether on the interior or exterior of the building, and keys to locked mechanical rooms, electrical rooms, elevator rooms, fire alarm and sprinkler controls and any area protected by automatic fire detection. Keys to individual residential apartment units are not required.

Ordering responsibility. It shall be the responsibility of the general contractor to order the key box for new buildings. It shall be the responsibility of the owner or tenant to order the key box for existing buildings.

Installation before testing. No acceptance test for sprinklers or fire alarms shall be conducted before the installation of a key box.
(City Code of Ordinances 46-127)

Knox Box to be mounted 6 feet above ground level

14. All required means of egress shall have an exit discharge consisting of a non-slip surface and leading to and terminating at a public way. NFPA 101
15. Project to be completed per approved Site Plan.
16. Full building and fire plan review is required.
17. Separate building permits/plans submission will be required for each building and/or tenant fit out. If the permit submission is for a "shell" a Certificate of Occupancy will not be issued. Separate plans and permits submissions will be required for each "tenant fit out" at which time a Certificate of Occupancy will be issued upon compliance/completion of each "tenant fit out".

Each "shell" will require a fire permit for sprinkler and fire alarm if applicable. Those systems (for the "shell") must be accepted into service prior to any "tenant fit out" fire permits being issued.
18. Construction or renovations cannot be started until building plans are approved.
19. Fire alarm systems, fire suppression systems, hoods, exhaust ducts, and hood suppression systems require a fire permit from the Fire Marshal's Office. This work cannot be started until the permit is approved.
20. Building cannot be occupied by the public until a Certificate of Occupancy is obtained.
21. The following is City Ordinance, Appendix B-Zoning, Article 8 Enforcement and Penalties:

Section 1. - Building permits.

No building or structure in any district shall be erected or structurally altered without a building permit duly issued upon application to the building inspector. No building permit shall be issued unless the proposed construction or use is in full conformity with all the provisions of this ordinance. Any building permit issued in violation of the provisions of this ordinance shall be null and void and of no effect, without the necessity for any proceedings for revocations or nullification thereof, and any work

undertaken or use established pursuant to any such permit shall be unlawful (see section 4 for penalties).

1.1 No building permit shall be issued for the construction or alteration of any building upon a lot without frontage upon, or legal permanent access to, a public street improved to the satisfaction of the planning commission, or without access to a public sewer.

1.2 No building permit shall be issued for any building where the site development plan of such building is subject to approval by the planning commission, except upon approval of such plans approved by the said commission.

1.21 No building permit shall be issued for any building in a subdivision unless the subdivision plot has been approved by the planning commission.

1.3 No building permit shall be issued for a building to be used for any conditional use in any zone where such use is allowed only with approval of the planning commission, unless and until such approval has been duly granted by the said commission.

(Ord. of 7-12-1993, § 3)

ADDITIONAL / SPECIFIC REQUIREMENTS TO OBTAIN APPROVAL:

1. Please show the perimeter access as outlined in item # 4 listed above
2. A discussion is needed in reference to where the closest fire hydrant is and if one will be needed on site.
3. There will need to be one address assigned to the project site
4. DNREC approval will be needed for the fuel tanks

APPLICABLE CODES LISTED BELOW (NOT LIMITED TO):

2021 NFPA 1 Fire Code (NFPA; National Fire Protection Association)

2021 NFPA 101 Life Safety Code (NFPA; National Fire Protection Association)

2019 NFPA 72 National Fire Alarm and Signaling Code (NFPA; National Fire Protection Association)

2019 NFPA 13 Installation of Sprinkler Systems (NFPA; National Fire Protection Association)

2009 IBC (International Building Code)

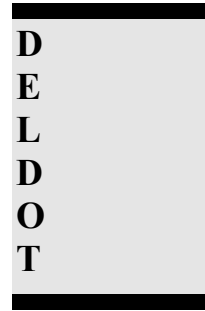
Latest editions of all other NFPA Codes as defined by the Delaware State Fire Prevention Regulations

2021 Delaware State Fire Prevention Regulations

City of Dover Code of Ordinances

***If you have any questions or need to discuss any of the above comments, please call the above contact person listed.**

CITY OF DOVER
DEVELOPMENT ADVISORY COMMITTEE
APPLICATION REVIEW COMMENTARY



APPLICATION: 7-Eleven with Fuel Pumps at 736 N DuPont Hwy

FILE#: S-25-15

REVIEWING AGENCY: DelDOT

CONTACT PERSON: Brian Williams

PHONE#: 302-760-2141

THE SUBJECT PROPOSAL HAS BEEN REVIEWED FOR CODE COMPLIANCE, PLAN CONFORMITY AND COMPLETENESS IN ACCORDANCE WITH THIS AGENCY'S AUTHORITY AND AREA OF EXPERTISE.

THE FOLLOWING ITEMS HAVE BEEN IDENTIFIED AS ELEMENTS WHICH NEED TO BE ADDRESSED BY THE APPLICANT:

CITY & STATE CODE REQUIREMENTS:

No person, firm, corporation or the like shall construct, open, reconstruct, maintain, modify or use any crossing or entrance onto a state-maintained highway, street or road, including any drainage modifications leading into or carried by the highway drainage system, without first having complied with standards and regulations adopted by the Department and having obtained a permit issued by the Department. Please contact the Delaware Department of Transportation - Development Coordination section to begin permit process.

RECOMMENDATIONS SUGGESTED AS CONDITIONS OF APPROVAL TO MEET CODE OBJECTIVES:

ADVISORY COMMENTS TO THE APPLICANT:

1. Continue working with the Department towards plan approval.



KENT CONSERVATION DISTRICT

1679 SOUTH DUPONT HIGHWAY • DOVER, DELAWARE 19901 • (302) 608-5370 • WWW.KENTCD.ORG

CITY OF DOVER ADMINISTRATIVE SITE PLAN REVIEW OCTOBER 2025

APPLICATION: 7-Eleven with Fuel Pumps at 736 & 738 N. DuPont Highway and 1021 & 1027 N. State Street

FILE #: S-25-15

REVIEWING AGENCY: Kent Conservation District

CONTACT PERSON: Cullen Baker

PHONE: (302) 608 - 5370

EMAIL: stormwater@kentcd.org

THE SUBJECT PROPOSAL HAS BEEN REVIEWED FOR CODE COMPLIANCE, PLAN CONFORMITY AND COMPLETENESS IN ACCORDANCE WITH THIS AGENCY'S AUTHORITY AND AREA OF EXPERTISE. THE FOLLOWING ITEMS HAVE BEEN IDENTIFIED AS ELEMENTS WHICH NEED TO BE ADDRESSED BY THE APPLICANT:

Source: 2019 Delaware Sediment and Stormwater Regulations

CITY AND STATE CODE REQUIREMENTS:

1. As the disturbance for this site will exceed 5,000 square feet, a detailed sediment and stormwater management plan must be reviewed and approved by the District prior to any land disturbing activity (i.e. clearing, grubbing, filling, grading, etc.) taking place. The review fee and a completed application is due at the time of plan submittal to the District's office.
2. The following notes must appear on the record plan:
 - a. The Kent Conservation District reserves the right to enter private property for purposes of periodic site inspection.
 - b. The Kent Conservation District reserves the right to add, modify, or delete any erosion or sediment control measure, as it deems necessary.
 - c. A clear statement of defined maintenance responsibility for stormwater management facilities must be provided on the Record Plan.

ADVISORY COMMENTS TO THE APPLICANT:

1. KCD held a stormwater assessment study / pre-application meeting with Atwell on 7/30/25.
2. Please note the Kent Conservation District will not review an application more than three times. If after the third review the plan is still not found to be approvable, the application will be denied, and a new application with review fees are to be re-submitted to continue a detailed plan review.
3. A letter of no objection to recordation will be provided upon approval of the Sediment and Stormwater Management Plan.

CITY OF DOVER
DEVELOPMENT ADVISORY COMMITTEE
ADVISORY BRIEF
D.A.C. MEETING DATE: 10/8/2025

**Dover/Kent
County
Metropolitan
Planning
Organization**

S-25-15 7-Eleven with Fuel Pumps at 736 and 738 N. DuPont Highway and 1021 & 1027 N. State Street

FILE # S-25-15

REVIEWING AGENCY: Dover/Kent County MPO

CONTACT PERSON: Malcolm Jacob

PHONE #: (302) 387-6030

Attached, please find comments submitted by Dover Kent MPO for each of the current City of Dover Development Advisory Committee (DAC) applications. These comments are a part of the MPO's ongoing goals of promoting transportation safety and connectivity within the region. They are submitted in accordance with the support given by the MPO Council on November 6, 2024.

Issues of concern to the MPO are effective transit, reducing the amount of vehicle emissions by shortening or eliminating trips, and facilities for alternative modes of transportation, including bicycle and pedestrian access. The MPO considers the bicycle facilities required by the City of Dover to be the standard for all applications, not to be waived.

City of Dover Planning Commission
Site Development Plan Review

S-25-15 7-Eleven with Fuel Pumps at 736 and 738 N. DuPont Highway and 1021 & 1027 N. State Street

Dover Kent MPO believes the property entrances proposed in the site plan need to be improved significantly. These wide entrances are a notable safety concern, as there will be no clear direction for motorists entering or exiting the property. This can be dangerous for motorists as well as bicyclists and pedestrians. One strategy for addressing this concern would be to tighten and channelize the two US13 (N. DuPont Highway) entrances. If the northern entrance only allowed righthand turns onto the property, and the southern entrance only allowed righthand turns out of the property, there would be far fewer conflict points and a reduced risk of crashes, which would make this segment of US13 safer for all roadway users. Defined entrances with crosswalks are explicitly recommended in Dover Kent MPO's *US13 Sidewalk Gaps* study.¹

¹ *US13 Sidewalk Gaps*. Dover/Kent County MPO (2023). <https://doverkentmpo.delaware.gov/files/2023/06/US13-Sidewalk-Gaps-Final-6-2023.pdf#page=36>.



The entrance onto State Street could be improved in several ways. First, a connection to the property to the north (TD Bank) would benefit customers of both businesses, as it would allow them to easily travel between the two properties without having to use State Street. A shared entrance with TD Bank should also be considered, as this would reduce the potential for a crash on State Street and improve the overall flow of traffic. If this were to be done, further discussions with DelDOT, the City of Dover, and the neighboring property would be needed.

Sidewalks need to be added to the frontage of the property, particularly on the eastern side of the property along US13. This road is extremely dangerous for pedestrians, with a posted speed limit of 40 mph, an average annual daily traffic (AADT) of 36,248, and wide driveway entrances with no crosswalks. There are also many commercial destinations on US13, leading it to experience a high volume of pedestrian traffic. In the recently completed *Kent County Safety Action Plan*, both US13 and State Street in front of the property were identified as part of Kent County's "High-Injury Network." This means both roads have experienced a disproportionately high number of fatalities and serious injuries.² Dover Kent MPO's *US13 Sidewalk Gaps* study also identifies the gap in front of the property, and complete sidewalks with crosswalks and ADA ramps are recommended at this location.

The applicant should follow both the City of Dover Code for sidewalks³ and the DelDOT specifications for pathways,⁴ to make sure the requirements of both entities are met. These improvements should include a crosswalk with ADA ramps across all of the driveway entrances. Also note that this segment of State Street contains newly installed sidewalks; therefore, any sidewalks that are damaged or removed during the construction process should be replaced.

Finally, the site plan makes references to bike racks that are to be added to the property. This should be done at a rate of one (1) bicycle parking space for every twenty (20) vehicle parking spaces in order to meet the City of Dover requirements.⁵ If more information on specific types of bicycle racks is needed, please contact Dover Kent MPO.

If you have any questions or need to discuss any of the above comments, please call the above contact person and the Planning Department as soon as possible.

² *Kent County Safety Action Plan*. Dover/Kent County MPO (2025).

<https://doverkentmpo.delaware.gov/files/2025/06/Kent-County-Safety-Action-Plan-FINAL-June-2025.pdf>.

³ "Dover Code: Appendix B, Article 5, Section 18." City of Dover, DE.

https://library.municode.com/de/dover/codes/code_of_ordinances?nodeId=PTIICOOR_APXBZO_ART5SURE_S18PEBIMUDAACRE.

⁴ *Pedestrian Accessibility Standards Manual*. Delaware Department of Transportation (DelDOT) (2021).

<https://deldot.gov/Publications/manuals/pedestrianAccessibility/pdfs/2021/Pedestrian-Accessibility-Standards-for-Facilities-in-the-Public-Right-of-Way-2021-Edition.pdf>.

⁵ "Dover Code: Appendix B, Article 6, Section 3.10." City of Dover, DE.

https://library.municode.com/de/dover/codes/code_of_ordinances?nodeId=PTIICOOR_APXBZO_ART6OREPAD_RLOFA_S3REOREPASP.



10/1/2025 DAC Meeting Comments

Chesapeake Utilities

Z-25-01 Lands of Bayhealth Medical Center, Inc. at 600 South State Street: Rezoning RGO/SWPOZ to IO/SWPOZ

- No Comments, currently serve existing building.

S-25-14 LivSmart Extended Stay Hotel at 530 and 540 Bay Road

- Natural Gas is in the area. Contact Jared H @ Jhughart@chpk.com prior to construction

S-25-15 7-Eleven with Fuel Pumps at 736 and 738 N. DuPont Highway and 1021 & 1027 N. State Street

- Natural Gas is in the area. Contact Jared H @ Jhughart@chpk.com prior to construction
- NOTE: we do have active services, please contact Chesapeake Utilities in advance for due diligence and planning. There is a potential that some services may need to be relocated or retired. Please contact Ddagg@chpk.com and Jhughart@chpk.com for this request.

Thank you,

Jared