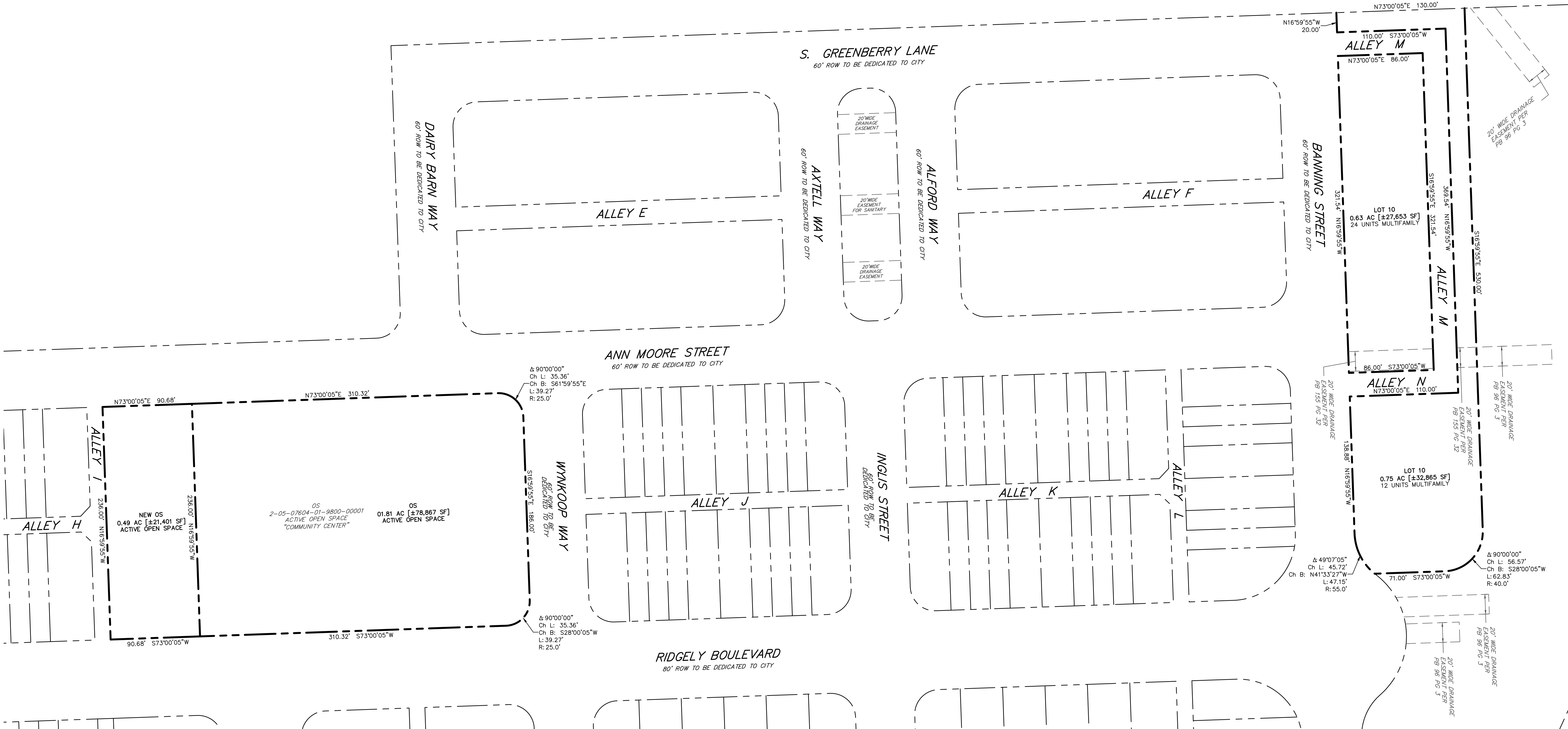




SITE TRAFFIC PER PREVIOUSLY APPROVED PLAN (PLOT BOOK 149 PAGE 50) SOURCE: ITE TRIP GENERATION MANUAL 11th EDITION (ADT IN/OUT, AM IN/OUT, PM IN/OUT, SAT IN/OUT) LUC 220 MULTIFAMILY LOW-RISE: 362 UNITS = 1,274 ADT (637/637), 81 AM (19/62), 101 PM (64/37), 77 SAT (38/39) LUC 221 MULTIFAMILY MID-RISE: 300 UNITS = 1,385 ADT (693/692), 120 AM (28/62), 117 PM (72/45), 121 SAT (62/59) LUC 210 SINGLE FAMILY DETACH: 238 UNITS = 2,241 ADT (1121/1120), 164 AM (41/723), 225 PM (141/84), 214 SAT (116/98) TOTAL TRIPS FOR DEVELOPMENT: 720 UNITS = 4,900 ADT (2450/2450), 365 AM (88/277), 443 PM (277/166), 412 SAT (216/196)	CURRENT PROPOSED SITE TRAFFIC (NOTE: INCLUDES UNITS PROPOSED, UNDER CONSTRUCTION, AND ALREADY BUILT): SOURCE: ITE TRIP GENERATION MANUAL 11th EDITION (ADT IN/OUT, AM IN/OUT, PM IN/OUT, SAT IN/OUT) LUC 220 MULTIFAMILY LOW-RISE: 367 UNITS = 2,428 ADT (1214/1214), 137 AM (33/104), 178 PM (112/66), 150 SAT (77/73) LUC 221 MULTIFAMILY MID-RISE: 160 UNITS = 717 ADT (359/358), 58 AM (14/45), 63 PM (28/25), 64 SAT (33/31) LUC 210 SINGLE FAMILY DETACH: 231 UNITS = 2,180 ADT (1090/1090), 160 AM (40/120), 218 PM (138/80), 208 SAT (113/95) TOTAL TRIPS FOR DEVELOPMENT: 758 UNITS = 5,325 ADT (2662/2663), 356 AM (87/269), 459 PM (286/171), 422 SAT (223/199) NET DIFFERENCE FROM PB 149 PG 50 +131 ADT, +17 AM, +1 PM, +4 SAT
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TRAFFIC GENERATION DIAGRAM - W NORTH STREET (K-73) ADT (A.M. PEAK HOUR) [P.M. PEAK HOUR] DISTRIBUTION%	TRAFFIC GENERATION DIAGRAM - POW/MIA PARKWAY (K-151) ADT (A.M. PEAK HOUR) [P.M. PEAK HOUR] DISTRIBUTION%
ROAD TRAFFIC DATA - W NORTH STREET (K-73) FUNCTIONAL CLASSIFICATION: MAJOR COLLECTOR POSTED SPEED LIMIT: 35 MPH ADT (FROM DELDOT TRAFFIC COUNTS 2023): 10,145 TRIPS 10 YEAR PROJECTED ADT: 116 X 10,145 TRIPS = 11,768 TRIPS TRAFFIC PATTERN GROUP (FROM DELDOT TRAFFIC COUNTS 2023): 2 K-FACTOR: 10.8 / D-FACTOR: 56.2 / COMBO UNIT TRUCKS: 2.6% TRIP DISTRIBUTION: 50% EAST, 50% WEST	ROAD TRAFFIC DATA - POW/MIA PARKWAY (K-151) FUNCTIONAL CLASSIFICATION: MINOR ARTERIAL POSTED SPEED LIMIT: 40 MPH ADT (FROM DELDOT TRAFFIC COUNTS 2023): 9,635 TRIPS 10 YEAR PROJECTED ADT: 116 X 9,635 TRIPS = 11,177 TRIPS TRAFFIC PATTERN GROUP (FROM DELDOT TRAFFIC COUNTS 2023): 2 K-FACTOR: 10.8 / D-FACTOR: 56.2 / COMBO UNIT TRUCKS: 2.6%
SITE ACCESS POINTS 20% ENTRANCE #1: WEMYSS ROAD (FULL MOVEMENT) 40% ENTRANCE #2: RIDGELY BLVD (FULL MOVEMENT) 30% ENTRANCE #3: HORSEY BLVD (FULL MOVEMENT) 10% ENTRANCE #4: GARRETT HOUSE CIR (FULL MOVEMENT) TRIP DISTRIBUTION: 75% NORTH/EAST, 25% SOUTH/WEST DESIGN VEHICLE: SU30 (PEAK HOUR HV: <5%)	

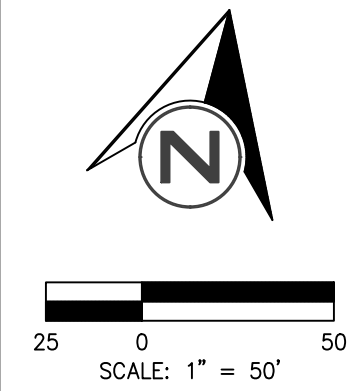
EDEN HILL FARM ALLEY STREET NAMES	
ALLEY	NAME
ALLEY A	RUTH WAY ALLEY
ALLEY B	S. GREENBERRY LANE SOUTH ALLEY
ALLEY C	S. GREENBERRY LANE SOUTH ALLEY
ALLEY D	LLOYD STREET EAST ALLEY
ALLEY E	S. GREENBERRY LANE SOUTH ALLEY
ALLEY F	S. GREENBERRY LANE SOUTH ALLEY
ALLEY G	ANN MOORE STREET SOUTH ALLEY
ALLEY H	ANN MOORE STREET SOUTH ALLEY
ALLEY I	LLOYD STREET EAST ALLEY
ALLEY J	ANN MOORE STREET SOUTH ALLEY
ALLEY K	ANN MOORE STREET SOUTH ALLEY
ALLEY L	BANNING STREET WEST ALLEY
ALLEY M	BANNING STREET EAST ALLEY
ALLEY N	ANN MOORE STREET EAST ALLEY
ALLEY O	LITTLE EDEN WAY NORTH ALLEY
ALLEY P	EDEN HILL BOULEVARD WEST ALLEY
ALLEY Q	WYNKOOP WAY WEST ALLEY
ALLEY R	LITTLE EDEN WAY NORTH ALLEY
ALLEY S	LITTLE EDEN WAY NORTH ALLEY
ALLEY T	RED HAVEN WAY WEST ALLEY
ALLEY U	RUTH WAY EAST ALLEY
ALLEY V	BANK BARN WAY EAST ALLEY
ALLEY W	EDEN HILL BOULEVARD WEST ALLEY
ALLEY X	WYNKOOP WAY WEST ALLEY
ALLEY Y	INGLS STREET WEST ALLEY
ALLEY Z	BOND STREET SOUTH ALLEY
ALLEY AA	EDEN HILL BOULEVARD WEST ALLEY
ALLEY BB	NICKERJACK WAY NORTH ALLEY

SHEET PURPOSE:
THE PURPOSE OF THIS SHEET IS TO SHOW PROPOSED SUBDIVISION OF ACTIVE OPEN SPACE "COMMUNITY CENTER" AND ADJUSTMENT TO LOTS 10, 11, ALLEY M, AND ALLEY N.

LEGEND	
EXISTING	PROPOSED
---	SUBJECT PROPERTY
---	ADJOINER PROPERTY
---	LOT LINE
---	EASEMENT

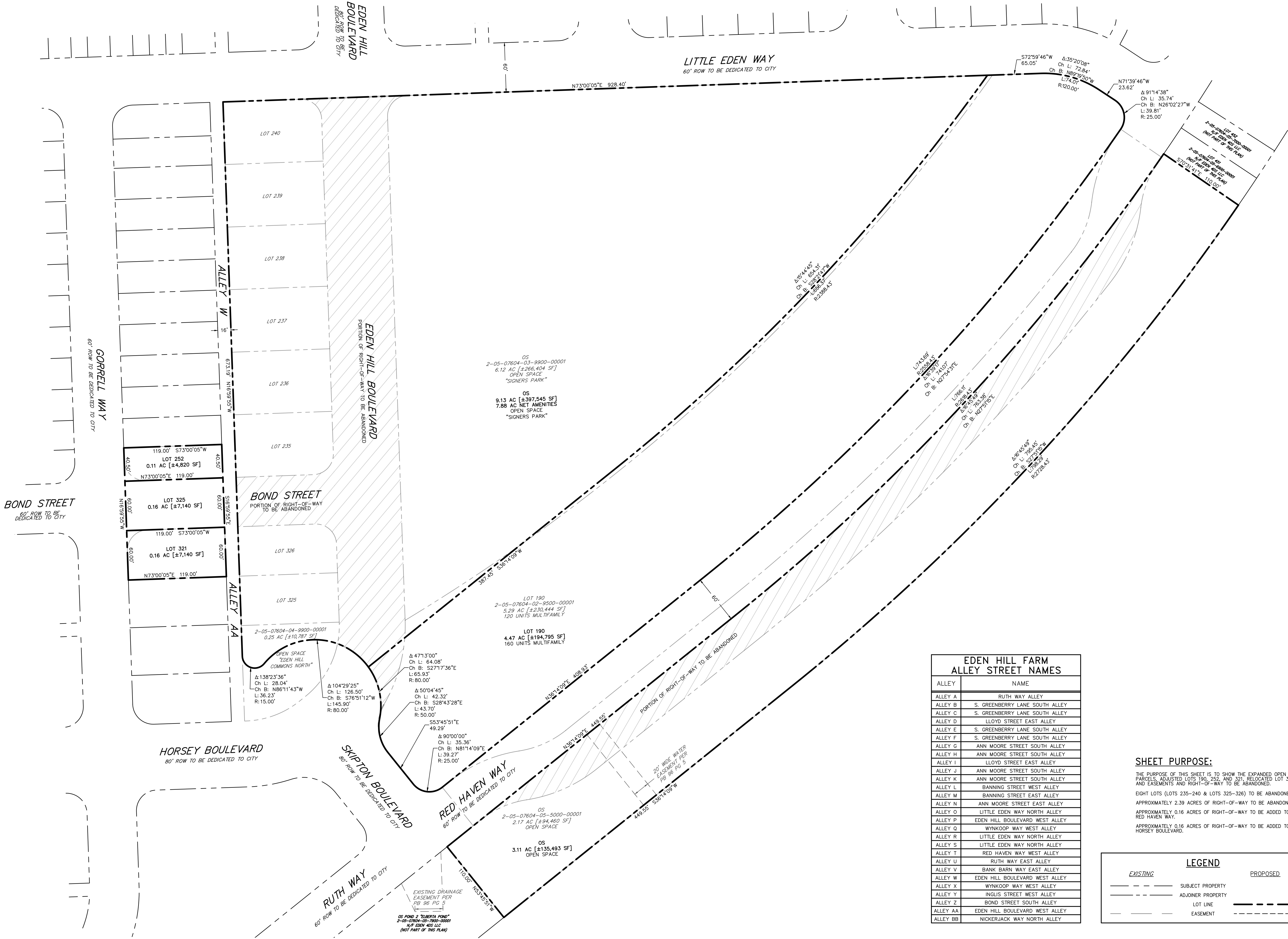


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RESUBDIVISION PLAN
RECORD PLAT
EDEN HILL FARM TND
RESIDENTIAL DISTRICT, PHASES 1-6
CITY OF DOVER, KENT COUNTY, DELAWARE

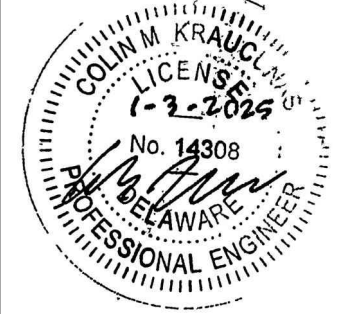
REVISIONS	DATE
DATE:	2025-01-03
DRAWN BY: CMK	CHECKED: A.H.
FILE:	3413RP.dwg
PROJECT NO.:	3413
SHEET NO.	



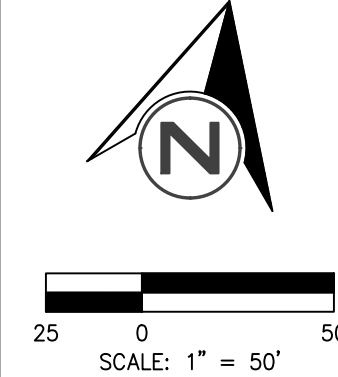
EDEN HILL FARM ALLEY STREET NAMES	
ALLEY	NAME
ALLEY A	RUTH WAY ALLEY
ALLEY B	S. GREENBERRY LANE SOUTH ALLEY
ALLEY C	S. GREENBERRY LANE SOUTH ALLEY
ALLEY D	LLOYD STREET EAST ALLEY
ALLEY E	S. GREENBERRY LANE SOUTH ALLEY
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ALLEY L	BANNING STREET WEST ALLEY
ALLEY M	BANNING STREET EAST ALLEY
ALLEY N	ANN MOORE STREET EAST ALLEY
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ALLEY P	EDEN HILL BOULEVARD WEST ALLEY
ALLEY Q	WYNKOOP WAY WEST ALLEY
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ALLEY W	EDEN HILL BOULEVARD WEST ALLEY
ALLEY X	WYNKOOP WAY WEST ALLEY
ALLEY Y	INGLIS STREET WEST ALLEY
ALLEY Z	BOND STREET SOUTH ALLEY
ALLEY AA	EDEN HILL BOULEVARD WEST ALLEY
ALLEY BB	NICKERJACK WAY NORTH ALLEY

SHEET PURPOSE:
THE PURPOSE OF THIS SHEET IS TO SHOW THE EXPANDED OPEN SPACE PARCELS, ADJUSTED LOTS 190, 232, AND 321, RELOCATED LOT 325, AND EASEMENTS AND RIGHT-OF-WAY TO BE ABANDONED.
EIGHT LOTS (LOTS 235-240 & LOTS 325-326) TO BE ABANDONED.
APPROXIMATELY 2.39 ACRES OF RIGHT-OF-WAY TO BE ABANDONED.
APPROXIMATELY 0.16 ACRES OF RIGHT-OF-WAY TO BE ADDED TO RED HAVEN WAY.
APPROXIMATELY 0.16 ACRES OF RIGHT-OF-WAY TO BE ADDED TO HORSEY BOULEVARD.

LEGEND	
EXISTING	PROPOSED
---	SUBJECT PROPERTY
---	ADJOINER PROPERTY
---	LOT LINE
---	EASEMENT



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RESUBDIVISION PLAN
RECORD PLAT
EDEN HILL FARM TND
RESIDENTIAL DISTRICT, PHASES 1-6
CITY OF DOVER, KENT COUNTY, DELAWARE

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