

GENERAL RESIDENTIAL NOTES:

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IRC & THE CODES AND ORDINANCES OF THE CITY OF DOVER.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE, DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO EXTERIOR FACE OF SHEATHING TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE BEGINNING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS, ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
- EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK OR ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF THE CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR TOILET ACCESSORIES, MECHANICAL, ELECTRICAL, AND OTHER ITEMS AS NECESSARY.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE AND MAINTAIN THE BUILDING, GROUNDING, LANDSCAPING, AND ADJACENT BUILDINGS AND MATERIALS, AND TO ASSURE THE SAFETY OF THE PUBLIC.
- AT THE TIME OF PROJECT CLOSEOUT, THE CONTRACTOR SHALL CLEAN HIS WORK, LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED:
  - REMOVE NON-PERMANENT PROTECTION AND LABELS.
  - POLISH GLASS.
  - CLEAN EXPOSED FINISHES.
  - TOUCH UP MINOR FINISH DAMAGE.
  - CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS.
  - REMOVE AND DISPOSE OF ALL DEBRIS FROM SITE.
  - BROOM CLEAN UNOCCUPIED SPACES.
  - CLEAN PLUMBING AND LIGHT FIXTURES, FURNITURE BURNED OUT LAMPS.
  - VACUUM CARPETS.
- ALL WOOD & FRAMING LAMBER IN CONTACT WITH MASONRY OR CONCRETE SURFACES SHALL BE PRESURE TREATED:
  - GYPSTUM BOARD - 55" F.M. DAY AND NIGHT DURING JOINT TREATMENT OPERATION AND UNTIL EXECUTION OF CERTIFICATE OF SUBSTANTIAL COMPLETION.
  - WOOD FLOORING - 70" F.M. WHERE MATERIAL IS STORED FOR ONE WEEK PRIOR TO INSTALLATION, CONTINUOUSLY DURING INSTALLATION, AND ONE WEEK AFTER APPLICATION OF FINAL COAT OF FLOOR FINISH.
  - RESILIENT FLOORING - 70" F.M. DURING APPLICATION.
  - CARPENTRY - 70" F.M. AND 95" MAX. FOR ONE WEEK PRIOR TO THE LAYING OF CARPET AND CONTINUOUSLY DURING INSTALLATION.
  - PAINTING - 55" F.M. DURING PAINTING OPERATIONS AND UNTIL DRY.
- ALL PAINTED AND COVERED GYPSTUM BOARD SURFACES SHALL RECEIVE A 3 COAT TAFE AND SPACKLE SYSTEM. ALL GYPSTUM BOARD SHALL BE SCAVED TO THE SUB-FRAMING.
- ALL GYPSTUM BOARD WALL AND CEILING SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS OF PAINT.
- ALL WOOD AND METAL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS SEMI-GLOSS FINISH.
- ALL DOOR HARDWARE TO BE RESIDENTIAL GRADE WITH BRIGHT BRASS FINISH.
- ALL EXTERIOR JOINTS, CRACKS, AND HOLE IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED. THIS INCLUDES (BUT IS NOT NECESSARILY LIMITED TO) AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FLOOR/ROOF, BETWEEN WALL AND ROOF, UTILITY PENETRATIONS, BETWEEN WALL PANELS AT CORNERS, AND AROUND FLUE VENTS.
- ALL PAINTED WOOD SURFACES TO RECEIVE TWO COATS OF STAIN AND TWO FINISH COATS OF SATIN POLYURETHANE. SAND SURFACES BETWEEN APPLICATIONS OF POLYURETHANE.
- ALL ROOMS SHALL RECEIVE PAINTED WOOD BASE.
- ALL WOOD MOLDINGS AND TRIM TO BE PAINTED OR STAINED.
- ALL COUNTER TOPS TO BE PLASTIC LAMINATE SURFACED. CABINET FINISHES SHALL BE AS SELECTED BY OWNER.
- ALL COLORS AND FINISH TYPES TO BE SELECTED BY THE OWNER.
- THE EXTERIOR SIGNS SHALL BE VINYL.
- ALL WINDOWS TO BE DOUBLE HUNG THERMAL PANE WOOD CLAD OR SOLID VINYL WITH SCREENING AND GRILLES. WINDOWS WILL BE APPROVED BY THE CITY OF DOVER HISTORICAL COMMISSION.

GENERAL PLUMBING NOTES:

- ALL WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS: IRC, NFPA, UL & IPC.
- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL LABOR, TOOLS, MATERIALS AND SUPERVISION TO COMPLETE ALL THE PLUMBING WORK AS DESCRIBED IN THE DRAWINGS. ALL INCIDENTAL MATERIALS NORMALLY REQUIRED FOR AN OPERATIONAL PLUMBING SYSTEM ARE UNDERSTOOD TO BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL WORK INCLUDING MATERIALS ARE SUBJECT AT THE OWNERS' APPROVAL. ANY QUESTIONS PERTAINING TO THIS PROJECT MUST BE RESOLVED WITH THE OWNER PRIOR TO COMMENCING WORK.
- THE PLUMBING CONTRACTOR SHALL COMPLY WITH ALL THE REQUIREMENTS OF FEDERAL, STATE AND KENT COUNTY AUTHORITIES. THESE INCLUDE DNRIC, KENT COUNTY PLANNING AND ZONING, HEALTH DEPT., AND BUILDING INSPECTORS OFFICE.
- THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE COMPLETION OF HIS WORK. HE SHALL, WHENEVER AND PAY FOR ALL INSPECTIONS AND TESTS REQUIRED AND FURNISH THE REQUIRED CERTIFICATES OF INSPECTION TO THE OWNER PRIOR TO FINAL PAYMENT.
- THE PLUMBING SYSTEM DESIGN AND PIPE ROUTING SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR. ROUTING MAY BE MODIFIED BY THE CONTRACTOR AFTER VERIFYING ALL DIMENSIONS AND CONDITIONS FOR POSSIBLE INTERFERENCES WITH MECHANICAL EQUIPMENT, OUTWORK, LIGHTS, AND STRUCTURAL SUPPORTS ETC. COORDINATE ALL WORK WITH OTHERS.
- THE PLUMBING CONTRACTOR SHALL DETERMINE INVERTS OF SANITARY PIPING AND ADEQUATELY INDICATED INTERFERENCES AS REQUIRED. ADJUSTMENTS SHALL CONFORM TO MINIMUM SLOPES AS PER IPC CODE (80" PER FOOT MINIMUM).
- CLEAN OUTS (CO) TO BE THE SAME SIZE AS PIPE SERVING OUT TO 4" IN PIPE SIZE, FOR 4" AND LARGER PIPE SIZES, CLEAN OUTS ARE TO BE 4" IN SIZE. INSULATE CLEAN OUTS AS REQUIRED. PROTECT DRAIN, AND ADJACENT FRESH FLOORS, WALL SURFACE, ETC. MAKE CLEAN OUTS ACCESSIBLE.
- MAKE CHANGES IN DIRECTION AND CONNECTIONS OF DRAIN, SOIL, AND WASTE LINES WITH PROPER FITTINGS AND NECESSARY OFFSETS.
- TRAP ALL FIXTURES AT A DISTANCE OF NO MORE THAN 2' FROM FIXTURE. THE DISCHARGE FROM ANY FIXTURE SHOULD NOT PASS THROUGH MORE THAN ONE TRAP. BEFORE REACHING THE DRAIN, PROVIDE TRAPS WITH SEAL OF 20" MINIMUM AND 4" MINIMUM AND VENT TO PREVENT SIPHONING.
- INSUL ALL OFFSETS IN MAIN VENT LINES NOT LESS THAN 4" AS DEGREES TO HORIZONTAL. CONNECT VENT LINE AT BOTTOM WITH SOIL AND WASTE LINE IN SUCH A MANNER THAT FROZEN DEBRIS WILL BE WASHED BY WATER FLOW FROM FIXTURES. INITIAL BRANCH VENTS ABOVE TOPS OF FIXTURES TO WHICH CONNECTED. EXTEND VENT THROUGH ROOF A MINIMUM OF 30". PLUMBING OF VENT IS BY THE ROOFING CONTRACTOR. COORDINATE FINAL LOCATION OF VENT PIPE PENETRATIONS WITH THE MECHANICAL CONTRACTOR TO MAINTAIN A MINIMUM OF 12" OF TO NEAREST HVAC INLET OR OPERABLE WINDOW.
- DOMESTIC HOT AND COLD WATER AND CONDENSATE DRAIN PIPING WITHIN BUILDING SHALL BE CPVC PLASTIC PIPE SOLVENT WELDED.
- SANITARY WASTE AND VENT PIPE WITHIN BUILDING SHALL BE PVC SCHEDULE 40 SOLVENT WELDED.
- INSULATE DOMESTIC HOT AND COLD WATER PIPING AND CONDENSATE DRAINS FROM AIR CONDITING UNITS WITH 1/2" THICK ARMOFLEX TYPE "AF" ARMOFLEX.
- PRESSURE TEST ALL SOIL, WASTE AND VENT PIPING SYSTEMS UNTIL A 10" MINIMUM STATIC HEAD OF WATER OR 5 PSIG MINIMUM AIR PRESSURE IS MAINTAINED FOR 60 MINUTES WITHOUT LOSS OF PRESSURE. COORDINATE TESTING WITH OWNER. TEST CERTIFICATION IS REQUIRED UPON REQUEST.
- PRESSURE TEST ALL SYSTEMS OF DOMESTIC WATER PIPING IN PLACE FOR 24 HOUR PERIOD TO 100 PSIG. MAXIMUM PRESSURE DROP 1% OF TEST PRESSURE. COORDINATE TESTING WITH OWNER. TEST CERTIFICATION IS REQUIRED UPON REQUEST.
- ADJUST AND CLEAN ALL FIXTURES AND FITTINGS FOR PROPER OPERATION AND FLOW RATES. PROTECT CLOSET DOWNS, LAVATORY, ETC. FROM DEBRIS DURING WORK. REMOVE ANY DEBRIS FROM FIXTURE BEFORE APPLYING WATER FOR THE FIRST TIME AND LEAVE WORK AREA CLEAN AND FREE FROM ALL DIRT, ETC.
- COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND NOTES FOR INSTALLATION OF EQUIPMENT.
- PROVIDE CHROME PLATED STOPS FOR EACH PLUMBING FIXTURE. PROVIDE DOLY CAPS FOR WATER CLOSETS. PROVIDE TAILPIECES FOR LAVATORIES AND SINKS. CAULK BETWEEN FIXTURE AND FINISHED SURFACE WITH SILICONE CAULKING. PROVIDE CHROME ESCUTCHEON FOR PIPING PENETRATION AT ALL FINISHED SURFACE.
- MAKE CONNECTIONS OF DISSIMILAR METALLIC PIPING WITH DIELECTRIC UNIONS.
- IN SECOND FLOOR AREAS RUN WATER PIPING FROM CEILING PLUMBING BELOW.
- THE PLUMBING CONTRACTOR IS RESPONSIBLE TO PROTECT ALL PIPING FROM FREEZING WEATHER CONDITIONS.
- GAS PIPING TO BE SCHEDULE 40 BLACK STEEL PIPE WITH MALLEABLE IRON SCAVED FITTINGS.
- ALL PIPING AND ACCESSORIES SHALL BE INSTALLED TO PERMIT ACCESS TO EQUIPMENT FOR MAINTENANCE.
- PLUMBING SYSTEM LAYOUT:
  - LAY OUT THE PLUMBING SYSTEM IN CAREFUL COORDINATION WITH THE DRAWINGS, DETERMINING PROPER ELEVATIONS FOR ALL COMPONENTS OF THE SYSTEM AND USING ONLY THE MINIMUM NUMBER OF BENDS TO PRODUCE A SATISFACTORILY FUNCTIONING SYSTEM.
  - FOLLOW THE GENERAL FIXTURE LAYOUT SHOWN ON THE DRAWINGS.
  - LAY OUT THE PIPES TO FALL WITHIN PARTITION WALL, OR ROOF CRAWLS, AND TO NOT REQUIRE FURNISH OTHER THAN AS SHOWN ON THE DRAWINGS.
  - THE PLUMBING CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND EVALUATE THE EXISTING PLUMBING SYSTEM PRIOR TO BEGINNING OBSERVATIONS AND DETERMINATIONS SHALL BE MADE AS TO THE DESIGN AND CAPACITY OF THE EXISTING PLUMBING SYSTEM TO CARRY THE ADDITIONAL PLUMBING NEEDS FOR DETERMINED TO BE NECESSARY SHALL BE INCLUDED IN THE PLUMBING CONTRACTORS BID.

GENERAL HVAC NOTES:

- HVAC WORK SHALL CONFORM TO STATE & LOCAL CODES, ORDINANCES & REGULATIONS & SHALL MEET OR EXCEED MINIMUM ASHRAE & SMACNA RECOMMENDATIONS.
- IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE ALL LABOR, TOOLS, MATERIALS & SUPERVISION TO COMPLETE ALL THE HVAC WORK AS DESCRIBED IN THESE NOTES. ALL INCIDENTAL MATERIALS NORMALLY REQUIRED FOR AN OPERATIONAL HVAC SYSTEM, ALTHOUGH NOT SPECIFICALLY IDENTIFIED IN THESE NOTES, ARE UNDERSTOOD TO BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR. ALL WORK INCLUDING MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER'S REPRESENTATIVE. ANY QUESTIONS PERTAINING TO THESE NOTES OR TO LOCATIONS OF EQUIPMENT MUST BE RESOLVED WITH THE OWNER'S REPRESENTATIVE.
- DO NOT SCALE DRAWINGS. ACTUAL GRILLE AND DIFFUSER LOCATIONS TO BE DETERMINED BY FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE TO ROUTE & SIZE OUTWORK TO PROVIDE REQUIRED HVAC TO EACH SPACE. COORDINATE WORK WITH OTHERS.
- PROVIDE FLEXIBLE CONNECTORS BETWEEN ALL MECHANICAL EQUIPMENT & DUCTWORK.
- FLEXIBLE DUCTWORK SHALL BE 8" DIAMETER, UNLESS OTHERWISE NOTED, PREFABRICATED INSULATED TYPE WITH VAPOR BARRIER. TOTAL LENGTH SHALL NOT EXCEED 8'-0".
- COORDINATE SUPPLY DIFFUSER & RETURN GRILLE LAYOUT WITH OWNER.
- REFRIGERANT PIPING SHALL BE A/C, COPPER, TYPE "L" HARD SIZE & INSTALL. SUCTON LIQUID & NOT GAS. R/PYSSON LINES PER MANUFACTURER'S INSTRUCTIONS. SUCTON LINES SHALL BE INSULATED WITH 1/2" THICK ARMOFLEX "AF" ARMOFLEX OR EQUAL.
- PROVIDE ADDITIONAL DRAIN PAN UNDER AIR HANDLERS. PAN TO BE MINIMUM 20 GAUGE GALVANIZED STEEL WITH 1" VERTICAL DRAIN AND 1/2" DRAIN CONNECTION. ROUTE 3/4" PVC CONDENSATE PIPE FROM PAN TO DRAIN. INSULATE DRAIN LINE WITH 1/2" "AF" ARMOFLEX OR EQUAL.
- AIR TEST & BALANCE AIR HANDLERS TO DESIGN SUPPLY, OUTSIDE AIR & R/PYSSON 24" SUPPLY & EXHAUST. CLIENT REVIEW FOR REVIEW & APPROVAL.
- PROVIDE ACCESS DOOR AT COILS, VOLUME DAMPERS, & FIRE DAMPERS.
- MOUNT THERMOSTATS AT 6'0" AFF. & WIRE TO CONTROL HEATING & COOLING SYSTEMS.
- FURNISH A INSTALL DUCTED COMBUSTION MAKE UP AIR TO HVAC UNITS. LOCATE TO PREVENT INTAKE OF EXHAUST GASES.
- HVAC SYSTEM DESIGN & DUCT ROUTING SHALL BE DETERMINED BY THE HVAC CONTRACTOR. ROUTING MAY BE MODIFIED BY THE CONTRACTOR AFTER VERIFYING ALL DIMENSIONS & CONDITIONS FOR POSSIBLE INTERFERENCES WITH MECHANICAL EQUIPMENT, PLUMBING, LIGHTS, STRUCTURAL SUPPORTS, ETC. COORDINATE WORK WITH OTHERS. THE HVAC SYSTEM SHALL BE SIZED IN ACCORDANCE WITH ASHRAE REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH THE OWNER WITH OPERATION & MAINTENANCE INFORMATION FOR EQUIPMENT, SUCH AS MECHANICAL PARTS, EQUIPMENT MANUALS, PREVENTIVE MAINTENANCE PROCEDURES & SCHEDULES, & NAMES & ADDRESSES OF QUALIFIED SERVICE AGENCIES.

RESIDENTIAL ELECTRICAL NOTES:

- ELECTRICAL PLANS ARE PREPARED BY OTHERS.
- THE REQUIREMENT OF THE FOLLOWING SHALL COVER THE EQUIPMENT, MATERIALS, AND INSTALLATION NATIONAL ELECTRICAL CODE, NATIONAL BOARD OF FIRE UNDERWRITERS, AUTHORITIES HAVING JURISDICTION. ALL MATERIALS AND EQUIPMENT SHALL BE ALL APPROVED FOR THE INTENDED USE.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE COMPLETION OF HIS WORK. THE ELECTRICAL CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS AND TESTS REQUIRED BY THE ABOVE AGENCIES. HE SHALL FURNISH REQUIRED CERTIFICATE OF INSPECTION TO THE OWNER, INCLUDING THE ELECTRICAL CONTRACTOR FROM AN INSPECTION AGENCY LICENSED IN THE STATE OF DELAWARE.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, TOOLS, MATERIALS AND SUPERVISION TO COMPLETE ALL THE ELECTRICAL WORK AS DESCRIBED ON THE DRAWINGS. ALL INCIDENTAL MATERIALS NORMALLY REQUIRED FOR AN OPERATIONAL ELECTRICAL SYSTEM, ALTHOUGH NOT SPECIFICALLY IDENTIFIED ON THE DRAWING, ARE UNDERSTOOD TO BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL WORK INCLUDING MATERIALS IS SUBJECT TO APPROVAL OF THE OWNER. ANY QUESTIONS PERTAINING TO THESE NOTES OR LOCATIONS OF EQUIPMENT AND DEVICES MUST BE RESOLVED WITH THE OWNER.
- THE ELECTRICAL SYSTEM DESIGN AND WIRE ROUTING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR. ROUTING MAY BE MODIFIED BY THE CONTRACTOR AFTER VERIFYING ALL DIMENSIONS AND CONDITIONS FOR POSSIBLE INTERFERENCES WITH MECHANICAL EQUIPMENT, PLUMBING, OUTWORK, STRUCTURAL SUPPORTS, ETC.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL REQUIRED SUPPORTS FOR FIXTURES AND EQUIPMENT.
- PROVIDE ALL WIRING, GROUNDING CONDUCTORS AND GROUNDING DEVICES REQUIRED TO COMPLY WITH THE NATIONAL ELECTRICAL CODE.
- MOUNT SWITCH OUTLETS 4'-0" AFF.
- MOUNT RECEPTACLES 6" ABOVE COUNTERTOPS OR SINKS WHERE INDICATED. MOUNT RECEPTACLES 6" AFF. UNLESS OTHERWISE NOTED.
- LIGHTING FIXTURES, FANS, ETC. SHALL BE SECURELY MOUNTED TO OUTLET BOXES AND BUILT-IN CONSTRUCTION. PROVIDE LAMPS FOR ALL FIXTURES.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENERGIZING ALL DEVICES, FIXTURES, AND EQUIPMENT REQUIRING ELECTRICAL POWER.
- COORDINATE FINAL LOCATION OF ALL ELECTRICAL OUTLETS, SWITCHES, SMOKE DETECTORS, TELEPHONE OUTLETS, FANS, AND LIGHT FIXTURES, ETC. WITH OWNER.
- OUTLET BOXES SHALL BE NONMETALLIC, NON-GANGABLE KNOCKOUT TYPE. MINIMUM SIZE SHALL BE 4" X 2". PROVIDED PLASTER RINGS OF DEPTH REQUIRED TO REACH FINISHED SURFACES.
- COVER PLATES FOR WIRING DEVICES SHALL BE SMOOTH UNDEGRADED NYLON. MOST COLOR COVER PLATES FOR WEATHERPROOF DEVICES SHALL BE GASKETED LEAK-PROOF CLOSING TYPE.
- INSTALL GFI RECEPTACLES AS PER NATIONAL ELECTRICAL CODE.
- ALL FEEDS TO HAVE FULL SIZE NEUTRAL.
- UPON COMPLETION OF THE WORK, THE ELECTRICAL CONTRACTOR SHALL DEMONSTRATE THAT THE INSTALLATIONS ARE COMPLETE AND IN PERFECT OPERATING ORDER WITH WIRING FREE FROM GROUNDING OR SHORTS AND WITH EQUIPMENT AND KICKWAYS PROPERLY GROUNDED.
- THE ELECTRICAL CONTRACTOR SHALL TEST ALL EQUIPMENT AND DEVICES INSTALLED TO THE SATISFACTION OF THE OWNER. RESPONSIBILITY AS TO THE OPERATION OF ALL EQUIPMENT SHALL APPLY ONLY TO THOSE ITEMS FURNISHED BY THE ELECTRICAL CONTRACTOR, BUT THE ELECTRICAL CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURATE WORK.

# PARTIAL DEMOLITION & REPLACEMENT ADDITION FOR THE ACHENBACH HOUSE

21 NORTH AMERICAN AVENUE  
DOVER, DELAWARE 19901

2009 IRC PROJECT DATA SUMMARY:

|                                       |                                                                                                                                                                    |
|---------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| OWNER'S NAME AND ADDRESS:             | ACHENBACH, MARK L<br>ACHENBACH, KIMBERLY A<br>21 N AMERICAN AVE<br>DOVER, DE 19901                                                                                 |
| TAX MAP NUMBER:                       | 2 05 07705-02 2300 000                                                                                                                                             |
| ZONING:                               | R21 - GENERAL RESIDENCE<br>HS20C - HISTORIC DISTRICT                                                                                                               |
| APPLICABLE CODES:                     | 2009 IRC<br>2009 IEBC<br>2009 IPC<br>2009 IMC<br>2009 IFGC<br>2009 IECC<br>CITY OF DOVER, DE CODE OF ORDINANCES<br>CHAPTER 22 (BUILDINGS) AND BUILDING REGULATIONS |
| EXISTING BUILDING AREA TO BE REMOVED: | FIRST FLOOR: 1634 S.F. (a)<br>SECOND FLOOR: 1634 S.F. (a)<br>TOTAL: 3268 S.F. (a)                                                                                  |
| EXISTING BUILDING AREA TO BE REMOVED: | FIRST FLOOR: 204 S.F. (DEMOLITION)<br>SECOND FLOOR: 204 S.F. (DEMOLITION)<br>TOTAL: 408 S.F. (DEMOLITION)                                                          |
| AREA OF ADDITION:                     | FIRST FLOOR: 259 S.F. (b)<br>SECOND FLOOR: 259 S.F. (b)<br>TOTAL: 518 S.F. (b)                                                                                     |
| TOTAL BUILDING AREA:                  | 3268 S.F. (a)<br>+ 408 S.F. (DEMOLITION)<br>+ 518 S.F. ADDITION<br>3268 S.F. (a)                                                                                   |
| EXISTING BUILDING HEIGHT:             | 27 FEET +                                                                                                                                                          |
| ADDITION BUILDING HEIGHT:             | 21 FEET +                                                                                                                                                          |

DESIGN VALUES:

|                       |                                                                   |
|-----------------------|-------------------------------------------------------------------|
| ROOF LIVE LOAD:       | 25 PSF                                                            |
| ROOF DEAD LOAD:       | 8 PSF                                                             |
| FLOOR LIVE LOAD(S):   | 40 PSF (LIVING SPACE)<br>30 PSF (BEDROOMS)                        |
| WIND SPEED:           | 115 MPH                                                           |
| ALLOWABLE DEFLECTION: | L/180 (RAFTERS)<br>L/240 (CEILING JOISTS)<br>L/360 (FLOOR JOISTS) |
| GROUND SNOW LOAD:     | 25 PSF                                                            |
| FROST DEPTH:          | 24 INCHES                                                         |
| WEATHERING:           | SEVERE                                                            |
| LUMBER:               | #2 SDF 1b - 875 PSI                                               |
| SOIL PRESSURE:        | 2500 PSF (ASSUMED)                                                |

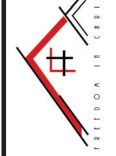
DRAWING LIST:

- G11 - COVER SHEET, PROJECT DATA & GENERAL NOTES  
D11 - FOUNDATION DEMOLITION PLANS & DEMOLITION ELEVATIONS  
D21 - FIRST & SECOND FLOOR DEMOLITION PLANS  
A11 - ADDITION/RENOVATION FOUNDATION PLAN, FOUNDATION NOTES, & FOUNDATION DETAILS  
A12 - FIRST & SECOND FLOOR ADDITION/RENOVATION PLANS & WINDOW TYPES  
A13 - ADDITION/RENOVATION ROOF PLAN & WALL SECTION  
A21 - ADDITION/RENOVATION ELEVATIONS & NOTES & SECTIONS

| REVISIONS | BY |
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PROFESSIONAL CERTIFICATION  
I, WILLIAM BYLER, A PROFESSIONAL ENGINEER, HAVE REVIEWED THESE DRAWINGS AND CERTIFY THAT THEY COMPLY WITH THE REQUIREMENTS OF THE ENGINEERING ACT OF 1967, AS AMENDED, AND THAT I AM A MEMBER OF THE PROFESSIONAL ENGINEERS SOCIETY OF THE STATE OF DELAWARE. I CERTIFY THAT I AM A MEMBER OF THE SOCIETY OF PROFESSIONAL ENGINEERS OF THE STATE OF DELAWARE. I CERTIFY THAT I AM A MEMBER OF THE SOCIETY OF PROFESSIONAL ENGINEERS OF THE STATE OF DELAWARE. I CERTIFY THAT I AM A MEMBER OF THE SOCIETY OF PROFESSIONAL ENGINEERS OF THE STATE OF DELAWARE.



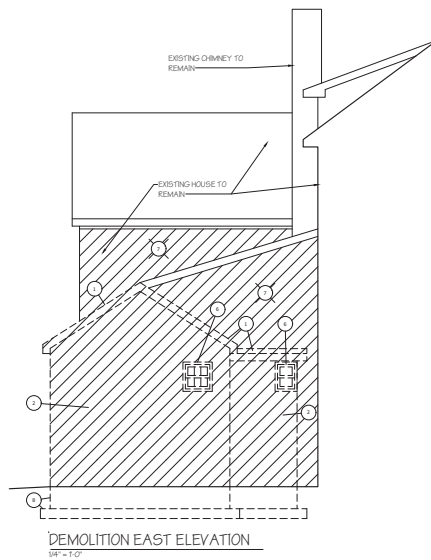
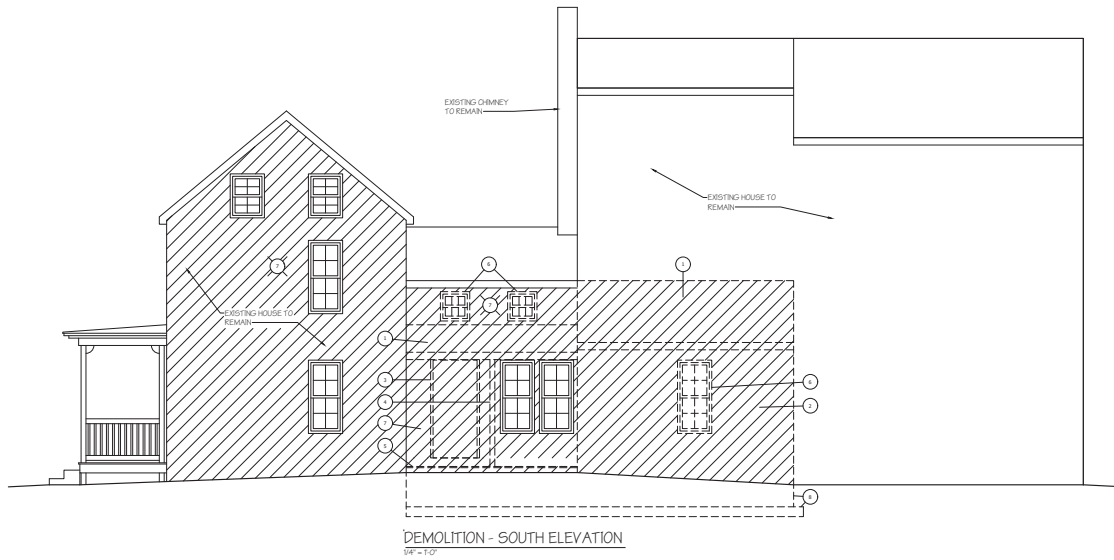
PARTIAL DEMOLITION & REPLACEMENT ADDITION FOR THE ACHENBACH HOUSE  
21 NORTH AMERICAN AVENUE  
DOVER, DELAWARE 19901

COVER SHEET  
PROJECT DATA  
# GENERAL  
NOTES

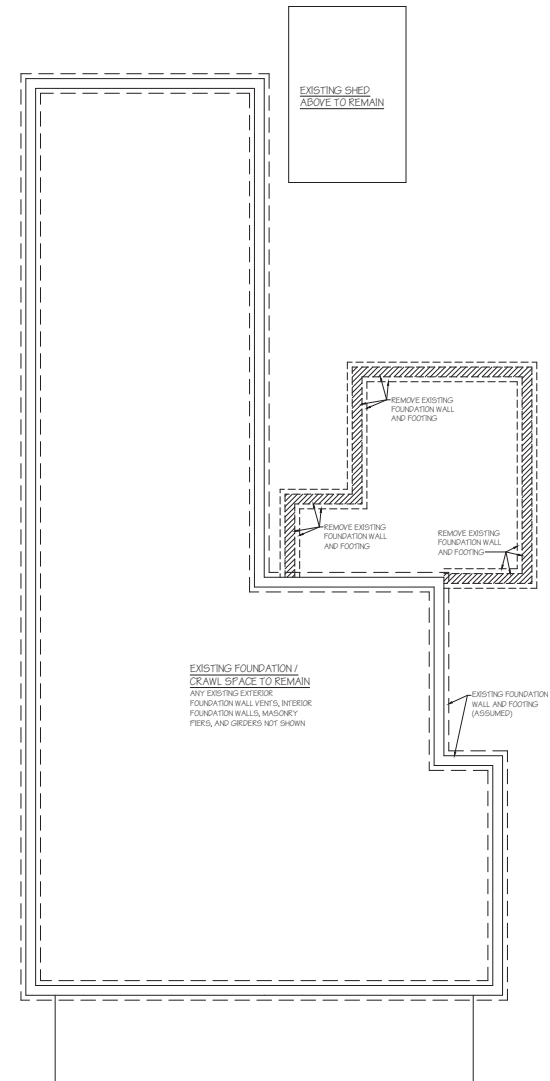
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R759-0424  
0007

G1.1





- BUILDING ELEVATION DEMOLITION NOTES:**  
(SEE ALSO "GENERAL DEMOLITION NOTES" ON SHEET 012)
- 1 REMOVE EXISTING ROOF STRUCTURE (SHINGLES, UNDERLAYMENT, SHEATHING, RAFTERS, FASCIA)
  - 2 REMOVE EXISTING WALL (VINYL SIDING, SHEATHING, WALL STUDS, INSULATION, DRYWALL)
  - 3 REMOVE EXISTING DOOR, FRAME, & HARDWARE
  - 4 REMOVE EXISTING WOOD POST
  - 5 REMOVE EXISTING WOOD PORCH FRAMING AND DECK BOARDS
  - 6 REMOVE EXISTING WINDOW
  - 7 REMOVE EXISTING ASBESTOS SIDING
  - 8 REMOVE EXISTING FOUNDATION WALL AND FOOTING



FOUNDATION DEMOLITION PLAN  
1/4" = 1'-0"

| REVISIONS | BY |
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**PARTIAL DEMOLITION & REPLACEMENT ADDITION FOR THE ACHENBACH HOUSE**  
27 NORTH AMERICAN AVENUE  
CORTEZ, CALIFORNIA 95021

**DEMOLITION SOUTH & EAST ELEVATIONS & FOUNDATION PLAN**

|                           |
|---------------------------|
| DATE<br>24 SEPTEMBER 2024 |
| NOTED<br>R759-0424        |
| DATE<br>09/27             |

**D1.1**

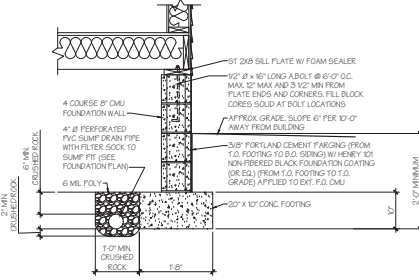


#### RESIDENTIAL CONCRETE NOTES:

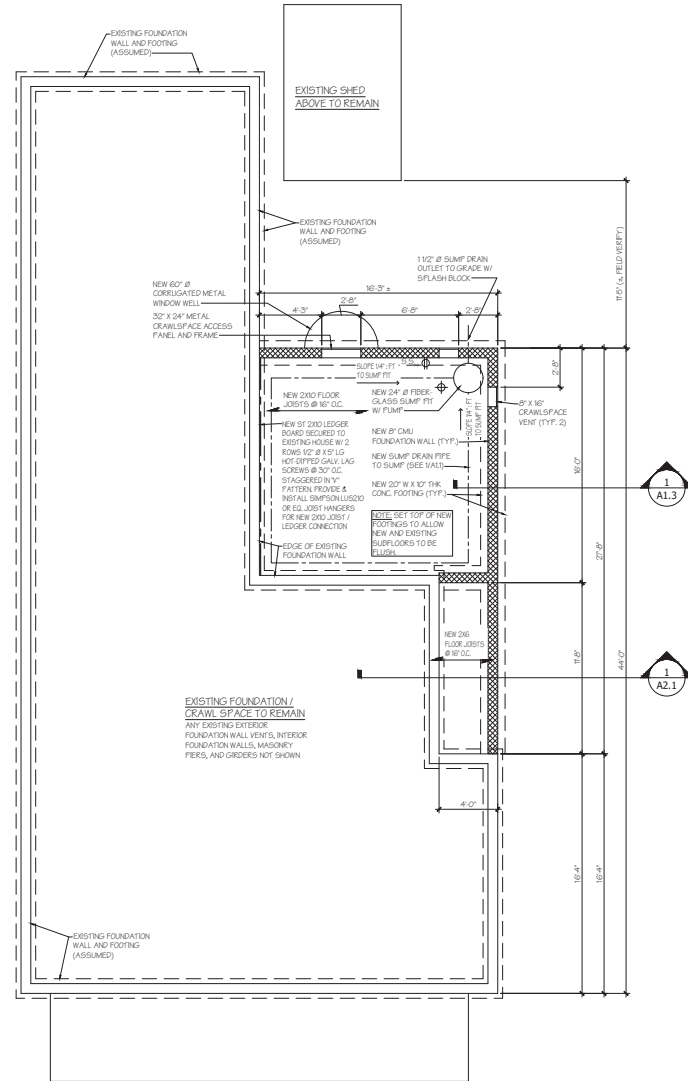
- CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING AMERICAN CONCRETE INSTITUTE (ACI) PUBLICATIONS EXCEPT AS MODIFIED BY THESE NOTES & THE PROJECT SPECIFICATIONS:
  - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE; ACI 318
  - SPECIFICATIONS FOR STRUCTURAL CONCRETE; ACI 301
  - RECOMMENDED PRACTICE FOR CONCRETE FLOOR & SLAB CONSTRUCTION; ACI 302
  - HOT WEATHER CONCRETING; ACI 305
  - COLD WEATHER CONCRETING; ACI 306
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS:
  - FC = 3000 PSI: FOOTINGS & PIERS
  - FC = 3500 PSI: EXTERIOR CONCRETE WALKS, STEPS
- CALCIUM CHLORIDE & CONCRETE ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE PROHIBITED.
- USE OF ADMIXTURES IS SUBJECT TO THE WRITTEN APPROVAL OF THE ARCHITECT.
- AIR ENTRAINMENT ADMIXTURE SHALL CONFORM TO ASTM C260. ALL CONCRETE REMAINING EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED; AIR CONTENT = 5%.
- UNLESS NOTED OTHERWISE, SLAB-ON-GRADE SHALL BE 4" THICK WITH 6W6, W2.5W62.9 W.W.F.

#### RESIDENTIAL MASONRY NOTES:

- CONCRETE MASONRY WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING AMERICAN CONCRETE INSTITUTE (ACI) PUBLICATIONS EXCEPT AS MODIFIED BY THESE NOTES & THE PROJECT SPECIFICATIONS:
  - BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURE; ACI 531
  - SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTIONS; ACI 531.1
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS: FM = 1500 PSI
- CONCRETE MASONRY UNITS SHALL CONFORM TO THE FOLLOWING:
  - HOLLOW LOAD BEARING CONCRETE MASONRY UNITS: ASTM C90, TYPE I, GRADE N
  - HOLLOW NON-LOAD BEARING CONCRETE MASONRY UNITS: ASTM C92, TYPE I, GRADE N
- MORTAR SHALL CONFORM TO SPECIFICATIONS FOR MORTAR FOR UNIT MASONRY: ASTM C270, M OR S.
- MORTAR ADMIXTURES CONTAINING CALCIUM CHLORIDE OR OTHER CHLORIDES ARE PROHIBITED. USE OF OTHER ADMIXTURES IS SUBJECT TO THE WRITTEN APPROVAL OF THE ARCHITECT.
- PROVIDE A MINIMUM OF 8" OF SOLID MASONRY UNDER ALL POINTS OF BEARING.
- FILL CORES OF ALL UNITS CONTAINING ANCHOR BOLTS OR OTHER ANCHORAGES SOLIDLY WITH GROUT.



1 TYPICAL FOUNDATION DETAIL  
S4" = 1'-0"



#### FOUNDATION PLAN - ADDITION & RENOVATION PLAN

S4" = 1'-0"

#### ELECTRICAL LEGEND

- 125 V GFCI RECEPTACLE
- LIGHT SWITCH
- SUMP PIT SWITCH
- LED LIGHT FIXTURE

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PROFESSIONAL CERTIFICATION  
I, WILLIAM BYLER, A PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THE ABOVE-ENTITLED DOCUMENTS WAS PREPARED BY ME, OR THAT I AM A MEMBER OF A LICENSED PROFESSIONAL ENGINEERING FIRM, AND THAT I AM A MEMBER OF THE STATE OF MARYLAND, LICENSE NUMBER 15442, EXPIRATION DATE 09/24/2024.

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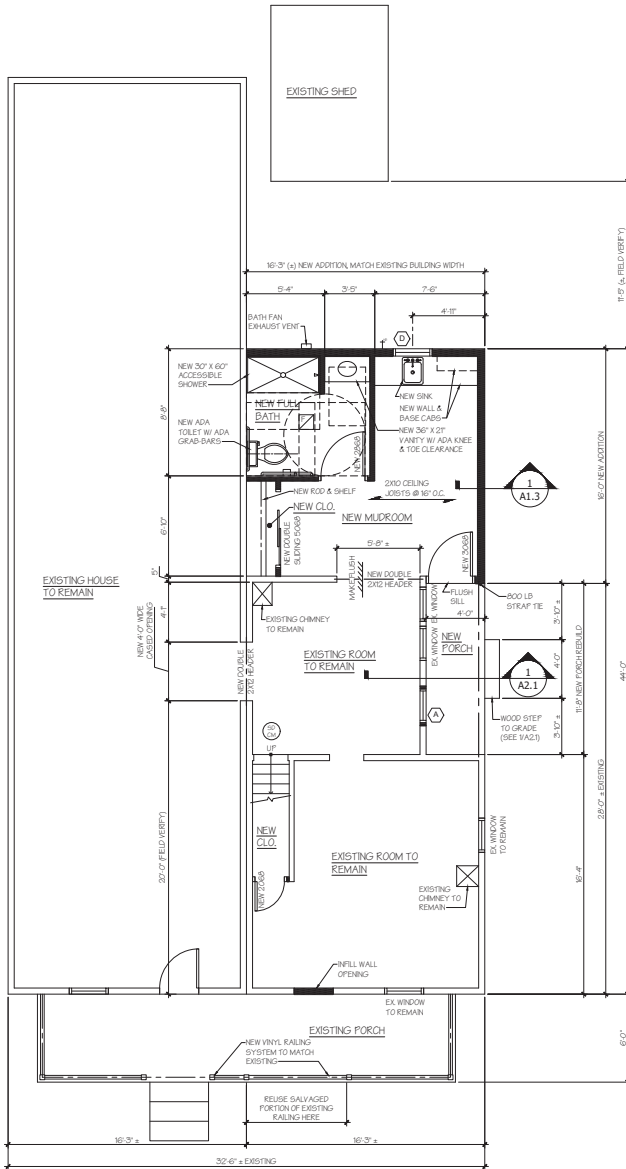


PARTIAL DEMOLITION &  
REPLACEMENT ADDITION FOR  
**THE ACHENBACH HOUSE**  
21 NORTH AMERICAN AVENUE  
CORTES, CALIFORNIA 95021

FOUNDATION  
PLAN  
FOUNDATION  
DETAIL &  
FOUNDATION  
NOTES

W.B.  
W.B.  
24 SEPTEMBER 2024  
NOTED  
R759-0424  
03/27

A1.1



FIRST FLOOR ADDITION & RENOVATION PLAN  
1/4" = 1'-0"

### LEGEND



EXISTING WALL AND DOOR TO REMAIN  
NEW WALL AND DOOR  
NEW CEILING MOUNTED SMOKE / CARBON MONOXIDE DETECTORS, W/INTERCONNECTED, W/ BATTERY BACK-UPS

80 CFM BATH FAN VENTED THROUGH EXTERIOR WALL TO OUTSIDE  
HOSE BIB



NEW WINDOW TYPES  
1/4" = 1'-0"

ALL WINDOWS TO BE VINYL CO-EXTRUSION 5-SERIES OR EQUAL, DOUBLE HUNG, WHITE, WITH GRILLES AND SCREENING, 5/8" LOW E THERMAL PANE, U-FACTOR: 0.30, SHGC: 0.30  
SET WINDOW HEADS @ 6'-6" A.F.F. UNLESS OTHERWISE NOTED ON PLANS  
PROVIDE ALL NEW WINDOWS WITH 3 PLY 2X10 HEADERS UNLESS OTHERWISE NOTED ON PLANS



NEW WINDOW TYPES  
1/4" = 1'-0"

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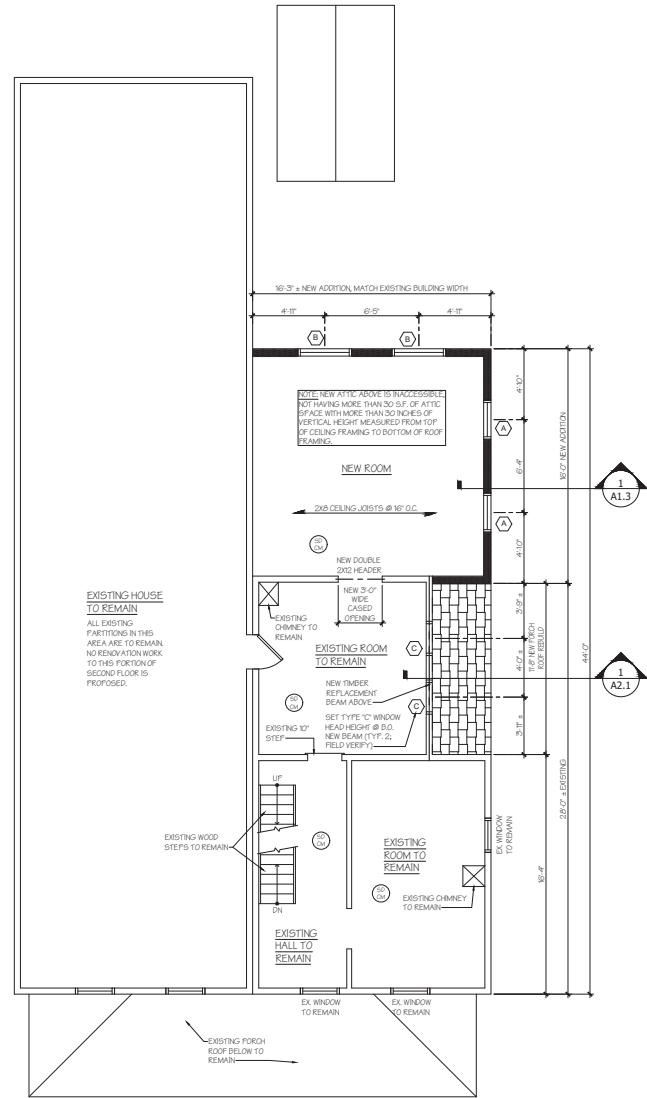


NEW WINDOW TYPES  
1/4" = 1'-0"

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SET WINDOW HEADS @ 6'-6" A.F.F. UNLESS OTHERWISE NOTED ON PLANS  
PROVIDE ALL NEW WINDOWS WITH 3 PLY 2X10 HEADERS UNLESS OTHERWISE NOTED ON PLANS



NEW WINDOW TYPES  
1/4" = 1'-0"



SECOND FLOOR ADDITION & RENOVATION PLAN  
1/4" = 1'-0"

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PARTIAL DEMOLITION &  
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THE ACHENBACH HOUSE  
21 NORTH AMERICAN AVENUE  
CORTEZ, CALIFORNIA 95021

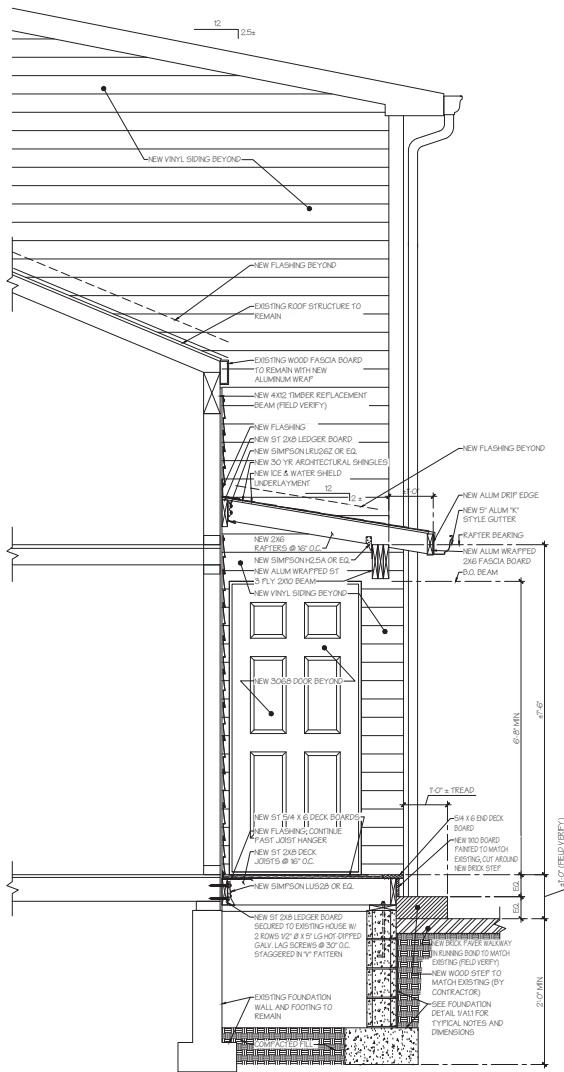
FIRST &  
SECOND FLOOR  
ADDITION /  
RENOVATION  
PLANS &  
WINDOW TYPES

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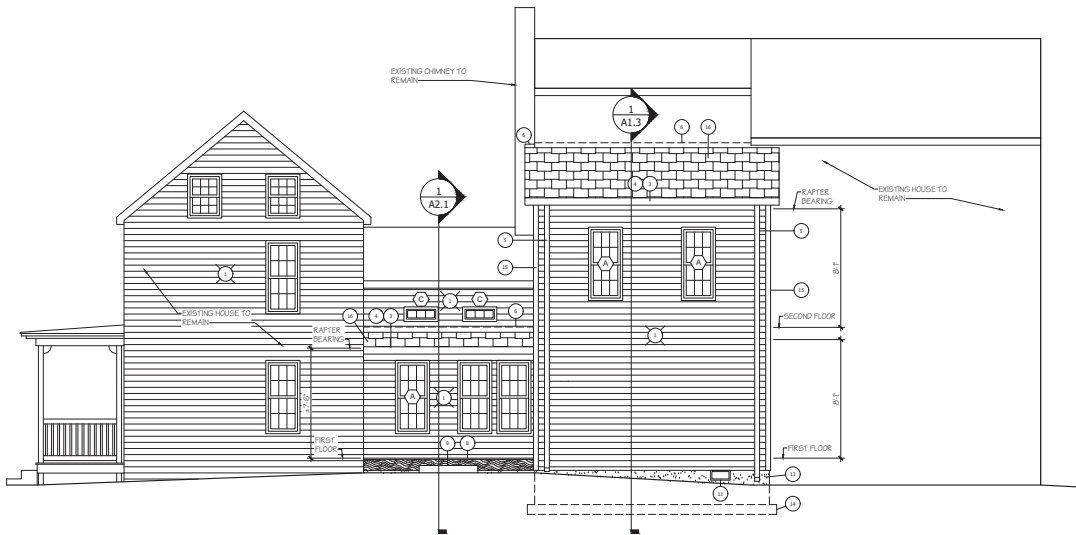
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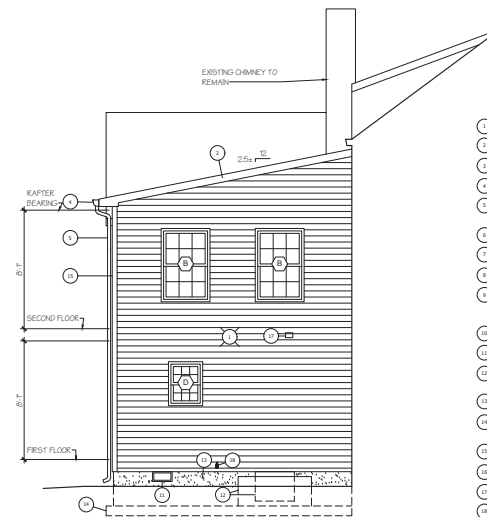




1 COVERED DECK SECTION  
3/4" = 1'-0"



ADDITION / RENOVATION - SOUTH ELEVATION  
3/4" = 1'-0"



ADDITION / RENOVATION - EAST ELEVATION  
3/4" = 1'-0"

- BUILDING ELEVATION ADDITION/ RENOVATION NOTES:**
- NEW VINYL SIDING
  - NEW ALUMINUM RAKE
  - NEW ALUMINUM EAVE
  - NEW ALUMINUM GUTTER
  - NEW ALUMINUM DOWNSPOUT WITH SPLASH BLOCK
  - NEW FLASHING
  - NOT USED
  - NEW WOOD DECK (SEE SECTION 1/A2.1)
  - NEW WOOD STEP W/ TREADS @ 12" MINIMUM AND RISER(S) @ 7 3/4" MINIMUM (SEE SECTION 1/A2.1 FOR ACTUAL)
  - NOT USED
  - NEW CRAWLSPACE VENT
  - NEW CRAWLSPACE ACCESS PANEL WITH WINDOW WELL
  - NEW FARGED CMU FOUNDATION WALL
  - SEE FOUNDATION PLAN AND DETAIL ON SHEET A31 FOR FOOTING SIZES
  - NEW VINYL CORNER
  - NEW 30 YEAR ARCHITECTURAL SHINGLES
  - NEW BATH FAN EXHAUST VENT
  - NEW HOSE BIB

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PARTIAL DEMOLITION & REPLACEMENT ADDITION FOR THE ACHENBACH HOUSE  
271 NORTH AMERICAN AVENUE  
CORTEX, DELAWARE 19901

ADDITION/RENO SOUTH & EAST ELEVATIONS & NOTES & SECTIONS

DATE: 09/24/2024  
NOTED  
R759-0424  
09/27

A2.1