

SITE PLANS
FOR
207 N WEST STREET
CITY OF DOVER, KENT COUNTY, DELAWARE

GENERAL NOTES

- 1. These drawings show information obtained from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions which exist along the lines of the work at and below the surface of the ground. The owner and engineer disclaim any responsibilities for the accuracy or completeness of said information given. If the contractor relies on said information, he does so at his own risk. The giving of the information on the contract drawings will not relieve the contractor of his obligations to support and protect all pipes, conduit, telephone lines, and other structures/improvements.
- 2. The contractor shall notify the following, two (2) weeks prior to the start of construction and shall coordinate construction and erosion control with the utility companies involved:
Dover Department of Public Utilities.....1-302-736-7025
Miss Utility.....1-800-282-8555
Kent Conservation District.....1-302-741-2600
Larson Engineering Group, Inc.....1-302-731-7434
- 3. All materials and workmanship shall meet the State of Delaware Standards and Specifications, dated August 2001 and any addendum thereto.
- 4. All disturbed area within the State Right-Of-Way, but not in pavement, shall be topsoiled (6" minimum), fertilized and seeded.
- 5. A 24-hour (minimum) notice shall be given to the District Permit Supervisor prior to starting entrance construction.
- 6. All construction shall be marked for traffic and pedestrian safety.
- 7. The contractor shall provide all equipment, labor, and materials for any miscellaneous or test pit excavations required by the engineer.
- 8. The owner is responsible for the acquisition of all easements, both permanent and temporary.
- 9. The contractor assumes all responsibility for any deviations from these plans unless said deviation is approved by the engineer. Contractor shall receive written permission from the engineer if a deviation of the plans is necessary.
- 10. All sidewalks shall meet each door at finished floor elevation.
- 11. All disturbed areas shall be smoothly graded to provide positive drainage in the direction of flow arrows herein and stabilized with topsoil, seed, and mulch. If settlement occurs, topsoil seed, and mulching shall be repeated until settlement subsides (see erosion and sediment control specifications).
- 12. Trenches shall not remain open overnight. If it is necessary for trenches to remain open, steel plates capable of bearing traffic shall be used to completely cover the trench openings.
- 13. All sediment and erosion control facilities shall conform to Delaware Erosion and Sediment Control Handbook, Dec. 2003.
- 14. All fire lanes, fire hydrants, and Fire Department connections shall be marked in accordance with the State Fire Protection regulations.
- 15. Topography was field verified by Larson Engineering Group, Inc. in December 2024.
- 16. Boundary information was prepared by Larson Engineering Group, Inc. in December 2024.
- 17. No wetlands on this site.
- 18. The Kent Conservation District reserves the right to add, modify or delete any erosion and sediment control measures as it deems necessary.
- 19. The Kent Conservation District reserves the right to enter private property for purposes of periodic site inspection.
- 20. If the approved plan needs to be modified, additional sediment and stormwater control measures may be required as deemed necessary by the Kent Conservation District.
- 21. All construction/demolition debris shall be removed off-site to an approved solid waste facility.
- 22. All construction shall be done in accordance with Delaware Department of Transportation Standard Specifications for Road and Bridge Construction, dated June 2022 and Standard Construction Details, dated 9/24/24.
- 23. All entrances shall conform to the State of Delaware Department of Transportation and will be subject to approval.
- 24. All sidewalk, handicap accessible features and parking spaces are to be constructed and signage placed in accordance with A.D.A. regulations.
- 25. The site is located in Zone X (unshaded): Areas of less than 0.2% annual chance of flood per FIRM map panel number 10001C0166H dated May 5, 2003.
- 26. All stormwater management facilities, including storm drains and catch basins, located on site shall be owned and maintained by the property owner in perpetuity.
- 27. Sanitation service will be provided by a private hauler.

OWNER'S CERTIFICATION

We, Tidemark Construction, hereby certify that we are the owners of the property described and shown on this plan, that the plan was made at my direction, and that we acknowledge the same to be our act and desire the plan to be developed as shown in accordance with all applicable laws and regulations.

Date _____ Signature _____
Cameron Llewellyn
Tidemark Construction

ENGINEER'S CERTIFICATION

I, Douglas J. Liberman PE, hereby certify that I am a Registered Engineer, Land Surveyor, or Architect in the State of Delaware, that the information shown hereon has been prepared under my supervision and to the best of my knowledge and belief represents good engineering, surveying, and/or architectural practices as required by the applicable laws of the State of Delaware.

Date _____ Signature _____
Douglas J. Liberman Engineer

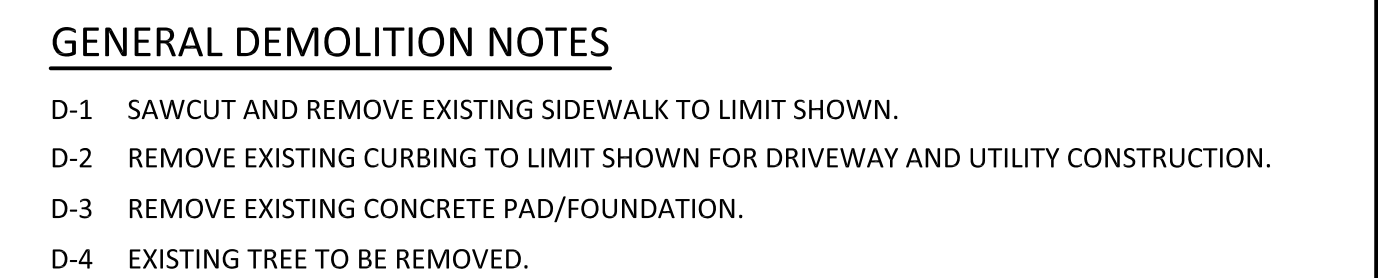
DATA COLUMN

Plan Purpose: Construction of 4 residential townhomes.
Parcel Number: ED-05-076.08-02-01.00-00001
Owner Address: 4B, LLC
114 W Reed Street
Dover, DE 19904
Representative:
Phone: (302) 359-4646
Property Address: 207 N. West St.
Dover, DE 19904
Site Area: 12,135.359 Sq. Ft.; 0.279± Acres.
Existing Zoning: RG-1 (General Residence)
Datum: NAVD88
Existing Use: Residential/Vacant
Proposed Use: Residential/Townhouse
Proposed Lot Area:
Lot Area
1 3,712.250 Sq. Ft.
2 2,361.700 Sq. Ft.
3 2,364.240 Sq. Ft.
4 3,697.170 Sq. Ft.
Average Lot Area: 3,033.840 Sq. Ft.
Parking Required: 1 Space per Dwelling Unit
Parking Provided: 1 Space (Garage); 1 Space (Driveway) = 2 Spaces per Dwelling Unit
Maximum Building Height: 3 story, 35'
Proposed Building Height: 2 stories, 24'
Maximum Lot Coverage: 60%
Percent existing lot coverage: 29.7%
Percent proposed lot coverage: 55%
Building Setbacks: Front Yard = 15 feet
Side Yard = 10 feet
Rear Yard = 30 feet
Sewer Service: Gravity, City of Dover
Water Service: City of Dover
Trash pickup will be private

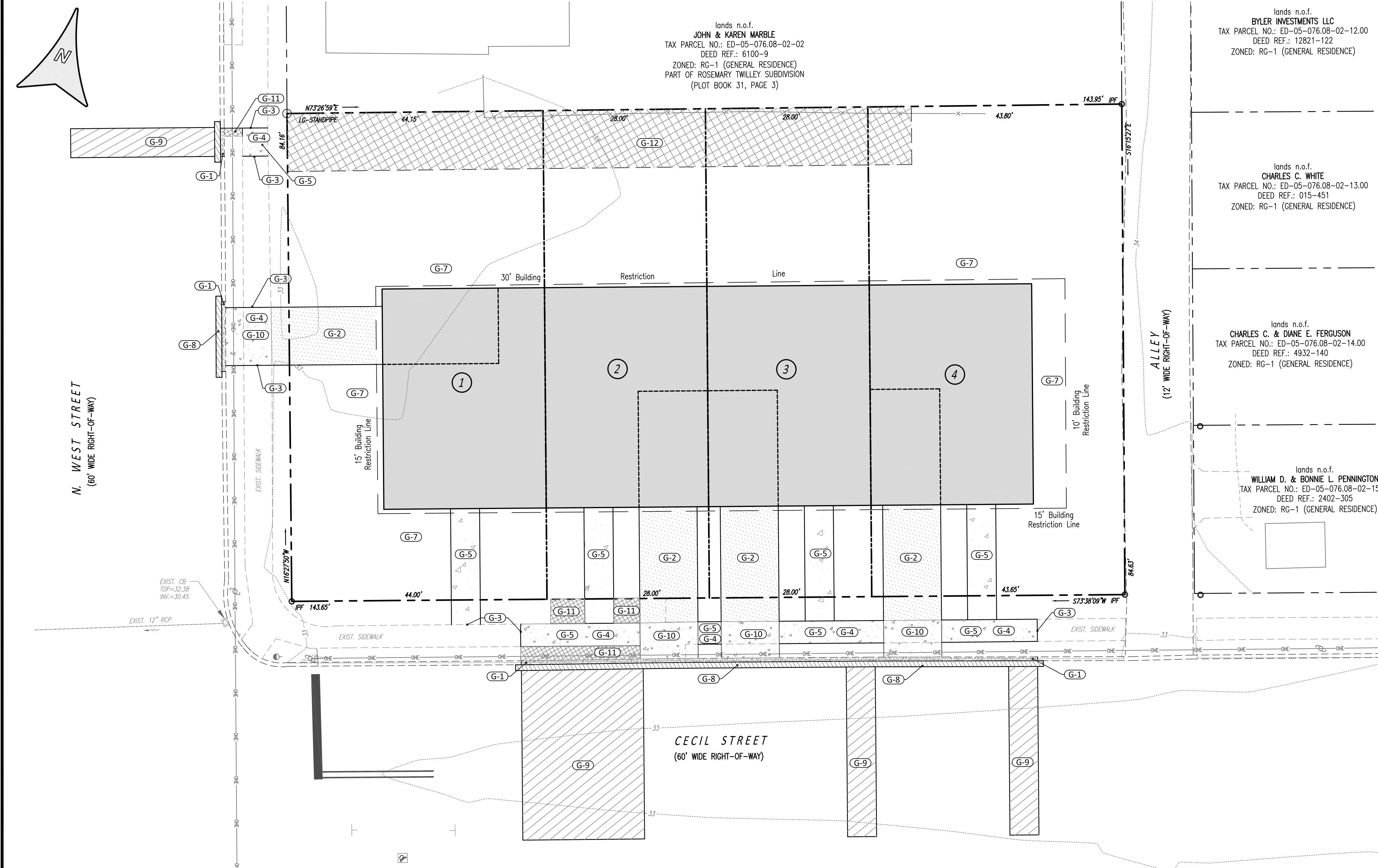
VARIANCES GRANTED ON NOVEMBER 20, 2024

- 1. Variance from Article 4, Section 4.2 to allow a lot area of 2,366 Sq. Ft. for Lots 2 and 3 from the required 3,000 Sq. Ft.
- 2. Variance from Article 4, Section 4.2 to allow a lot depth of 84.50 Ft. from the required 100 Ft.

DATE 1/2/25 SCALE AS NOTED
JOB NO. 24-022 DRAWN BY YATuroczy
APPLICATION NO.: DESIGNED BY:
DULiberman
APPROVED BY: CHECKED BY:
DULiberman DULiberman
DATE REVISION
TITLE SHEET
FOR
207 N WEST STREET
CITY OF DOVER, KENT COUNTY, DELAWARE
PREPARED FOR: 4B, LLC
LARSON ENGINEERING GROUP INC.
CIVIL ENGINEERING & LAND PLANNING
910 SOUTH CHAPEL STREET • SUITE 200
NEWARK, DE 19713
Phone: (302) 731-7434
Fax: (302) 731-8211
CADD FILE: Tidemark\West
SHEET NO.: TS-1



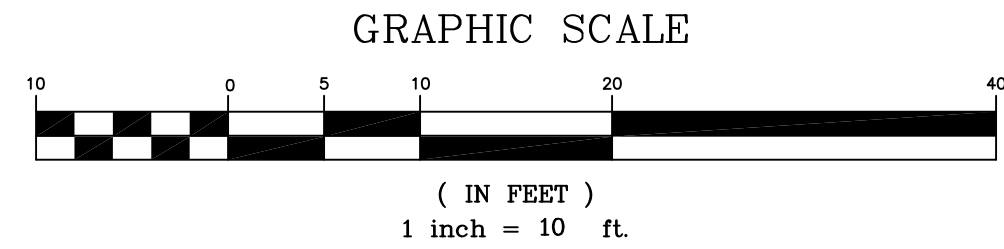
DATE 1/2/25	SCALE 1"=10'	EXISTING CONDITIONS-DEMOLITION PLAN	
JOB NO. 24-D22	DRAWN BY YATuroczy	FOR	
APPLICATION NO.: ####	DESIGNED BY: DJLiberan	207 N WEST STREET	
APPROVED BY: DJLiberan	CHECKED BY: DJLiberan	CITY OF DOVER, KENT COUNTY, DELAWARE	
DATE	REVISION	PREPARED FOR: TIDEMARK	
SIGNATURE	DATE	LARSON ENGINEERING GROUP INC. CIVIL ENGINEERING & LAND PLANNING 910 SOUTH CHAPEL STREET • SUITE 200 NEWARK, DE 19713 Phone: (302) 731-7434 Fax: (302) 731-8211	
		CADD FILE: i:\cadd\pdp\Tidemark.dwg	
		SHEET NO.: S D - 1	



- SITE PLAN NOTES**
- G-1 INSTALL 6" P.C.C. CURB TYPE 2 TO MATCH EXISTING CURB LOCATION AND ELEVATION.
 - G-2 INSTALL BITUMINOUS PAVEMENT FOR DRIVEWAY.
 - G-3 PROVIDE EXPANSION JOINT AT THE INTERSECTION OF ALL NEW AND EXISTING CONCRETE
 - G-4 MATCH EXISTING SIDEWALK ELEVATION AND SLOPE
 - G-5 PROPOSED 5' WIDE SIDEWALK SEE DETAIL ON SHEET SD-4.
 - G-6 PROVIDE FULL DEPTH PAVING, SEE DETAIL ON SHEET SD-4.
 - G-7 AREA TO BE GRADED TO FINISHED GRADE. STABILIZE WITH 6" TOPSOIL, SEED AND MULCH.
 - G-8 SAWCUT EXISTING PAVEMENT FOR NEW DRIVEWAY AND REPAIR PER PAVE TIE-IN DETAIL ON SHEET SD-4.
 - G-9 SAWCUT AND REPAIR UTILITY TRENCH PER DETAIL ON SHEET UP-2.
 - G-10 PROVIDE DRIVEWAY APRON PER DETAIL ON SHEET SD-4.
 - G-11 REMOVE EXISTING SIDEWALK.
 - G-12 10' WIDE SEWER EASEMENT FOR BENEFIT OF CITY OF DOVER.

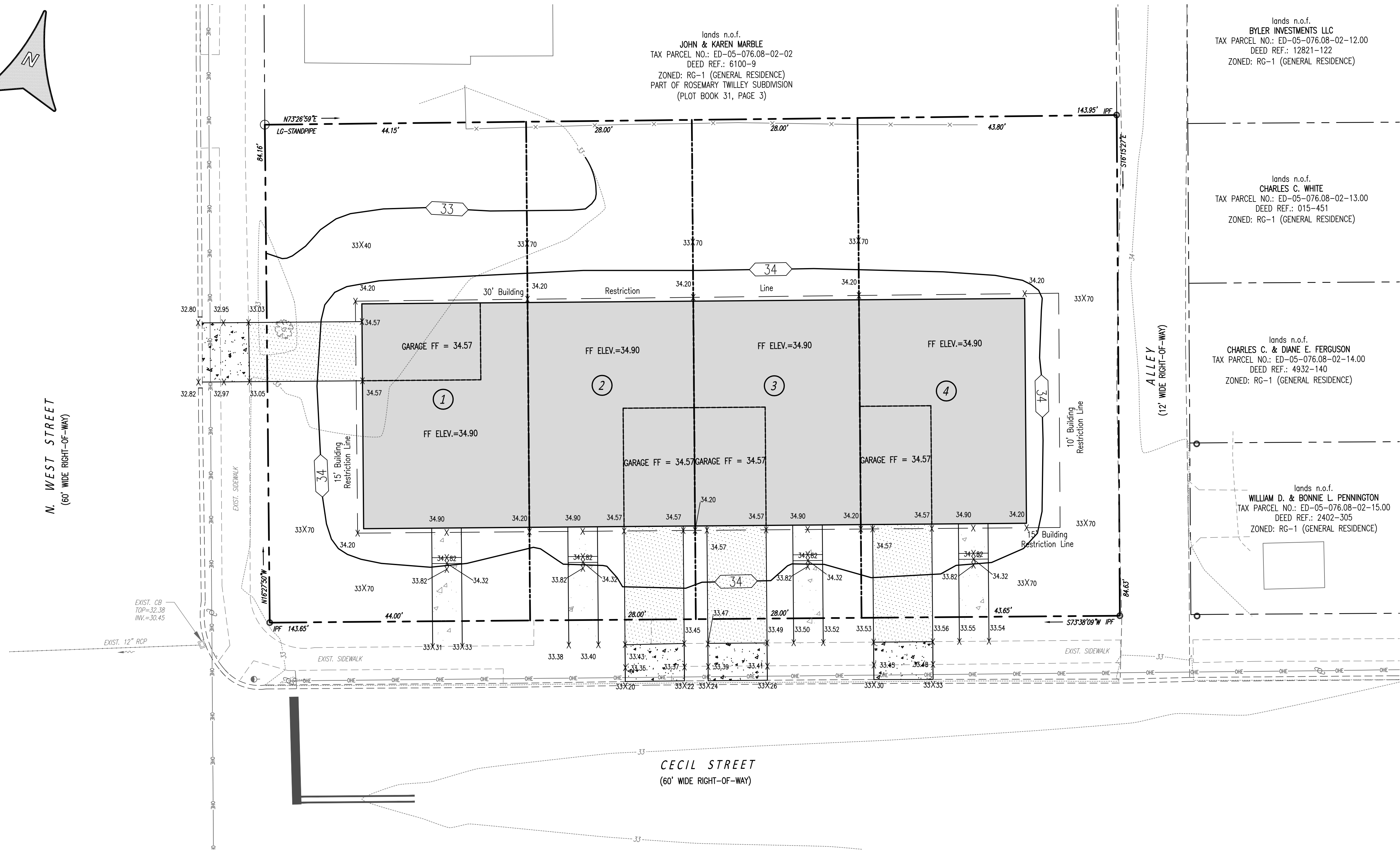
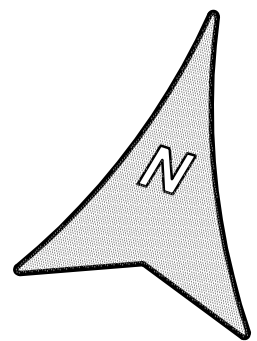
LEGEND	
EXISTING CONTOUR	---
EXISTING STORM DRAIN LINE	SD
STORM DRAIN MANHOLE	⊙
FLOW ARROW	→
EXISTING SAN. SEWER LINE	SS
SANITARY SEWER MANHOLE	⊙
EXISTING SEWER CLEANOUT	⊙
EXISTING WATER LINE	W
EXISTING FIRE HYDRANT	⊙
EXISTING WATER VALVE	⊙
EXISTING UTILITY POLE	⊙
EXISTING GUY WIRE	⊙
EXISTING OVERHEAD ELECTRIC	OHE
SIGN	⊙
FENCE LINE	x
EXISTING DECIDUOUS TREE	⊙

Notice: These drawings and design are the exclusive property of Larson Engineering Group, Inc., and shall not be used, altered or copied without written permission.



DATE		SCALE		SITE PLAN	
1/2/25		1"=10'			
JOB NO.		DRAWN BY		FOR 207 N WEST STREET CITY OF DOVER, KENT COUNTY, DELAWARE PREPARED FOR: 4B, LLC	
24-022		YATuroczy			
APPLICATION NO.:		DESIGNED BY:			
####		DJLiberman			
APPROVED BY:		CHECKED BY:			
DJLiberman		DJLiberman			
DATE		REVISION			

CADD FILE: SitePlan_207WestSt
SHEET NO.: SD-2



LEGEND

EXISTING CONTOUR	---	33.3
EXISTING STORM DRAIN LINE	---	SD
STORM DRAIN MANHOLE	⊙	
FLOW ARROW	→	
PROPOSED SPOT ELEVATION	33x33	
CURB ELEVATION	33x33	
EXISTING UTILITY POLE	⊙	
EXISTING GUY WIRE	—○—	
EXISTING OVERHEAD ELECTRIC	—OHE—	
SIGN	⊕	
FENCE LINE	—x—	
EXISTING DECIDUOUS TREE	⊙	

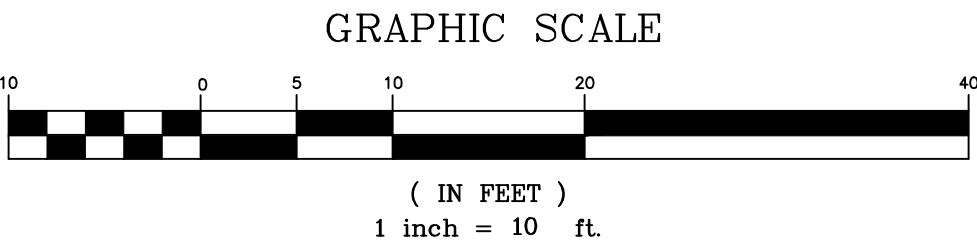
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lands n.o.f.
BYLER INVESTMENTS LLC
TAX PARCEL NO.: ED-05-076.08-02-12.00
DEED REF.: 12821-122
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
CHARLES C. WHITE
TAX PARCEL NO.: ED-05-076.08-02-13.00
DEED REF.: 015-451
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
CHARLES C. & DIANE E. FERGUSON
TAX PARCEL NO.: ED-05-076.08-02-14.00
DEED REF.: 4932-140
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
WILLIAM D. & BONNIE L. PENNINGTON
TAX PARCEL NO.: ED-05-076.08-02-15.00
DEED REF.: 2402-305
ZONED: RG-1 (GENERAL RESIDENCE)



DATE	1/2/25
JOB NO.	24-022
APPLICATION NO.:	####
APPROVED BY:	DJLiberman
DATE	
REVISION	

SCALE	1"=10'
DRAWN BY	YATuroczy
DESIGNED BY:	DJLiberman
CHECKED BY:	DJLiberman

GRADING PLAN

FOR

207 N WEST STREET

CITY OF DOVER, KENT COUNTY, DELAWARE

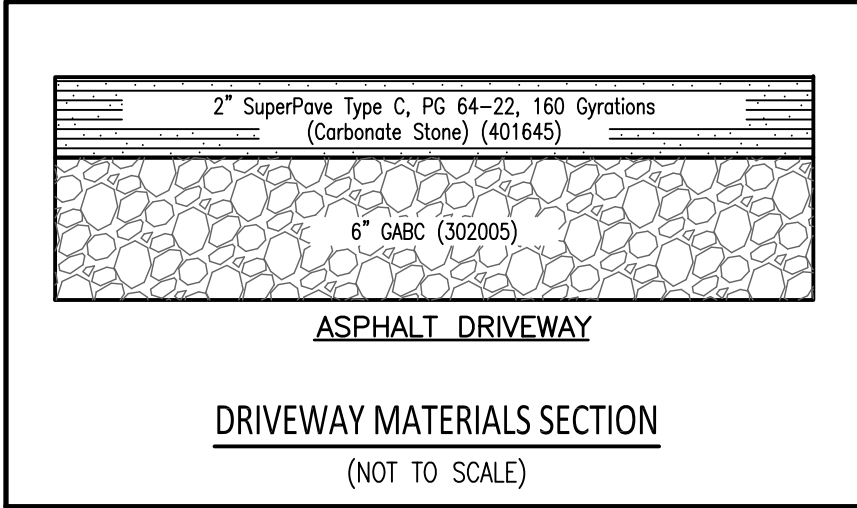
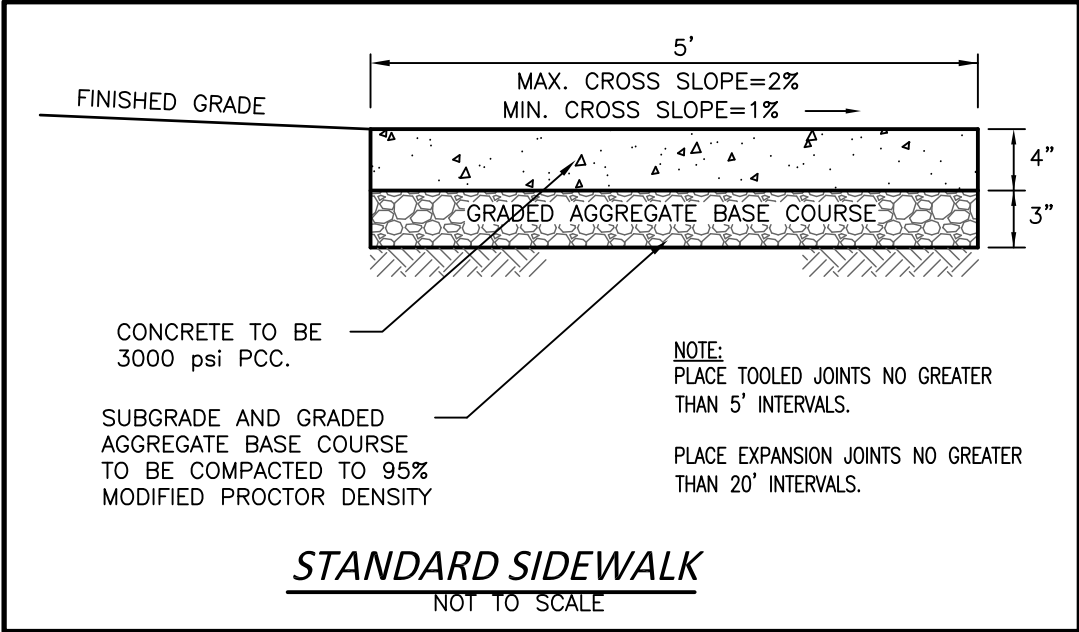
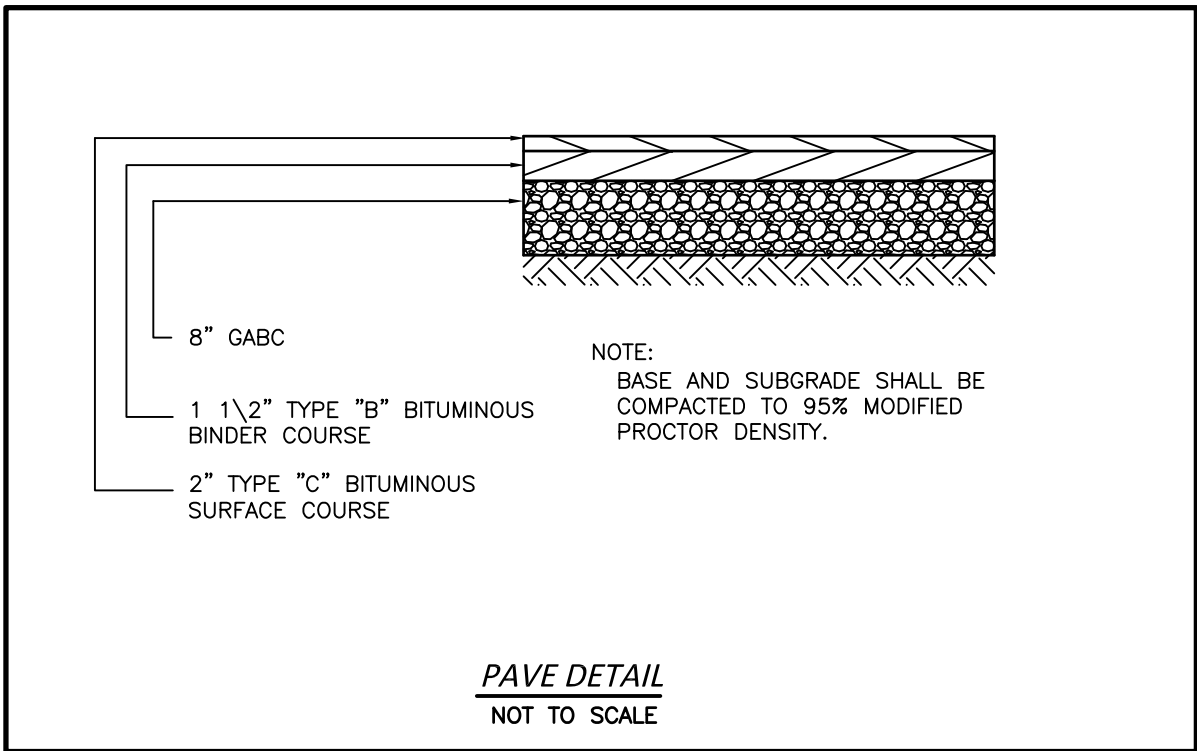
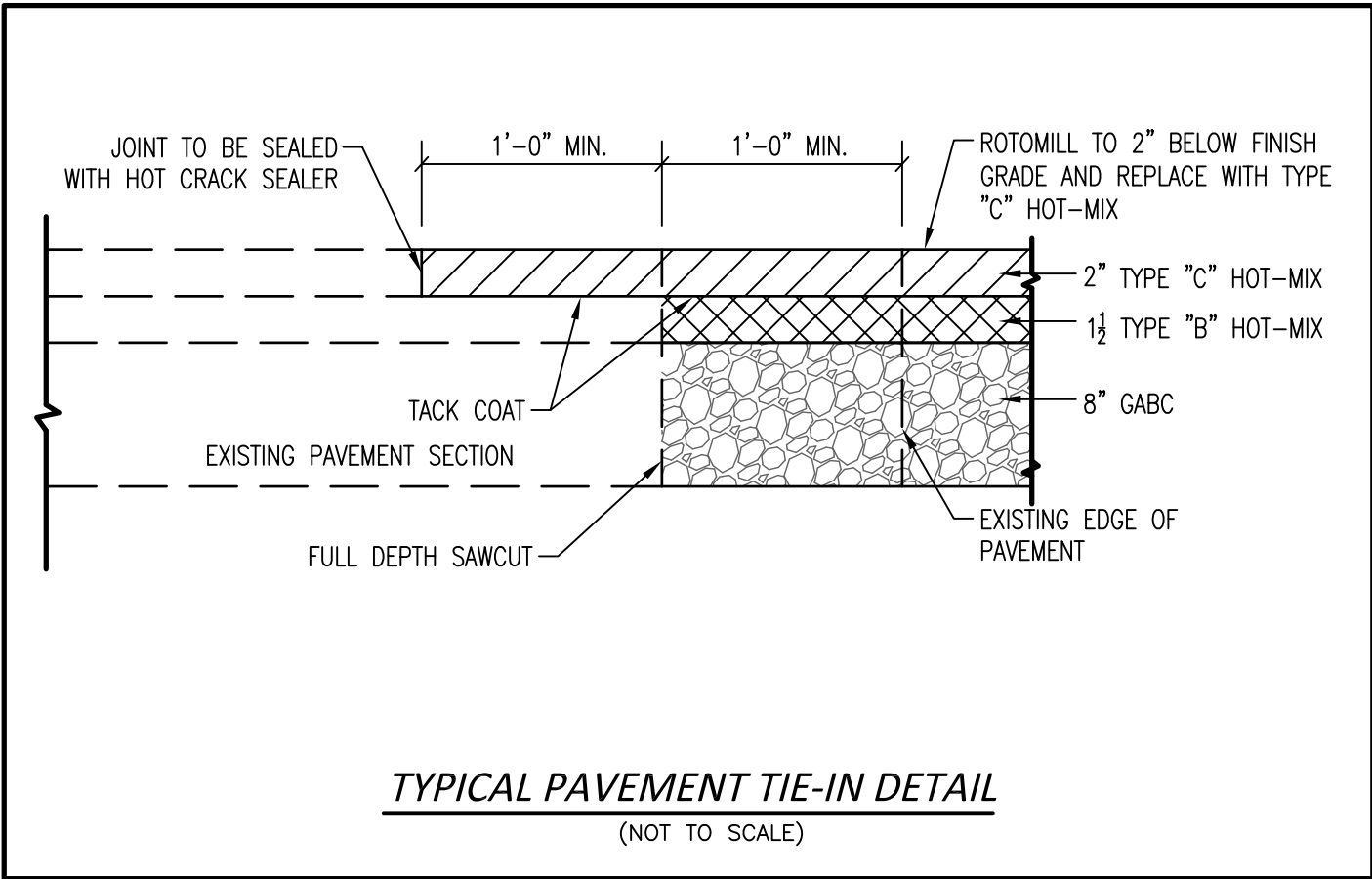
PREPARED FOR: 4B, LLC

LARSON
ENGINEERING GROUP INC.
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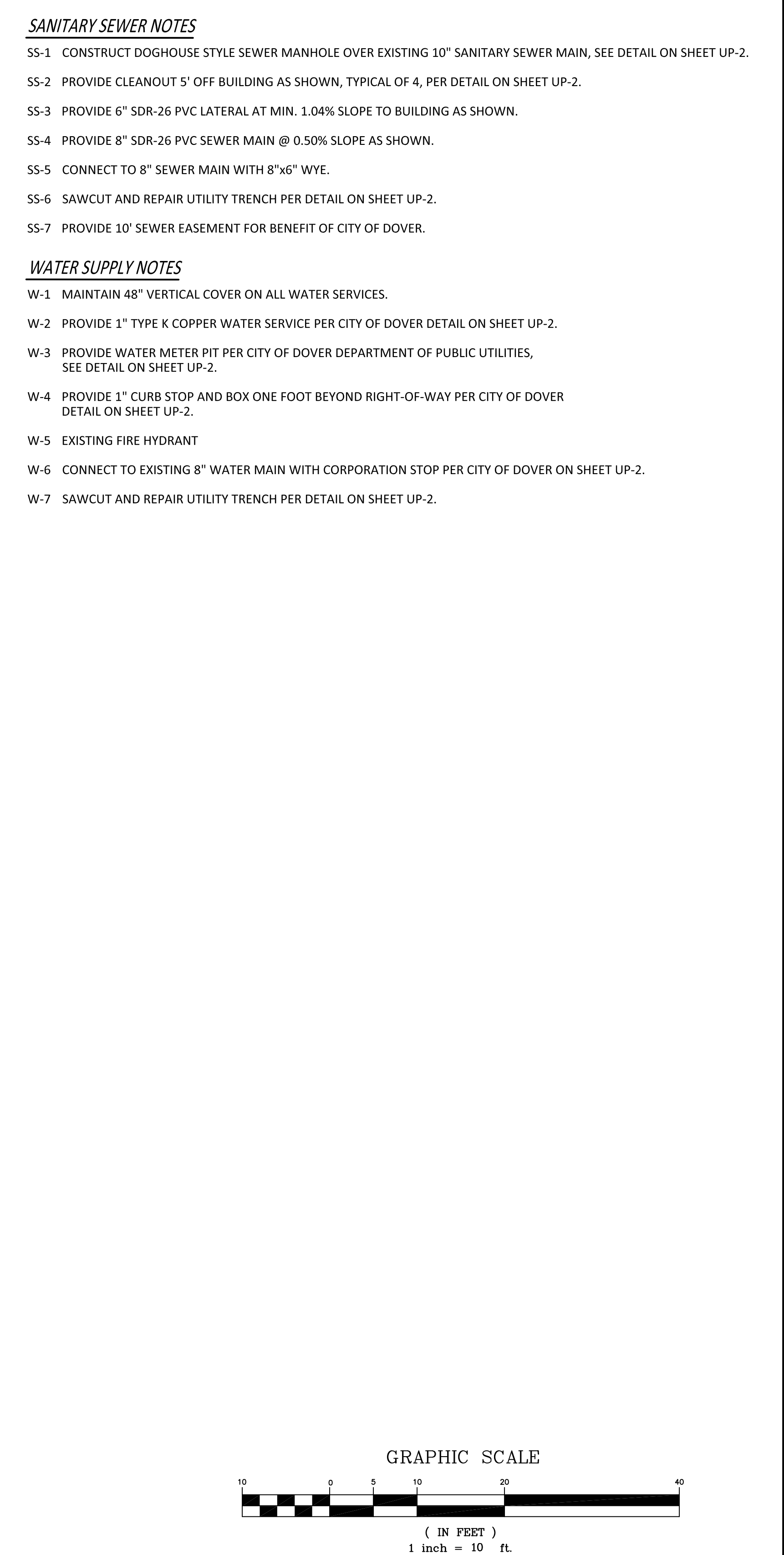
SIGNATURE DATE

CADD FILE: GradingPlan_207West.sdw SHEET NO.: S D - 3

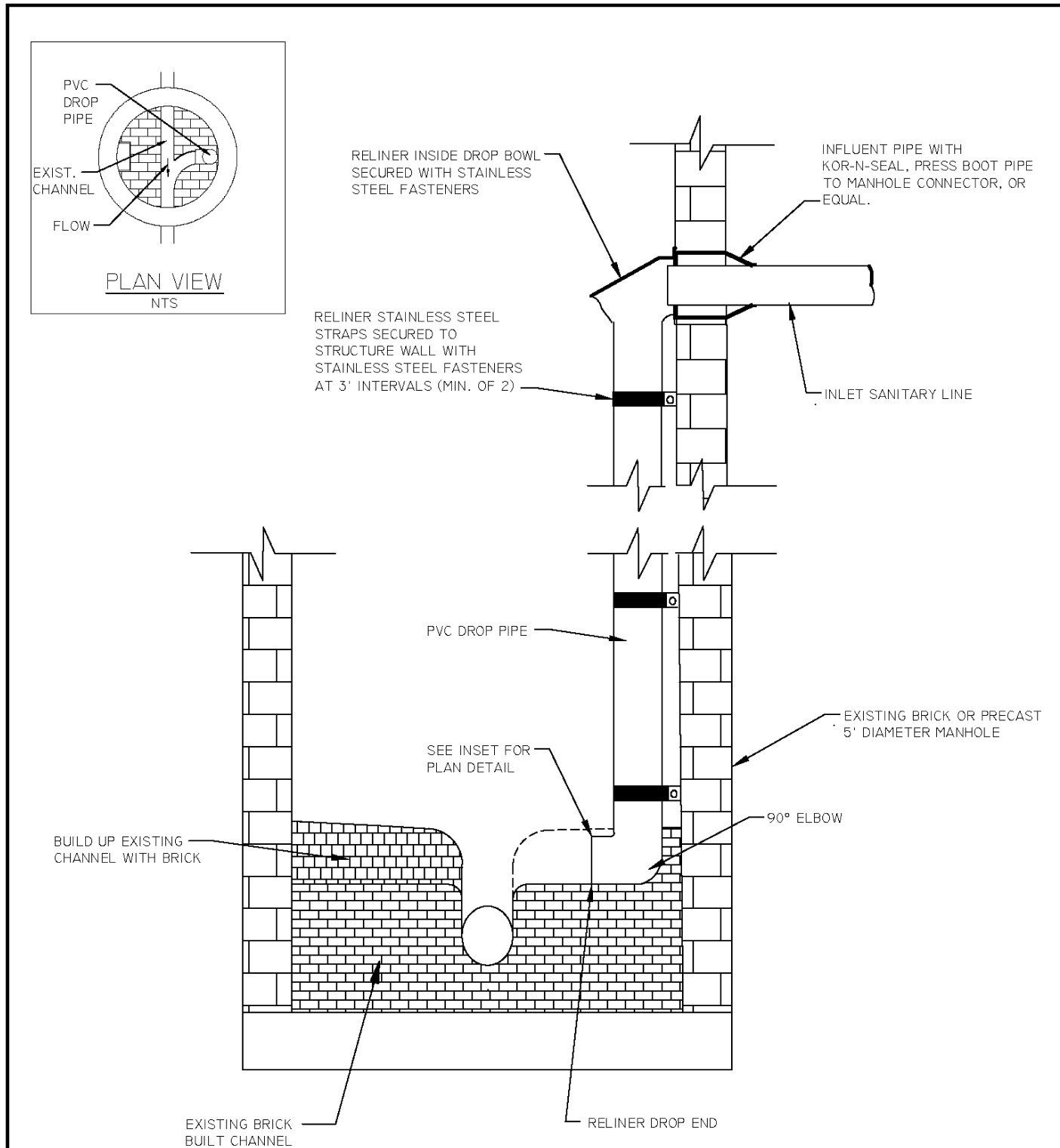


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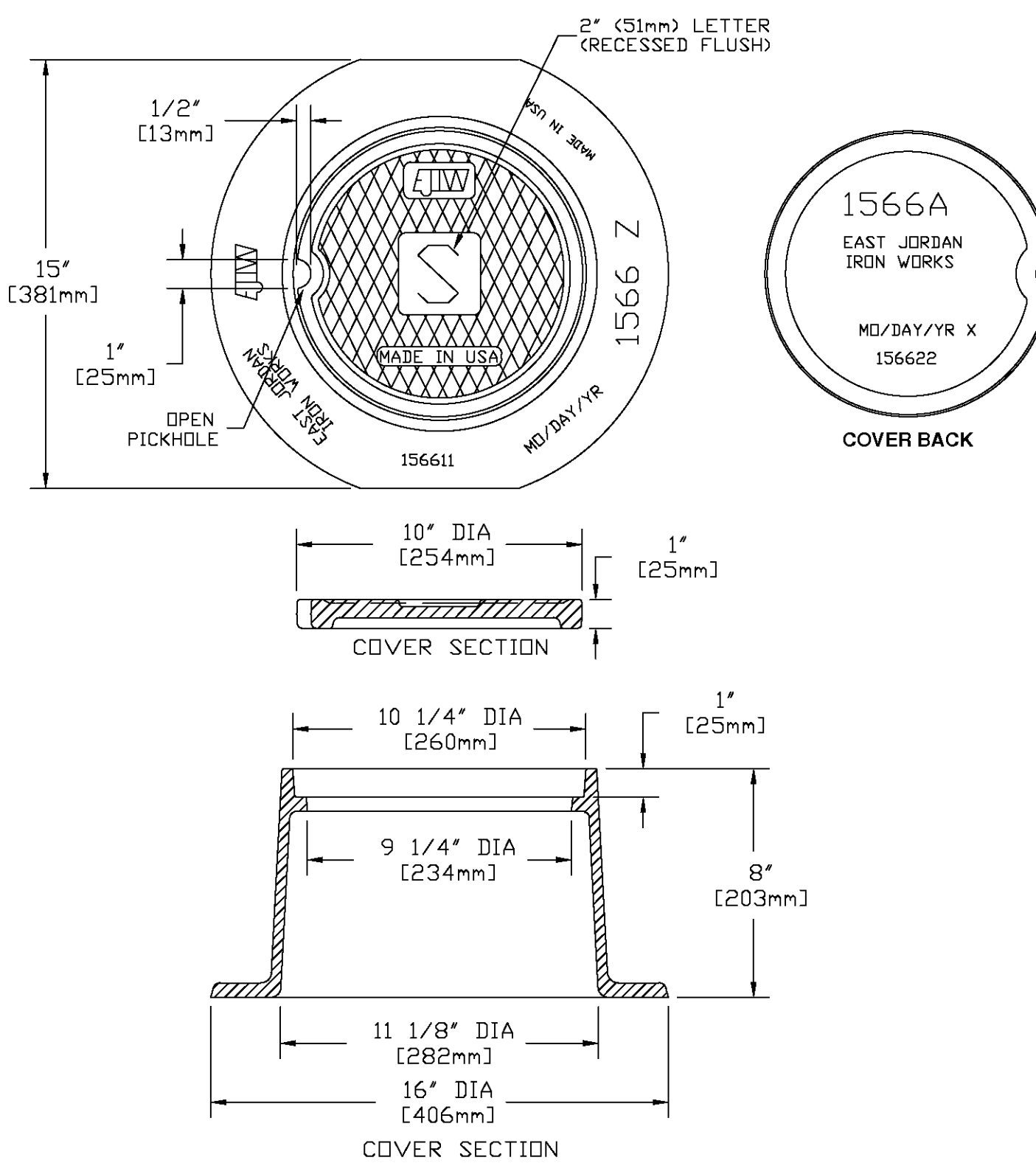
DATE 1/2/25		SCALE AS NOTED		DETAIL SHEET	
JOB NO. 24-022		DRAWN BY YATuroczy		FOR	
APPLICATION NO.: ####		DESIGNED BY: DJLiberman		207 N WEST STREET	
APPROVED BY: DJLiberman		CHECKED BY: DJLiberman		CITY OF DOVER, KENT COUNTY, DELAWARE	
DATE	REVISION				
SIGNATURE				DATE	
910 SOUTH CHAPEL STREET • SUITE 200 NEWARK, DE 19713 Phone: (302) 731-7434 Fax: (302) 731-8211				CADD FILE: DetailSheet\DetailSheet.dwg	
				SHEET NO.: SD-4	



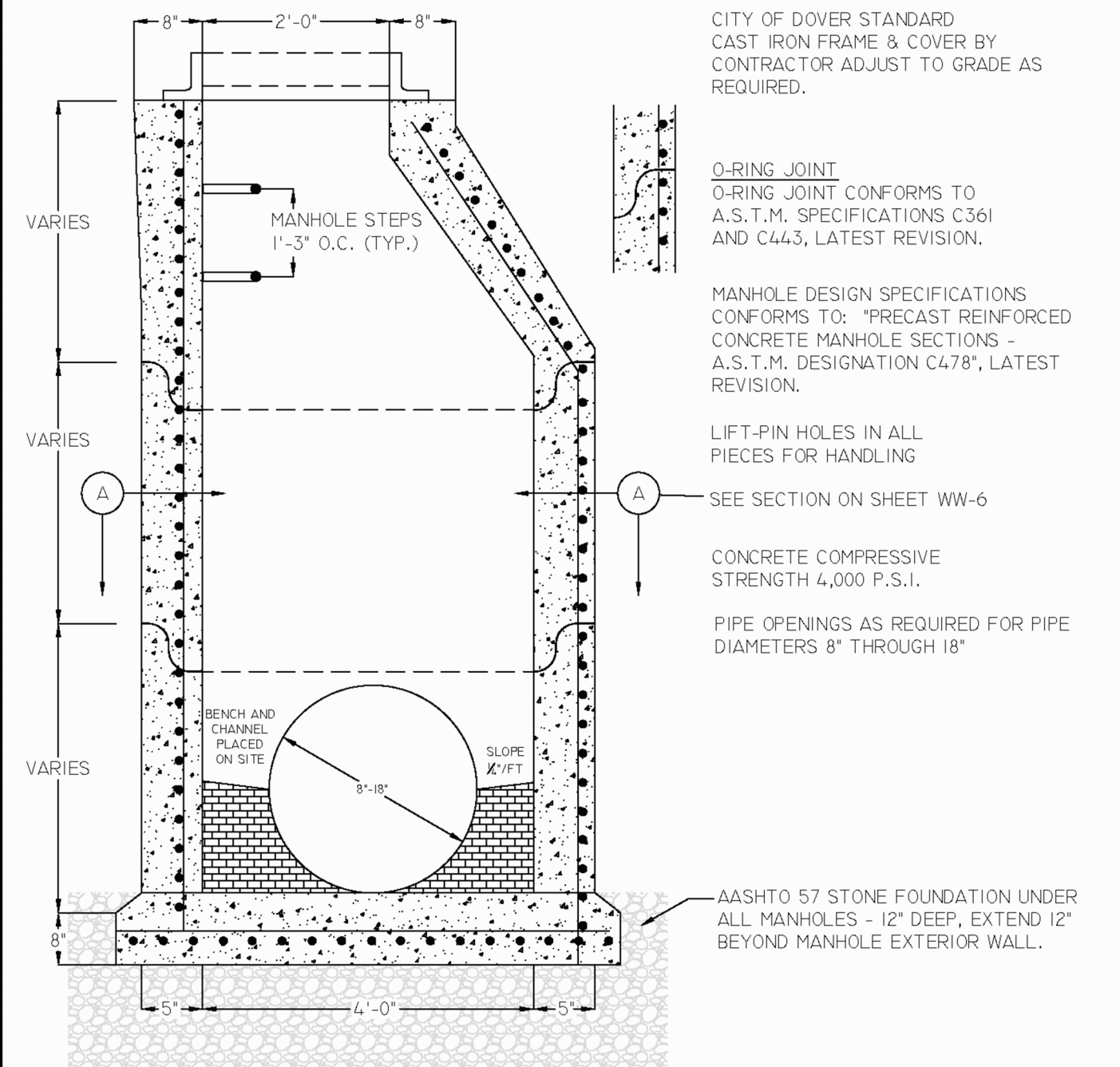
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	RELINER INSIDE DROP SYSTEM MANHOLE DETAIL (5' DIAMETER)	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 03.03.09
	CKD: REM/RJH	SCALE: NTS
APRVD: SJD	DWG. NO:	WW-21



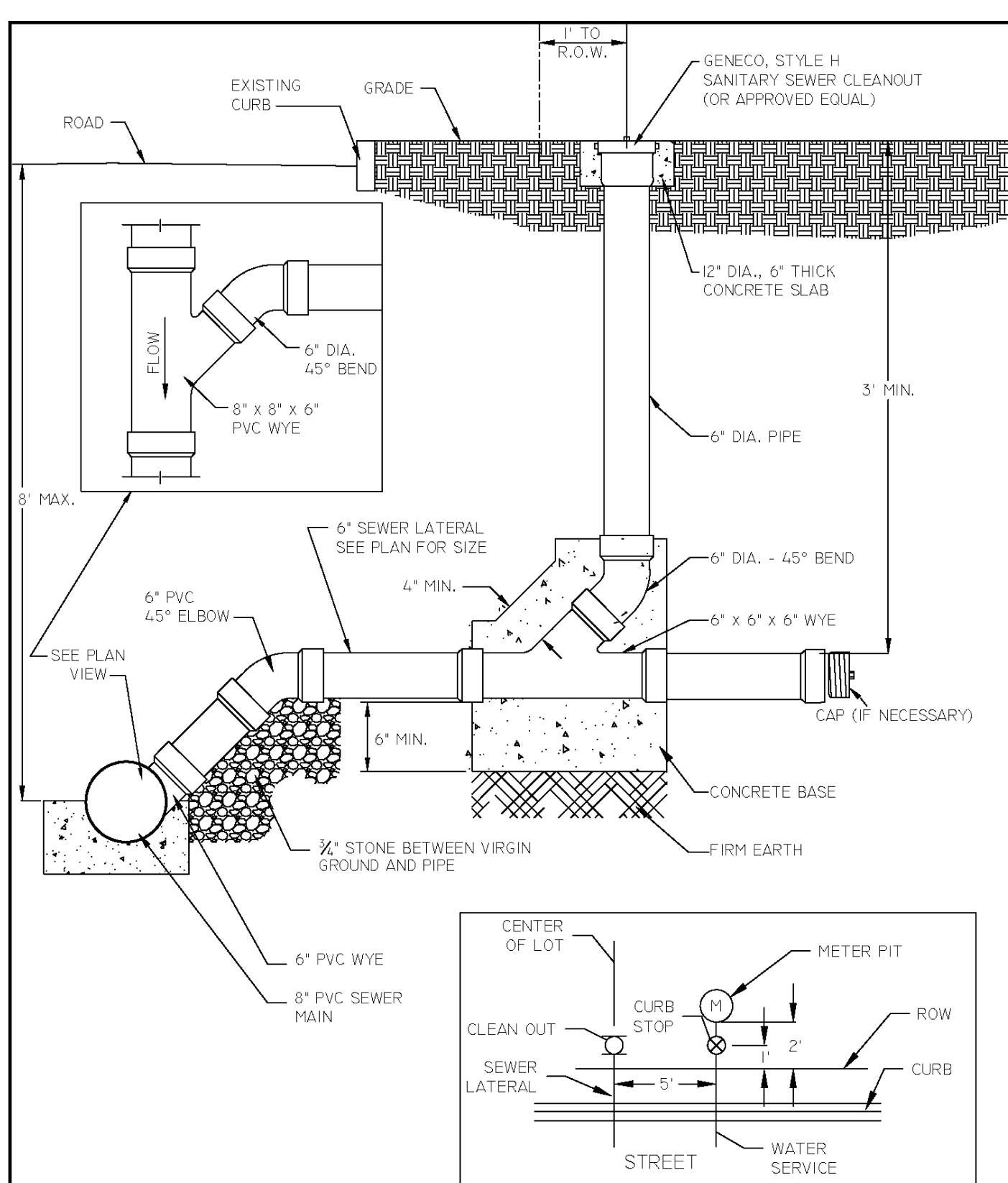
	SANITARY SEWER CLEANOUT DETAIL	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 12.01.08
	CKD: REM/RJH	SCALE: NTS
APRVD: SJD	DWG. NO:	WW-9



CHANNELING/ALL WASTEWATER MANHOLES - PRE-CAST

BOTTOM OF MANHOLE TO BE CHANNELLED AND BENCHED. MINIMUM CHANNEL DEPTH TO BE HALF THE DIAMETER OF INLET OR THROUGH-PIPE. CHANNELS TO BE SMOOTH, CONCRETE, AND SEMI-CIRCULAR IN SECTION. WHERE BRICK CHANNEL IS USED, INVERT SHALL BE BRICK LAID ON EDGE. SUBJECT TO APPROVAL OF CITY OF DOVER PUBLIC UTILITIES DIRECTOR, PRECAST CHANNELS MAY BE UTILIZED WITH THE UNDERSTANDING THAT IF ALIGNMENT OF FLOW IS OFF, CHANNEL WILL BE REMOVED AND BRICK CHANNEL INSTALLED TO CORRECT FLOW.

	MANHOLE TYPE I	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 12.01.08
	CKD: REM/RJH	SCALE: NTS
APRVD: SJD	DWG. NO:	WW-3



	RESIDENTIAL SEWER LATERAL DEPTH UP TO 8'	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 01.05.09
	CKD: RJH/REM	SCALE: NTS
APRVD: SJD	DWG. NO:	WW-1

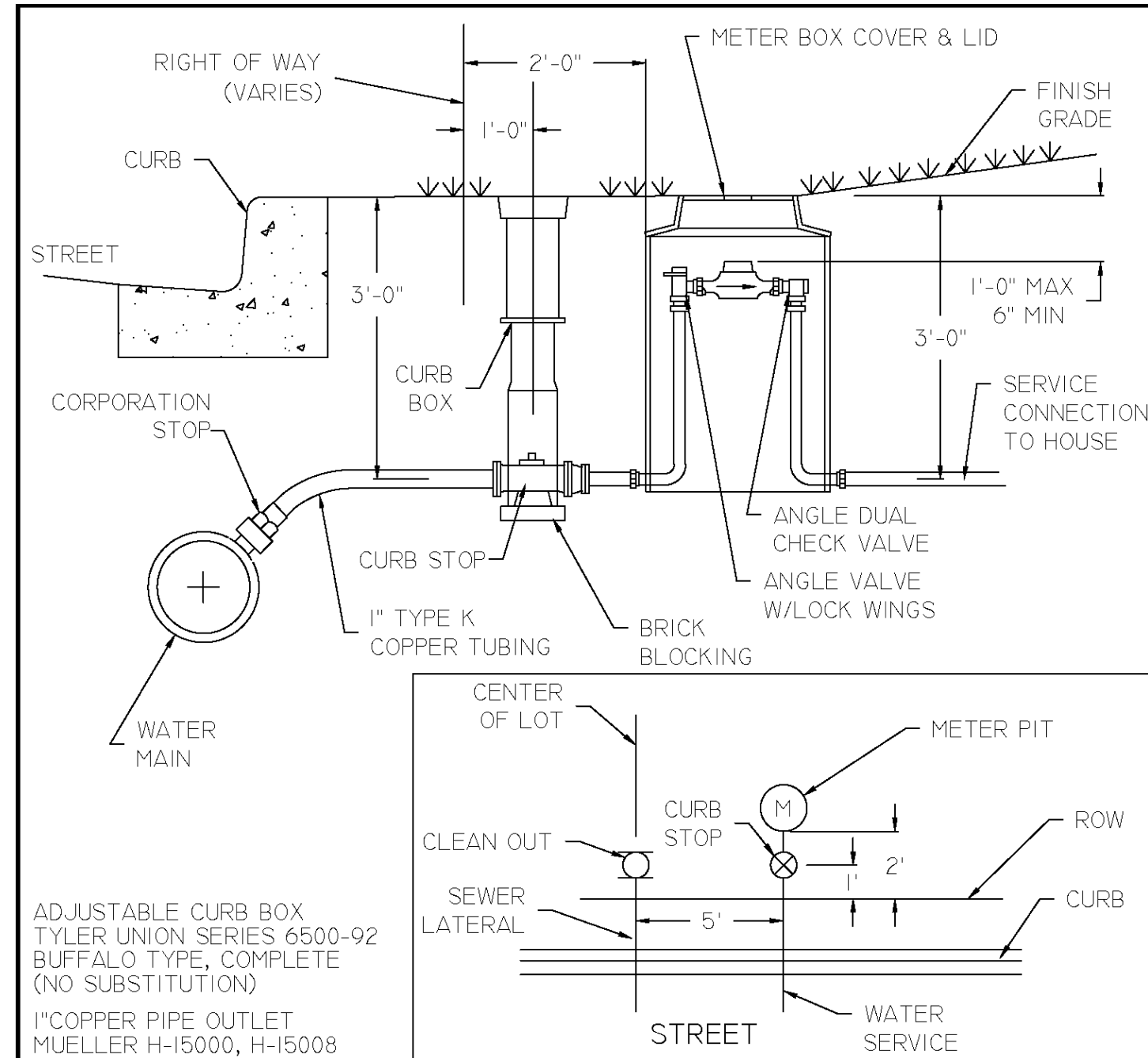
CONSTRUCTION NOTES:

WATER

- All water utility components must meet the requirements of the Water Wastewater Handbook, effective date March 22, 2010. Please contact our office for more information.
- Hydrant connections by the contractor are prohibited. This method may not be utilized during any phase of the project.
- Any existing water lines not to be utilized by the proposed facility must be properly abandoned at the mains in accordance with the City of Dover Department of Public Works specifications and requirements.
- The site contractor shall contact the City of Dover Public Works Construction Manager at (302) 736-7025 prior to the start of construction. A representative from the City of Dover Department of Public Works must observe and approve all City owned water and sanitary sewer interconnections and testing. All water taps must be performed by a City of Dover approved contractor. The proposed location for the water connection may need to be adjusted in the field due to conditions of the existing main. Possible conditions that would require tapping relocation include proximity to pipe joints, other taps, concrete enclosures, conflict with other utilities, and the like. Test holes must be performed by the contractor to determine the best tapping location. The City of Dover will not be held responsible for field conditions requiring adjustment of the tapping location or for any work required by the contractor to make an appropriate and lawful connection.
- The size, type and location of all proposed and existing water lines and valves must be shown on the plan.
- Water usage projections (peak demand or plumbing fixtures) must be submitted to our office to correctly determine the size of the domestic and irrigation (if applicable) water meter for the proposed building. These projections must be submitted prior to approval so the meter size can be placed on the final site plan. The proposed water meter must be installed in a pit per City of Dover requirements and manufacturer's recommendations. Also, a dual check valve is required downstream of the meter.
- The domestic service, fire main connection and valves must be clearly shown for each building. A valve must be installed at the tee to isolate combined fire and domestic water service to the building from the water loop. Typically this valve is installed at the tee or on acceptable distance from the building. A valve must be provided on the domestic water service, which must be tapped off of the combined eight-inch (8") fire/domestic service outside of the building. The domestic water tap and valve are located within five feet (5') to ten feet (10') of the building. A blowup detail of this layout is recommended.
- Provide a construction detail for the proposed restraining system for the fire main located within the buildings. The Department of Public Works will test and inspect all fire mains to blind flange located inside the buildings. The blind flange with top is used for hydrostatic pressure testing (200 psi for two (2) hours) and dechlorination. The flange must be restrained in the direction of the pipe entering the facility. A pipe entering horizontally through a wall sleeve shall be restrained through the floor to the ninety degree (90°) bend and thrust block. All rods shall be a minimum of 2" all thread. All pipes through walls and slabs must be Class 52 cement lined ductile iron pipe. Confirm particulars to meet this requirement with mechanical designer.
- All water taps shall be installed with a Powersel 3490AS and approved tapping valve. This will eliminate the need to shut down water to active customers.

WASTE

- All water utility components must meet the requirements of the Water Wastewater Handbook, effective date March 22, 2010. Please contact our office for more information.
- Any existing sanitary sewer lines not to be utilized by the proposed facility must be properly abandoned at the mains in accordance with the City of Dover Department of Public Works specifications and requirements.
- Part II, Chapter 180, Article III, Section 180-10 of the Code of Kent County requires that "no person shall discharge or cause to be discharged any stormwater, surface water, uncontaminated groundwater, roof runoff, subsurface drainage, uncontaminated noncontact cooling water or unpolluted industrial process waters to any sanitary sewer", this shall include condensate. Sec. 110-231 of the City of Dover Code defines storm sewer as "...any system used for conveying rain water, surface water, condensate, cooling water or similar liquid wastes, exclusive of sewage." The contractor, developer, owner and designers shall ensure during construction that no illegal discharges to the sanitary sewer system are created with the site improvements.
- The size, length, slope, type and flow directions must be shown on all existing and proposed sanitary sewer lines. Rim and invert elevations must be labeled on all sanitary structures, including cleanouts.
- Each property shall be served by a single sanitary sewer lateral which shall be furnished and installed by the property owner. In the event a property contains multiple principle structures, such as shopping centers or apartment complexes, the property shall be served by a single sanitary sewer main where a sanitary sewer lateral may be provided to each principle structure. Each structure, which is capable of being offered for sale, shall have its own separate wastewater facilities.
- Cleanouts must be installed on sanitary sewer laterals within five feet (5') of the building, one foot (1') outside of the right-of-way and at all bends. Any cleanout located within a traffic bearing location shall be installed with a heavy duty cast iron frame and cover to prevent damage to the cleanout lateral.
- Sizing (flow) calculations must be submitted for all sanitary sewer mains showing that velocity and all other requirements are met. Any projected future flow requirements must be clearly identified.
- Sizing (flow) calculations must be submitted for all sanitary sewer laterals (other than for single-family dwellings) showing that velocity and all other requirements are met.
- Calculations that the existing pump station can accommodate the increased sewage flow must be submitted to our office for review and approval.
- The minimum size of all sanitary sewer laterals shall be six-inch (6").
- If kitchen facilities are proposed a minimum 1,000 gallon, two chamber grease trap, meeting all Kent County ordinance requirements, must be provided. A construction detail for the proposed grease trap, as well as the proposed location, must be provided on the plan.



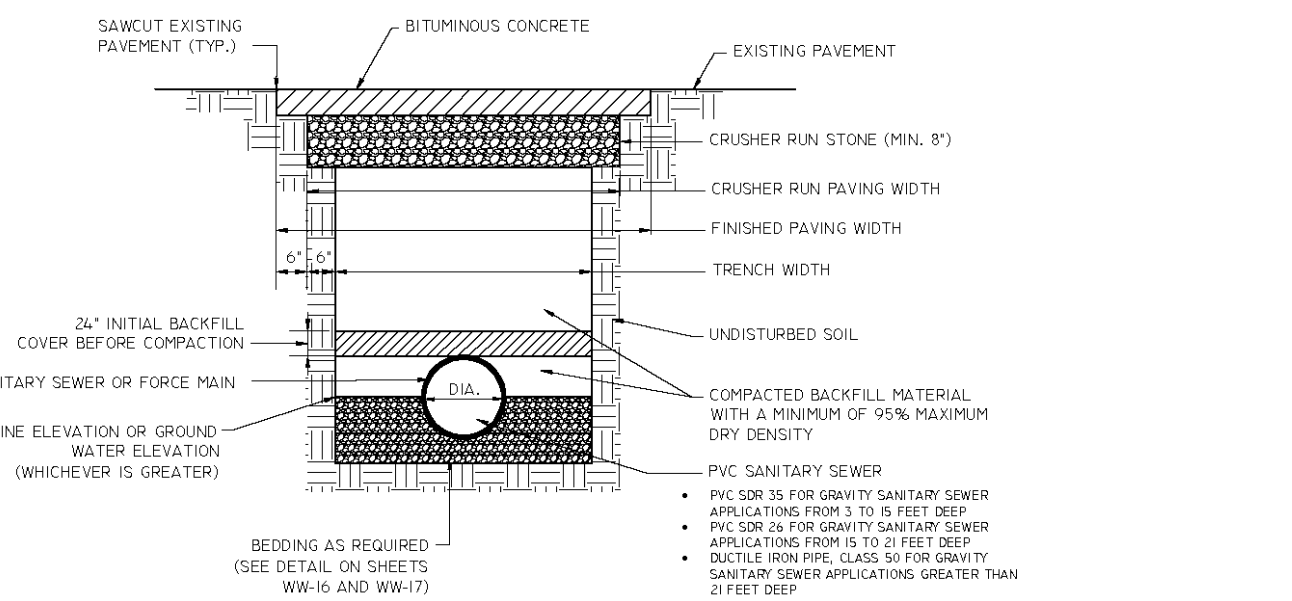
ADJUSTABLE CURB BOX
TYLER UNION SERIES 6500-92
BUFFALO TYPE, COMPLETE
(NO SUBSTITUTION)

1" COPPER PIPE OUTLET
MUELLER H-15000, H-15008
CORPORATION STOP ASSEMBLY
MUELLER ORI SEAL CURBSTOP
H-10291 I.P., I.P.
H-15176 C.T., I.P.
H-15201 C.T., C.T.

ALL WATER SERVICES FROM THE MAIN TO THE CURB STOP TO BE COPPER OF APPROPRIATE SIZE.

A DUAL METER PIT SHALL BE MANDATORY FOR ALL SERVICES THAT INCLUDE A DOMESTIC SERVICE AND AN IRRIGATION SERVICE.

	RESIDENTIAL WATER SERVICE & METER PIT INSTALLATION	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 12-09-03
	CKD: RJH/REM	SCALE: NONE
APRVD: SJD	DWG. NO:	W-1



PIPE DIAMETER	MINIMUM TRENCH WIDTH	CRUSHER RUN PAVING WIDTH	FINISHED PAVING WIDTH
6"	36"	48"	60"
8"	36"	48"	60"
10"	36"	48"	60"
12"	36"	48"	60"
15"	36"	48"	60"
18"	42"	54"	66"
21"	42"	54"	66"
24"	48"	60"	72"
27"	48"	60"	72"
30"	48"	60"	72"
33"	48"	60"	72"
36"	48"	60"	72"
42"	54"	66"	78"
48"	54"	66"	78"
54"	60"	72"	84"
60"	60"	72"	84"
66"	66"	78"	90"
72"	66"	78"	90"
78"	72"	84"	96"
84"	72"	84"	96"
90"	78"	90"	102"
96"	78"	90"	102"
102"	84"	96"	108"
108"	84"	96"	108"

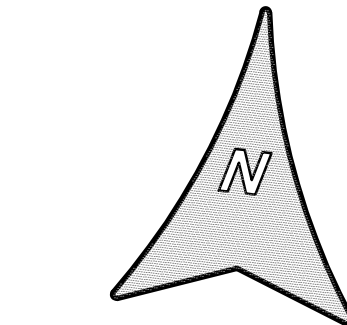
- NOTES:
- WHEN BOTTOM OF TRENCH IS IN ROCK, UNDERCUT 6" BELOW BOTTOM OF BARREL AND REPLACE WITH TAMPED SUITABLE MATERIAL.
 - FOR TRENCHES REQUIRING SHORING AND BRACING, ALL WIDTHS SHALL BE INCREASED BY 2 FT.
 - WHEN THE GEOTECHNICAL REPORT INDICATES A HIGH WATER TABLE OR SEASONAL CONDITIONS INADEQUATE, WELL POINTS SHALL BE INSTALLED TO MAINTAIN REQUIRED TRENCH WIDTHS AND SUITABLE BEDDING.
 - THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
 - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT PAVEMENT BE LESS THAN 2" THICK.
 - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY TO ACHIEVE A SMOOTH LEVEL PATCH.
 - ALL MAXIMUM DRY DENSITY REQUIREMENTS ARE BASED ON STANDARD PROCTOR IN UNPAVED AREAS AND MODIFIED PROCTOR IN PAVED AREAS.
 - ONLY APPLY COMPACTED EFFORT OVER PIPE AFTER 24" INITIAL COVER REQUIREMENT IS MET.
 - LIFTS TO BE A MINIMUM OF 8", MAXIMUM OF 12", EXCEPT FOR FIRST LIFT OF COVER OVER PIPE.

ORIGINAL DETAIL PROVIDED BY
KENT COUNTY DEPARTMENT OF
PUBLIC WORKS

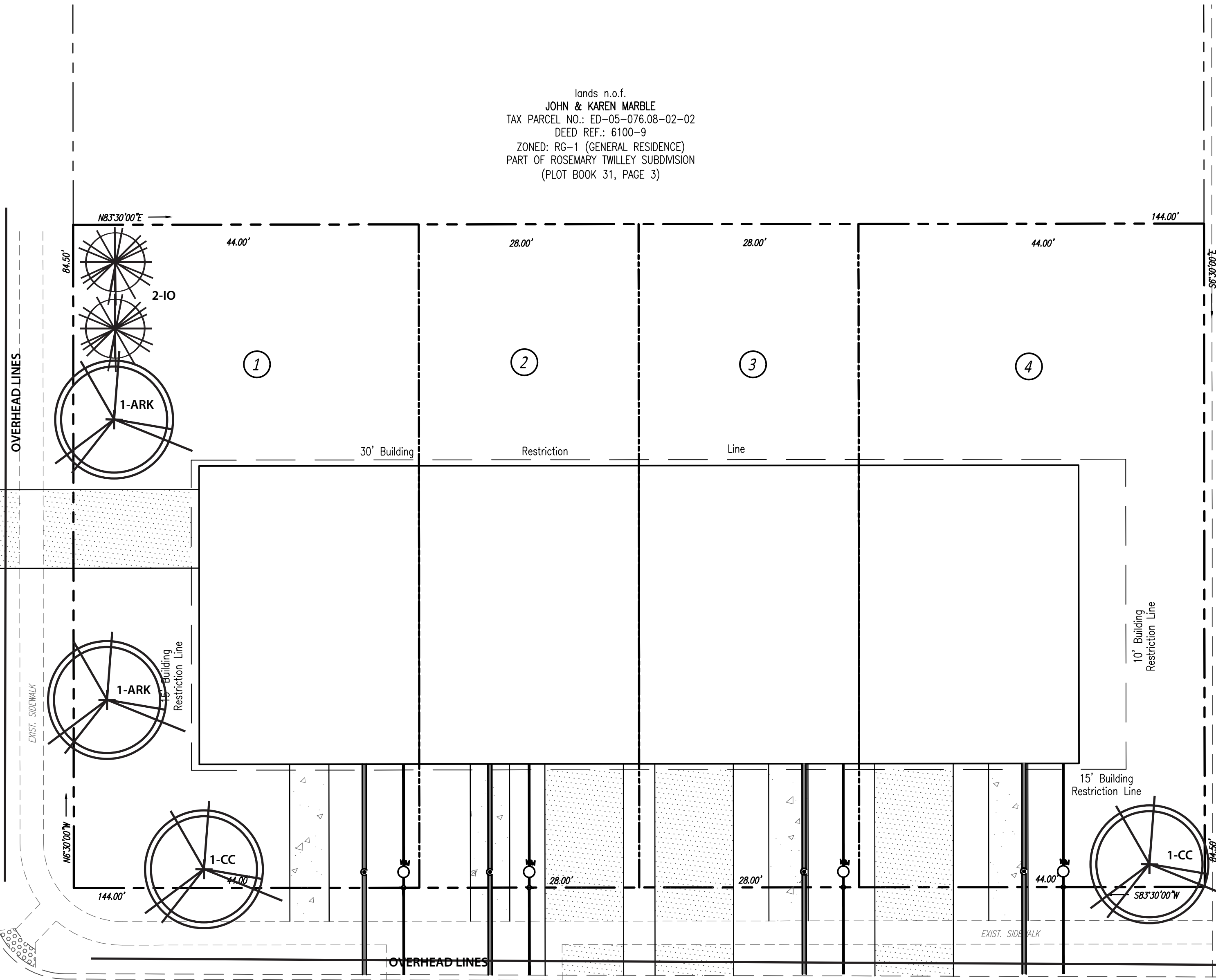
	TRENCH PAVEMENT WIDTH	
	DEPARTMENT OF PUBLIC UTILITIES	
	DRAWN: JAL	DATE: 03.03.09
	CKD: REM/RJH	SCALE: NTS
APRVD: SJD	DWG. NO:	WW-15

LARSON
ENGINEERING GROUP INC.
CIVIL ENGINEERING & LAND PLANNING

910 SOUTH CHAPEL STREET • SUITE 200
NEWARK, DE 19713
Phone: (302) 731-7434
Fax: (302) 731-8211



N. WEST STREET
(60' WIDE RIGHT-OF-WAY)



lands n.o.f.
JOHN & KAREN MARBLE
TAX PARCEL NO.: ED-05-076.08-02-02
DEED REF.: 6100-9
ZONED: RG-1 (GENERAL RESIDENCE)
PART OF ROSEMARY TWILLEY SUBDIVISION
(PLOT BOOK 31, PAGE 3)

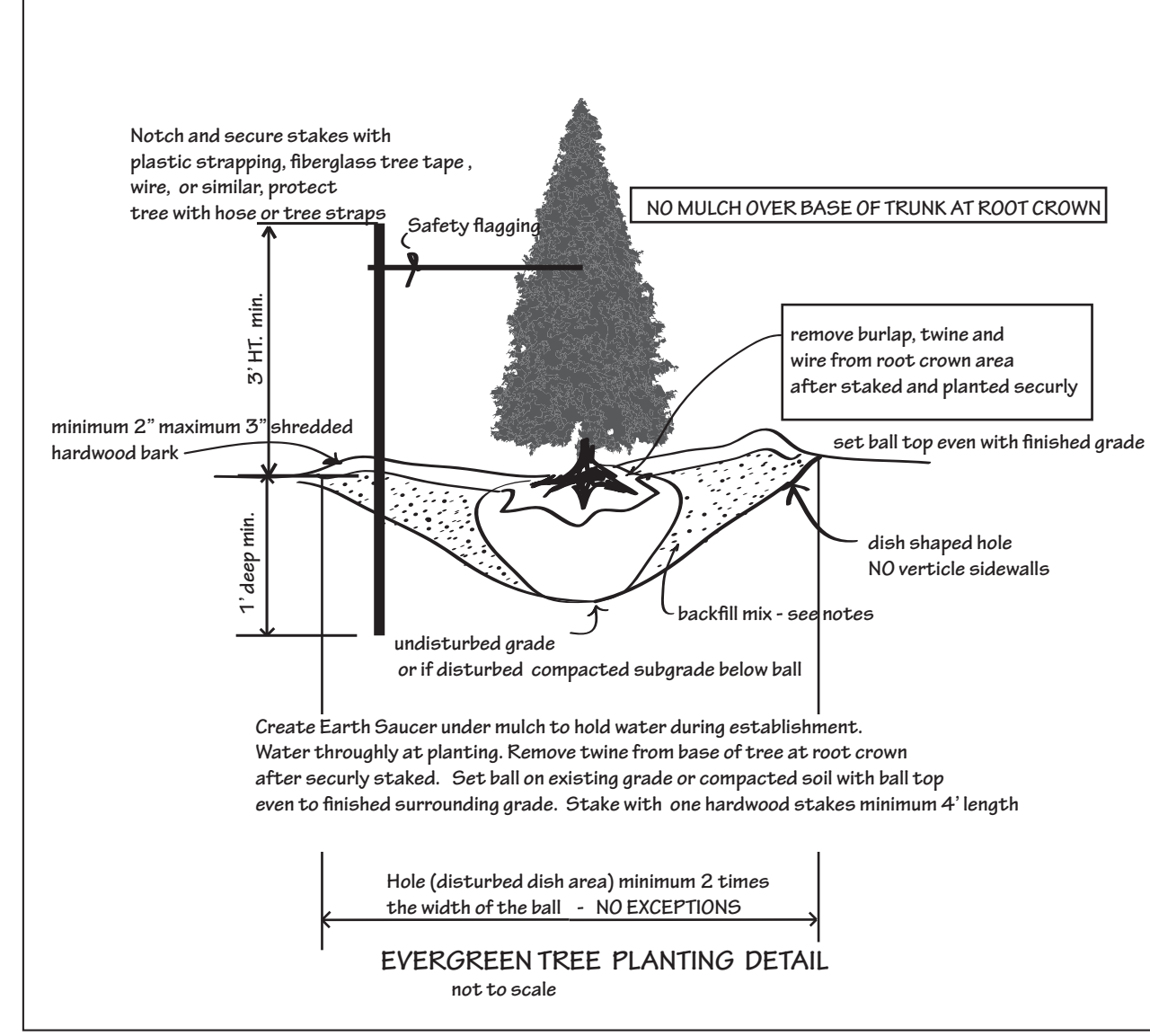
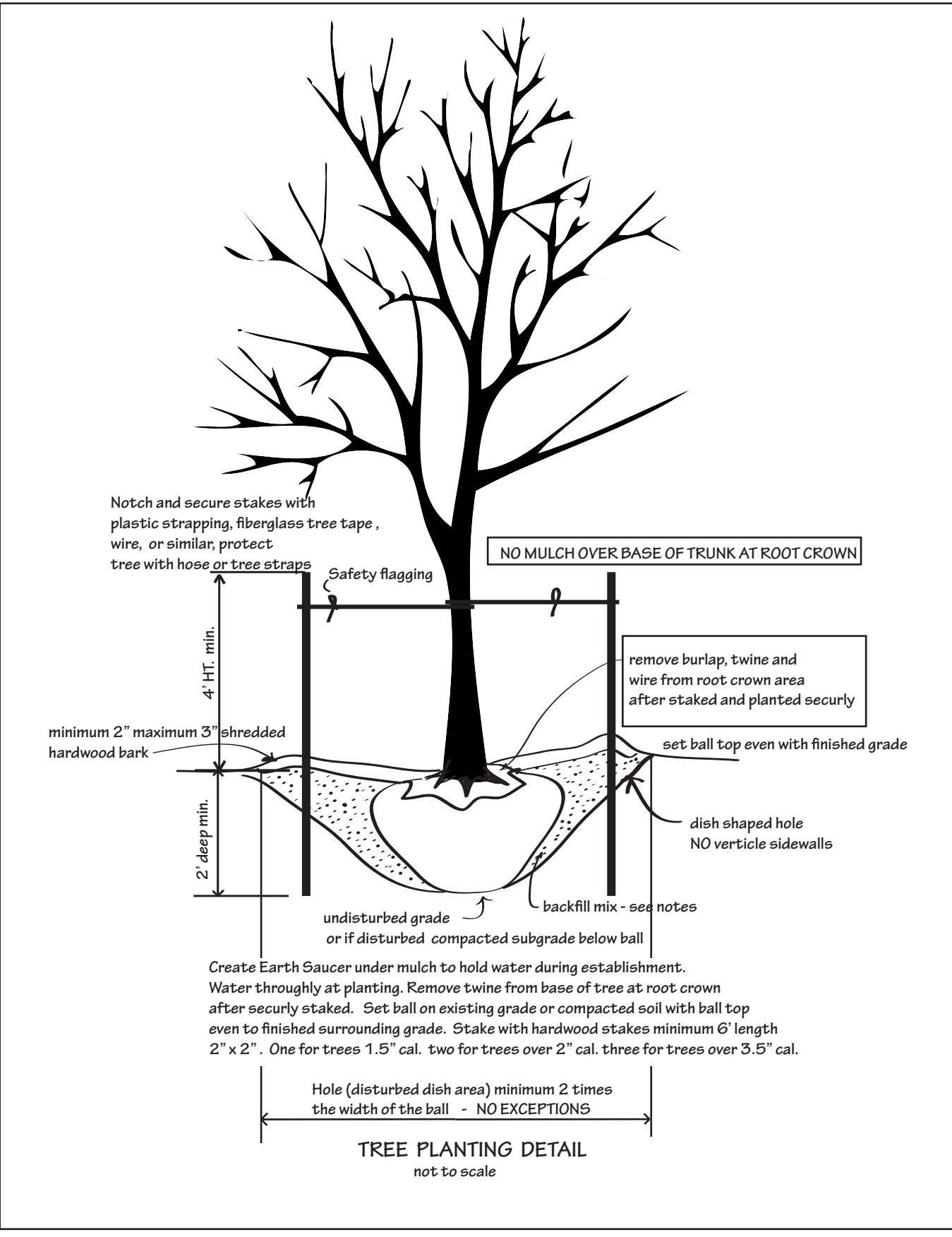
lands n.o.f.
BYLER INVESTMENTS LLC
TAX PARCEL NO.: ED-05-076.08-02-12.00
DEED REF.: 12821-122
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
CHARLES C. WHITE
TAX PARCEL NO.: ED-05-076.08-02-13.00
DEED REF.: 015-451
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
CHARLES C. & DIANE E. FERGUSON
TAX PARCEL NO.: ED-05-076.08-02-14.00
DEED REF.: 4932-140
ZONED: RG-1 (GENERAL RESIDENCE)

lands n.o.f.
WILLIAM D. & BONNIE L. PENNINGTON
TAX PARCEL NO.: ED-05-076.08-02-15.00
DEED REF.: 2402-305
ZONED: RG-1 (GENERAL RESIDENCE)

ALLEY
(12' WIDE RIGHT-OF-WAY)



CECIL STREET
(60' WIDE RIGHT-OF-WAY)

PLANTING SCHEDULE			
TYPE	KEY #	BOTANICAL AND COMMON NAME	MINIMUM SIZE
T	ARK 2	ACER RUBRUM 'KARPICK' - COLUMNAR RED MAPLE	2.0" CAL. BB 12'-14' HT. BRANCHED TO NO LESS THAN 6' HT ABOVE GRADE
O	CC 2	CERCIS CANADENSIS - 'FOREST PANSY' - FOREST PANSY REDBUD	2.0" CAL. BB 12'-14' HT. BRANCHED TO NO LESS THAN 6' HT ABOVE GRADE
E	IO 2	ILEX OPACA - AMERICAN HOLLY	6'-8' BB BRANCHED TO THE GROUND

X XX - NOTE PLAN DRAWING FOR PLANT MATERIAL QUANTITIES IN REQUIREMENT AREAS SHALL SUPERSEDE THE SCHEDULE - SUBSTITUTIONS ALLOWED WITH THE LANDSCAPE ARCHITECTS APPROVAL

KEY - T = TREE, E = EVERGREEN TREE ST = STREET TREE O = UNDERSTORY TREE S = SHRUB P = PERENNIAL
G = GRASSES, GC = GROUND COVER H = HERBACEOUS RF = REFORESTATION B = BULBS V = VINES

The source of all plant material for the site shall be from within one whole number hardiness zone as defined by the United States Department of Agriculture (USDA) of the zone that covers the majority of Kent County. The handling, planting and perpetual maintenance of all tree and plant material shall conform to Tree Care Industry Association ANSI A300-2011 standards. ALL TREES MUST BE PLANTED PER THE DETAIL INCULCING SOIL AMENDMENTS - MULCHED - STAKED - GUYED AND WATERED WHEN INSTALLED

- PLANTING NOTES:
- 1 - PLANT IN ACCORDANCE WITH THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE AMERICAN STANDARD FOR NURSERY STOCK.
 - 2- LOCATE OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO PLANTING. FIELD ADJUST PLANT LOCATIONS AS NEEDED TO AVOID CONFLICT WITH SWALES, PIPES, DRAINAGE STRUCTURES, WIRES, UTILITY BOXES TRANSFORMERS, EXISTING VEGETATION THAT REMAINS, ETC. STOP PLANTING AND CONTACT THE LANDSCAPE ARCHITECT AND OWNER IF SOIL CONDITIONS ARE ENCOUNTERED THAT ARE UNSUITABLE FOR PROPER PLANT GROWTH.
 - 3- FIELD LOCATION PLANTS TO AVOID CONFLICT WITH SWALES, DRAINAGE AND UTILITIES ABOVE AND BELOW GROUND, EXISTING VEGETATION ETC.
 - 4 - PLANTING BACKFILL MIX: ONE PART PEAT HUMUS, TO ONE PART TOPSOIL TO ONE PART EXISTING SOIL. AMENDMENTS: MIX INTO SOIL PRIOR TO BACKFILLING, .25 LBS ORGANIC FERTILIZER 5-10-5 ORGANIC FERTILIZER .75 LBS OF BONE MEAL, AND 1 LB OF ORGANIC DECOMPOSED COW MANURE PER CUBIC FOOT OF BACKFILL. SET BALL OR CONTAINER SOIL TOP EVEN WITH FINISHED GRADE.
 - 5- THE QUANTITIES OF PLANTS ON THE PLAN DRAWING FOR CODE REQUIRED AREAS SHALL REMAIN WITH THE SPECIFIC AREA (IE: BUFFERYARDS, PARKING AREAS ETC) BUT SHALL BE FIELD LOCATED TO AVOID UTILITIES OR OBSTRUCTIONS AND SHALL GOVERN OVER THE SCHEDULE TO MEET MINIMUM CODE REQUIREMENTS.

FIELD LOCATE ALL UTILITIES PRIOR TO DIGGING
ADJUST LOCATIONS OF PLANTINGS TO AVOID CONFLICTS WITH DRAINAGE, UTILITIES, STRUCTURES, AND VEGETATION TO REMAIN.
IF SOILS UNSUITABLE FOR PLANTING AND PROPER PLANT ESTABLISHMENT ARE ENCOUNTERED, STOP PLANTING AND NOTIFY THE OWNER AND LANDSCAPE ARCHITECT.

PLANTING AND CONSTRUCTION OPERATIONS SHALL CONFORM TO ALL LOCAL STATE AND FEDERAL SAFETY, ENVIRONMENTAL LAWS. CONTRACTORS ARE RESPONSIBLE FOR ALL PERMITS AND SUBMISSIONS REQUIRED FOR THE WORK.

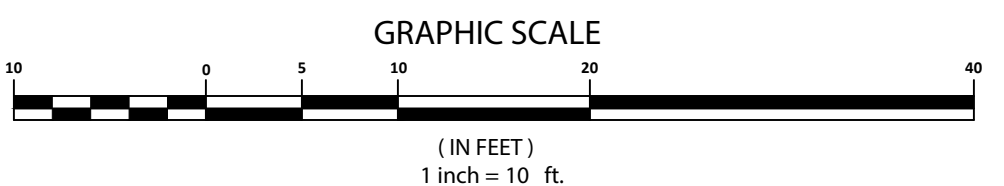
TREE PRESERVATION PLANTING PLAN
- NO EXISTING WOOLAND, TREES, OR SPECIMEN TREES

12,168 SF TOTAL LOT AREA / 3000 SF = 4.056 = 4 REQUIRED TREES
PROVIDED 6 TREES

MISS UTILITY
OF
DELMARVA



"KNOW WHAT'S BELOW
CALL BEFORE YOU DIG"
PROTECT YOURSELF, GIVE FIVE
WORKING DAYS' NOTICE



DATE	SCALE 1"=10'	LANDSCAPE PLAN	
JOB NO. 24-022	DRAWN BY	FOR	
APPLICATION NO.:	DESIGNED BY:	207 N WEST STREET	
APPROVED BY:	CHECKED BY:	CITY OF DOVER, KENT COUNTY, DELAWARE	
DATE	REVISION	PREPARED FOR:	
12-19-24 DATE		ellenrtraceyDESIGNSete@gmail.com	
SEAL			

Landscape Architect Certification of Plan Accuracy
I hereby certify that I am a registered professional landscape architect in the State of Delaware and that all of the information on this plan, other than the boundary and topographic information, is true and correct to the accuracy required by accepted landscape architectural design standards.

CADD FILE - LandscapePlan_Documents-12-19-24
SHEET NO. - LS-1