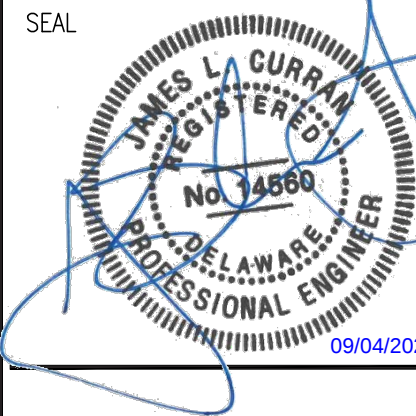




CONSTRUCTION PLANS

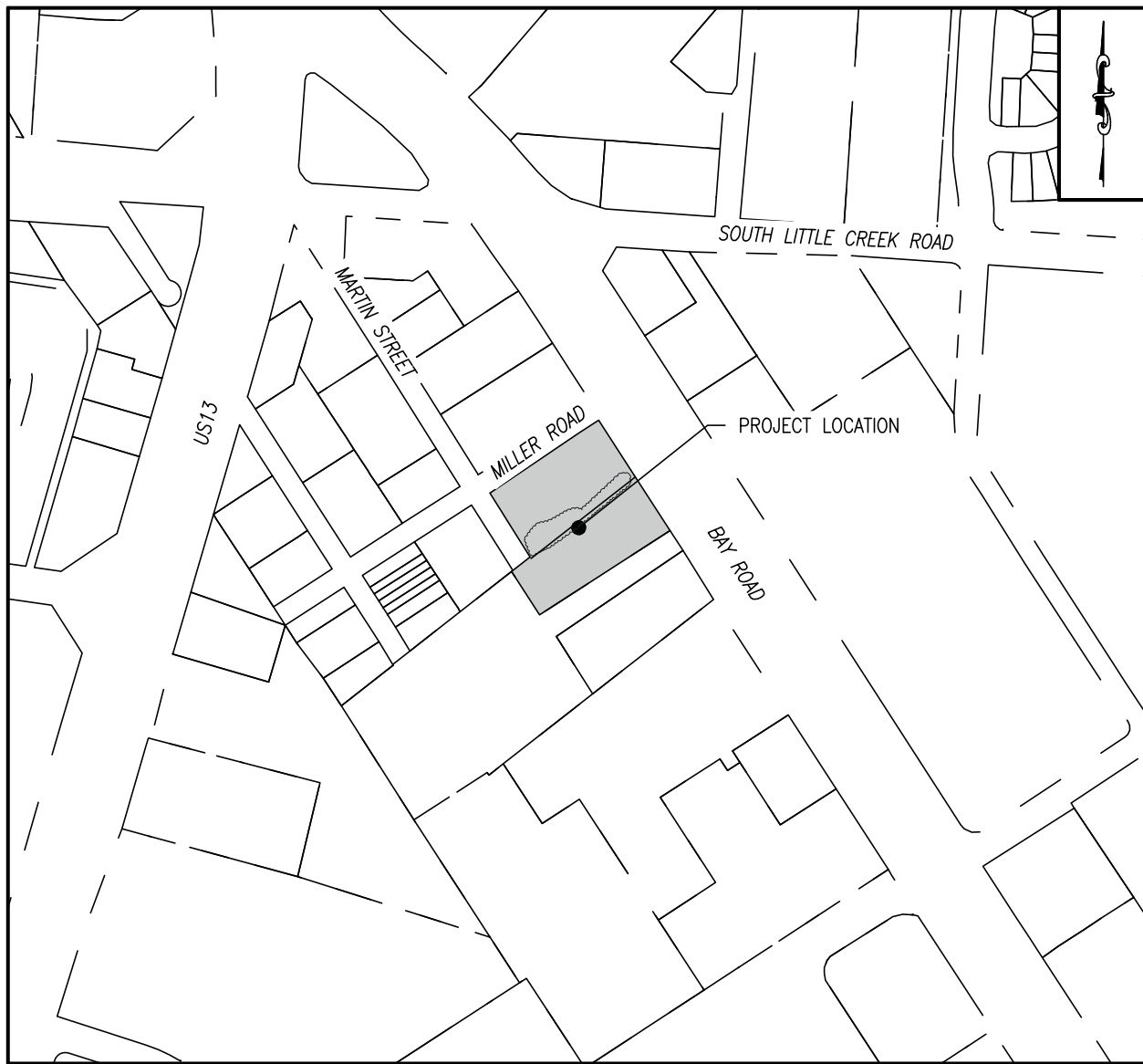
FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077.00-01-10.02-00001 & 2-05-077.10-01-45.00-00001

CITY OF DOVER, 19901

KENT COUNTY, STATE OF DELAWARE



LOCATION MAP
0' 400' 800' 1200'
SCALE: 1" = 400'



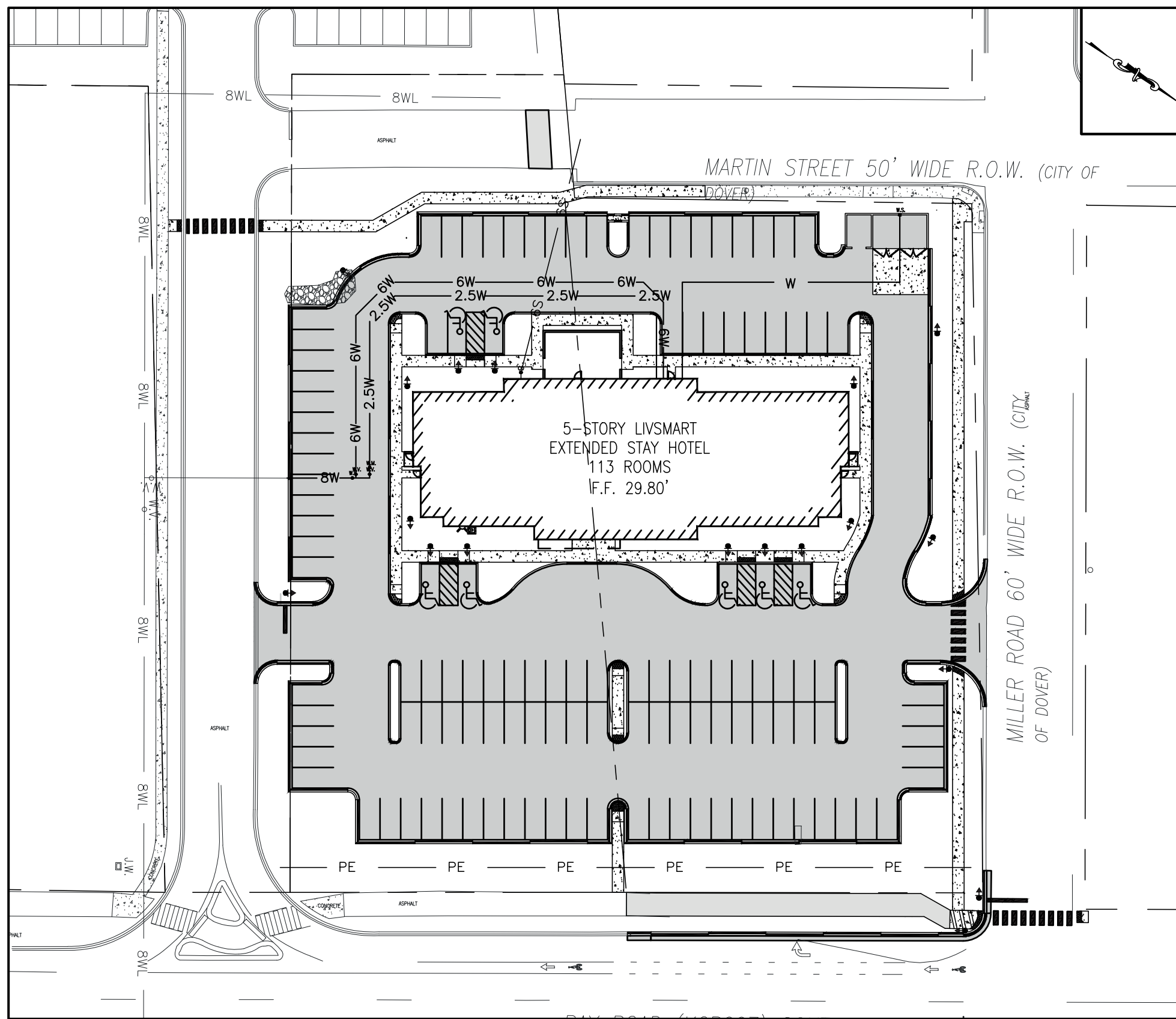
LOCATION MAP
0' 1200' 2400' 3600'
SCALE: 1" = 1200'



SOILS MAP

SCALE: NTS

Up - URBAN LAND



SITE MAP
0' 50' 100' 150'
SCALE: 1" = 50'

CERTIFICATION OF PLAN ACCURACY

I, JAMES L. CURRAN, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

JAMES L. CURRAN, P.E., DE NO. 14560
CENTURY ENGINEERING, LLC
550 BAY ROAD
DOVER, DE 19901
(302) 734-9188
JCURRAN@KLEINFELDER.COM

09/03/2025

DATE

CERTIFICATION OF OWNERSHIP

I, FRANCIS X. SMYTH, HEREBY CERTIFY THAT BAY ROAD THREE LLC & BAY ROAD FOUR LLC IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO ME BY ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

FRANCIS X. SMYTH
BAY ROAD THREE LLC & BAY ROAD FOUR, LLC
32 WEST ROAD STE 230
TOWSON, MD 21204
(443) 589-2400

09/03/2025

DATE

MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BOLLARD – STEEL POLE	⊙	●	
BOLLARD – WOOD POST	⊠	■	
CURB, TYPE 1 AND TYPE 3			
CURB, TYPE 2			
CURB & GUTTER, TYPE 1			
CURB & GUTTER, TYPE 2			
CURB & GUTTER, TYPE 3			
FENCE – CHAINLINK OR STRANDED	— X —	— X —	
FENCE – STOCKADE OR SPLIT RAIL	— ○ —	— ○ —	
FLAG POLE	FP ⊙	FP ●	
GUARDRAIL – STEEL BEAM, TYPE 1	— ○ — ○ — ○ —		
LAMP AND POST	LAMP ⊙		
MAILBOX	MB □	MB ■	
PAVEMENT			
PILLAR OR MISCELLANEOUS POST	○	●	
TRAFFIC SIGN AND POST	▽	▼	

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
BIOFILTRATION SWALE		← BFS X →	
DITCH OR STREAM CENTERLINE	— ○ ○ —	— X — X —	
DIRECTIONAL STREAM FLOW ARROW			
DRAINAGE INLET	CB □	■	
DRAINAGE JUNCTION BOX	JB □	■	
DRAINAGE MANHOLE	①	●	
DRAINAGE PIPE AND FLOW ARROW	— SIZE TYPE —	— — — — —	
FLARED END SECTION		◀	
RIPRAP – AREA FEATURE			
SAFETY END SECTION		◀	
UNDERDRAIN	— UD — UD —	— — — — —	
UNDERDRAIN OUTLET	— UD — UD —	— — — — —	

GRADING		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CONTOUR	— — — — —	— — — — —
SPOT ELEVATIONS	○ — XX.XX	○ — XX.XX

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CABLE TV DISTRIBUTION BOX	TV	
COMMUNICATIONS – UNDERGROUND	— UG–C —	— UG–C —
ELECTRIC – UNDERGROUND	— UG–E —	— UG–E —
ELECTRIC MANHOLE	ⓔ	
ELECTRIC METER	E.M. □	E.M. ■
ELECTRIC TRANSFORMER	E.T. □	E.T. ■
GAS – UNDERGROUND	— UG–G —	— UG–G —
GAS MANHOLE	ⓐ	
GAS METER	G.M. □	
GAS VALVE	G.V. ○	
GAS PUMP – SERVICE STATION	G.P. □	
IRRIGATION – UNDERGROUND	— IR — IR —	— IR — IR —
ITMS – UNDERGROUND	— ITMS —	— ITMS —
KNOX BOX		
LIGHTING – UNDERGROUND	— LI — LI —	— LI — LI —
LUMINAIRE – POLE MOUNTED		
MANHOLE – UNDETERMINED OWNER	Ⓜ	
RAILROAD TRACKS		
SANITARY – UNDERGROUND	— S — S — S —	— S — S — S —
SANITARY SEWER MANHOLE	⑤	●
SANITARY SEWER VALVE	S.V. ○	S.V. ●
SANITARY SEWER CLEANOUT OR VENT	○○	●
SEPTIC DRAIN FIELD	S.D.F. □	
SIGNALIZATION – UNDERGROUND	— SIG —	— SIG —
SOIL BORING LOCATION		
TELEPHONE BOOTH	ⓑ	
TELEPHONE MANHOLE	①	
TELEPHONE TEST POINT	T.P. ○	
TRAFFIC – CONDUIT JUNCTION WELL	J.W. □	
TRAFFIC – LIGHT POLE AND BASE	ⓓ	
TRAFFIC – PEDESTRIAN POLE & BASE	ⓔ	
TRAFFIC – SIGNAL CABINET & BASE		
TRAFFIC – SIGNAL POLE AND BASE	ⓖ	
UNKNOWN UTILITY – UNDERGROUND	— UG–UK —	
UTILITY BOX	UB	
UTILITY POLE GUY WIRE ANCHOR	○ →	● →
UTILITY POLE	Ⓢ	●
UTILITY TEST HOLE LOCATION		
WALL PACK – LIGHTING		WP
WATER – UNDERGROUND	— W —	— W —
WATER – FIRE HYDRANT	ⓓ	ⓓ
WATER METER	W.M. □	W.M. ■
WATER VALVE	W.V. ○	W.V. ●
WATER – FIRE DEPARTMENT CONNECTION	FDC ○	
WELL HEAD	WELL ○	WELL ●

PAVEMENT SECTION(S)	
MILL AND OVERLAY – SEE TYPICAL SECTIONS FOR MATERIAL AND DEPTHS	
FULL DEPTH PAVEMENT – SEE TYPICAL SECTIONS FOR MATERIAL AND DEPTHS	
SHARED USE PATH	
GRAVEL	
CONCRETE	
PERMEABLE PAVEMENT	

NATURAL ROADSIDE FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
MARSH BOUNDARY LINE	— -V- —	
TREE – CONIFEROUS	★	
TREE – DECIDUOUS	⊗	
TREE STUMP	Ⓢ	
SHRUBBERY	Ⓢ	
WETLAND BOUNDARY – DELINEATED	— -V- WL —	
WOODS LINE BOUNDARY		
FLOODPLAIN	— FP —	

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CAPPED IRON PIPE	C.I.P. ○	CIP ●
DENIAL OF ACCESS	— DA —	— DA —
EASEMENT – OTHERS	— — — — —	— — — — —
PERMANENT EASEMENT	— PE —	— PE —
PROPERTY LINE	— — — — —	— — — — —
PROPERTY MARKER – CONCRETE	CM ○	C.M. ■
PROPERTY MARKER – IRON PIPE	I.P. ○	I.P. ●
RIGHT-OF-WAY BASELINE	— 100+00 —	— 100+00 —
RIGHT-OF-WAY LINE	— RW —	— RW —
RIGHT-OF-WAY & DENIAL OF ACCESS	— R/W–DA —	— R/W–DA —
RIGHT-TO-ENTER		— RTE —
TEMPORARY CONSTRUCTION EASEMENT		— TCE —
CLEAR ZONE		— CZ —
HORIZONTAL CLEARANCE		— HC —

SURVEY CONTROL & MONUMENTATION	
FEATURE DESCRIPTION	EXISTING
SURVEY BENCHMARK LOCATION	B.M. ●
SURVEY TIE POINT LOCATION	T.P. +
SURVEY TRAVERSE POINT	△

MISCELLANEOUS FEATURES	
FEATURE DESCRIPTION	PROPOSED
BUTT JOINT	
CLEAR ZONE	— CZ —
CONSTRUCTION BASELINE	— 100+00 —
LIMIT OF CONSTRUCTION	— LOC —
DEMOLITION	
P.C.C. SIDEWALK	
6" P.C.C. SIDEWALK	
PAVEMENT PATCH	
ACCESSIBLE RAMP	
SAW CUT	— SAW —

EROSION & SEDIMENT CONTROL FEATURES	
FEATURE DESCRIPTION	PROPOSED
LIMIT OF DISTURBANCE	— LOD —
LIMIT OF CONSTRUCTION	— LOC —
PORTABLE SEDIMENT TANK	ⓈT
PUMPING PIT	ⓈP–2
SILT FENCE	— SF —
COMPOST FILTER LOG	— CFL —
SENSITIVE AREA PROTECTION	— SAP —

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	
ABANDON BY OTHERS	
ADJUST BY CONTRACTOR	
ADJUST BY OTHERS	
BEST MANAGEMENT PRACTICE	
BUS STOP PAD / TYPE	
BUS STOP WITH SHELTER PAD / TYPE	
CONCRETE SAFETY BARRIER	
CONVERT TO JUNCTION BOX	
CONVERT TO DRAINAGE MANHOLE	
CONVERT TO DRAINAGE INLET	
CURB	
CURB RAMP	
DO NOT DISTURB	
ENERGY DISSIPATOR	
FILL WITH FLOWABLE FILL	
LANDSCAPE PLANTINGS	
PEDESTRIAN CONNECTION / TYPE	
RELOCATE BY CONTRACTOR	
RELOCATE BY OTHERS	
RELOCATE BY PROPERTY OWNER	
REMOVE BY CONTRACTOR	
REMOVE BY OTHERS	
REMOVE BY TRAFFIC CONTRACTOR	
RIGHT-OF-WAY MONUMENT	

ABBREVIATION SCHEDULE	
ABBREVIATION	DEFINITION
ADA	AMERICANS WITH DISABILITIES ACT
ALLOW.	ALLOWABLE
ASD	ALLOWABLE STRESS DESIGN
ALUM	ALUMINUM
BL	BASE LINE
BOTT	BOTTOM
BRG	BEARING
CAP	CAPACITY
CJ	CONTROL JOINT
CL	CENTER LINE
CLR	CLEAR
CONC	CONCRETE
CONN	CONNECTION
CORR	CORRUGATED
CSJ	CONSTRUCTION JOINT
DEM	DIVISION OF FACILITIES MANAGEMENT
DIAG	DIAGONAL
DL	DEAD LOAD
DNREC	DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL
DOL	DEPARTMENT OF LABOR
DOT	DEPARTMENT OF TRANSPORTATION
E.F.	EACH FACE
EL., ELEV	ELEVATION
EQU.	EQUAL
EX., EXIST.	EXISTING
F.F.	FAR FACE
F.C	COMPRESSIVE STRENGTH OF CONCRETE
FIN. FL	FINISHED FLOOR
FIN. GR.	FINISHED GRADE
FND	FOUNDATION
FTG	FOOTING
Fy	YIELD STRENGTH OF STEEL
GABC	GRADED AGGREGATE BASE COURSE
GALV	GALVANIZED
HORIZ	HORIZONTAL
JOINT	JOINT
KSI	KIPS PER SQUARE INCH
LL	LIVE LOAD
LLV	LONG LEG VERTICAL
LH	LONG LEG HORIZONTAL
LLBB	LONG LEG BACK TO BACK
LOC	LIMIT OF CONSTRUCTION
LOD	LIMIT OF DISTURBANCE
LRFD	LOAD RESISTANCE FACTORED DESIGN
MHW	MEAN HIGH WATER
MTL	METAL
NO	NUMBER
NOM	NOMINAL
N.F.	NEAR FACE
O.C.	ON CENTER
OHW	ORDINARY HIGH WATER
OPP	OPPOSITE
P.L	PROPERTY LINE
PL	PLATE
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REBAR	REINFORCING BAR
ROW, RW, R/W	RIGHT OF WAY
SF	SILT FENCE
SIM	SIMILAR
SLBB	SHORT LEG BACK TO BACK
SS	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL	STEEL
STR	STRAIGHT
T&B	TOP AND BOTTOM
TYP	TYPICAL
UHMW	ULTRA HIGH MOLECULAR WEIGHT
UNIF	UNIFORM
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WSE	WATER SURFACE ELEVATION
WWF	WELDED WIRE FABRIC
NOTE: NOT ALL ABBREVIATIONS INCLUDED IN THESE PLANS	

GENERAL NOTE:

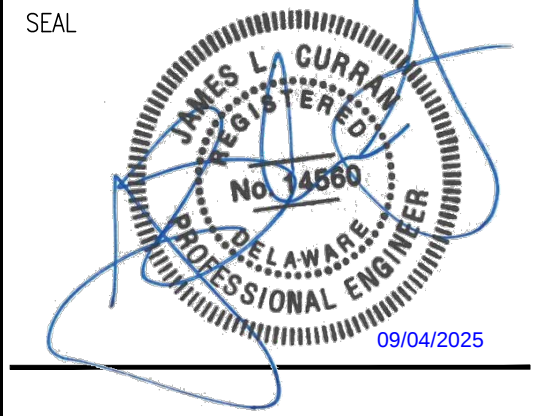
ALL ITEMS SHOWN MAY NOT BE PRESENT ON ALL SHEETS, OR PART OF THIS PROJECT.

REVISIONS

DESCRIPTION	DATE
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ADDENDUM

DESCRIPTION	DATE
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CONSTRUCTION PLANS
FOR
LIVSMART EXTENDED STAY HOTEL
T.P. 2-05-077.10-01-45.00-000001 & 2-05-077.00-01-10.02-00001
CITY OF DOVER, 19901
KENT COUNTY, STATE OF DELAWARE

PROJECT	
SHEET TITLE	LEGEND

CITY OF DOVER SUBMISSION SEPTEMBER 3, 2025	
DRAWN ZTP	CHK'D/DESIGNER JLC
SCALE	SHEET NO.
1" = 1'	C301
PROJECT NO. 26000446.001A	



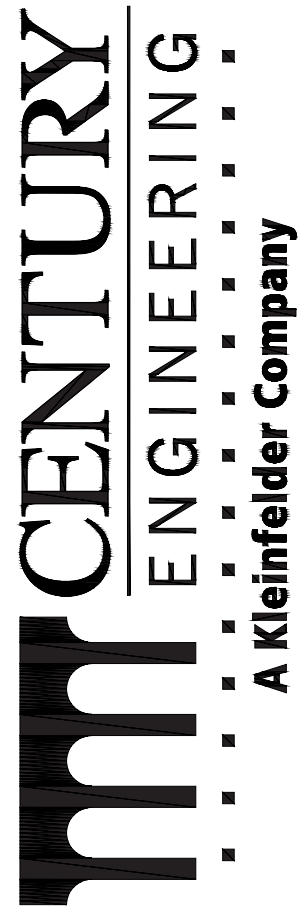
1. THE INTENT OF THIS PROJECT IS TO PROVIDE THE FOLLOWING IMPROVEMENTS AT THE SUBJECT SITE: DOVER HOTEL.
 - 1.1. CONSTRUCTION OF APPROXIMATELY 11,478 SQUARE FOOT FIVE STORY HOTEL INCLUDING UTILITIES
 - 1.2. CONSTRUCTION OF NEW PARKING LOT FOR VEHICLES
 - 1.3. CONSTRUCTION OF NEW SIDEWALK FOR PEDESTRIANS
 - 1.4. INSTALLATION OF NEW BIKE RACK.
2. CLEARING AND GRUBBING IS ASSUMED TO EXTEND A MINIMUM OF SIX (6) INCHES BELOW EXISTING GRADE FOR THE CONSTRUCTION OF THE NEW PATH. CLEARING AND GRUBBING WITHIN THE LIMITS OF DISTURBANCE (LOD) SHALL INCLUDE REMOVING AND DISPOSING OF ALL TREES, VEGETATION AND DEBRIS.
3. TREES NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND COMPACTION OF SOIL WITHIN THE DRIP LINE WITH FENCING AND AS REQUIRED BY DELDOT STANDARD SPECIFICATIONS.
4. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED TWO (2) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
5. THESE DRAWINGS DO NOT INCLUDE ANY HAZARDOUS MATERIALS THAT MAY OR MAY NOT EXIST WITHIN THIS SITE. IN THE EVENT THAT HAZARDOUS MATERIALS ARE LOCATED, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND CONTACT THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF SITE AND/OR PROVIDING ADDITIONAL FILL MATERIAL AS REQUIRED. THIS PROJECT IS ANTICIPATED TO GENERATE EXCESS MATERIAL.
7. CONVENTIONAL SURVEY AND BASE DRAWING PROVIDED BY CENTURY ENGINEERING.

ELEMENTS UNDER THE CIVIL PLANS SHALL BE CONSTRUCTED UTILIZING THE FOLLOWING INFORMATION IN THE HIERARCHY LISTED BELOW

1. CONTRACT AGREEMENT BETWEEN OWNER AND CONTRACTOR.
2. APPROVED PLANS.
3. PROJECT MANUAL AND ENCLOSED TECHNICAL SPECIFICATIONS.
4. STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL EROSION AND SEDIMENT CONTROL HANDBOOK, JULY 2023 OR MOST CURRENT AT DATE OF ADVERTISEMENT.
5. DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS, 2025, OR MOST CURRENT AT ADVERTISEMENT.
6. DELAWARE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION, JANUARY 2025, OR MOST CURRENT AT DATE OF ADVERTISEMENT.

1. THE TERM "ENGINEER," "STATE," "AOR" OR "ARCHITECT" NOTED THROUGHOUT THE CONTRACT PLANS AND SPECIFICATIONS SHALL REFER TO THE CITY OF DEVER/STATE OF DELAWARE, OR THEIR APPOINTED REPRESENTATIVE. THE TERM "SITE" MAY BE USED INTERCHANGEABLY THROUGHOUT THESE DOCUMENTS AS A MEANS OF IDENTIFYING THE LEGISLATIVE LAND PAVING GARAGE.
2. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED BY THE CONSTRUCTION SHOWN HEREON AS SHOWN ON THESE PLANS AND SPECIFICATIONS, TO A CONDITION COMPARABLE TO THAT EXISTING PRIOR TO CONSTRUCTION, AND TO THE SATISFACTION OF THE STATE OF DELAWARE.
3. THE CONTRACTOR SHALL PROVIDE NECESSARY FACILITIES, INCLUDING, BUT NOT LIMITED TO, RESTROOMS DURING CONSTRUCTION, STATE BUILDINGS AND SURROUNDING BUSINESSES SHALL NOT BE USED, EQUIPMENT PARKING AND MATERIAL STAGING SHALL NOT BE LIMITED TO DESIGNATED STAGING & STOCKPILE AREAS.
4. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ANY DIMENSIONAL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION.
5. THE CONTRACTOR SHALL DESIGNATE A PERSON WHO SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PLANS, A PERSON WHO SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE TRAFFIC CONTROL, AND A PERSON WHO SHALL BE RESPONSIBLE FOR WORKER SAFETY. THE PERSON RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE TRAFFIC CONTROL PLANS SHALL BE CERTIFIED BY THE STATE OF DELAWARE FOR EROSION AND SEDIMENT CONTROL RESPONSIBILITY (CERTIFIED CONSTRUCTION CONTROL PLAN).
6. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE AREA AND EXCAVATIONS WITHIN THE LIMITS OF CONSTRUCTION TO PROHIBIT PUBLIC ACCESS UNTIL COMPLETION OF THE PROJECT. AT A MINIMUM, ALL EXCAVATION SHALL BE BARRICADED WITH ORANGE SAFETY FENCE. THE CONTRACTOR'S PROCEDURE/METHOD FOR LIMITING ACCESS SHALL BE REVIEWED BY, AND COORDINATED WITH THE OWNER PRIOR TO THE START OF WORK. THE COST TO INSTALL, RELOCATE, AND MAINTAIN SITE SECURITY SHALL BE INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS ON ALL ROADS. IF CONTRACTOR MUST CLOSE ANY ROAD, THE CONTRACTOR SHALL PROVIDE NOTICE 48 HOURS IN ADVANCE FOR APPROVAL BY THE ENGINEER.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING OFF-SITE SPILL AREAS FOR THE LOGICAL DISPOSAL OF ANY EXCESS MATERIAL NOT ACCEPTED BY THE STATE AND ANNUALLY ACCURATE RECORDS OF SUCH REMOVALS AND ACCIDENTS. ALL COSTS FOR RECYCLING, TRANSPORTING TO PROPERLY REGULATED TREATMENT OR OFF-SITE SPILL AREAS ARE TO BE INCIDENTAL TO THE CONTRACT.
8. IN CASE OF CONFLICT BETWEEN THE "MANUFACTURER'S RECOMMENDATIONS" FOR AN APPROVED MATERIAL AND THE GOVERNING "CONTRACT SPECIFICATIONS" FOR THE MATERIAL, THE MORE RESTRICTIVE OF THE TWO SHALL PREVAIL, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
9. THE CONSTRUCTION PLANS PRESENT A CONCEPT OF THE RELATIONSHIP BETWEEN TRAFFIC CONTROL, EROSION CONTROL, ETC. ANY REVISION TO THE DETAILS OR SEQUENCE OF CONSTRUCTION OR PLAN CONSTRUCTION SHALL BE SUBMITTED TO THE CONTRACTOR, EROSION CONTROL SHEETS AND SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER. THE PLANS SHALL BE PREPARED IN ACCORDANCE WITH CURRENT STANDARDS FOR TRAFFIC CONTROL, EROSION AND SEDIMENT CONTROL (PREPARED BY A CERTIFIED CONSTRUCTION REVIEWER, STORM WATER MANAGEMENT, ETC.) AND SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE. ALL REQUIRED CALCULATIONS, REPORTS, ETC., SHALL ALSO ACCOMPANY THE SUBMISSION. THE NUMBER OF COPIES REQUIRED TO BE SUBMITTED FOR REVIEW SHALL BE DETERMINED BY THE STATE OF DELAWARE. DEPENDING ON THE NATURE OF THE PROPOSED REVISION, THE CONTRACTOR SHALL NOTE THAT THE REVISIONS TO THE CONSTRUCTION PLANS, AS WELL AS REVIEW TIME BY THE STATE OF DELAWARE, WILL NOT JUSTIFY A DELAY IN THE CONSTRUCTION SCHEDULE. REVISIONS INVOLVING UTILITY REQUIRE THE COMPLETION OF A UTILITY STATEMENT APPROVED BY THE RESPECTIVE UTILITIES AS PART OF THE PLAN DOCUMENTS. ALL COSTS INVOLVED IN PREPARING THE PLAN REVISIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. THESE DRAWINGS DO NOT INCLUDE NECESSARY ELEMENTS OF CONSTRUCTION SAFETY. ALL CONSTRUCTION, INCLUDING EXCAVATION, MUST BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, CFR §1926.652(b)(2), AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SITE SAFETY.
11. NO DEBRIS SHALL BE BURIED OR BURNED ON THE SITE UNLESS SPECIFICALLY NOTED WITHIN THESE PLANS OR SPECIFICATIONS.
12. THE CONTRACTOR SHALL CONTACT MISS UTILITY TWO (2) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, OR AS REQUIRED BY LAW, AT 1-800-282-8555.
13. THE CONTRACTOR SHALL MAINTAIN A CLEAN SET OF AS-BUILT PLANS THAT SHALL ACCURATELY ILLUSTRATE ALL FIELD CHANGES NEATLY DRAWN AND LABELED IN RED INK. FINAL AS-BUILT PLANS SHALL BE DATED AND SIGNED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER AT THE END OF THE PROJECT FOR RECORDATION.
14. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE IN ADVANCE FOR ANY UTILITY DISRUPTION FOR APPROVAL BY THE ENGINEER.

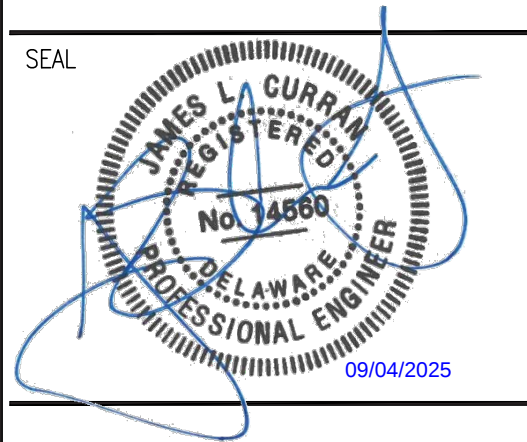
COUNTY TAX MAP:	2-05-077.00-01-10-02-00001	2-05-077.10-01-41-00-00001
2. APPLICATION NUMBER:		
3. ADDRESS OF SITE:	540 BAY ROAD DOVER, DE 19901	530 BAY ROAD DOVER, DE 19901
4. ZONING:	EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A	EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A
5. LOT AREA:	1.10± ACRES	1.10± ACRES
6. SOURCE OF TITLE:	D.R. 8585-81	D.R. 9492-96
7. EXISTING USE:	VACANT LAND	VACANT LAND
8. PROPOSED USE:	HOTEL	HOTEL
9. DATUM:	EXISTING IRON PIN, SEE SHEET C303 VERTICAL - NAVD88 HORIZONTAL - NAD83	
10. SETBACK	FRONT: 20'/35' SIDE: 15' REAR: 10'	
11. MONUMENTS	EXISTING MONUMENTS: 2 EXISTING IRON PIPES: 3 EXISTING REBAR: 2 PROPOSED MONUMENTS: 1	
12. PARKING RATIONALE:	1 SPACE PER GUEST ROOM: 1 SPACE PER 200 S.F. OF OFFICE SPACE, BANQUET HALL & MEETING AREA: TOTAL REQUIRED PARKING: TOTAL PROVIDED PARKING:	1 X 113 ROOMS = 113 SPACES 750 S.F./200 S.F. = 4 SPACES 117 SPACES 123 SPACES (7 HANDICAP SPACES)
13. PROJECT SITE BREAKDOWN (2.20± ACRE):		
EXISTING SITE		
IMPERVIOUS:	27,949± S.F. (0.64± ACRES)	
OPEN SPACE:	67,883± S.F. (1.56± ACRES)	
OVERALL TOTAL:	95,832± S.F. (2.20± ACRES)	
PROPOSED SITE		
IMPERVIOUS:	59,672± S.F. (1.37± ACRES)	
OPEN SPACE:	24,680± S.F. (0.57± ACRES)	
BUILDING:	11,480± S.F. (0.26± ACRES)	
OVERALL TOTAL:	95,832± S.F. (2.20± ACRES)	
PROPOSED INCREASE IN IMPERVIOUS AREA:	0.99± ACRES	
14. FLOOD PLAIN MAP	PER FEMA MAP NUMBER 10001C0169J, DATED JULY 7, 2014, THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.	
15. PURPOSE OF PLAN	THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 11,478± S.F. FIVE STORY HOTEL AND ASSOCIATED IMPROVEMENTS.	
16. DEBRIS DISPOSAL	NO DEBRIS SHALL BE BURIED ON THE SITE. ANY BURIED DEBRIS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.	
17. BOUNDARY & TOPOGRAPHIC SURVEY	BOUNDARY SHOWN HEREON PREPARED BY CENTURY ENGINEERING, LLC. (MAY 2022).	
18. WETLAND	A WETLAND INVESTIGATION WAS PERFORMED ON JANUARY 19, 2017 BY CENTURY ENGINEERING, LLC. NO WETLANDS WERE FOUND ON EITHER PARCEL.	
19. WATER PROVIDER:	CITY OF DOVER	
20. SEWER PROVIDER:	CITY OF DOVER	
21. OWNER/EQUITABLE OWNER	FRANCIS X. SMITH BAY ROAD THREE, LLC & BAY ROAD FOUR, LLC 32 WEST ROAD STE 230 TOWSON, MD 21204 (443) 589-7400 FX@GLEGHORNCAPITAL.COM	
22. DEVELOPER/APPLICANT	WEATHERMAN CAPITAL PARTNERS 123 BLOOMINGDALE AVENUE, SUITE 303 WAYNE, PA 19087 (610) 727-0551 MMURCHIE44@GMAIL.COM	
23. ENGINEER	CENTURY ENGINEERING, LLC 550 BAY ROAD DOVER, DE 19901 (302) 734-9188 JAMES CURRAN, P.E. JCURRAN@KLEINFELDER.COM	



REVISIONS

ADDENDUM

△ DESCRIPTION	DATE
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CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077.10-01-45.00-00001 & 2-05-077.00-01-10.02-00001
CITY OF DOVER, 19901

PROJECT

SHEET TITLE

NOTES

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN	CHK'D/DESIGNER
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ZTF

JLC

SCALE SHEET NO.

1" - 1'

C302

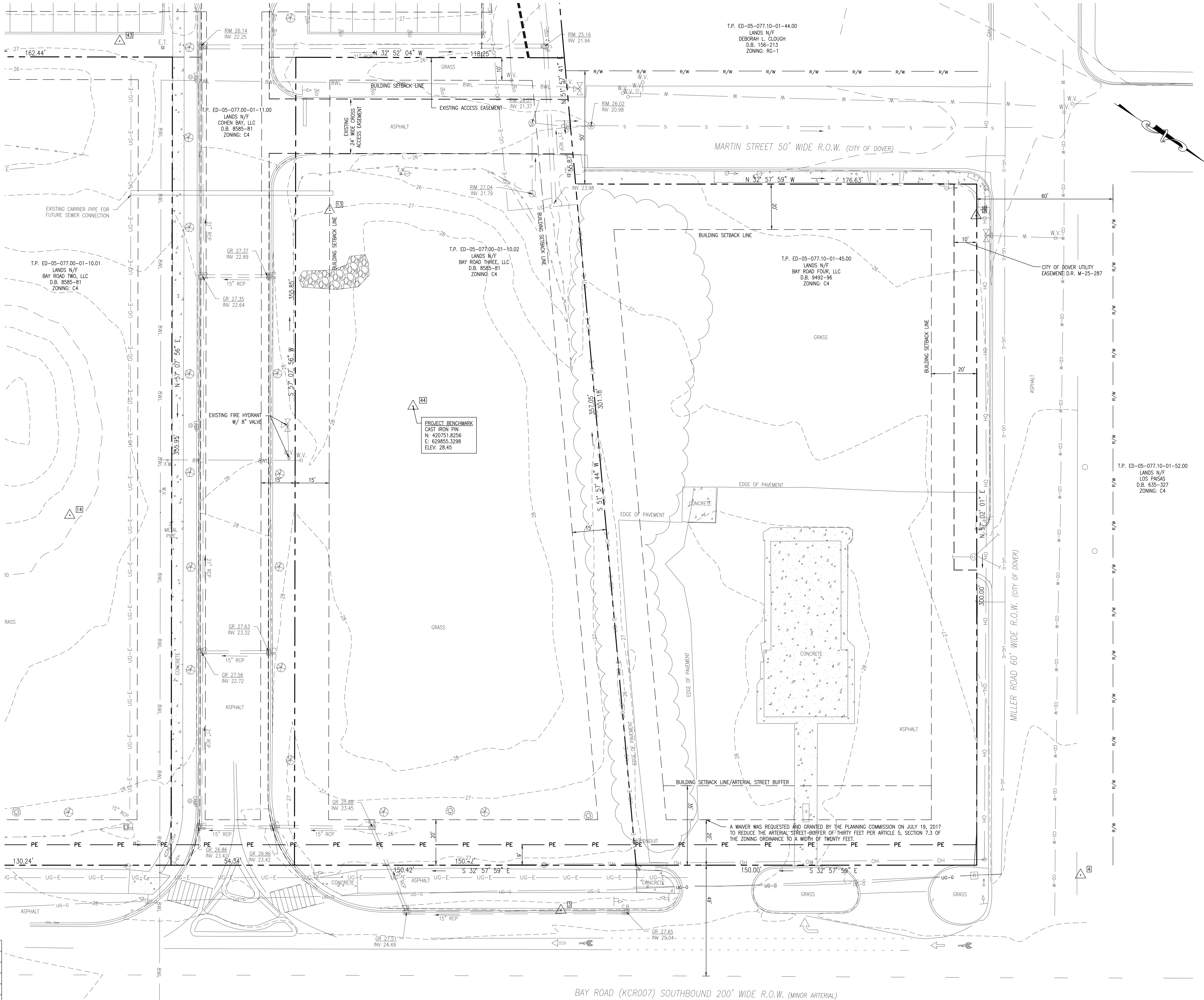
PROJECT NO.

26000446.001A

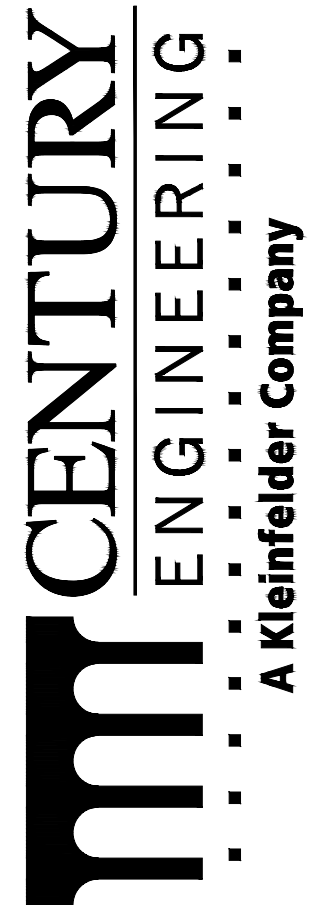
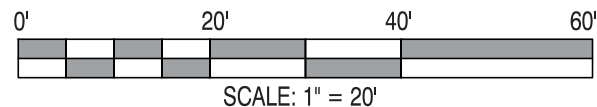


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TRAVERSE POINT LAYOUT				
POINT NO.	DESCRIPTION	NORTHING	EASTING	ELEVATION
3	TP3	420927.2950	630006.2214	27.155
4	TP4	421110.7861	629868.6642	27.823
9	TP5	420914.1681	629650.0646	25.406
13	TP 11	420674.1530	629802.9158	26.531
14	TP 13	420651.1423	629977.9203	28.378
44	TP-44	420751.8256	629855.3298	28.447



SOILS:
Up - URBAN LAND
(ENTIRE SITE)

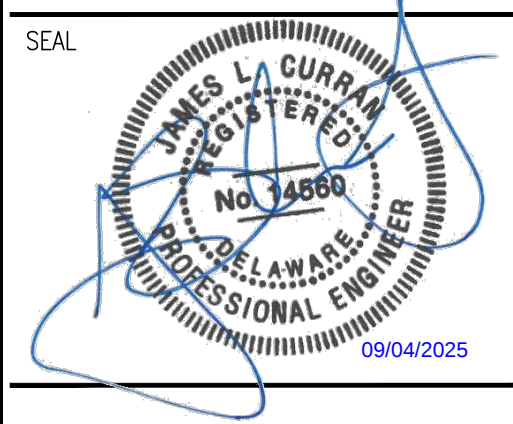


REVISIONS

ADDENDUM

DESCRIPTION	DATE
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SEAL



CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077-10-01-45-00-00001 & 2-05-077-00-01-10-02-00001

CITY OF DOVER, 19901

KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

EXISTING CONDITIONS PLAN

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN	CHK'D/DESIGNER
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ZTP

JLC

SCALE

SHEET NO.

1" = 20'

PROJECT NO.

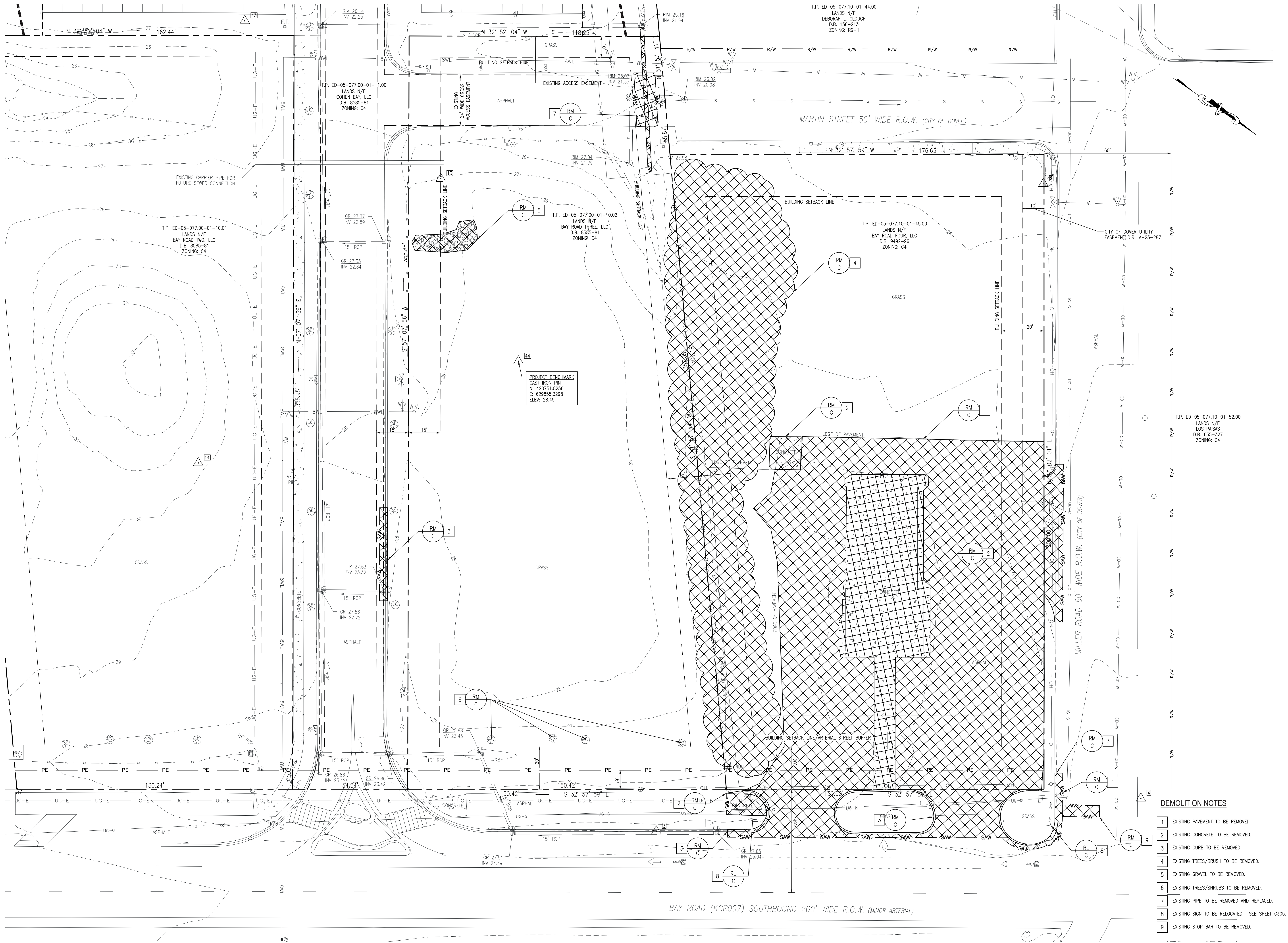
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C303



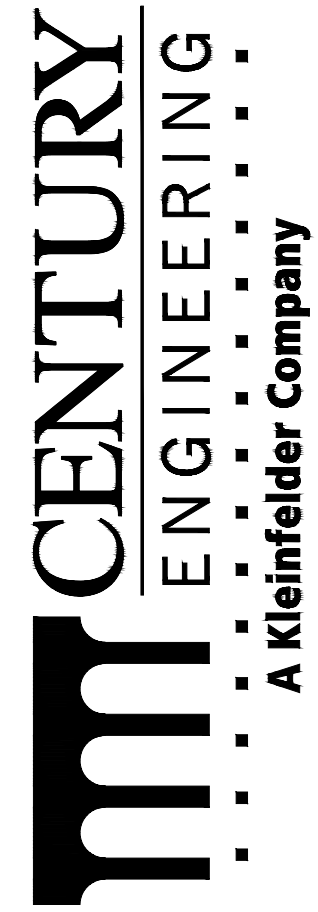
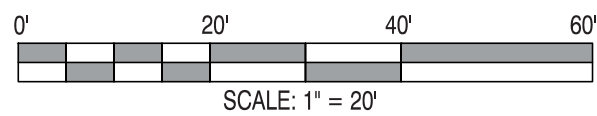
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THIS DRAWING IS THE PROPERTY OF CENTURY ENGINEERING AND IS PREPARED FOR THE EXCLUSIVE USE OF ITS CLIENTS AT THE LOCATION INDICATED. NO OTHER USE IS AUTHORIZED OR INTENDED.



DEMOLITION NOTES

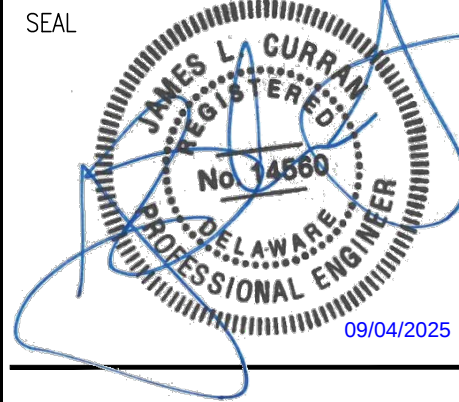
- EXISTING PAVEMENT TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED.
- EXISTING CURB TO BE REMOVED.
- EXISTING TREES/BRUSH TO BE REMOVED.
- EXISTING GRAVEL TO BE REMOVED.
- EXISTING TREES/SHRUBS TO BE REMOVED.
- EXISTING PIPE TO BE REMOVED AND REPLACED.
- EXISTING SIGN TO BE RELOCATED. SEE SHEET C305.
- EXISTING STOP BAR TO BE REMOVED.



REVISIONS

ADDENDUM

DESCRIPTION	DATE
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CONSTRUCTION PLANS

FOR
LIVSMART EXTENDED STAY HOTEL
T.P. 2-05-077-10-01-45.00-00001 & 2-05-077-00-01-10.02-00001
CITY OF DOVER, 19901
KENT COUNTY, STATE OF DELAWARE

SHEET TITLE

DEMOLITION PLAN

CITY OF DOVER SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

ZTP

JLC

SCALE

SHEET NO.

1" = 20'

PROJECT NO.

C304

26000446.001A



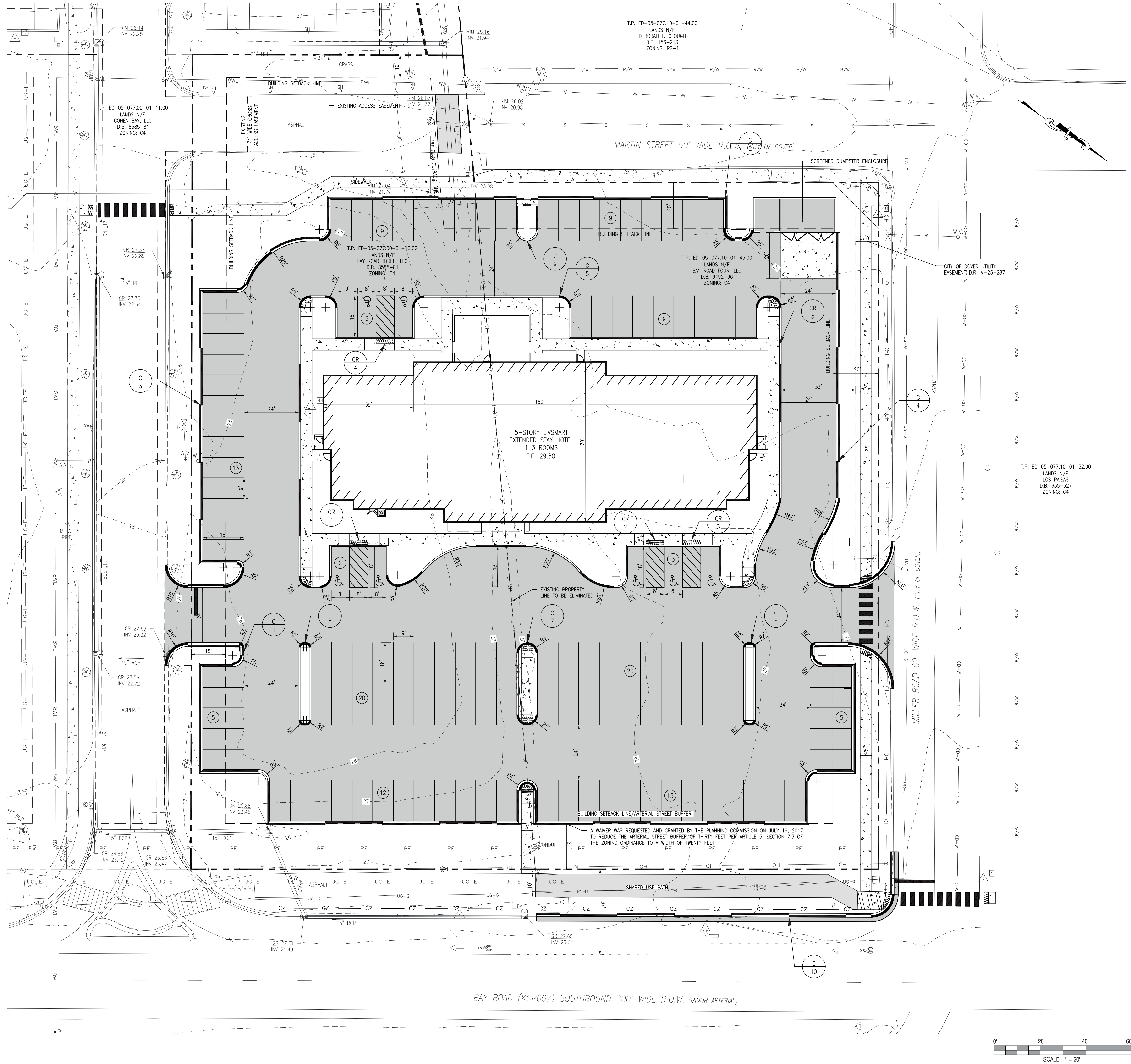
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THIS DRAWING IS THE PROPERTY OF CENTURY ENGINEERING AND IS PREPARED FOR THE EXCLUSIVE USE OF ITS CLIENTS AT THE LOCATION INDICATED. NO OTHER USE IS AUTHORIZED OR INTENDED.

CURB RAMP SCHEDULE	
RAMP ID	TYPE
1	1
2	1
3	1
4	1
5	1

*SEE SHEET C306 FOR CURB RAMP GRADING DETAILS

CURB SCHEDULE		
CURB NO.	ITEM DESCRIPTION/TYPE	LENGTH
1	P.C.C. CURB & GUTTER TYPE 3-6	586'
2	P.C.C. CURB & GUTTER TYPE 3-6	113'
3	P.C.C. CURB & GUTTER TYPE 3-6	345'
4	P.C.C. CURB & GUTTER TYPE 3-6	199'
5	P.C.C. CURB TYPE 1-6	796'
6	P.C.C. CURB TYPE 1-6	80'
7	P.C.C. CURB TYPE 1-6	83'
8	P.C.C. CURB TYPE 1-6	80'
9	P.C.C. CURB TYPE 1-6	120'
10	P.C.C. CURB & GUTTER TYPE 3-8	170'

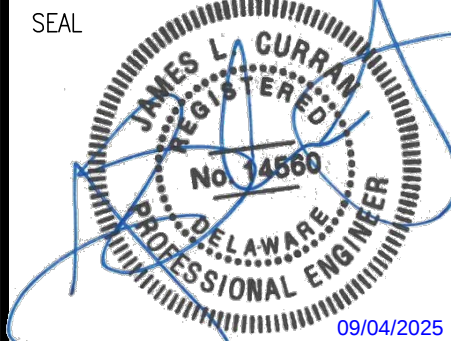


CENTURY
ENGINEERING
A Kleinfelder Company

REVISIONS

ADDENDUM

DESCRIPTION DATE



CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077-10-01-145-00-00001 & 2-05-077-00-01-10-02-00001

CITY OF DOVER, 19901

KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

SITE PLAN

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DISIGNER

ZTP

JLC

SCALE

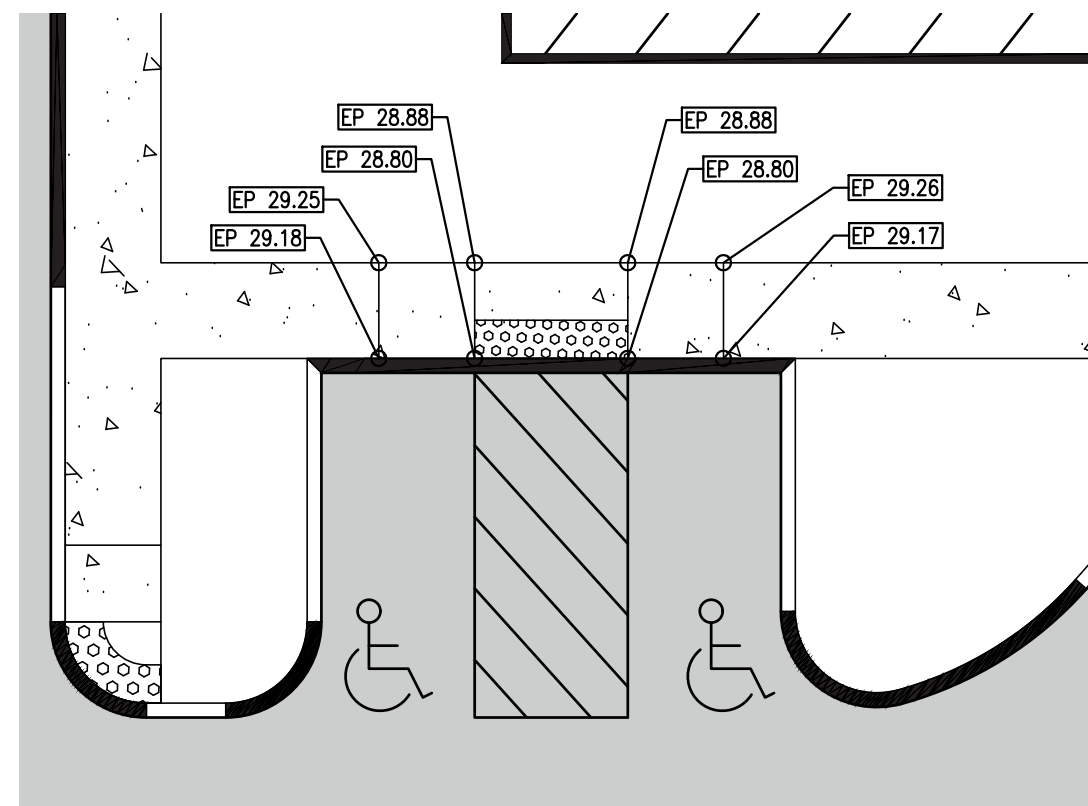
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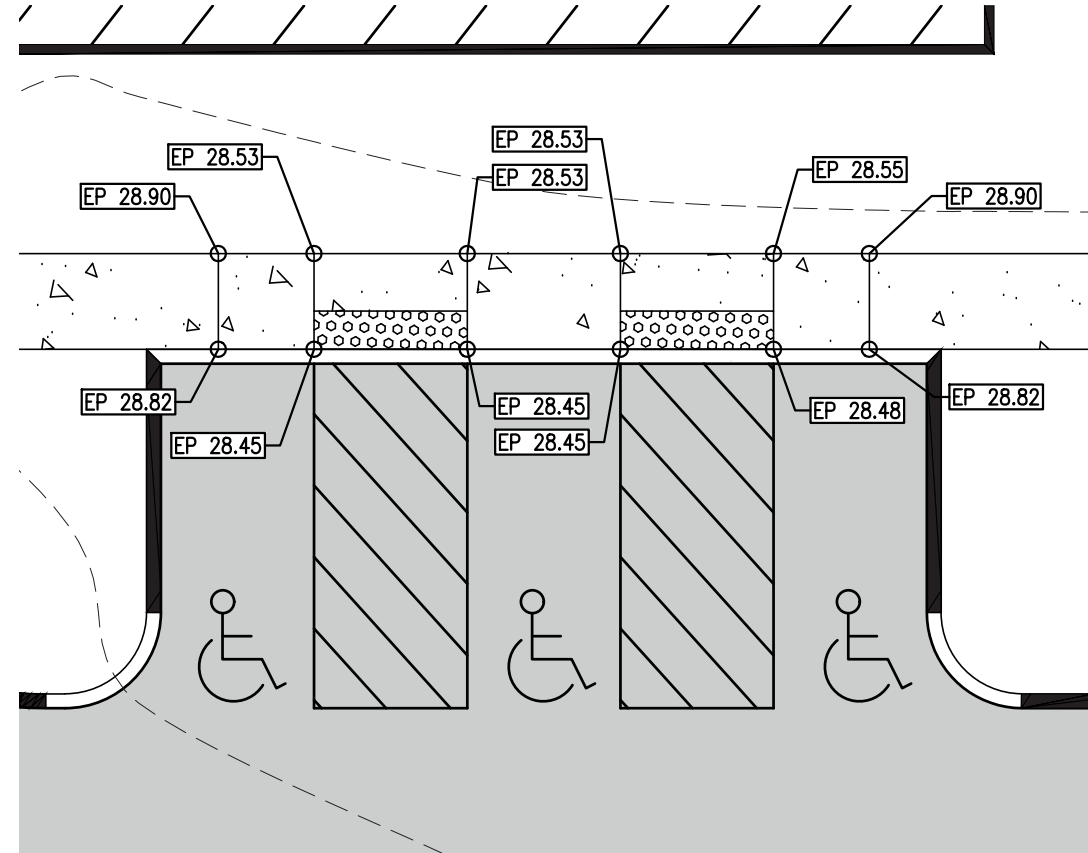
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C305

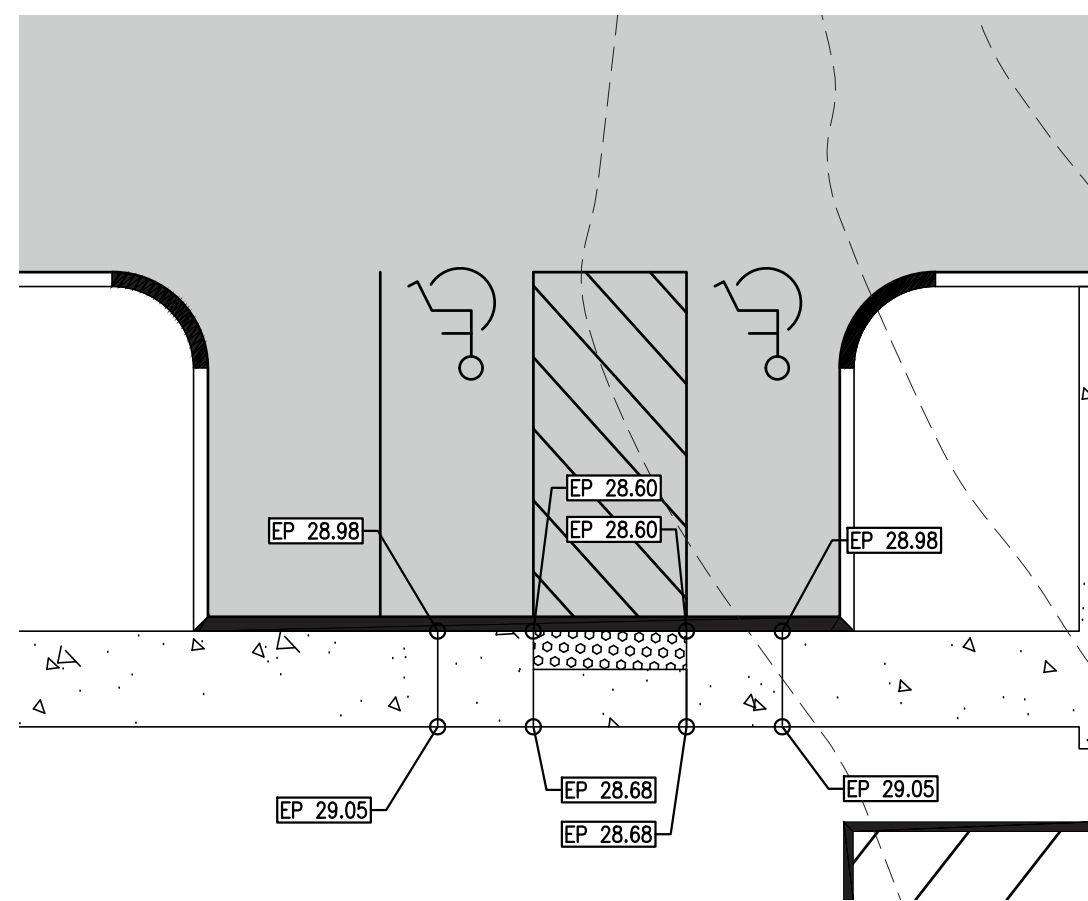
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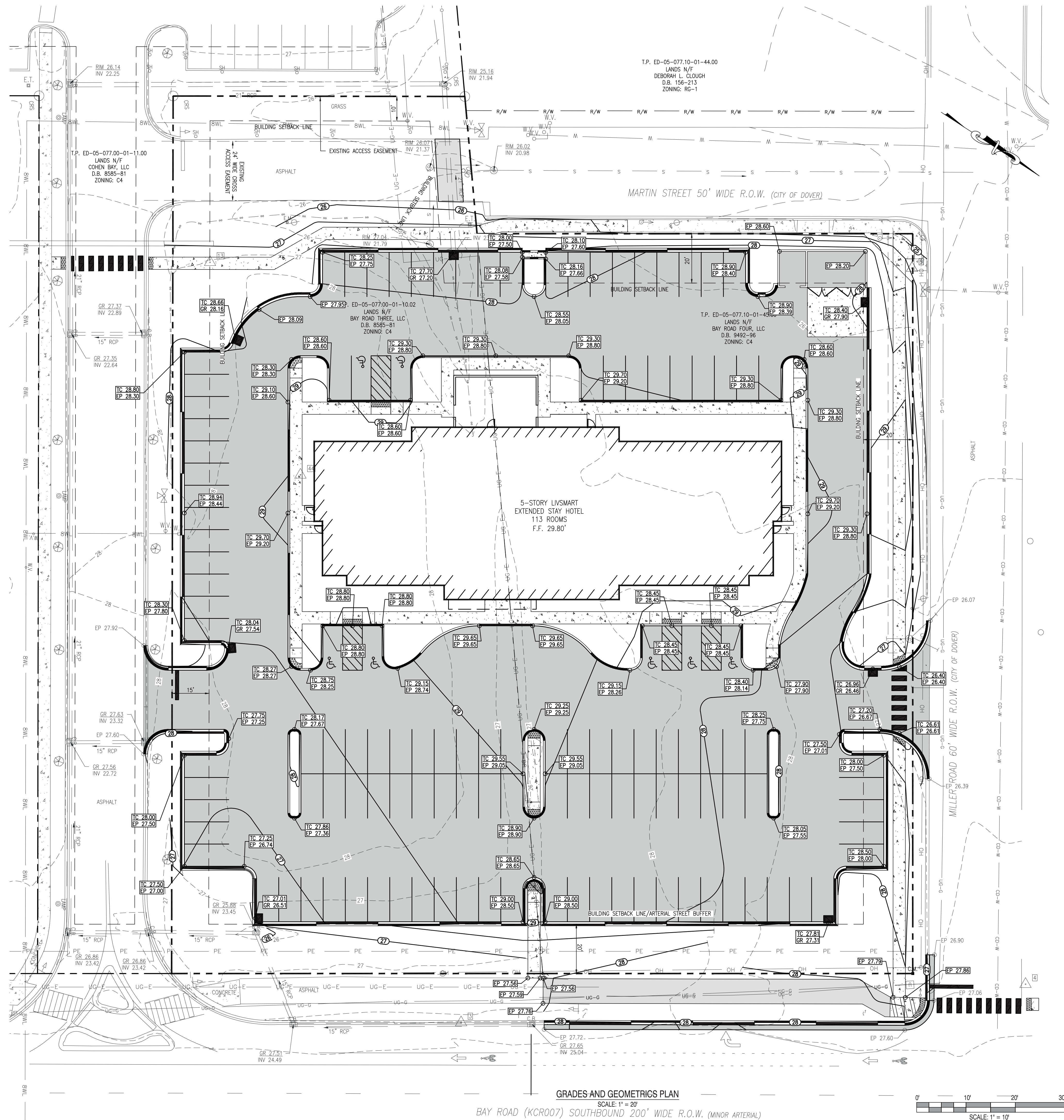
HANDICAP CURB RAMP GRADING
SCALE: 1" = 10'



HANDICAP CURB RAMP GRADING
SCALE: 1" = 10'

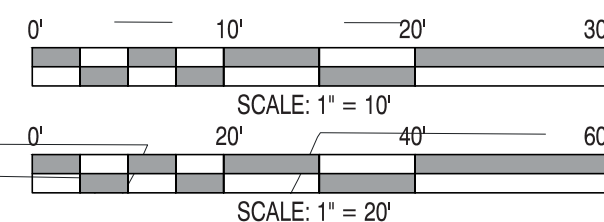


HANDICAP CURB RAMP GRADING
SCALE: 1" = 10'



GRADES AND GEOMETRICS PLAN
SCALE: 1" = 20'

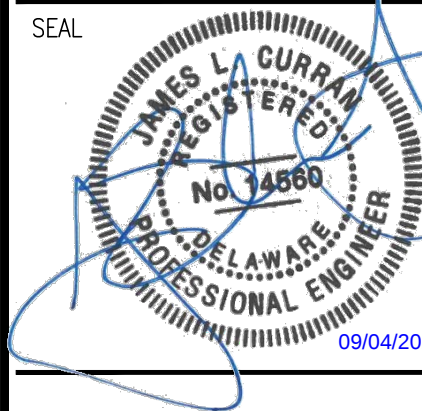
BAY ROAD (KCR007) SOUTHBOUND 200' WIDE R.O.W. (MINOR ARTERIAL)



REVISIONS

ADDENDUM

DESCRIPTION DATE



CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077-10-01-45-00-00001 & 2-05-077-00-01-10-02-00001

CITY OF DOVER, 19901

KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

GRADES AND GEOMETRICS
PLAN

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

ZTP

JLC

SCALE

SHEET NO.

AS SHOWN

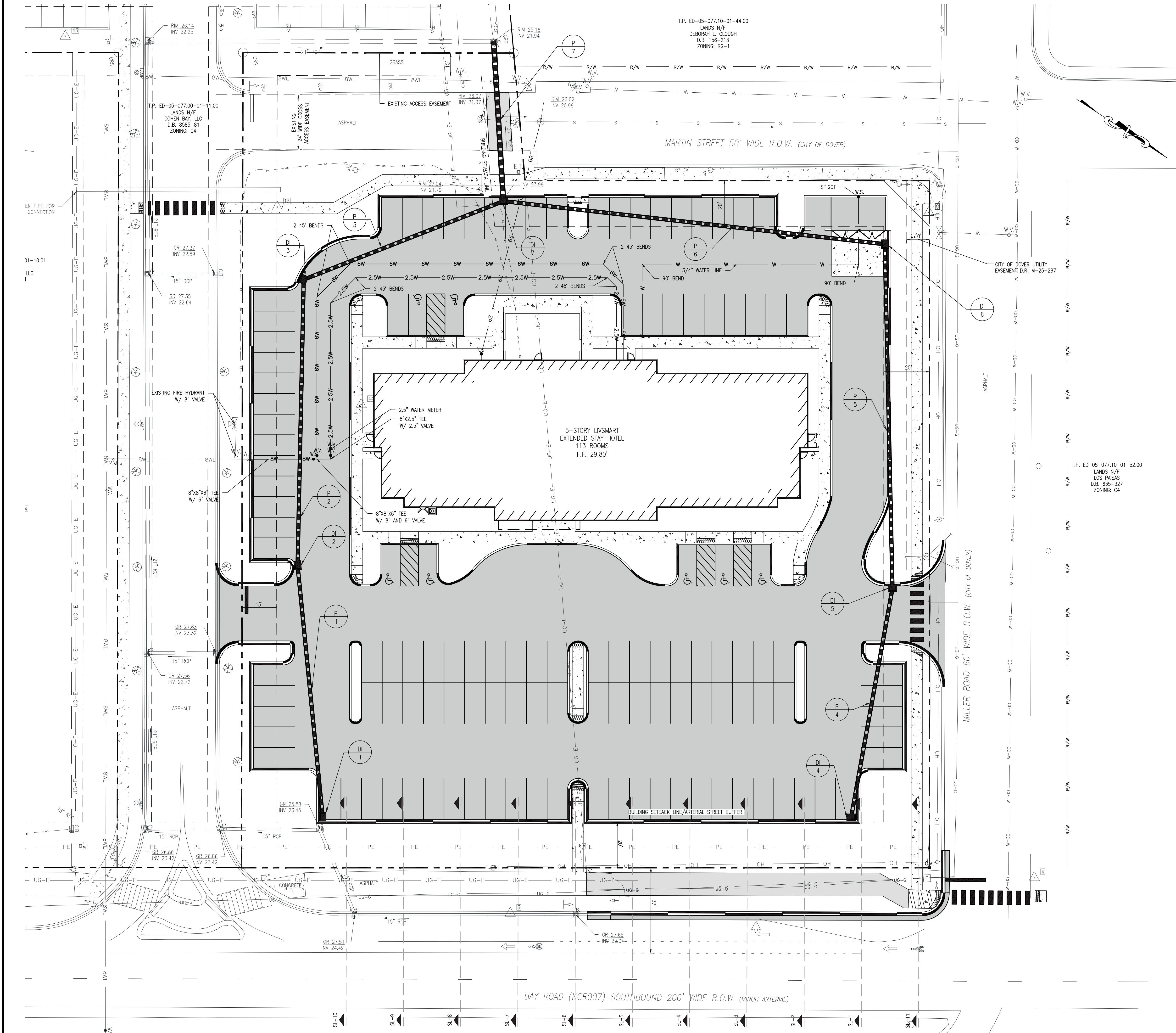
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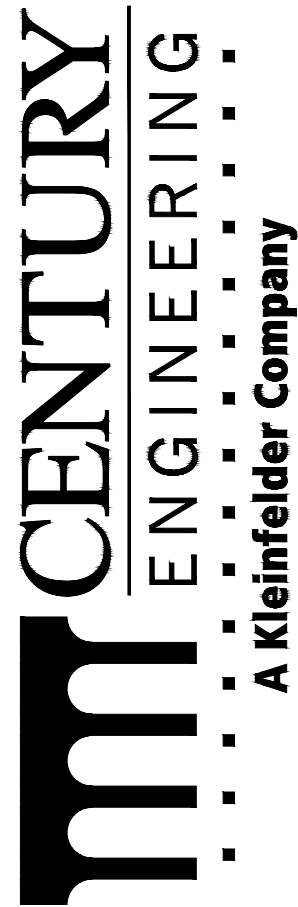
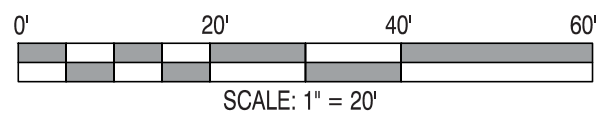


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GENERAL NOTES:

- 8" WATER MAIN SHALL BE DUCTILE IRON PIPE
- 6" FIRE PROTECTION SHALL BE DUCTILE IRON PIPE
- 2.5" DOMESTIC WATER SHALL BE SDR9
- 6" SANITARY SEWER MAIN SHALL BE SDR35

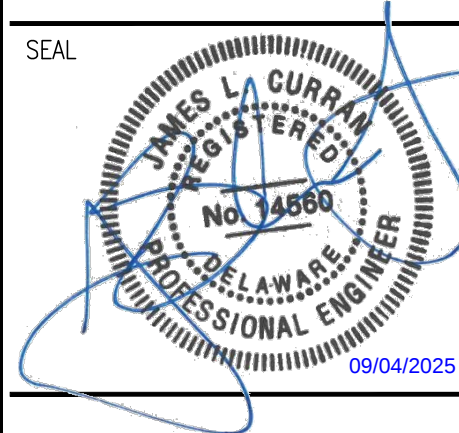


REVISIONS

ADDENDUM

DESCRIPTION	DATE
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SEAL



CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077-10-01-45-00-000001 & 2-05-077-00-01-10-02-00001
CITY OF DOVER, 19901
KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

UTILITY PLAN

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

ZTP

JLC

SCALE

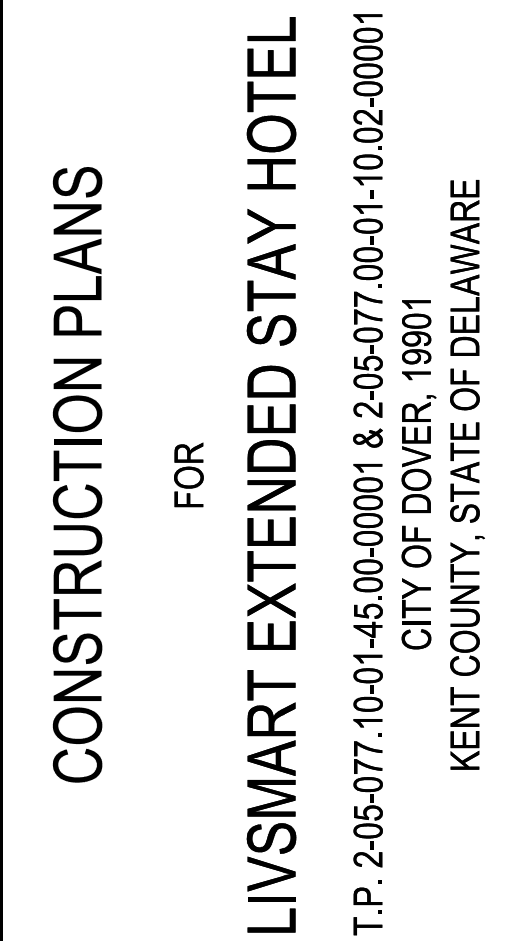
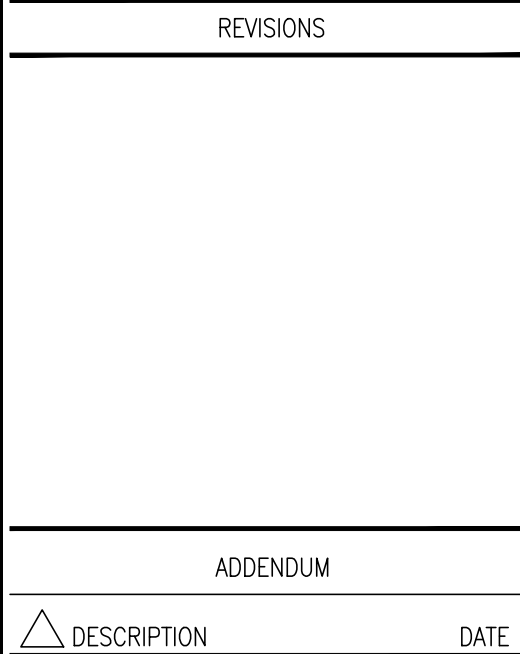
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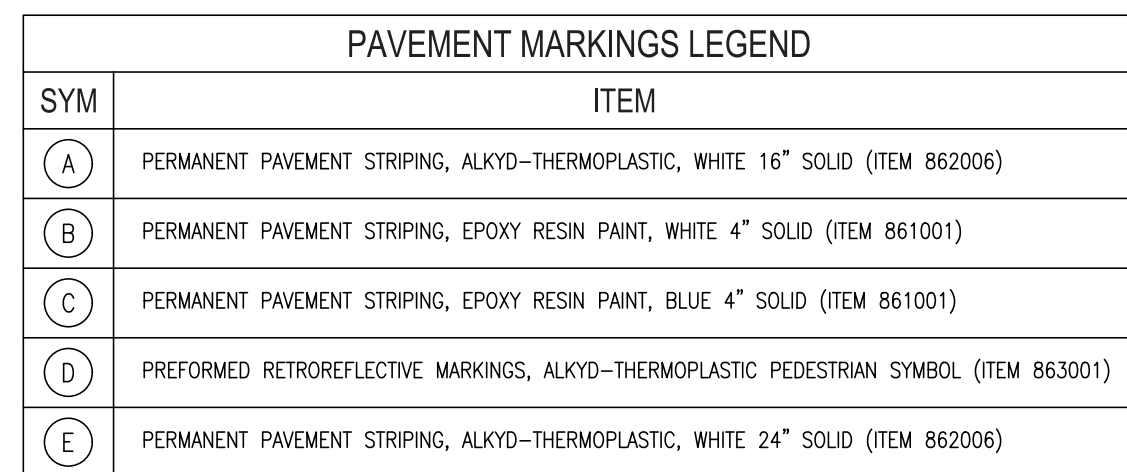
PROJECT NO.

C307

26000446.001A



CITY OF DOVER	
SUBMISSION	
SEPTEMBER 3, 2025	
DRAWN	CHK'D/DESIGNER
ZTP	JLC
SCALE	SHEET NO.
1" = 20'	C308
PROJECT NO.	
26000446.001A	





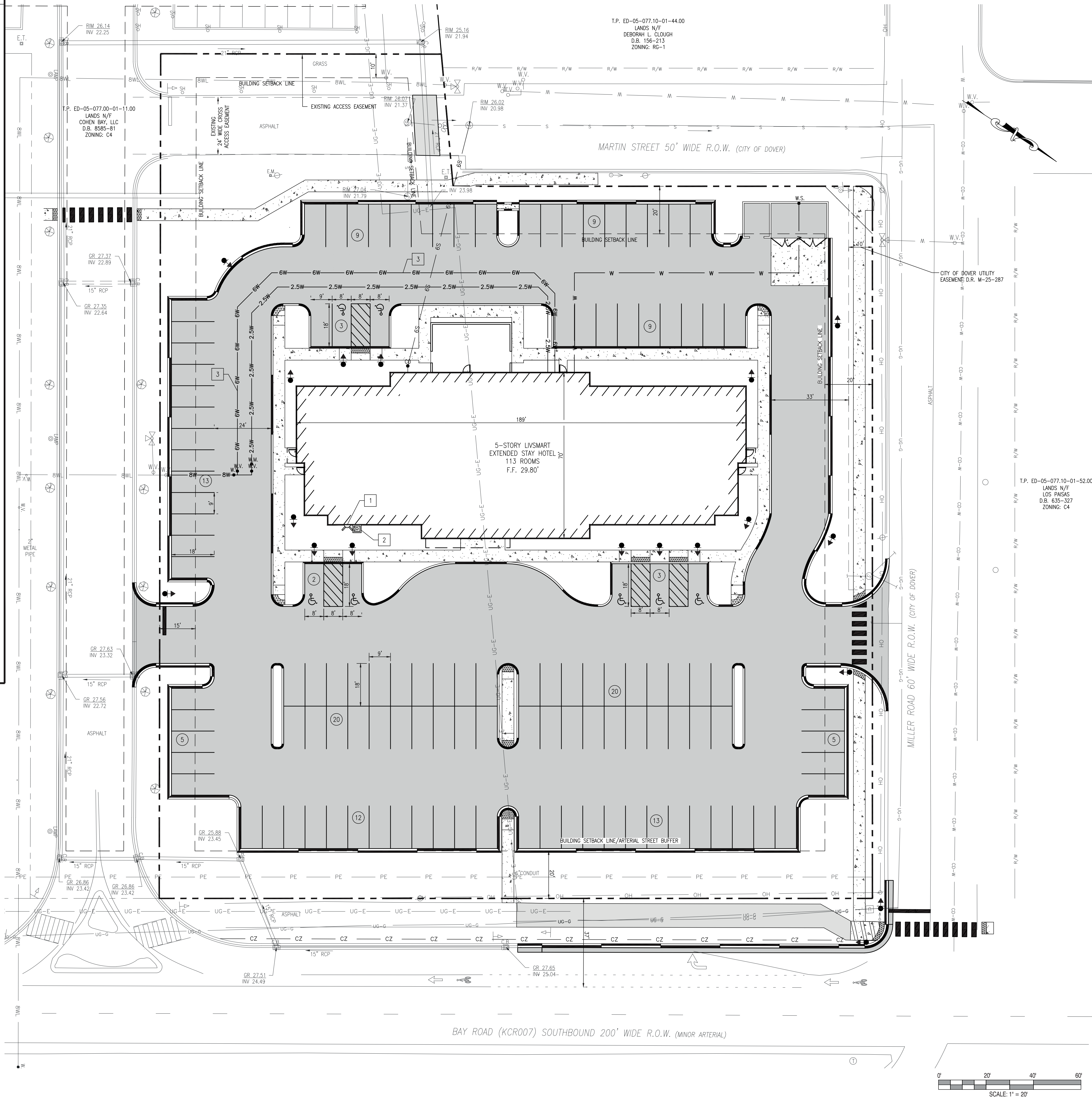
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DATA COLUMN

- COUNTY TAX MAP: 2-05-077.00-01-10.02-00001 2-05-077.10-01-45.00-00001
- APPLICATION NUMBER:
- ADDRESS OF SITE: 540 BAY ROAD DOVER, DE 19901 530 BAY ROAD DOVER, DE 19901
- ZONING: EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A
- LOT AREA: 1.10± ACRES 1.10± ACRES
- SOURCE OF TITLE: D.R. 8585-81 D.R. 9492-26
- EXISTING USE: RETAIL/VACANT LAND PARKING LOTS
- PROPOSED USE: HOTEL HOTEL
- DATUM: EXISTING IRON PIN, SEE SHEET C303 VERTICAL - NAVD83 HORIZONTAL - NAD83
- SETBACK: FRONT: 20' SIDE: 15' REAR: 10'
- MONUMENTS: EXISTING MONUMENTS: 1 EXISTING IRON PIPES: 1 PROPOSED MONUMENTS: 1
- PARKING RATIONALE: 1 SPACE PER GUEST ROOM: 1 SPACE PER 200 S.F. OF OFFICE SPACE, BANQUET HALL & MEETING AREA: 117 SPACES TOTAL REQUIRED PARKING: 123 SPACES (7 HANDICAP SPACES) 1 X 113 ROOMS = 113 SPACES 750 S.F./200 S.F. = 4 SPACES TOTAL PROVIDED PARKING: 123 SPACES (7 HANDICAP SPACES)
- BICYCLE RATIONALE: 1 SPACE PER 20 PARKING SPACES: 123 PARKING SPACES/20 = 7 SPACES
- PROJECT SITE BREAKDOWN (2.20± ACRE): EXISTING SITE IMPERVIOUS: 27,949± S.F. (0.64± ACRES) OPEN SPACE: 67,883± S.F. (1.56± ACRES) OVERALL TOTAL: 95,832± S.F. (2.20± ACRES) PROPOSED SITE IMPERVIOUS: 59,672± S.F. (1.37± ACRES) OPEN SPACE: 24,680± S.F. (0.57± ACRES) BUILDING: 11,480± S.F. (0.26± ACRES) OVERALL TOTAL: 95,832± S.F. (2.20± ACRES) PROPOSED INCREASE IN IMPERVIOUS AREA: 0.99± ACRES
- FLOOD PLAIN MAP PER FEMA MAP NUMBER 1001C0169J, DATED JULY 7, 2014, THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- PURPOSE OF PLAN THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 11,478± S.F. FIVE STORY HOTEL AND ASSOCIATED IMPROVEMENTS.
- DEBRIS DISPOSAL NO DEBRIS SHALL BE BURIED ON THE SITE. ANY BURIED DEBRIS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
- BOUNDARY SURVEY BOUNDARY SHOWN HEREON PREPARED BY CENTURY ENGINEERING, LLC.
- FIRE LANE ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACORDNACE WITH THE STATE FIRE PREVENTION REGULATIONS.
- SPRINKLERS PROPOSED FIVE STORY HOTEL TO BE SPRINKLERED.
- BUILDING CONSTRUCTION TYPE: HOTEL, NFPA LIFE SAFETY CODE 2021, CHAPTER 28. TYPE III (2,1,1)
- BUILDING CONSTRUCTION MATERIAL: HOTEL, NFPA LIFE SAFETY CODE 2021, CHAPTER 28. TYPE III (2,1,1)
- MAX BUILDING HEIGHT: 6 STORIES OR 75'
- WATER PROVIDER: CITY OF DOVER
- SEWER PROVIDER: CITY OF DOVER
- OWNER/EQUITABLE OWNER FRANCIS X. SMITH BAY ROAD THREE, LLC & BAY ROAD FOUR, LLC 32 WEST ROAD SITE 230 TOWSON, MD 21204 (443) 558-2400
- ENGINEER CENTURY ENGINEERING, LLC 550 BAY ROAD DOVER, DE 19901 (302) 734-9188 JAMES CURRAN, P.E.

APPURTENANCE NOTES:

- PROPOSED FIRE DEPARTMENT CONNECTION.
- PROPOSED FIRE DEPARTMENT KNOX BOX, CONTACT CITY OFFICE OF THE FIRE MARSHAL FOR ORDERING INFORMATION AND LOCATION OF BOX ON THE BUILDING.
- 6" FIRE PROTECTION MAIN.

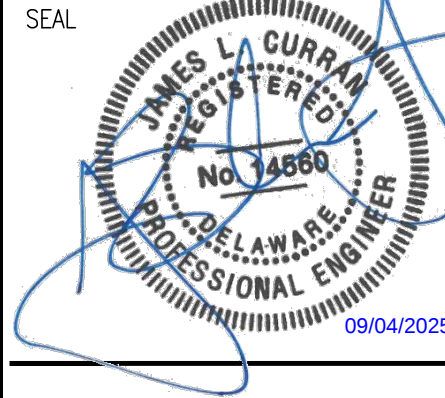


CENTURY
ENGINEERING
A Kleinfelder Company

REVISIONS

ADDENDUM

DESCRIPTION	DATE
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CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077.10-01-45.00-00001 & 2-05-077.00-01-10.02-00001
CITY OF DOVER, 19901
KENT COUNTY, STATE OF DELAWARE

SHEET TITLE

FIRE MARSHAL PLAN

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

ZTP

JLC

SCALE SHEET NO.

1" = 20'

PROJECT NO.

C309

26000446.001A



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DATA COLUMN		
1. COUNTY TAX MAP:	2-05-077.00-01-10.02-00001	2-05-077.10-01-45.00-00001
2. APPLICATION NUMBER:		
3. ADDRESS OF SITE:	540 BAY ROAD DOVER, DE 19901	530 BAY ROAD DOVER, DE 19901
4. ZONING:	EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A	EXISTING: C4-HIGHWAY COMMERCIAL PROPOSED: N/A
5. LOT AREA:	1.10± ACRES	1.10± ACRES
6. SOURCE OF TITLE:	D.R. 8585-81	D.R. 9492-96
7. EXISTING USE:	VACANT LAND	VACANT LAND
8. PROPOSED USE:	HOTEL	HOTEL
9. DATUM:	EXISTING IRON PIN, SEE SHEET C303 VERTICAL - NAVD88 HORIZONTAL - NAD83	
10. SETBACK	FRONT: 20'/35' SIDE: 15' REAR: 10'	
11. MONUMENTS	EXISTING MONUMENTS: 2 EXISTING IRON PIPES: 3 EXISTING REBAR: 2 PROPOSED MONUMENTS: 1	
12. PARKING RATIONALE:	1 SPACE PER GUEST ROOM: 1 SPACE PER 200 S.F. OF OFFICE SPACE, BANQUET HALL & MEETING AREA: TOTAL REQUIRED PARKING: TOTAL PROVIDED PARKING:	1 X 113 ROOMS = 113 SPACES 750 S.F./200 S.F. = 4 SPACES 117 SPACES 123 SPACES (7 HC SPACES)
13. FLOOD PLAIN MAP	PER FEMA MAP NUMBER 1000100169J, DATED JULY 7, 2014, THIS SITE LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.	
14. PURPOSE OF PLAN	THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 11,478± S.F. FIVE STORY HOTEL AND ASSOCIATED IMPROVEMENTS.	
15. DEBRIS DISPOSAL	NO DEBRIS SHALL BE BURIED ON THE SITE. ANY BURIED DEBRIS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.	
16. BOUNDARY & TOPOGRAPHIC SURVEY	BOUNDARY SHOWN HEREON PREPARED BY CENTURY ENGINEERING, LLC. (MAY 2022).	
17. WETLAND	A WETLAND INVESTIGATION WAS PERFORMED ON JANUARY 19, 2017 BY CENTURY ENGINEERING, LLC. NO WETLANDS WERE FOUND ON EITHER PARCEL.	
18. WATER PROVIDER:	CITY OF DOVER	
19. SEWER PROVIDER:	CITY OF DOVER	
20. OWNER/EQUITABLE OWNER	FRANCIS X. SMITH BAY ROAD THREE, LLC & BAY ROAD FOUR, LLC 32 WEST ROAD, STE 230 TOWSON, MD 21204 (443) 589-2400 FXS@CIEGHORNCAPITAL.COM	
21. DEVELOPER/APPLICANT	WEATHERVANE CAPITAL PARTNERS 123 BLOOMINGDALE AVENUE, SUITE 303 WAYNE, PA 19087 (610) 727-0551 VMURCHE44@GMAIL.COM	
22. ENGINEER	CENTURY ENGINEERING, LLC 550 BAY ROAD DOVER, DE 19901 (302) 734-9188 JAMES CURRAN, P.E. JCURRAN@KLEINFELDER.COM	

TREE DENSITY CALCULATIONS

TOTAL LOT AREA:	2.20 ACRES
TOTAL AREA OF WOODLANDS ON SITE:	0.27 ACRES
TOTAL AREA OF WOODLANDS TO BE PRESERVED:	0.00 ACRES
NON-WOODLAND AREA:	2.20 ACRES (95,832± S.F.)
NEW TREE PLANTINGS REQUIRED: 1 TREE PER 3,000 S.F. OF NON-WOODLAND AREA	
95,832 S.F./3,000 S.F. =	32 PLANTINGS REQUIRED
TREE PLANTINGS PROPOSED:	41 TREES

GENERAL NOTES

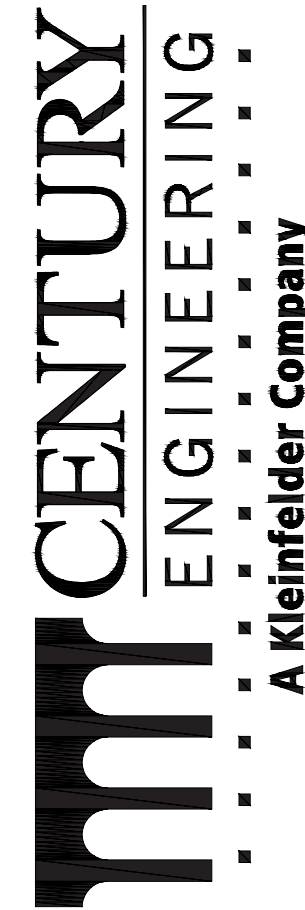
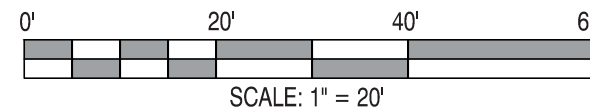
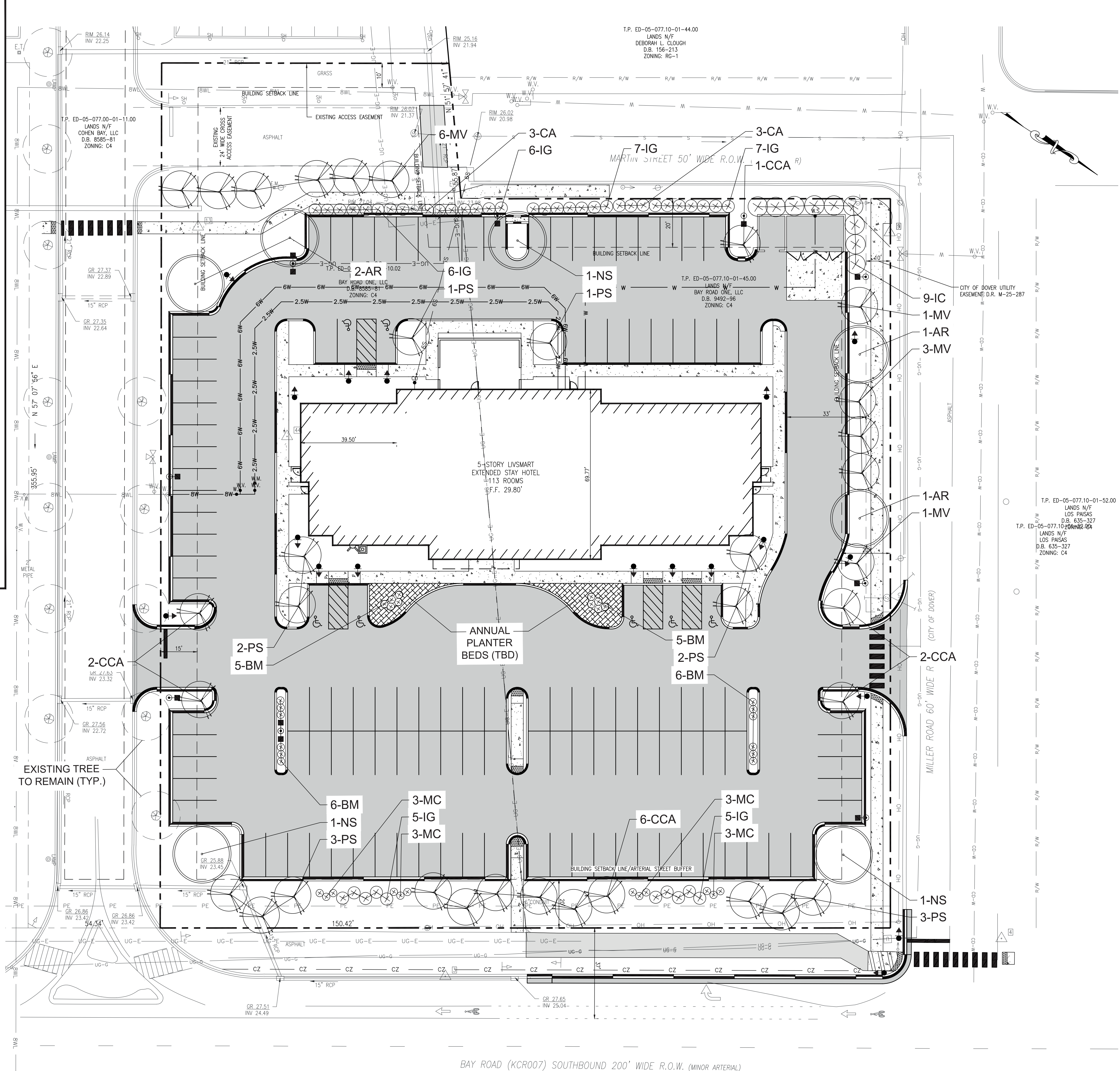
- INTERIOR LOT LINE TO BE REMOVED AND LOTS TO BE CONSOLIDATED.
- NO EXISTING VEGETATION ONSITE WILL BE PRESERVED.
- ALL NEW TREE AND SHRUB PLANTINGS SHALL BE MULCHED TO PREVENT EROSION AROUND NEW PLANTINGS.
- ALL NEW PLANTINGS SHALL HAVE A ONE YEAR REPLACEMENT GUARANTEE.
- TREES SHALL BE LIMBED TO 12-FEET OR ABOVE AT MATURITY.

CERTIFICATION OF PLAN ACCURACY

I, MICHAEL J. PIERANUNZI, HEREBY CERTIFY THAT I AM A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

MICHAEL J. PIERANUNZI, ASLA, RLA
CENTURY ENGINEERING, INC.
10710 GILROY ROAD
HUNT VALLEY, MD 21031
(443)-589-2400

DATE

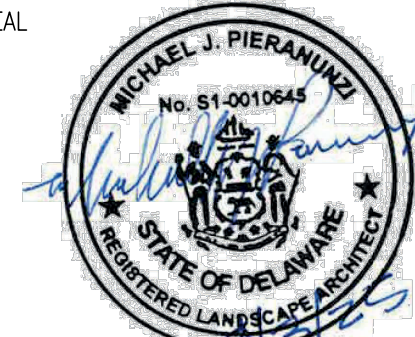


REVISIONS

ADDENDUM

DESCRIPTION	DATE
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SEAL



CONSTRUCTION PLANS

FOR LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077.10-01-45.00-00001 & 2-05-077.00-01-10.02-00001
CITY OF DOVER, 19901
KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

LANDSCAPE PLAN

CITY OF DOVER SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

CG

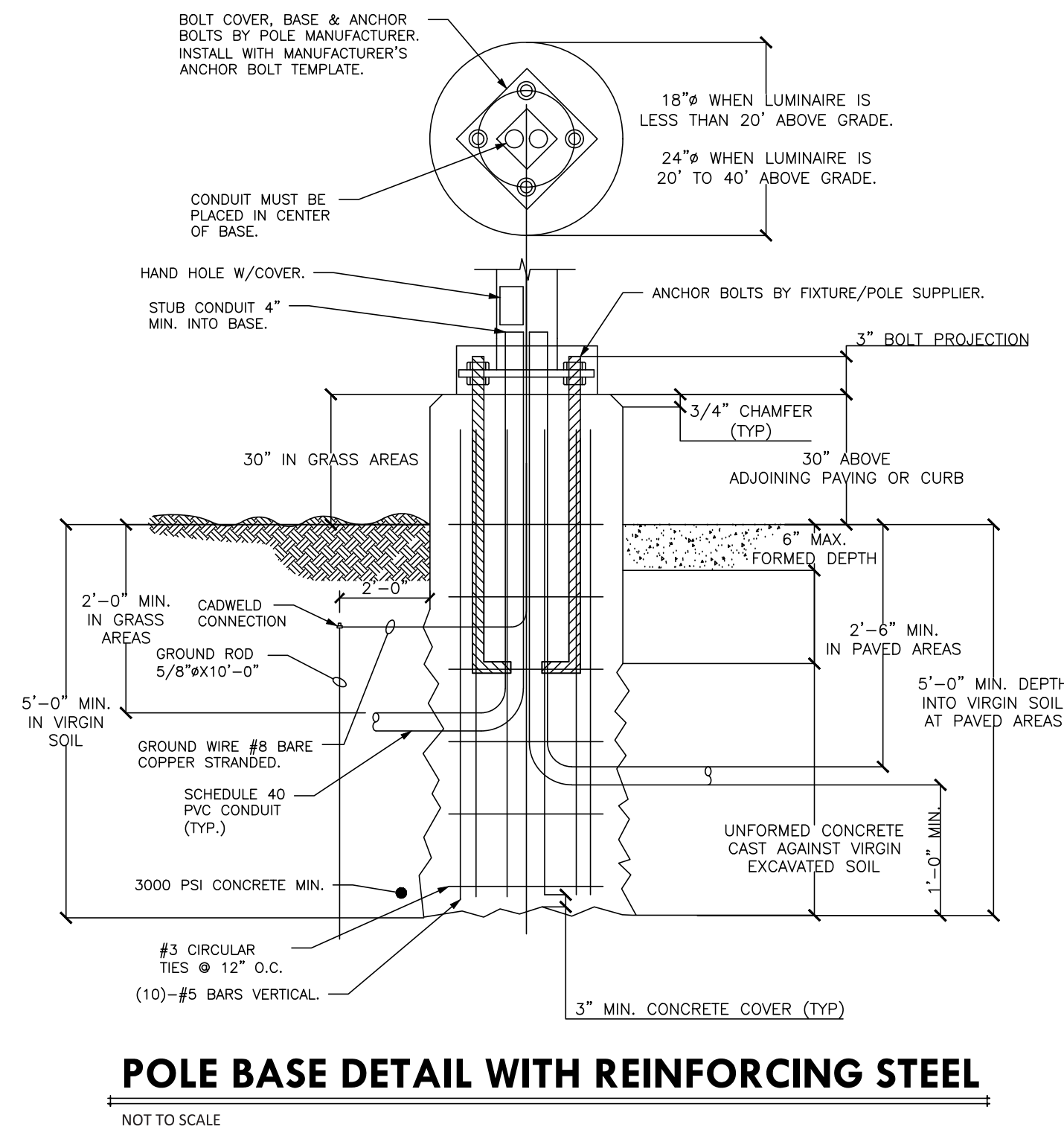
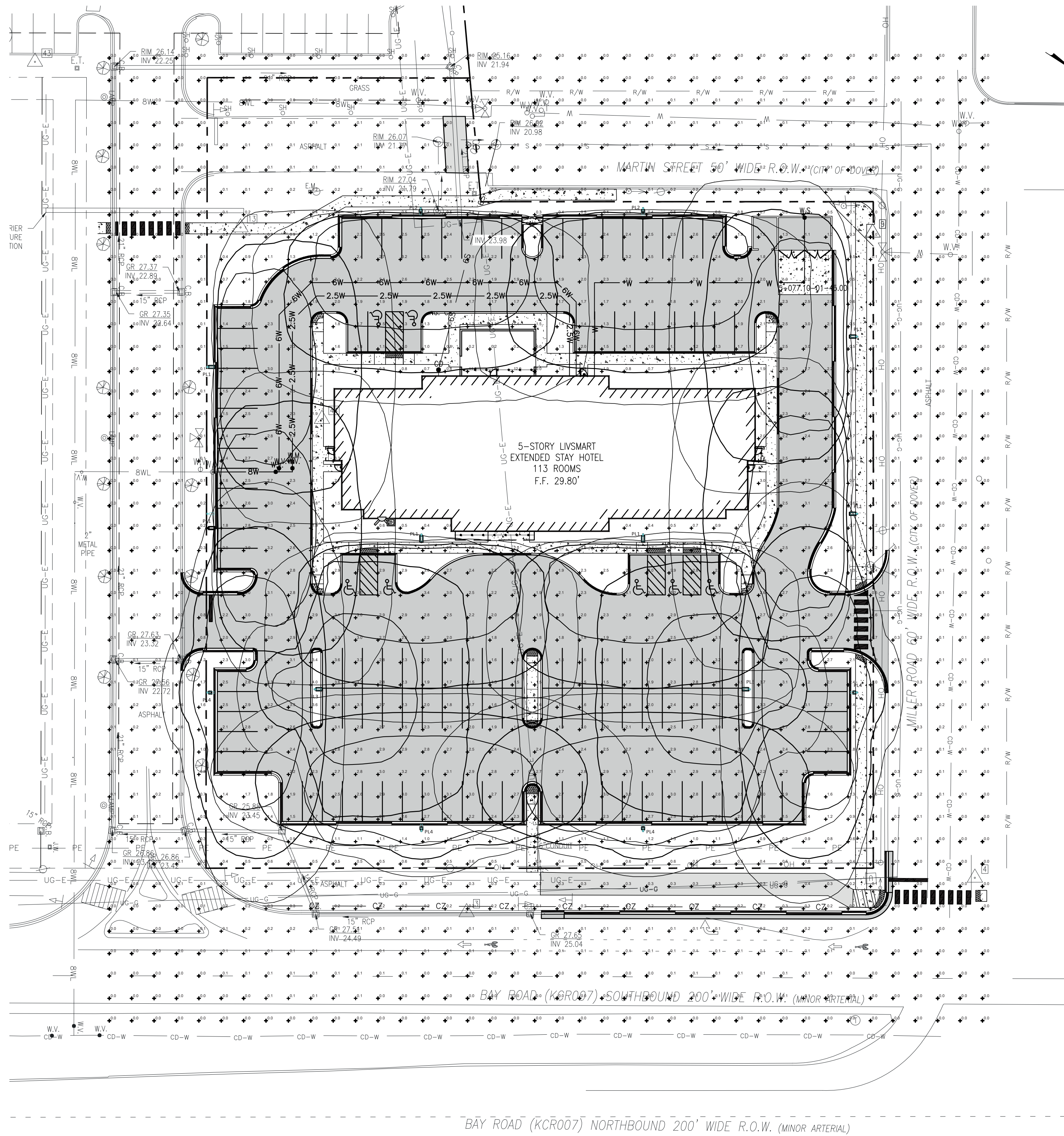
MJP

SCALE SHEET NO.

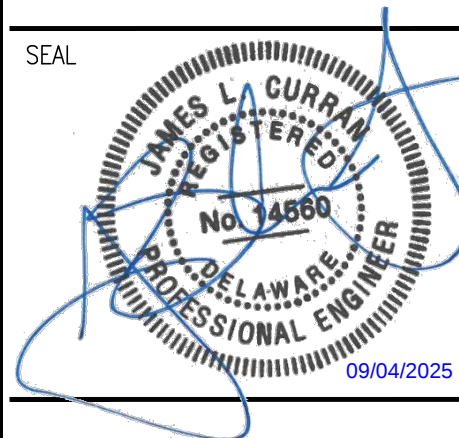
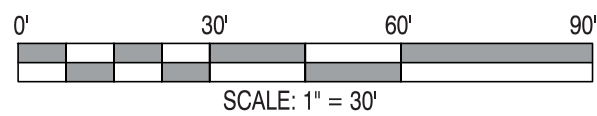
PROJECT NO.

26000446.001A

C310



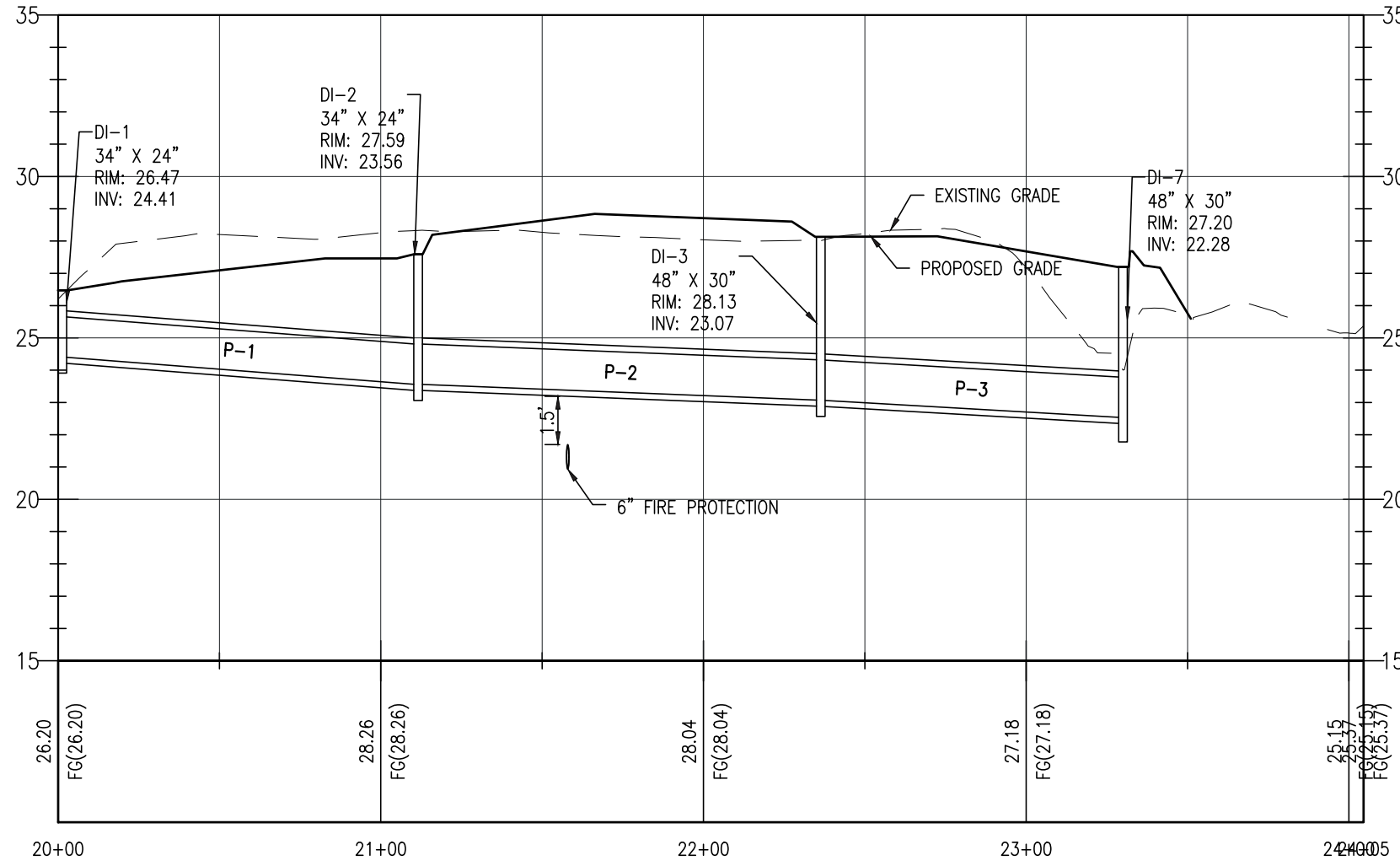
SITE LUMINAIRE SCHEDULE													
TAG	DESCRIPTION	MANUFACTURER	MODEL NUMBER	QTY	LAMP DATA				BALLAST TYPE	VOLTAGE	MOUNTING		NOTES
					LAMP TYPE	COLOR TEMP.	WATTAGE	LUMENS			TYPE	HEIGHT	
PL1	SINGLE POLE MOUNTED AREA LIGHT WITH TYPE 4 DISTRIBUTION AND BACKLIGHT CONTROL WITH DARK BRONZE FINISH	LITHONIA	DSX1-LED-P5-40K-80CRI-BLC4-MVOLT-SPA	1	LED	4000	138.0	13245	ELECTRONIC	120	POLE (SINGLE)	25'-0"	-
PL2	SINGLE POLE MOUNTED AREA LIGHT WITH TYPE 4 DISTRIBUTION AND BACKLIGHT CONTROL WITH DARK BRONZE FINISH	LITHONIA	DSX1-LED-P7-40K-80CRI-BLC4-MVOLT-SPA	1	LED	4000	184.0	16685	ELECTRONIC	120	POLE (SINGLE)	25'-0"	-
PL3	SINGLE POLE MOUNTED AREA LIGHT WITH MEDIUM FORWARD THROW DISTRIBUTION WITH DARK BRONZE FINISH	LITHONIA	DSX1-LED-P4-40K-80CRI-TFTM-MVOLT-SPA	1	LED	4000	124.0	16384	ELECTRONIC	120	POLE (SINGLE)	25'-0"	-
PL4	SINGLE POLE MOUNTED AREA LIGHT WITH MEDIUM TYPE 2 DISTRIBUTION AND HOUSE SHIELD WITH DARK BRONZE FINISH	LITHONIA	DSX1-LED-P5-40K-80CRI-T2M-MVOLT-SPA-HS	1	LED	4000	138.0	13245	ELECTRONIC	120	POLE (SINGLE)	25'-0"	-



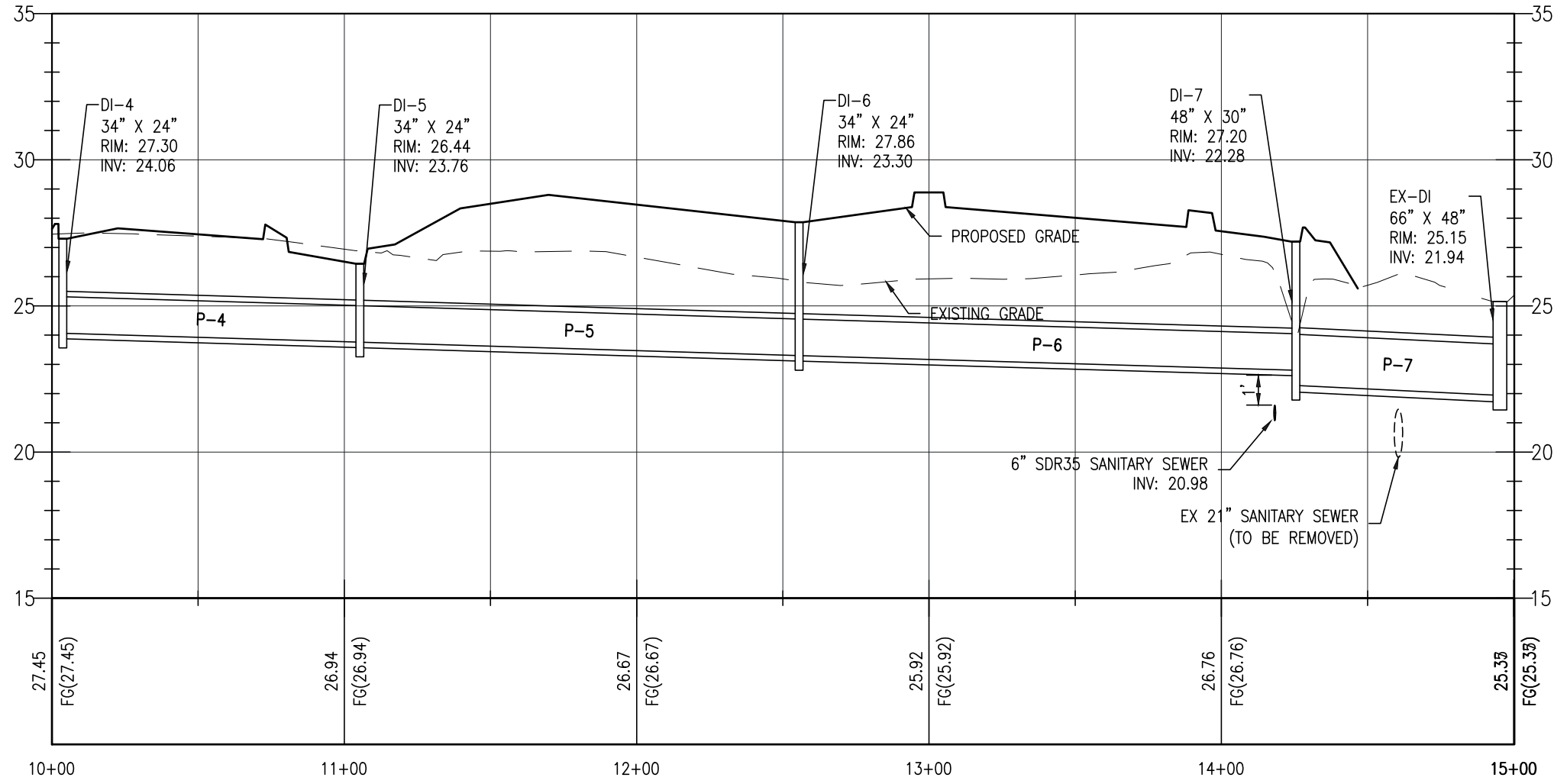
DRAINAGE INLET SCHEDULE				
DI NO.	SIZE	GRATE	TOP ELEV.	PIPE INVERT
DI-1*	34" X 24"	TYPE 2	26.47	24.41
DI-2	34" X 24"	TYPE 2	27.59	23.56
DI-3	48" X 30"	TYPE 2	28.13	23.07
DI-4*	34" X 24"	TYPE 2	27.30	24.06
DI-5*	34" X 24"	TYPE 2	26.44	23.76
DI-6	34" X 24"	TYPE 2	27.86	23.30
DI-7	48" X 30"	TYPE 2	27.20	22.28

* TEMP REBAR REQUIRED

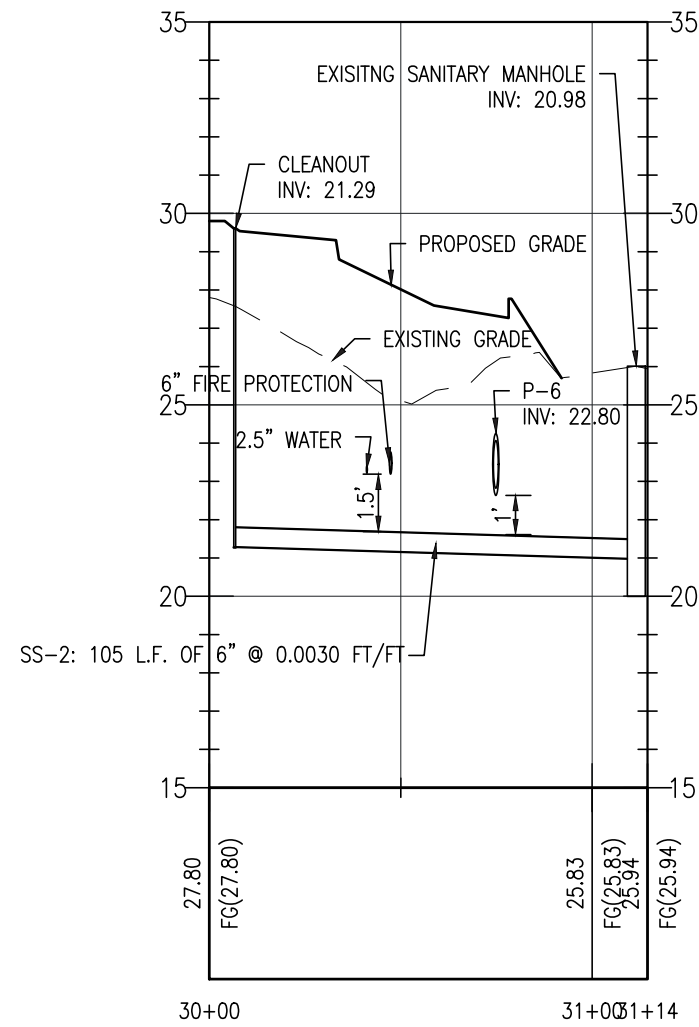
DRAINAGE PIPE SCHEDULE							
PIPE ID	LENGTH	SIZE	TYPE	CLASS	SLOPE	INLET INVERT	OUTLET
P-1	108'	15"	HDPE	-	0.0031	24.32	23.99
P-2	123'	15"	HDPE	-	0.0030	23.99	23.62
P-3	91'	15"	HDPE	-	0.0030	23.62	23.35
P-4	100'	15"	HDPE	-	0.0086	25.12	24.26
P-5	148'	15"	HDPE	-	0.0030	24.26	23.86
P-6	166'	15"	HDPE	-	0.0049	23.82	23.00
P-7	66'	21"	HDPE	-	0.0145	22.90	21.94



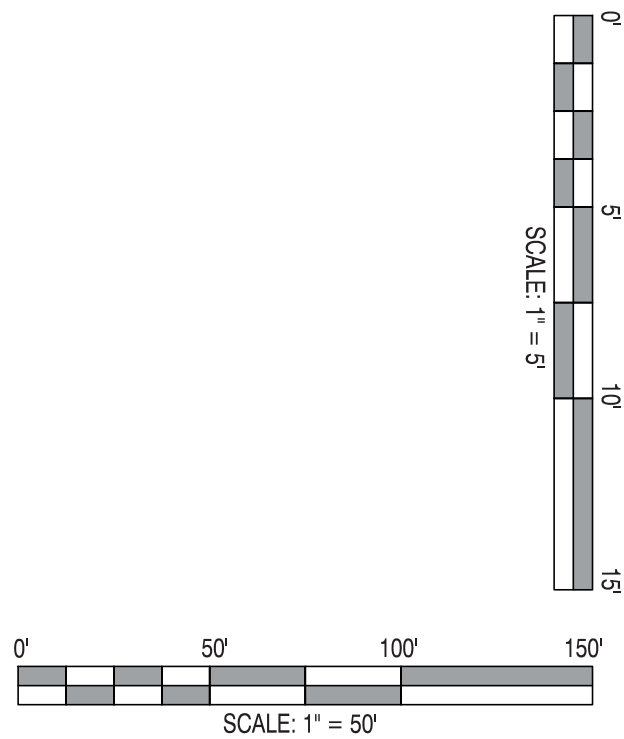
1 PROFILE DI-1 TO DI-7
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

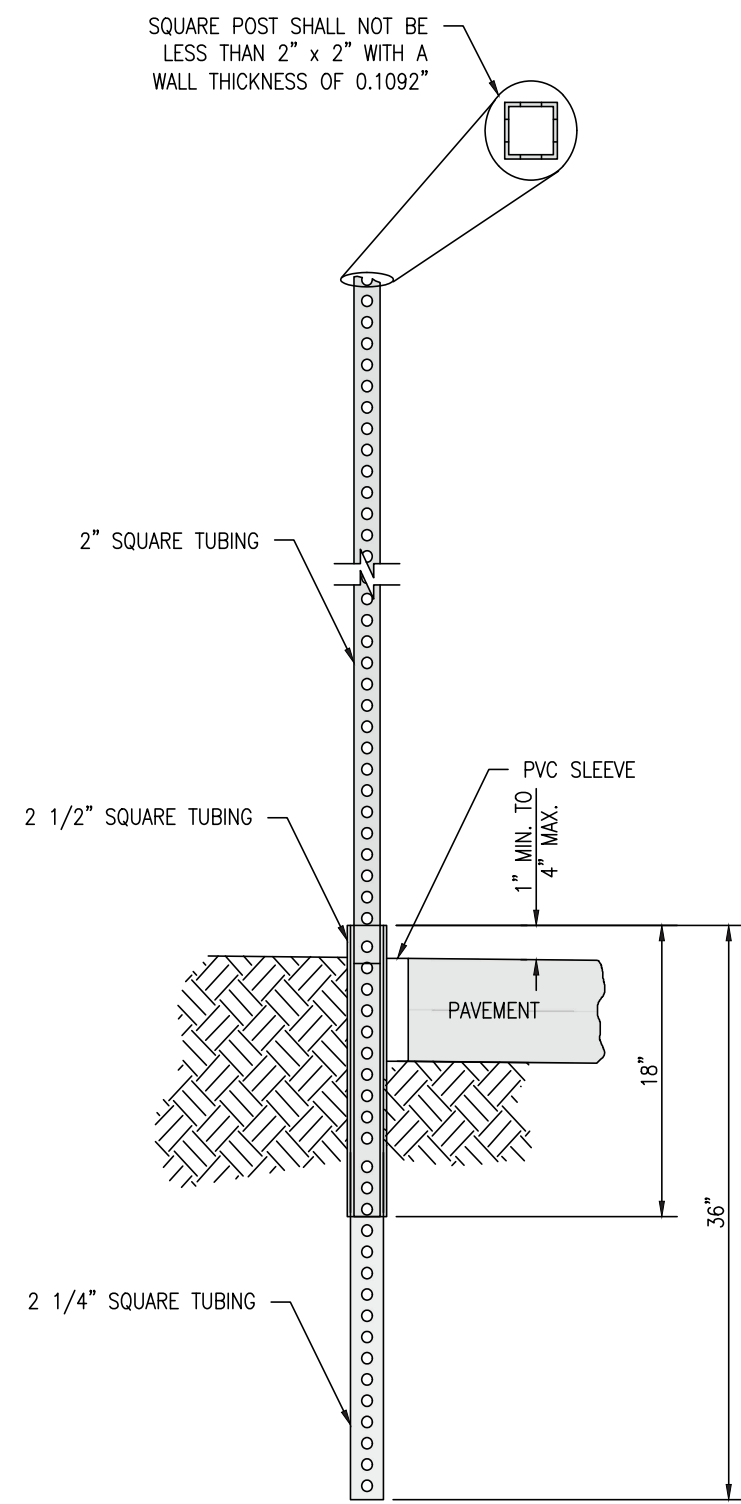


2 PROFILE DI-4 TO DI-7
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



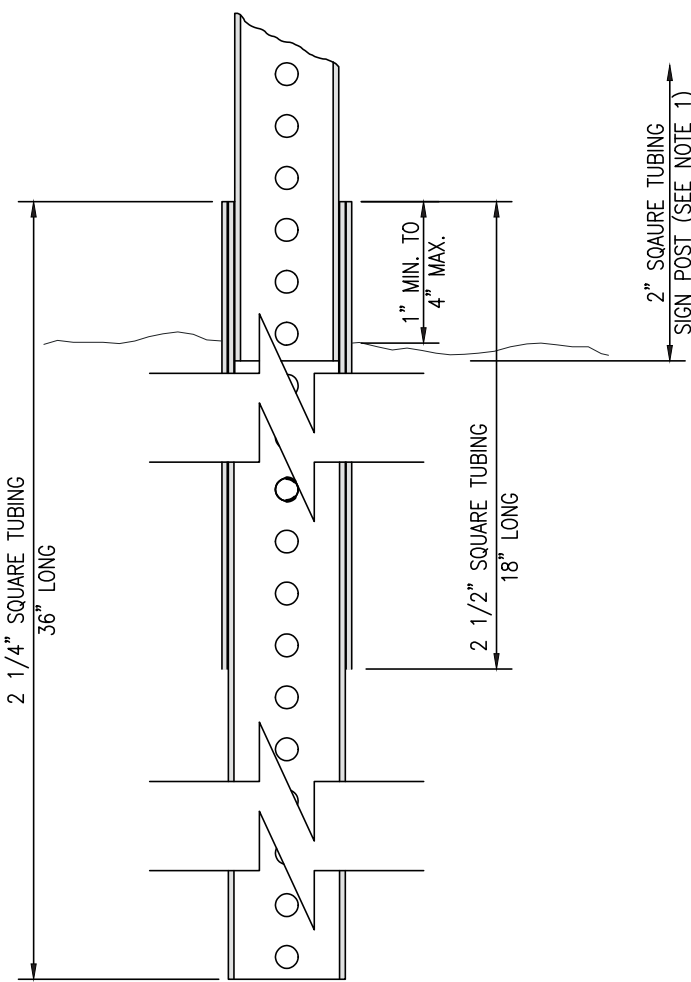
3 PROFILE SANITARY SEWER LATERAL
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'





BREAK-AWAY ASSEMBLY ELEVATION VIEW
SCALE: N.T.S.

5 TELESCOPING STEEL SIGN POST BREAKAWAY ASSEMBLY
C313 SCALE: N.T.S.

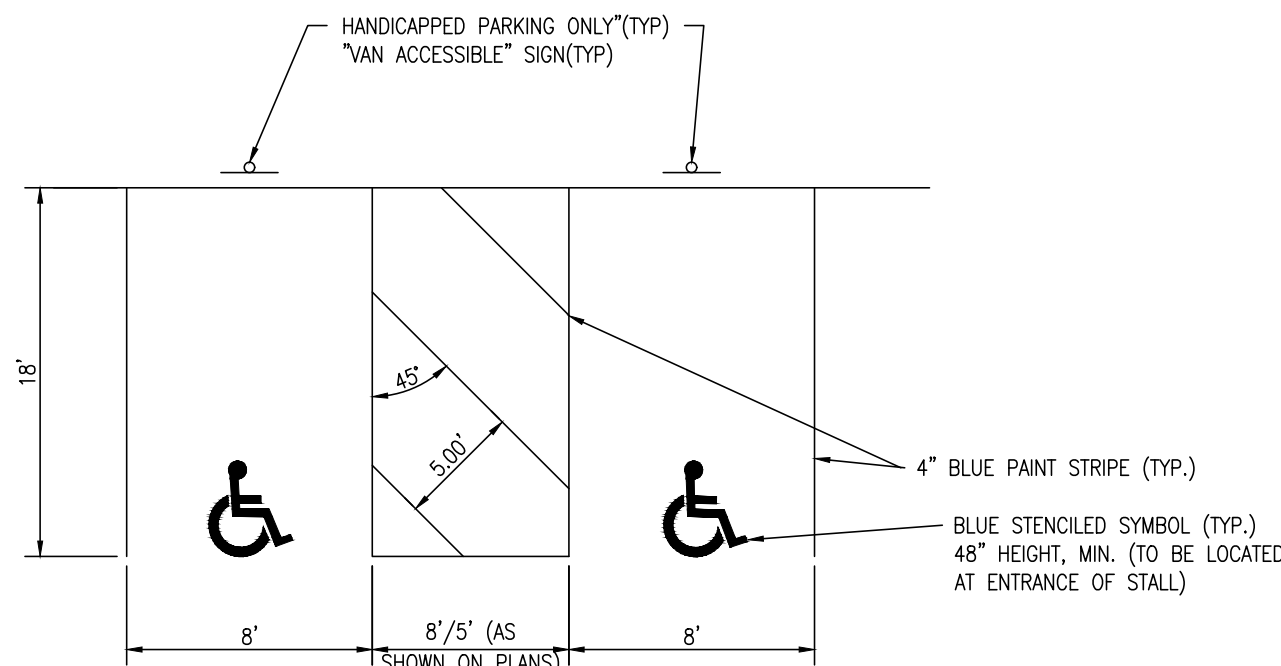


BREAK-AWAY ASSEMBLY SECTION VIEW
SCALE: N.T.S.

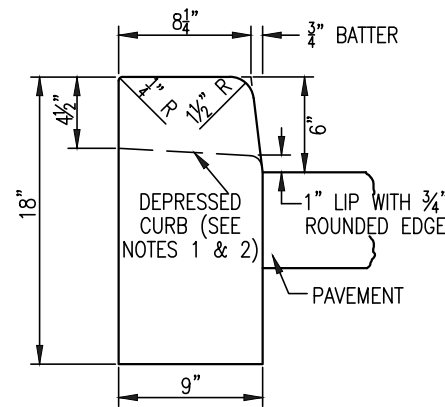
DELDOT ITEM 819001 GALVANIZED TELESCOPING STEEL SIGN POSTS, 12' X 2", COMPLETE WITH BASE POSTS AND HARDWARE.

NOTES:

- SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A446, GRADE A COATING DESIGNATION G90, REGULAR SPANGLE, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A57, GRADE 33.
- NOMINAL OUTSIDE DIMENSIONS ARE AS FOLLOWS:
A) 2" x 2" ± 0.008
B) 2 1/4" x 2 1/4" ± 0.010
C) 2 1/2" x 2 1/2" ± 0.010
- ALL FOUR SIDE ARE TO HAVE EVENLY SPACED 7/16" DIAMETER HOLES ON 1" CENTERS THE ENTIRE LENGTH OF THE TUBE.
- STANDARD CORNER RADIUS SHALL BE 5/32".
- THE FASTENERS TO BE SUPPLIED UNDER THIS SPECIFICATIONS SHALL BE 5/16", GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATING. INSTALLATION OF SIGNS SHALL BE 3/8" x 2 1/2" BOLT WITH LOCKNUT AND WASHER.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL PVC SLEEVES (4" INSIDE DIAMETER MINIMUM, 6" INSIDE DIAMETER MAXIMUM) IN PROPOSED CONCRETE SIDEWALKS, ISLANDS, AND MEDIANS FOR FUTURE TRAFFIC SIGN POSTS AS DIRECTED BY THE ENGINEER. THE LOWER END OF THE SLEEVE SHALL BE SET ON TOP OF THE SOIL.
- THE SIGN POST SHALL EXTEND A MINIMUM OF 4" INTO THE 2 1/2" SQUARE TUBING.



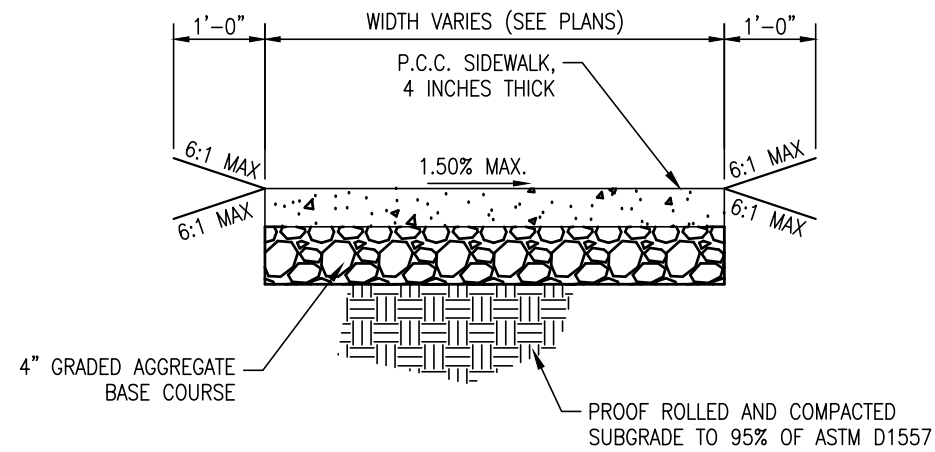
7 TYPICAL ACCESSIBLE PARKING DETAIL
C313 SCALE: NTS



NOTES:

- THE DEPRESSED CURB DIMENSIONS (INCLUDING 1" LIP) ON THIS SHEET ARE FOR USE AT ENTRANCES ONLY. FOR CURB DEPRESSIONS AT CURB RAMPS, SEE NOTE 2.
- AT CURB RAMPS, DEPRESS CURB FLUSH WITH THE PAVEMENT (WITH NO LIP). SLOPE THE TOP OF THE CURB 8.33% OR FLATTER IN THE DIRECTION OF PEDESTRIAN TRAVEL.

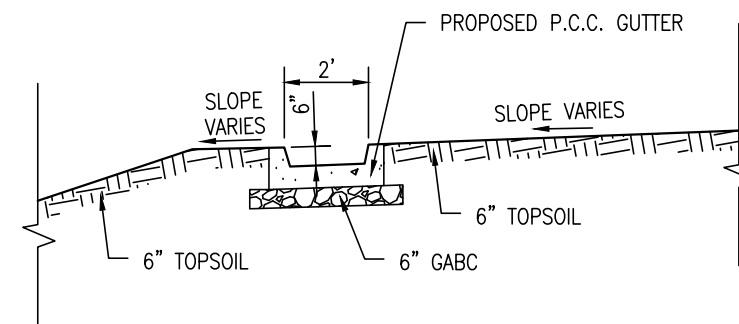
2 PCC CURB TYPE 1-6
C313 SCALE: N.T.S.



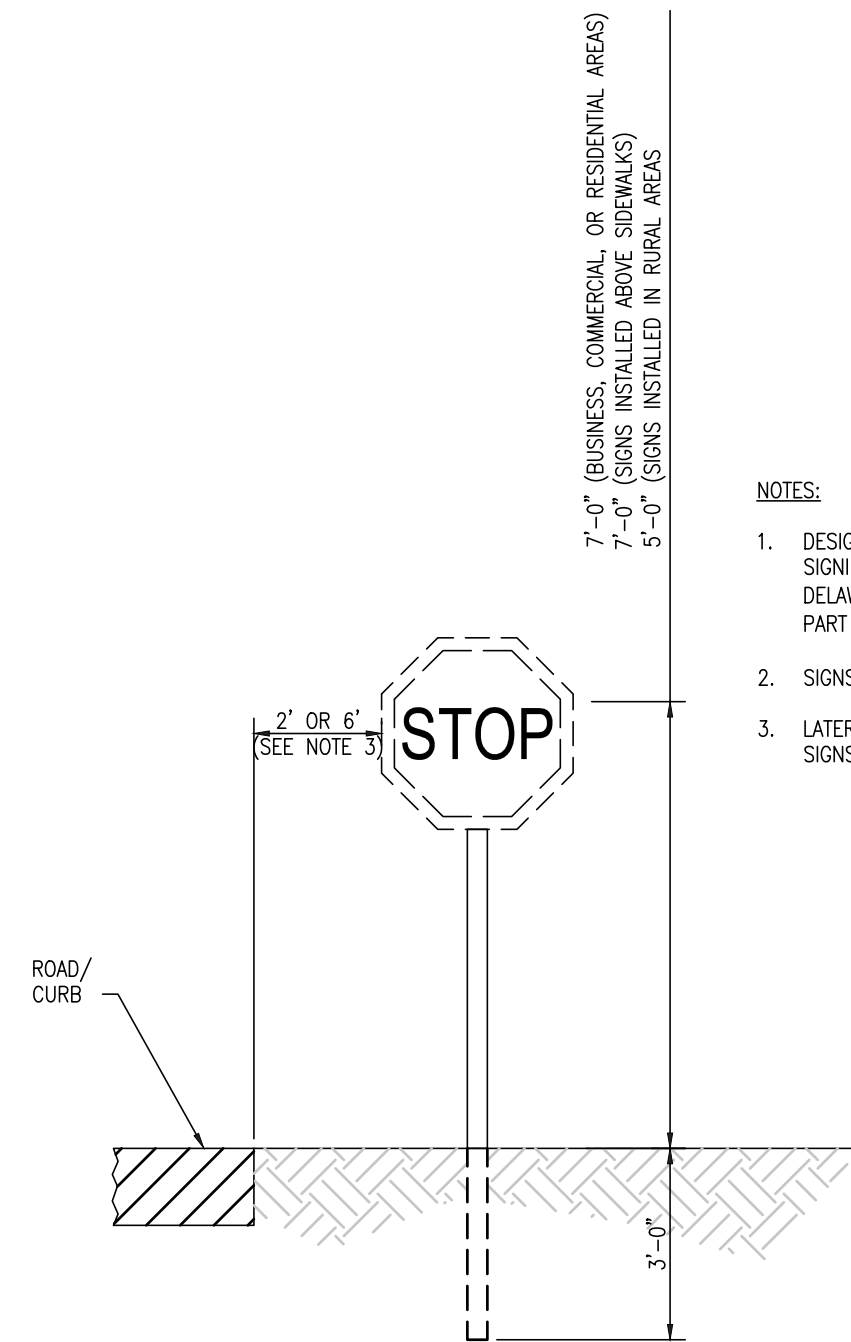
NOTES:

- MARK IN 5' SQUARES, USE CORK EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 15'.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.
- CROSS SLOPE OF SIDEWALK SHALL BE 1% MIN., 1.5% MAX. LONGITUDINAL SLOPE AS SHOWN ON PLANS.

3 4' SIDEWALK DETAIL
C313 SCALE: N.T.S.



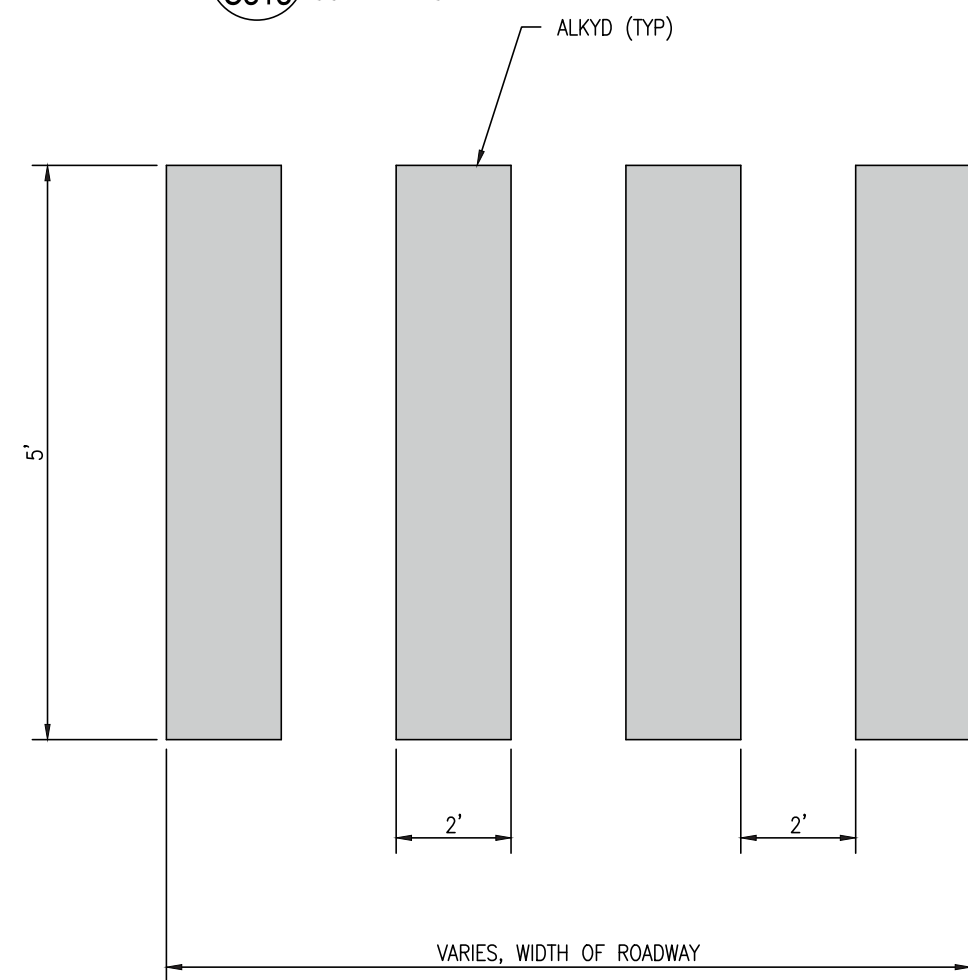
4 TYPICAL CONCRETE CURB ISLAND CHANNEL
C313 SCALE: 1" = 5'



NOTES:

- DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL COMPLY WITH THE LATEST EDITION OF THE DELAWARE MUTCD. (SPECIFIC REQUIREMENTS OUTLINED UNDER PART 9 - TRAFFIC CONTROLS FOR BICYCLE FACILITIES.)
- SIGNS TO BE ON 2" SQUARE TUBING.
- LATERAL OFFSET TO COMPLY WITH DELAWARE MUTCD, PART 2 - SIGNS, SECTION 2A.19 LATERAL OFFSET

6 TYPICAL SIGN PLACEMENT DETAIL
C313 SCALE: N.T.S.



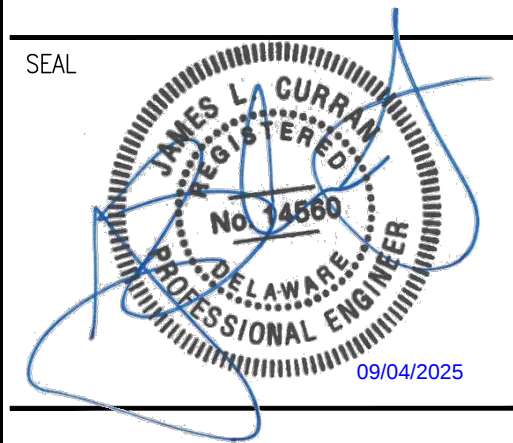
8 TYPICAL CROSSWALK DETAIL
C313 SCALE: NTS

REVISIONS

ADDENDUM

DESCRIPTION	DATE
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SEAL



CONSTRUCTION PLANS

FOR

LIVSMART EXTENDED STAY HOTEL

T.P. 2-05-077-10-01-45-00-00001 & 2-05-077-00-01-10-02-00001

CITY OF DOVER, 19901

KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

CONSTRUCTION
DETAILS

CITY OF DOVER
SUBMISSION

SEPTEMBER 3, 2025

DRAWN CHK'D/DESIGNER

ZTP

JLC

SCALE

SHEET NO.

AS SHOWN

PROJECT NO.

C313

26000446.001A

