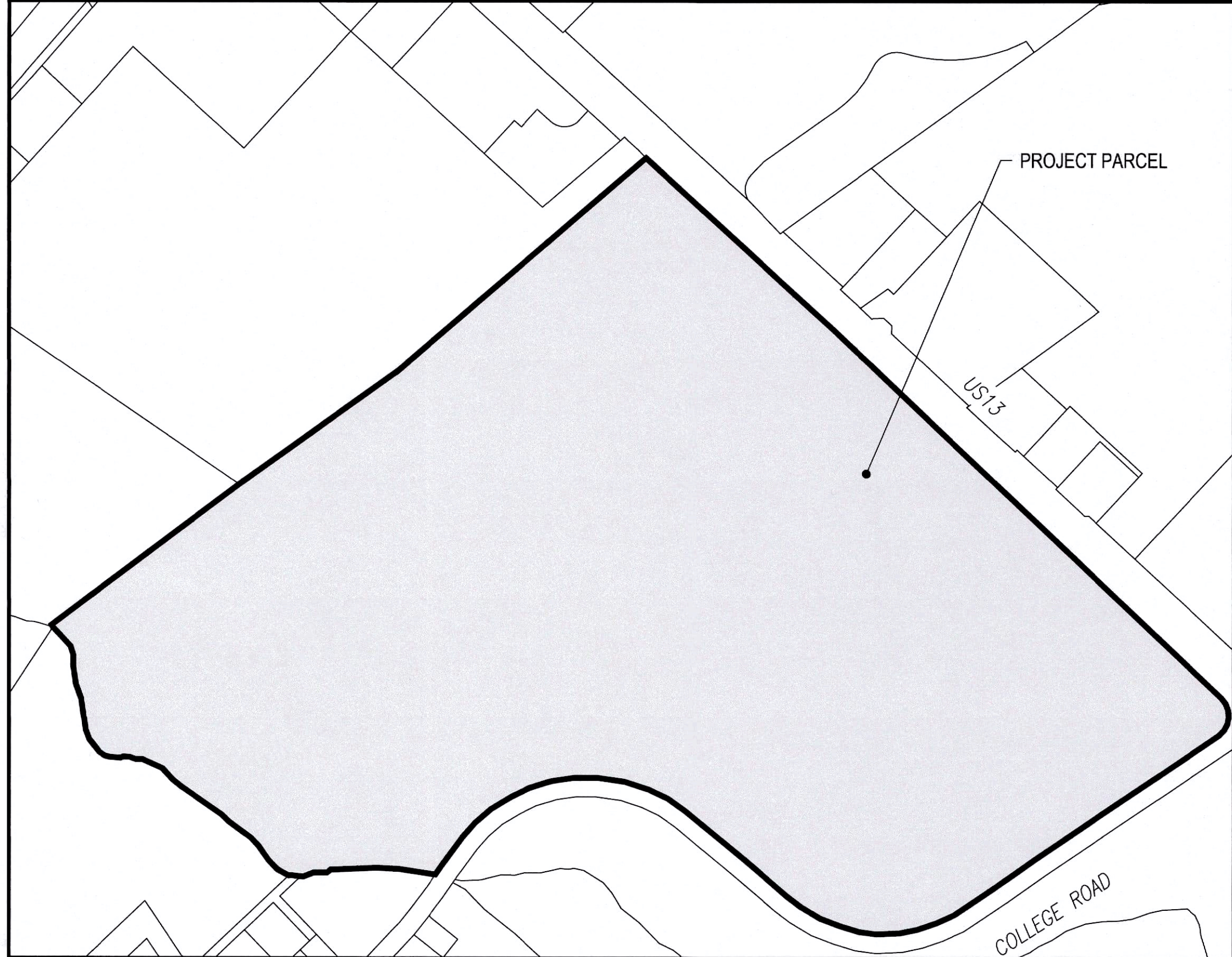
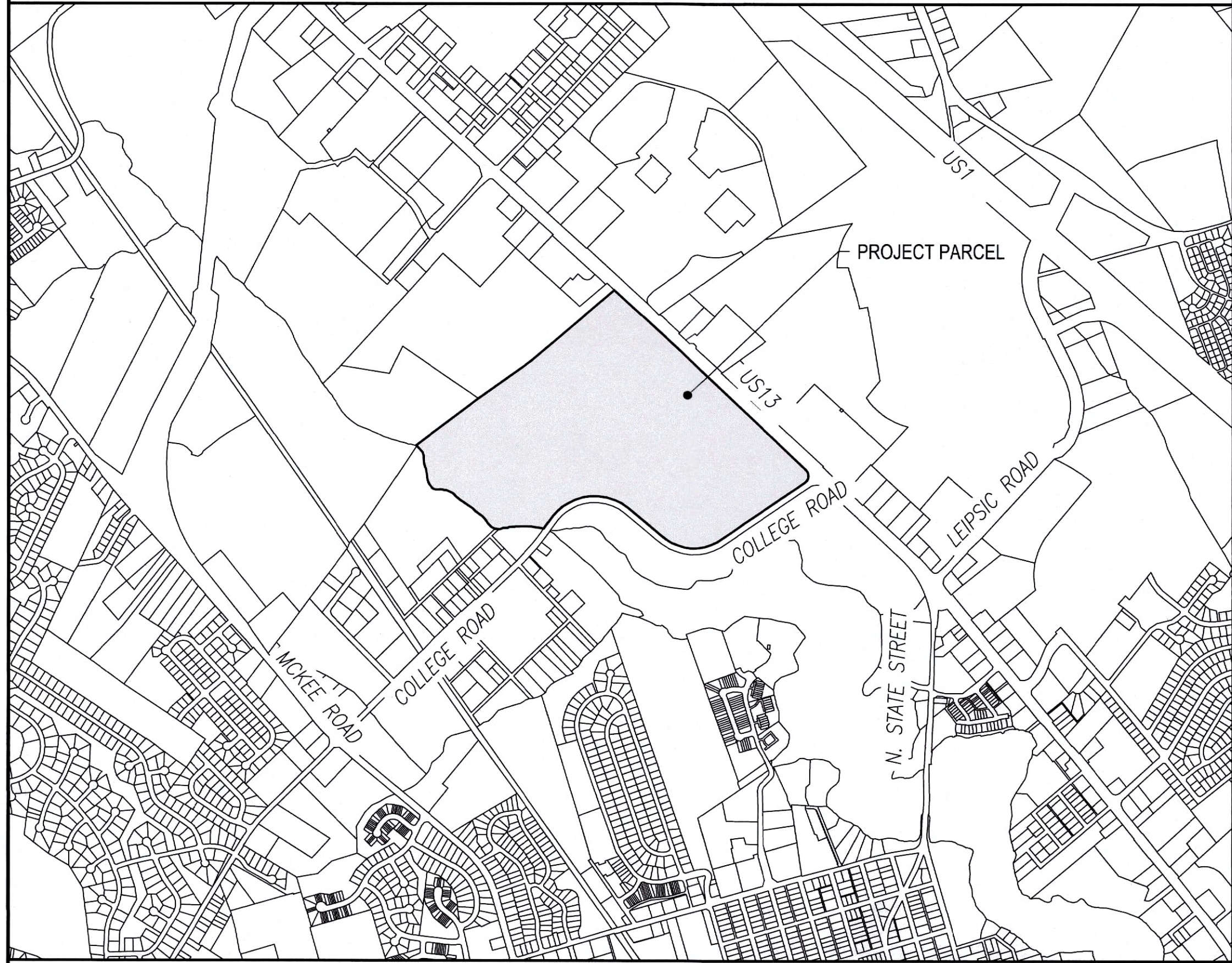




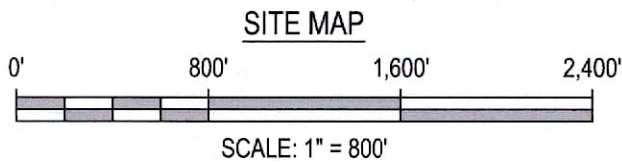
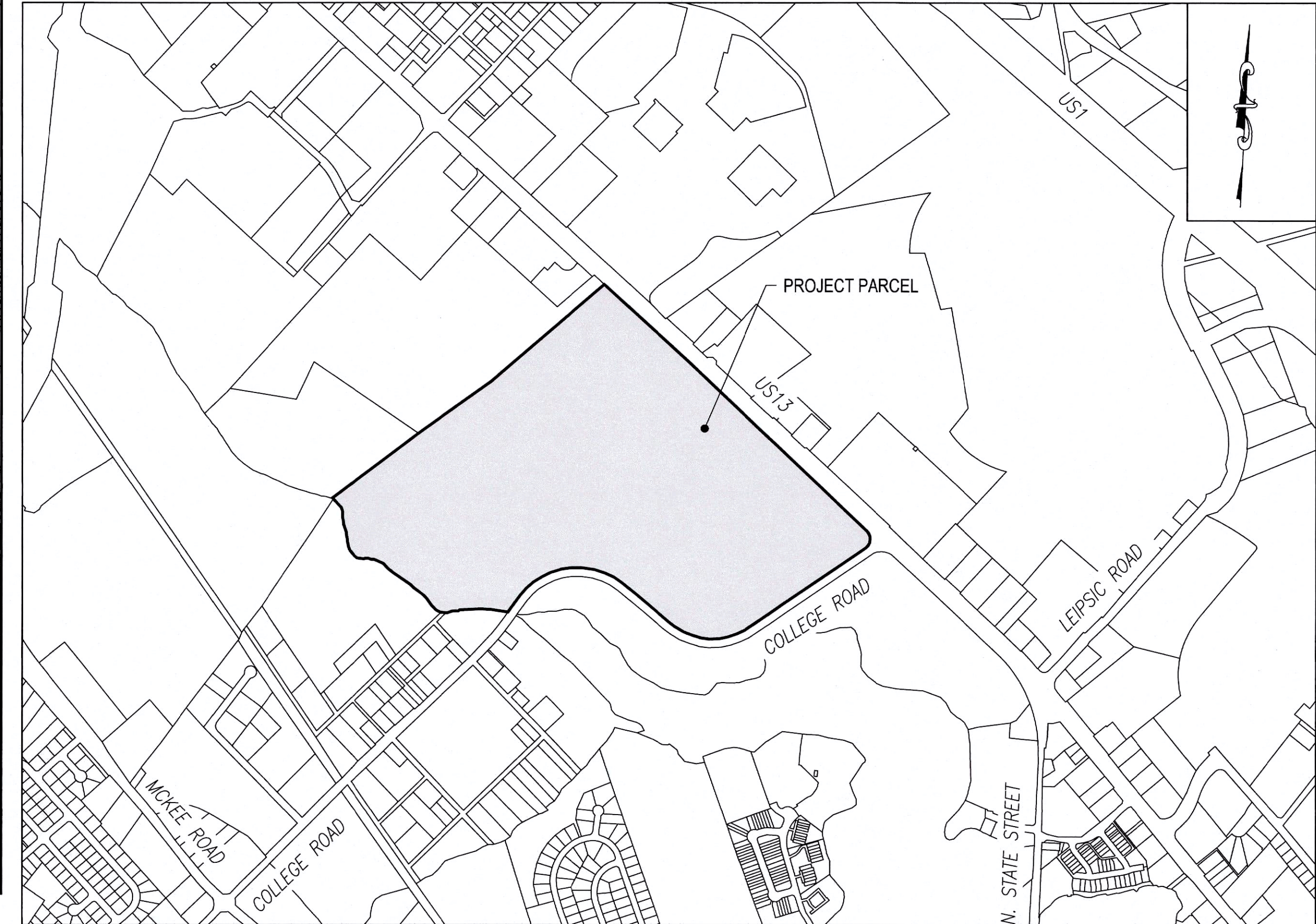
LOCATION MAP

SCALE: 1" = 400'



LOCATION MAP

SCALE: 1" = 1,200'



BICYCLE PARKING BICYCLE PARKING REQUIRED: 1 SPACE PER 20 VEHICLE PARKING SPACES 201 PARKING SPACES / 20 = 10 BICYCLE SPACES REQUIRED BICYCLE PARKING PROVIDED = 11 SPACES		PARKING CALCULATIONS PER A PLAN TITLED "DELAWARE STATE UNIVERSITY RESIDENCE HALL BLDG NO. 56 MASTER PLAN PHASE 2" PREPARED BY BECKER MORGAN GROUP, LAST DATED MAY 18, 2018: CAMPUS PARKING REQUIRED: 1,650 SPACES (PER BOA DECISION) EXISTING CAMPUS PARKING: 2,243 SPACES EXISTING CAMPUS SURPLUS: 335 SPACES SPACES TO BE REMOVED BY THIS PROJECT: 166 SPACES SPACES PROPOSED BY THIS PROJECT: 11 SPACES EXISTING CAMPUS PARKING AT COMPLETION: 2,090 SPACES SURPLUS REMAINING AT COMPLETION: 180 SPACES		TREE DENSITY TOTAL DEVELOPMENT AREA (D.A.): 3.93 ACRES (171,190.80 S.F.) TOTAL AREA OF WOODLANDS IN D.A.: 0.00 ACRES TOTAL AREA OF WOODLANDS IN D.A. TO BE PRESERVED: 0.00 ACRES NON-WOODLAND AREA: 3.93 ACRES (171,190.80 S.F.) NEW TREE PLANTINGS REQUIRED: 1 TREE PER 3,000 S.F. OF NON-WOODLAND AREA 171,190.80 S.F. / 3,000 = 58 TREES PROVIDED: 84 TREES		CERTIFICATION OF OWNERSHIP I, KHALID ZERRAD, HEREBY CERTIFY THAT DELAWARE STATE UNIVERSITY IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN. THAT THE PLAN WAS MADE AT THEIR DIRECTION, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DESIRE FOR THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL LAWS AND REGULATIONS. KHALID ZERRAD STATE OF DELAWARE C/O DELAWARE STATE UNIVERSITY 1200 N. DUPONT HIGHWAY DOVER, DE 19901		CERTIFICATION OF PLAN ACCURACY I, ALEXANDER E. SCHMIDT, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE. ALEXANDER E. SCHMIDT, P.E., NO. 16139 WALLACE MONTGOMERY 222 S. DUPONT HIGHWAY SUITE 202 DOVER, DE 19901	
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CONSTRUCTION SITE PLAN

FOR

DELAWARE STATE UNIVERSITY

FOOTBALL STADIUM PLAZA

MOODY NOLAN

T.P. NO. ED-05-057.00-01-21.00-00001

CITY OF DOVER, 19901

EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

DATA COLUMN	
1. TAX PARCEL NUMBER:	ED-05-057.00-01-21.00-00001
2. SITE ADDRESS:	1200 N. DUPONT HIGHWAY DOVER, DE 19901
3. ZONING:	IO (INSTITUTIONAL/OFFICE)
4. PARCEL AREA:	161.96+/- ACRES (CITY OF DOVER GIS)
5. PROJECT/DEVELOPMENT AREA:	3.93+ ACRES
6. SOURCE OF TITLE:	H-11-113 (KENT COUNTY PARCEL DATA)
7. EXISTING USE:	UNIVERSITY
8. PROPOSED USE:	UNIVERSITY
9. DATUM:	BENCHMARK: EX DI, TOP: 34.04 VERT.: NAVD83 HORIZ.: NAVD83
10. SETBACKS:	FRONT: 10' SIDE: 10' REAR: 15' ARTERIAL STREET: 30'
11. MONUMENTS:	EXISTING: N/A PROPOSED: N/A
12. SITE UTILITIES:	WATER: CITY OF DOVER SEWER: CITY OF DOVER ELECTRIC: CITY OF DOVER GAS: CHESAPEAKE UTILITIES
13. PROJECT SITE BREAKDOWN (BASE BID)	
EXISTING (POST DEMOLITION)	
BUILDING:	0.01+ ACRES (29+ S.F.)
IMPERVIOUS:	0.43+ ACRES (18,730.80+ S.F.)
OPEN SPACE:	3.49+ ACRES (152,188.00+ S.F.)
TOTAL AREA:	3.53+ ACRES (171,190.80+ S.F.)
PROPOSED:	
BUILDING:	1.33+ ACRES (57,934.80+ S.F.)
IMPERVIOUS:	1.57+ ACRES (68,389.20+ S.F.)
OPEN SPACE:	1.03+ ACRES (44,866.80+ S.F.)
TOTAL AREA:	3.93+ ACRES (171,190.80+ S.F.)
IMPERVIOUS AREA	
PRIOR TO DEMOLITION (SEE SEPARATE CONTRACT):	3.08+ ACRES / 3.93 ACRES = 78.4%
EXISTING (POST DEMOLITION):	0.44+ ACRES / 3.93 ACRES = 11.2%
PROPOSED:	2.90+ ACRES / 3.93 ACRES = 73.8%
14. FLOOD PLAIN MAP:	PER FEMA MAP NUMBER 10001C0158J, DATED JULY 7, 2014, THE PROJECT LIMITS LIES WITHIN ZONE X, AREAS TO BE DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN.
15. PURPOSE OF PLAN:	THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 53,370+ S.F. MULTI-STORY BUILDING WITH ASSOCIATED IMPROVEMENTS AS SHOWN ON THE PLAN.
16. DEBRIS DISPOSAL:	NO DEBRIS SHALL BE BURIED ON SITE. ANY BURIED DEBRIS ENCOUNTERED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
17. TOPOGRAPHY:	TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PERFORMED BY CENTURY ENGINEERING, LLC. DECEMBER 2025.
18. BOUNDARY SURVEY:	BOUNDARY SHOWN HEREON PROVIDED BY DELAWARE STATE UNIVERSITY. A BOUNDARY SURVEY WAS NOT PERFORMED NOR REQUESTED. WALLACE MONTGOMERY TAKES NO RESPONSIBILITY FOR DISCREPANCIES RELATED TO THE BOUNDARY.
19. OWNER:	STATE OF DELAWARE C/O DELAWARE STATE UNIVERSITY 1200 N. DUPONT HIGHWAY DOVER, DE 19901 KHALID ZERRAD 302-535-3809 KZERRAD@DESLEDU
20. ENGINEER:	WALLACE MONTGOMERY, LLP 222 S. DUPONT HIGHWAY SUITE 202 DOVER, DE 19901 ALEXANDER SCHMIDT, P.E. 302-257-3100 ASCHMIDT@WALLACEMONTGOMERY.COM

INDEX OF SHEETS	
C300	COVER SHEET
C301	PROJECT NOTES
C302	LEGEND
C303	EXISTING CONDITIONS AND DEMOLITION PLAN
C304	CONSTRUCTION PLAN
C305	CONSTRUCTION DETAILS
C306	CONSTRUCTION DETAILS
C307	GRADES AND GEOMETRICS
C308	GRADES AND GEOMETRICS
C309	UTILITY PLAN
C310	UTILITY DETAILS
C311	FIRE MARSHAL PLAN
C312	ALTERNATE NO. 1 CONSTRUCTION PLAN

WALLACE MONTGOMERY



REVISIONS/ADDENDUMS/Δ

SEAL

DELAWARE STATE UNIVERSITY
FOOTBALL STADIUM PLAZA
FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT
SHEET TITLE

COVER SHEET

AGENCY
SUBMISSION
APRIL 30, 2026
DRAWN
CHK'D/DESIGNER
DLD
AES/DLD
SCALE
SHEET NO.
1" = 800'
PROJECT NO.
228024.0001

C300

\\P001\226024.0001\Subarea_Cad\...working\Plan_Sheets\Construction\pm-01.dwg, 4/29/2026

This drawing is the property of Wallace Montgomery, LLP and is prepared for the exclusive use of its clients at the location indicated. No other use is authorized or intended.

PROJECT NOTES	GENERAL NOTES
1. THE INTENT OF THIS PROJECT IS TO PROVIDE THE FOLLOWING IMPROVEMENTS AT DELAWARE STATE UNIVERSITY: 1.1. CONSTRUCTION OF A 53,370 S.F. BUILDING. 1.2. PARKING AREA AND ACCESS IMPROVEMENTS. 1.3. UTILITY INSTALLATION. 1.4. GRADING. 1.5. STORMWATER MANAGEMENT. 2. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR ALL OPERATIONS THAT IMPACT VEHICULAR AND PEDESTRIAN ACCESS TO EXISTING FACILITIES. 72 HOURS WRITTEN NOTICE IS REQUIRED FOR ALL OPERATIONS THAT IMPACT ACCESS. ANY IMPACTS TO PUBLIC ROADWAYS SHALL BE APPROVED BY OWNER AND BY THE AGENCY RESPONSIBLE FOR THE ROADWAY, IN ACCORDANCE WITH THE PROCEDURES MANDATED BY THE AGENCY RESPONSIBLE FOR THE ROADWAY. 3. THE ROADWAYS AND ASSOCIATED IMPROVEMENTS SHALL FOLLOW, AS CLOSELY AS POSSIBLE, THE ALIGNMENT, PROFILE, CROSS SLOPE AND RUNNING SLOPE SHOWN ON THE TYPICAL SECTIONS AND PROFILE. MINOR ADJUSTMENT IN THE ALIGNMENT AND/OR PROFILE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. EXISTING MATERIAL EXCAVATED DURING THE GRADING OF THE ROADWAY AND PATHS MAY BE USED AS FILL MATERIAL ON THE SIDE SLOPES OF THE ROADWAYS PROVIDED IT MEETS THE REQUIREMENTS OF DELDOT BORROW TYPE F. EXISTING MATERIAL, NOT MEETING THE REQUIREMENTS OF BORROW TYPE A, B, OR C, AS DEFINED IN THE DELDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SHALL NOT BE ALLOWED FOR BASE MATERIAL OF ANY PAVED OR GRAVEL AREAS. 4. ALL EXCAVATION FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH SECTION 202 – EXCAVATION AND EMBANKMENT, OF THE DELDOT STANDARD SPECIFICATIONS. 5. ALL TREE REMOVAL AND TREE TRIMMING WITHIN THE LIMITS OF DISTURBANCE, REGARDLESS OF SIZE, SHALL BE INCIDENTAL TO THE CONTRACT. THIS INCLUDES TRIMMING LIMBS AND BRANCHES THAT EXTEND OVER THE LOD AS DIRECTED BY THE OWNER. TREES GREATER THAN 6" IN DIAMETER SHALL BE FLAGGED BY THE CONTRACTOR FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO REMOVAL. THE ENGINEER WILL NOT ACCEPT REMOVAL OF TREES INTENDED TO BE PROTECTED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTENCE OF TREES AS THE SURVEY DOES NOT SHOW INDIVIDUAL TREES. 6. TREES NOT DESIGNATED TO BE REMOVED SHALL BE PROTECTED FROM CONSTRUCTION EQUIPMENT AND COMPACTION OF SOIL WITHIN THE DRIP LINE WITH 3-FOOT HIGH ORANGE SAFETY FENCE. 7. EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE. MISS UTILITY OF DELAWARE SHALL BE NOTIFIED TWO (2) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555. 8. THESE DRAWINGS DO NOT INCLUDE ANY HAZARDOUS MATERIALS THAT MAY OR MAY NOT EXIST WITHIN THIS SITE. IN THE EVENT THAT HAZARDOUS MATERIALS ARE LOCATED, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND CONTACT THE ENGINEER. 9. THESE PLANS WERE DEVELOPED FROM CONVENTIONAL SURVEY PERFORMED BY CENTURY ENGINEERING, LLC. CONTROL POINTS FOR THE SURVEY HAVE BEEN INCLUDED IN THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ADDITIONAL PHYSICAL CONTROL AS REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER. 10. CLEARING AND GRUBBING IS ASSUMED TO EXTEND A MINIMUM OF SIX (6) INCHES BELOW EXISTING GRADE FOR AREAS SHOWN ON THE DEMOLITION PLAN. CLEARING AND GRUBBING WITHIN THE LIMITS OF DISTURBANCE (LOD) SHALL CONSIST OF CLEARING, GRUBBING, REMOVING AND DISPOSING OF ALL TREES, ROOTS, VEGETATION AND DEBRIS UNLESS OTHERWISE INDICATED, EXCEPT SUCH OBJECT(S) THAT ARE DESIGNATED TO REMAIN. 11. THE CONTRACTOR MAY STORE AND/OR STOCKPILE EQUIPMENT AND MATERIALS WITHIN THE PROJECT SITE LIMIT OF DISTURBANCE (LOD) SHOWN ON PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE EROSION AND SEDIMENTS CONTROLS, INCLUDING CONTROLS NEEDED FOR STAGING AND STOCKPILING AREAS, AS PART OF THE BID PRICE FOR THE CONTRACT. 12. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OFF OFF-SITE AT A LEGALLY COMPLIANT LOCATION AT NO ADDITIONAL COST TO THE CONTRACT. ANY ADDITIONAL ON-SITE LOCATIONS FOR STOCKPILE/STORAGE AREAS SHALL BE COORDINATED WITH THE ENGINEER AND APPROVED BY THE DNREC SEDIMENT AND STORMWATER MANAGEMENT PROGRAM PRIOR TO THE START OF WORK. ALL STOCKPILE AREAS SHALL BE STABILIZED DURING CONSTRUCTION, AND REDRESSED AFTER CONSTRUCTION IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS. COST SHALL BE INCLUDED IN THE LUMP SUM PRICE BID FOR THE PROJECT. 13. THE CONTRACTOR IS ADVISED THAT CONTRACTOR EMPLOYEE PARKING SHALL BE LIMITED TO THE LOD AREA OR OTHER AREAS DESIGNATED BY THE OWNER. 14. ALL WORK SHALL BE INCLUDED IN THE LUMP-SUM PRICE BID FOR THE CONTRACT, INCLUDING ALL MATERIALS, LABOR, EQUIPMENT AND APPURTENANCES TO COMPLETE THE WORK.	1. SURVEY CONTROL: DELAWARE STATE COORDINATE SYSTEM (NAD83). 2. THE CONTRACTOR SHALL PROTECT ALL FEATURES NOT DESIGNATED TO BE REMOVED. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY OWNER, AT NO COST TO THE OWNER. 3. THE CONTRACTOR SHALL ONLY WORK WITHIN THE DESIGNATED LIMIT OF DISTURBANCE (LOD), ALL RUTS AND DEPRESSIONS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE FILLED, TOPSOILED, SEDED AND MULCHED TO MATCH THE ADJACENT AREA. 4. THE CONTRACTOR SHALL DESIGNATE A PERSON WHO SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PLANS. THE PERSON RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PLANS SHALL BE CERTIFIED BY DNREC FOR EROSION AND SEDIMENT CONTROL RESPONSIBILITY (CERTIFIED CONSTRUCTION REVIEWER – BLUE CARD), AND SHALL BE PRESENT DURING ALL EARTH DISTURBING ACTIVITIES. 5. THESE DRAWINGS DO NOT INCLUDE NECESSARY ELEMENTS OF CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, AND ALL FEDERAL, STATE AND LOCAL REQUIREMENTS. CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SITE SAFETY. 6. NO DEBRIS SHALL BE BURIED OR BURNED ON THE SITE UNLESS SPECIFICALLY NOTED WITHIN THESE PLANS OR SPECIFICATIONS. 7. BLASTING SHALL NOT BE ALLOWED. 8. THE OWNER SHALL PROVIDE A CERTIFIED THIRD PARTY CONSTRUCTION REVIEW (CCR) TO REVIEW AND INSPECT THE PROJECT DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE CCR AS REQUIRED TO ALLOW THE INSPECTIONS TO OCCUR. 9. THE TERM "ENGINEER," "OWNER," AND/OR "ARCHITECT" NOTED THROUGHOUT THE CONTRACT PLANS AND SPECIFICATIONS SHALL REFER TO WALLACE MONTGOMERY, DELAWARE STATE UNIVERSITY, MOODY NOLAN, OR THEIR APPOINTED REPRESENTATIVE. THE TERM "SITE" MAY BE USED THROUGHOUT THESE DOCUMENTS AS A MEANS OF IDENTIFYING THE SEASHORE COTTAGES AREA. 10. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED BY THE CONSTRUCTION SHOWN HEREON AS SHOWN ON THESE PLANS AND SPECIFICATIONS, TO A CONDITION COMPARABLE TO THAT EXISTING PRIOR TO CONSTRUCTION, AND TO THE SATISFACTION OF THE OWNER. 11. THE CONTRACTOR SHALL PROVIDE NECESSARY FACILITIES, INCLUDING, BUT NOT LIMITED TO, RESTROOMS DURING CONSTRUCTION. SITE FACILITIES SHALL NOT BE USED. EQUIPMENT PARKING AND MATERIAL STAGING SHALL BE LIMITED TO DESIGNATED STAGING & STOCKPILE AREAS. 12. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ANY DIMENSIONAL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION. 13. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE AREA AND EXCAVATIONS WITHIN THE LIMITS OF CONSTRUCTION TO PROHIBIT PUBLIC ACCESS UNTIL COMPLETION OF THE PROJECT. AT A MINIMUM, ALL EXCAVATION SHALL BE BARRICADED WITH ORANGE SAFETY FENCE. THE CONTRACTOR'S PROCEDURE/METHOD FOR LIMITING ACCESS SHALL BE REVIEWED BY, AND COORDINATED WITH DNREC PRIOR TO THE START OF WORK. THE COST TO INSTALL, RELOCATE, AND MAINTAIN SITE SECURITY SHALL BE INCIDENTAL TO THE CONTRACT. CONTRACTOR SHALL MAINTAIN PUBLIC ACCESS ON ALL ROADS. IF CONTRACTOR MUST CLOSE ANY ROAD THE CONTRACTOR SHALL PROVIDE NOTICE 48 HOURS IN ADVANCE FOR APPROVAL BY THE ENGINEER. 14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING OFF-SITE SPOIL AREAS FOR LEGAL DISPOSAL OF ANY EXCESS MATERIAL NOT ACCEPTED BY THE OWNER AND/OR UNSUITABLE MATERIALS AS NECESSARY IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. ALL COST FOR RECYCLING, TRANSPORTING TO, PROCURING AND UTILIZING THE OFF-SITE SPOIL AREAS ARE TO BE INCIDENTAL TO THE CONTRACT. 15. IN CASE OF CONFLICT BETWEEN THE "MANUFACTURER'S RECOMMENDATIONS" FOR AN APPROVED MATERIAL AND THE GOVERNING "CONTRACT SPECIFICATIONS" FOR THE MATERIAL, THE MORE RESTRICTIVE OF THE TWO SHALL PREVAIL, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. 16. THE CONSTRUCTION PLANS PRESENT A CONCEPT OF THE RELATIONSHIP BETWEEN TRAFFIC CONTROL, EROSION CONTROL, ETC. ANY REVISION TO THE DETAILS OR SEQUENCE SHOWN ON THE CONSTRUCTION PLANS SHALL BE PREPARED BY THE CONTRACTOR ON STANDARD DNREC PLAN SHEETS AND SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER. THE PLANS SHALL BE PREPARED IN ACCORDANCE WITH CURRENT STANDARDS FOR TRAFFIC CONTROL, EROSION AND SEDIMENT CONTROL (PREPARED BY A CERTIFIED CONSTRUCTION REVIEWER), STORM WATER MANAGEMENT, ETC. AND SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF DELAWARE. ALL REQUIRED CALCULATIONS, REPORTS, ETC. SHALL ALSO ACCOMPANY THE SUBMISSION. THE NUMBER OF COPIES REQUIRED TO BE SUBMITTED FOR REVIEW SHALL BE DETERMINED BY DNREC, DEPENDING ON THE NATURE OF THE PROPOSED REVISION. THE CONTRACTOR SHALL NOTE THAT THE REVISIONS TO THE CONSTRUCTION PLANS, AS WELL AS REVIEW TIME BY DNREC, WILL NOT JUSTIFY A DELAY IN THE CONSTRUCTION SCHEDULE. REVISIONS INVOLVING UTILITIES WILL REQUIRE THE COMPLETION OF A UTILITY STATEMENT APPROVED BY THE RESPECTIVE UTILITIES AS PART OF THE PLAN DOCUMENTS. ALL COSTS INVOLVED IN PREPARING THE PLAN REVISIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 17. THE CONTRACTOR SHALL MAINTAIN A CLEAN SET OF AS-BUILT PLANS THAT SHALL ACCURATELY ILLUSTRATE ALL FIELD CHANGES NEATLY DRAWN AND LABELED IN RED INK. FINAL AS-BUILT PLANS SHALL BE DATED AND SIGNED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER AT THE END OF THE PROJECT FOR RECORDATION. 18. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE IN ADVANCE FOR ANY UTILITY DISRUPTION FOR APPROVAL BY THE ENGINEER. 19. THE CONTRACTOR SHALL CONTACT MISS UTILITY TWO (2) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, OR AS REQUIRED BY LAW, AT 1-800-282-8555.
MATERIALS	
THE CONTRACTOR SHALL OBTAIN A COPY OF THE DELDOT STANDARD SPECIFICATIONS, EITHER ON LINE OR HARD COPY, FOR REFERENCE TO ITEM NUMBERS NOTED IN THESE PLANS. MATERIALS SHALL CONFORM TO THE DELDOT SPECIFICATIONS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL OBTAIN A COPY OF THE DNREC DELAWARE EROSION & SEDIMENT CONTROL HANDBOOK FOR REFERENCE TO STANDARD DETAILS AND METHODS FOR STABILIZATION AND POLLUTION CONTROL.	
HIERARCHY OF CONTRACT DOCUMENTS	
ELEMENTS UNDER THIS CONTRACT SHALL BE CONSTRUCTED UTILIZING THE FOLLOWING INFORMATION IN THE HIERARCHY LISTED BELOW:	
1. CONTRACT AGREEMENT BETWEEN OWNER AND CONTRACTOR. 2. APPROVED PLANS. 3. PROJECT MANUAL AND ENCLOSED TECHNICAL SPECIFICATIONS. 4. STATE OF DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL EROSION AND SEDIMENT CONTROL HANDBOOK, APRIL 2014 OR MOST CURRENT AT DATE OF ADVERTISEMENT. 5. DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS, 2020, OR MOST CURRENT AT ADVERTISEMENT. 6. DELAWARE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION, 2021, OR MOST CURRENT AT DATE OF ADVERTISEMENT.	
DESIGN REFERENCE	
1. DELDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION – CURRENT EDITION	
GENERAL DEMOLITION NOTES	
1. THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING A PROPOSAL TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AND SCOPE OF WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION OF WORK SHALL NOT JUSTIFY AN ADDITIONAL COST. 2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SAFEGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST ANY INTERRUPTIONS TO SERVICE. 4. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS. ALL ITEMS DEEMED AS UNSALVAGEABLE AND NOTED FOR REMOVAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. 5. WHILE AN ATTEMPT HAS BEEN MADE TO SHOW THE ITEMS TO BE REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT AN ON-SITE EXAMINATION AND FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS. ADDITIONAL ITEMS, NOT SHOWN TO BE REMOVED, NOTED BY OWNER, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO THE OWNER. 6. DURING DEMOLITION AND CONSTRUCTION OPERATIONS, CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AND SAFE PASSAGE FOR THE PUBLIC, SUCH AS BUT NOT LIMITED TO: BARRICADES, TEMPORARY PARTITIONS, DUST BARRIERS, SIGNS, ETC. ERECT AND MAINTAIN THESE BARRIERS TO THE SATISFACTION OF THE OWNER, ARCHITECT, AND ENGINEER AND ALL APPLICABLE LAWS AND REGULATIONS. 7. CONTRACTOR SHALL TAKE PRECAUTIONS AS TO MINIMIZE DAMAGE ITEMS TO REMAIN, INCLUDING ALL UTILITIES. DURING DEMOLITION AND CONSTRUCTION OPERATIONS, ITEMS NOT SPECIFICALLY NOTED FOR REMOVAL THAT ARE DAMAGED, SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. 8. CONTRACTOR SHALL COORDINATE MOVEMENT OF CONSTRUCTION MATERIALS AND STORAGE OF REFUSE CONTAINERS WITH THE OWNER. 9. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.	
PAVING NOTES	
1. CONTRACTOR SHALL PROVIDE OWNER AND ENGINEER A MINIMUM OF 48 HOURS NOTICE PRIOR TO EVERY PAVING DAY. IF THE CONTRACTOR DOES NOT PROVIDE ACCEPTABLE NOTICE, THE OWNER MAY REJECT ANY PAVING PERFORMED WITHOUT ACCEPTABLE NOTIFICATION. 2. MIX SHALL BE A DELDOT APPROVED MIX AS NOTED ON THE PLAN. CONTRACTOR SHALL PROVIDE ENGINEER WITH COPIES OF DELIVERY TICKETS BEARING THE DELDOT MIX DESIGNATION. 3. CONTRACTOR SHALL PROVIDE ENGINEER A PAVING PLAN FOR REVIEW AND APPROVAL. THE PAVING PLAN SHALL SHOW THE DIRECTION, WIDTH, AND LENGTH OF ALL PASSES, THE LOCATION OF ANY COLD JOINTS, AND THE LOCATION OF ANY HAND WORK. 4. PAVING OF THE FINAL ASPHALT LIFT SHALL BE PERFORMED IN A CONTINUOUS OPERATION UNLESS OTHERWISE APPROVED BY THE ENGINEER. 5. ALL HOT JOINTS SHALL BE TIGHT WITH NO VISIBLE SEAMS. COLD JOINTS SHALL ONLY BE PLACED AT LOCATIONS APPROVED BY THE ENGINEER AND SHALL BE SEALED FOLLOWING PAVING. 6. THE OWNER SHALL HAVE THE OPTION TO REQUEST PAVEMENT CORES AND CORE HOLE PATCHING IN ANY LIFT, AT THE EXPENSE OF THE CONTRACTOR. PAVEMENT CORES AT THE CONTRACTOR'S EXPENSE WILL BE LIMITED TO A MAXIMUM OF 1 CORE PER 2,500 SF. IF PAVEMENT CORES INDICATE THAT THE PAVEMENT IS NOT IN COMPLIANCE WITH THE PLAN REQUIRED THICKNESS, THE CONTRACTOR SHALL REPLACE THE NON-COMPLIANT PAVEMENT AT NO COST TO THE OWNER. 7. THE OWNER SHALL HAVE THE OPTION TO PERFORM DENSITY TESTING DURING PAVING OPERATIONS. IF DENSITY TESTING INDICATES THAT THE PAVEMENT IS NOT MEETING DENSITY SPECIFICATION, THE CONTRACTOR SHALL RECOMPACT THE PAVEMENT TO MEET DENSITY SPECIFICATION. IF THE CONTRACTOR CANNOT MEET DENSITY SPECIFICATIONS WITHIN THE PAVEMENT WORKING WINDOW, THE CONTRACTOR SHALL REPLACE THE NON-COMPLIANT PAVEMENT AT NO COST TO THE OWNER. 8. ADDITIONAL REQUIREMENTS FOR PLACEMENT AND MIX SPECIFICATIONS ARE INCLUDED IN THE DELDOT STANDARD SPECIFICATIONS, INCORPORATED HEREIN BY REFERENCE.	

SEAL

DELAWARE STATE UNIVERSITY
FOOTBALL STADIUM PLAZA
FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

PROJECT NOTES

AGENCY
SUBMISSION
APRIL 30, 2026

DRAWN CHK'D/DESIGNER

DLD
SCALE

AES/DLD
SHEET NO.

N.T.S.
PROJECT NO.

C301

226024.0001

\\P001\226024.0001\Subarea_Legend...\\wpd\p001...\\Shared\Construction\12-01.dwg, 4/20/2026

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MANMADE ROADSIDE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
ASPHALT			
BOLLARD - CONCRETE			
BOLLARD - STEEL POLE			
BOLLARD - WOOD POST			
CURB	TYPE 1-8		
	TYPE 1-6		
	TYPE 1-4		
	TYPE 1-2		
CURB & GUTTER	TYPE 2		
	TYPE 1-8		
	TYPE 1-6		
	TYPE 1-4		
	TYPE 1-2		
	TYPE 3-8		
	TYPE 3-6		
FENCE - CHAINLINK	TYPE 3-4		
	TYPE 3-2		
FENCE - STOCKADE OR SPLIT RAIL			
FLAG POLE			
GUARDRAIL			
LAMP/LIGHT AND POST			
MAILBOX			
PILLAR OR MISCELLANEOUS POST			
SIGN AND POST			

DRAINAGE FEATURES			
FEATURE DESCRIPTION	EXISTING	PROPOSED	ID
DITCH OR STREAM CENTERLINE			
DIRECTIONAL STREAM FLOW ARROW			
DRAINAGE INLET			
DRAINAGE JUNCTION BOX			
DRAINAGE MANHOLE			
DRAINAGE PIPE AND FLOW ARROW			
FLARED END SECTION			
RIPRAP			
SAFETY END SECTION			
UNDERDRAIN			
UNDERDRAIN OUTLET			

GRADING		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CONTOUR		
SPOT ELEVATIONS		

UTILITY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
CABLE TV DISTRIBUTION BOX		
COMMUNICATIONS - UNDERGROUND		
ELECTRIC - UNDERGROUND		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELECTRIC TRANSFORMER		
GAS - UNDERGROUND		
GAS MANHOLE		
GAS METER		
GAS VALVE		
GAS PUMP - SERVICE STATION		
IRRIGATION - UNDERGROUND		
ITMS - UNDERGROUND		
KNOX BOX		
LIGHTING - UNDERGROUND		
LUMINAIRE - POLE MOUNTED		
MANHOLE - UNDETERMINED OWNER		
RAILROAD TRACKS		
SANITARY - UNDERGROUND (SEE GENERAL NOTE 2)		
SANITARY SEWER MANHOLE		
SANITARY SEWER VALVE		
SANITARY SEWER CLEANOUT OR VENT		
SEPTIC DRAIN FIELD		
SIGNALIZATION - UNDERGROUND		
SOIL BORING LOCATION		
TELEPHONE BOOTH		
TELEPHONE MANHOLE		
TELEPHONE TEST POINT		
TRAFFIC - CONDUIT JUNCTION WELL		
TRAFFIC - LIGHT POLE AND BASE		
TRAFFIC - PEDESTRIAN POLE & BASE		
TRAFFIC - SIGNAL CABINET & BASE		
TRAFFIC - SIGNAL POLE AND BASE		
UNKNOWN UTILITY - UNDERGROUND		
UTILITY BOX		
UTILITY POLE GUY WIRE ANCHOR		
UTILITY POLE		
UTILITY TEST HOLE LOCATION		
WALL PACK - LIGHTING		
WATER - UNDERGROUND (SEE GENERAL NOTE 2)		
WATER - FIRE HYDRANT		
WATER METER		
WATER VALVE		
WATER - FIRE DEPARTMENT CONNECTION		
WELL HEAD		

PAVEMENT SECTION(S)	
MILL AND OVERLAY - SEE TYPICAL SECTIONS FOR MATERIAL AND DEPTHS	
FULL DEPTH PAVEMENT	
SHARED USE PATH	
GRAVEL	
CONCRETE	

NATURAL ROADSIDE FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
HEDGEROW OR THICKET		
MARSH BOUNDARY LINE		
TREE - CONIFEROUS		
TREE - DECIDUOUS		
TREE STUMP		
SHRUBBERY		
WETLAND BOUNDARY - DELINEATED		
WOODS LINE BOUNDARY		
FLOODPLAIN (SEE GENERAL NOTE 2)		

RIGHT-OF-WAY FEATURES		
FEATURE DESCRIPTION	EXISTING	PROPOSED
DENIAL OF ACCESS		
EASEMENT - OTHERS		
PERMANENT EASEMENT		
PROPERTY LINE		
PROPERTY MARKER - CONCRETE		
PROPERTY MARKER - IRON PIPE		
RIGHT-OF-WAY BASELINE		
RIGHT-OF-WAY LINE		
RIGHT-OF-WAY & DENIAL OF ACCESS		
RIGHT-TO-ENTER		
TEMPORARY CONSTRUCTION EASEMENT		
CLEAR ZONE		
HORIZONTAL CLEARANCE		

SURVEY CONTROL & MONUMENTATION	
FEATURE DESCRIPTION	EXISTING
SURVEY BENCHMARK LOCATION	
SURVEY TIE POINT LOCATION	
SURVEY TRAVERSE POINT	

MISCELLANEOUS FEATURES	
FEATURE DESCRIPTION	PROPOSED
BUTT JOINT	
CLEAR ZONE	
CONSTRUCTION BASELINE	
LIMIT OF CONSTRUCTION	
DEMOLITION	
P.C.C. SIDEWALK	
6" P.C.C. SIDEWALK	
PAVEMENT PATCH	
ACCESSIBLE RAMP	
SAW CUT	

EROSION & SEDIMENT CONTROL FEATURES	
FEATURE DESCRIPTION	PROPOSED
LIMIT OF DISTURBANCE	
PORTABLE SEDIMENT TANK	
PUMPING PIT	
SILT FENCE	
COMPOST FILTER LOG	
SENSITIVE AREA PROTECTION	

IDENTIFIERS	
FEATURE DESCRIPTION	ID
ABANDON BY CONTRACTOR	
ABANDON BY OTHERS	
ADJUST BY CONTRACTOR	
ADJUST BY OTHERS	
BEST MANAGEMENT PRACTICE	
BUS STOP PAD / TYPE	
BUS STOP WITH SHELTER PAD / TYPE	
CONCRETE SAFETY BARRIER	
CONVERT TO JUNCTION BOX	
CONVERT TO DRAINAGE MANHOLE	
DO NOT DISTURB	
ENERGY DISSIPATOR	
FILL WITH FLOWABLE FILL	
LANDSCAPE PLANTINGS	
PEDESTRIAN CONNECTION / TYPE	
RELOCATE BY CONTRACTOR	
RELOCATE BY OTHERS	
RELOCATE BY PROPERTY OWNER	
REMOVE BY CONTRACTOR	
REMOVE BY OTHERS	
REMOVE BY TRAFFIC CONTRACTOR	
RIGHT-OF-WAY MONUMENT	

ABBREVIATION SCHEDULE	
ABBREVIATION	DEFINITION
ADA	AMERICANS WITH DISABILITIES ACT
ALLOW.	ALLOWABLE
ASD	ALLOWABLE STRESS DESIGN
ALUM	ALUMINUM
BL	BASE LINE
BOTT	BOTTOM
BRG	BEARING
CAP	CAPACITY
CJ	CONTROL JOINT
CL	CENTER LINE
CLR	CLEAR
CONC	CONCRETE
CONN	CONNECTION
CORR	CORRUGATED
CSJ	CONSTRUCTION JOINT
DFM	DIVISION OF FACILITIES MANAGEMENT
DIAG	DIAGONAL
DL	DEAD LOAD
DAREC	DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL
DOL	DEPARTMENT OF LABOR
DOT	DEPARTMENT OF TRANSPORTATION
E.F.	EACH FACE
EL., ELEV	ELEVATION
EQU.	EQUAL
EX., EXIST.	EXISTING
F.F.	FAR FACE
F'C	COMPRESSIVE STRENGTH OF CONCRETE
FIN. FL.	FINISHED FLOOR
FIN. GR.	FINISHED GRADE
FND	FOUNDATION
FTG	FOOTING
Fy	YIELD STRENGTH OF STEEL
GABC	GRADED AGGREGATE BASE COURSE
GALV	GALVANIZED
HORIZ	HORIZONTAL
JT	JOINT
KSI	KIPS PER SQUARE INCH
LL	LIVE LOAD
LLV	LONG LEG VERTICAL
LLH	LONG LEG HORIZONTAL
LLBB	LONG LEG BACK TO BACK
LOC	LIMIT OF CONSTRUCTION
LOD	LIMIT OF DISTURBANCE
LRFD	LOAD RESISTANCE FACTORED DESIGN
MHW	MEAN HIGH WATER
MTL	METAL
NO	NUMBER
NOM	NOMINAL
N.F.	NEAR FACE
O.C.	ON CENTER
OHW	ORDINARY HIGH WATER
OPP	OPPOSITE
P.L.	PROPERTY LINE
PL	PLATE
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
REBAR	REINFORCING BAR
ROW, RW, R/W	RIGHT OF WAY
SF	SILT FENCE
SN	SIMILAR
SLBB	SHORT LEG BACK TO BACK
SS	STAINLESS STEEL
STA	STATION
STD	STANDARD
STL	STEEL
STR	STRAIGHT
T&B	TOP AND BOTTOM
TYP	TYPICAL
UHMW	ULTRA HIGH MOLECULAR WEIGHT
UNIF	UNIFORM
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WSE	WATER SURFACE ELEVATION
WWF	WELDED WIRE FABRIC
NOTE: NOT ALL ABBREVIATIONS INCLUDED IN THESE PLANS	

GENERAL NOTE:
1. ALL ITEMS SHOWN MAY NOT BE PRESENT ON ALL SHEETS, OR PART OF THIS PROJECT.
2. REFER TO PLAN SHEET FOR APPROPRIATE DESIGNATION.

WALLACE
MONTGOMERY

222 S. DUPONT HIGHWAY | SUITE 202 | DOVER, DE 19901 | 302-257-3100

REVISIONS/ADDENDUMS

SEAL

DELAWARE STATE UNIVERSITY
FOOTBALL STADIUM PLAZA

FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER

EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

LEGEND

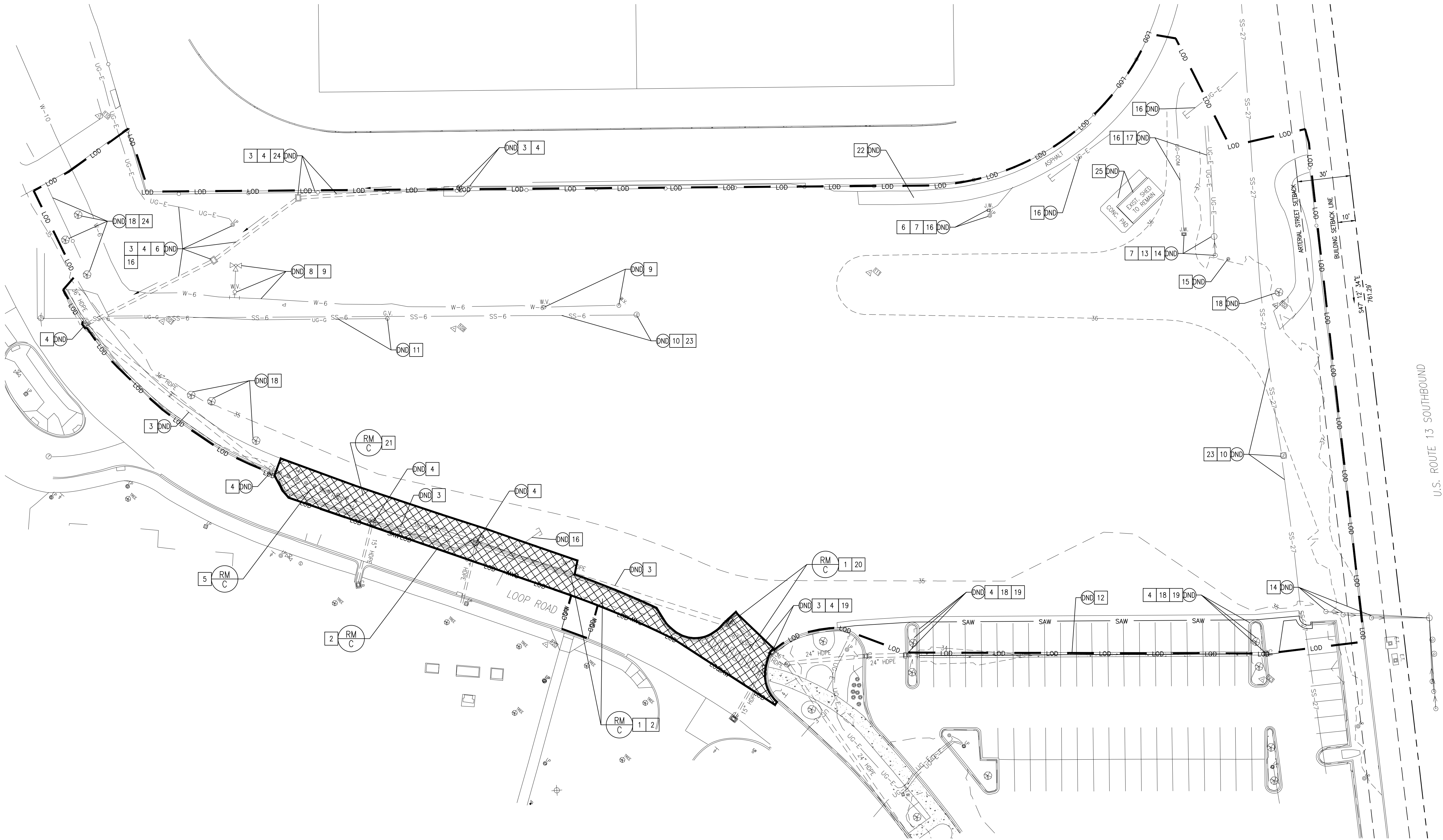
AGENCY
SUBMISSION
APRIL 30, 2026

DRAWN: DLD
SCALE: N.T.S.

CHK'D/DESIGNER: AES/DLD
SHEET NO. C302

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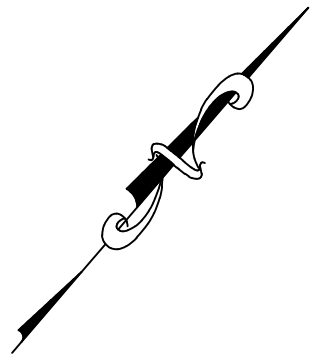
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DEMOLITION NOTES:

1. CONTRACTOR SHALL SAWCUT EXISTING ASPHALT, EXCAVATE TO BOTTOM OF PAVEMENT BOX, AND REMOVE ALL MATERIAL.
2. CONTRACTOR SHALL SAWCUT EXISTING CURB WITHIN PROJECT LIMITS TO ALLOW FOR NEW WORK. SAWCUTS SHALL OCCUR AT EXISTING CURB JOINTS.
3. CONTRACTOR SHALL NOT DISTURB EXISTING STORM DRAINAGE PIPE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
4. CONTRACTOR SHALL NOT DISTURB EXISTING DRAINAGE INLET. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
5. CONTRACTOR SHALL REMOVE EXISTING BOLLARDS AND FOUNDATIONS. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
6. CONTRACTOR SHALL NOT DISTURB EXISTING LIGHT POLE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
7. CONTRACTOR SHALL NOT DISTURB EXISTING JUNCTION WELL. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
8. CONTRACTOR SHALL NOT DISTURB EXISTING FIRE HYDRANT AND WATERLINE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
9. CONTRACTOR SHALL NOT DISTURB EXISTING WATER VALVES. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
10. CONTRACTOR SHALL NOT DISTURB EXISTING SANITARY SEWER MANHOLE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
11. CONTRACTOR SHALL NOT DISTURB EXISTING GAS LINE AND VALVE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
12. CONTRACTOR SHALL NOT DISTURB EXISTING CONCRETE TRENCH. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.

13. CONTRACTOR SHALL NOT DISTURB EXISTING UTILITY POLE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
14. CONTRACTOR SHALL NOT DISTURB GUY WIRE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
15. CONTRACTOR SHALL NOT DISTURB EXISTING POST. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
16. CONTRACTOR SHALL NOT DISTURB UNDERGROUND ELECTRIC. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
17. CONTRACTOR SHALL NOT DISTURB UNDERGROUND COMMUNICATION LINE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
18. CONTRACTOR SHALL NOT DISTURB TREES, INSTALL SENSITIVE AREA PROTECTION PER DNREC STANDARD DETAIL DE-ESC-3.7.2.
19. CONTRACTOR SHALL NOT DISTURB CURB. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
20. CONTRACTOR SHALL REMOVE CATCH BASIN, REPLACE AS SHOWN ON C303. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
21. CONTRACTOR SHALL REMOVE EXISTING CONCRETE, SAWCUT AT LIMITS MATCHING EXISTING OR REMOVE TO NEAREST JOINT, REMOVE ALL MATERIAL.
22. CONTRACTOR SHALL NOT DISTURB EXISTING ASPHALT. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
23. CONTRACTOR SHALL NOT DISTURB EXISTING SANITARY SEWER MAIN. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
24. CONTRACTOR SHALL NOT DISTURB EXISTING FENCE. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.
25. CONTRACTOR SHALL NOT DISTURB EXISTING BUILDING AND CONCRETE PAD. SHOULD DISTURBANCE OCCUR, CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS.



GENERAL UTILITY NOTE:
UNDERGROUND UTILITIES SHALL NOT BE
DISTURBED UNLESS OTHERWISE NOTED.

TRAVERSE POINT LAYOUT

POINT NO.	DESCRIPTION	NORTHING	EASTING	ELEVATION
101	CAPPED IRON PIN	432838.9563	620234.2554	35.66
102	CAPPED IRON PIN	433256.6419	620708.5323	36.91
109	PK NAIL	432943.4700	620362.7011	35.84
110	CAPPED IRON PIN	432904.0694	620130.9490	35.60
111	CAPPED IRON PIN	433120.7186	620521.1993	36.73
123	CAPPED IRON PIN	433090.3303	620840.5823	35.43

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FOOTBALL STADIUM PLAZA
FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT
SHEET TITLE
EXISTING CONDITIONS
AND DEMOLITION PLAN

AGENCY
SUBMISSION
APRIL 30, 2026
DRAWN
DLD
SCALE
1" = 30'
PROJECT NO.
226024.0001
CHK'D/DISIGNER
AES/DLD
SHEET NO.
C303



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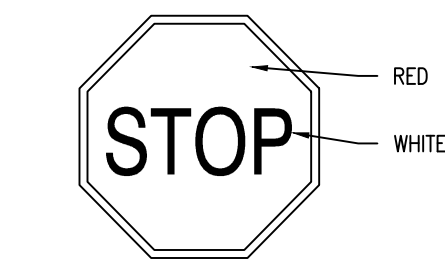
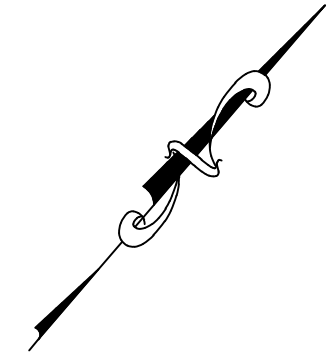
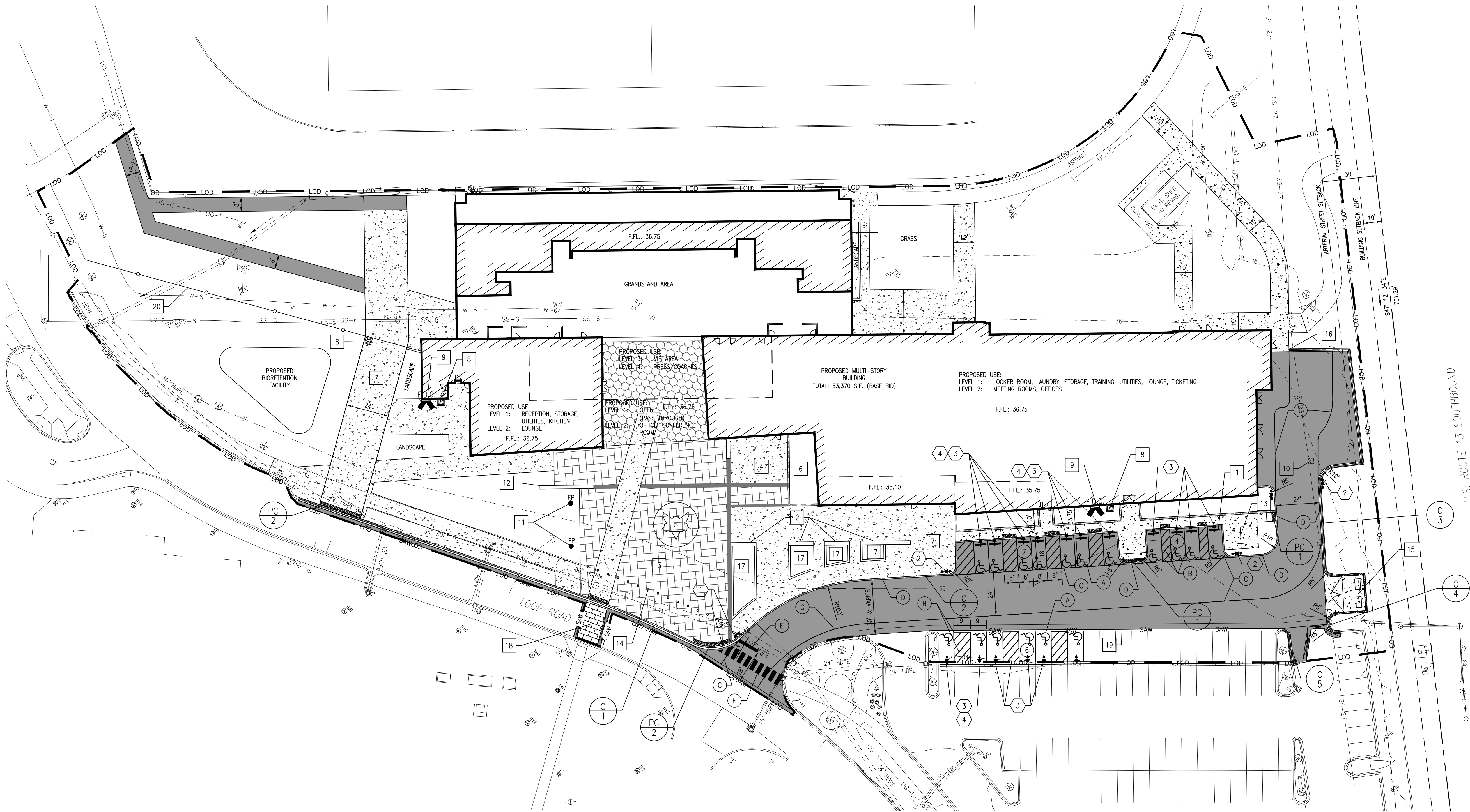
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REVISIONS/ADDENDUMS

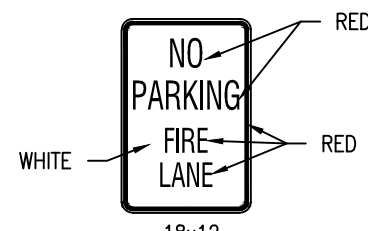
SEAL

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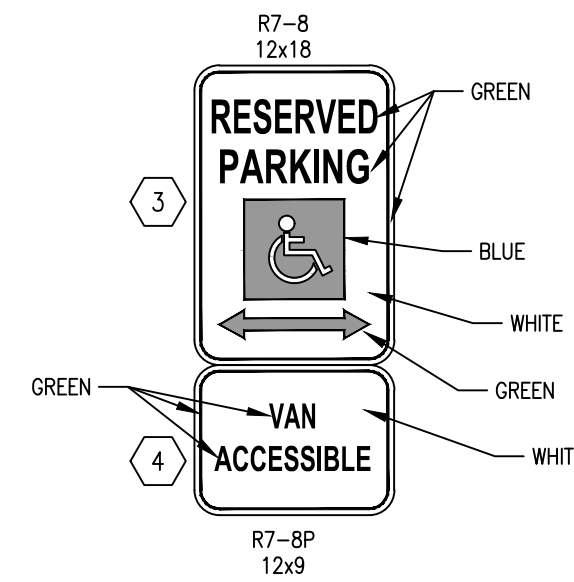
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1 STOP SIGN DETAIL
SCALE: N.T.S.



2 FIRE LANE SIGN DETAIL
SCALE: N.T.S.



3 4 ACCESSIBLE PARKING SIGN DETAIL
SCALE: N.T.S.

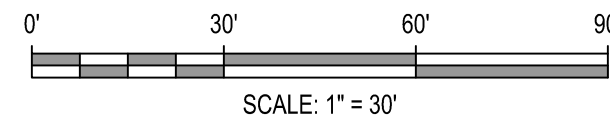
NOTE:
1. PLACE ON "VAN ACCESSIBLE" SIGN ON VAN ACCESSIBLE SPOTS ONLY (13).

PAVEMENT MARKING LEGEND	
SYMBOL	ITEM
(A)	PERMANENT PAVEMENT STRIPING, PREFORMED THERMOPLASTIC, BLUE SYMBOL (ITEM NO. 863001)
(B)	PERMANENT PAVEMENT STRIPING, EPOXY RESIN PAINT, WHITE 4" SOLID (FOLLOW ITEM NO. 861001)
(C)	PERMANENT PAVEMENT STRIPING, EPOXY RESIN PAINT, YELLOW 4" SOLID (FOLLOW ITEM NO. 861001)
(D)	PAINTED CURB, YELLOW (ITEM NO. 817565)
(E)	PERMANENT PAVEMENT STRIPING, 16" WHITE ALKYD-THERMOPLASTIC (ITEM NO. 862006)
(F)	PERMANENT PAVEMENT STRIPING, ALKYD-THERMOPLASTIC, WHITE 24" SOLID, (ITEM NO. 862006)

CURB SCHEDULE		
CURB NO.	ITEM DESCRIPTION/TYPE	LENGTH
1	P.C.C. CURB & GUTTER TYPE 3-8	288'
2	P.C.C. CURB TYPE 1-6	413'
3	P.C.C. CURB & GUTTER TYPE 3-8	144'
4	P.C.C. CURB & GUTTER TYPE 3-8	19'
5	P.C.C. CURB & GUTTER TYPE 3-8	38'

GENERAL CONSTRUCTION NOTES:

- PROPOSED PARKING BUMPER, SEE DETAIL 4/C305.
- PROPOSED CONCRETE SEAT WALL, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED PLAZA, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED SPECIALTY PAVERS, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED WOOD SEAT PLATFORM, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED SPECIALTY PAVEMENT/DROP OFF AREA, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED KNOX BOX, CONTACT CITY OF DOVER OFFICE OF THE FIRE MARSHAL FOR ORDERING INFORMATION AND TO CONFIRM LOCATION OF BOX.
- PROPOSED FIRE DEPARTMENT CONNECTION.
- ADJUST MANHOLE TO FINAL GRADE.
- PROPOSED FLAG POLE, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED KNEE WALL, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED BICYCLE PARKING (11 SPACES), SEE DETAIL 5/C305.
- PROPOSED BOLLARDS, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED DUMPSTER PAD, SEE DETAIL 1/C306.
- TAPER CURB HEIGHT AT A RATIO OF 12:1.
- PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR SPECIFICATIONS.
- PROPOSED PAVEMENT CROSSING, SEE LANDSCAPE PLANS FOR SPECIFICATION.
- SEE SAWCUT DETAIL 3/C305.
- SEE LANDSCAPE PLANS FOR FENCE DETAILS AND SPECIFICATIONS.



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FOR
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MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT
SHEET TITLE

CONSTRUCTION PLAN

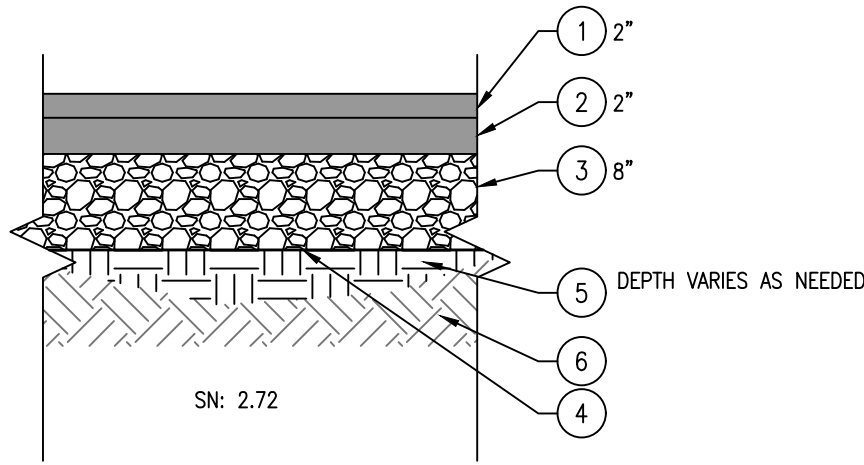
AGENCY
SUBMISSION
APRIL 30, 2026
DRAWN
SCALE
DLD
1" = 30'
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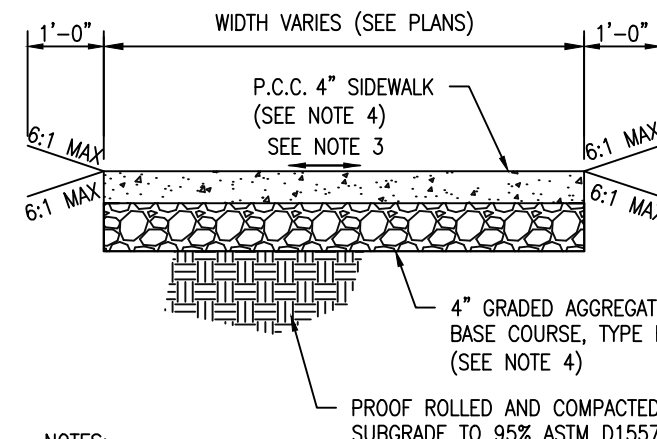
SEAL



TYPICAL SECTION LEGEND

- 1 SUPERPAVE TYPE C, PG 64-22 (ITEM NO. 401005)
- 2 SUPERPAVE TYPE B, PG 64-22 (ITEM NO. 401014)
- 3 GRADED AGGREGATE BASE COURSE, TYPE B (ITEM NO. 301001). CONTRACTOR MAY UTILIZE MILLINGS IN PLACE OF GABC WITH APPROVAL OF THE ENGINEER.
- 4 SEPARATION GEOTEXTILE (ITEM NO. 708002)
- 5 BORROW, TYPE A, MAXIMUM 8" LIFTS, COMPACTION: 95% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST (ITEM NO. 209001).
- 6 NATIVE SAND/SOIL, PROOF ROLL BEFORE PLACEMENT OF BORROW.

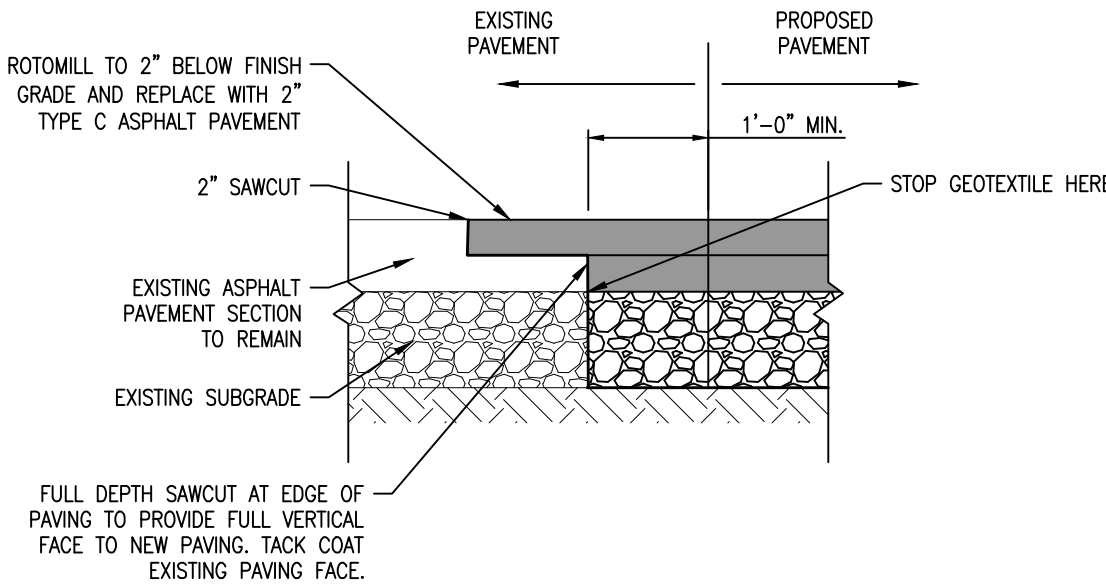
1 FULL DEPTH & PATCH PAVEMENT SECTION
C305 SCALE: N.T.S.



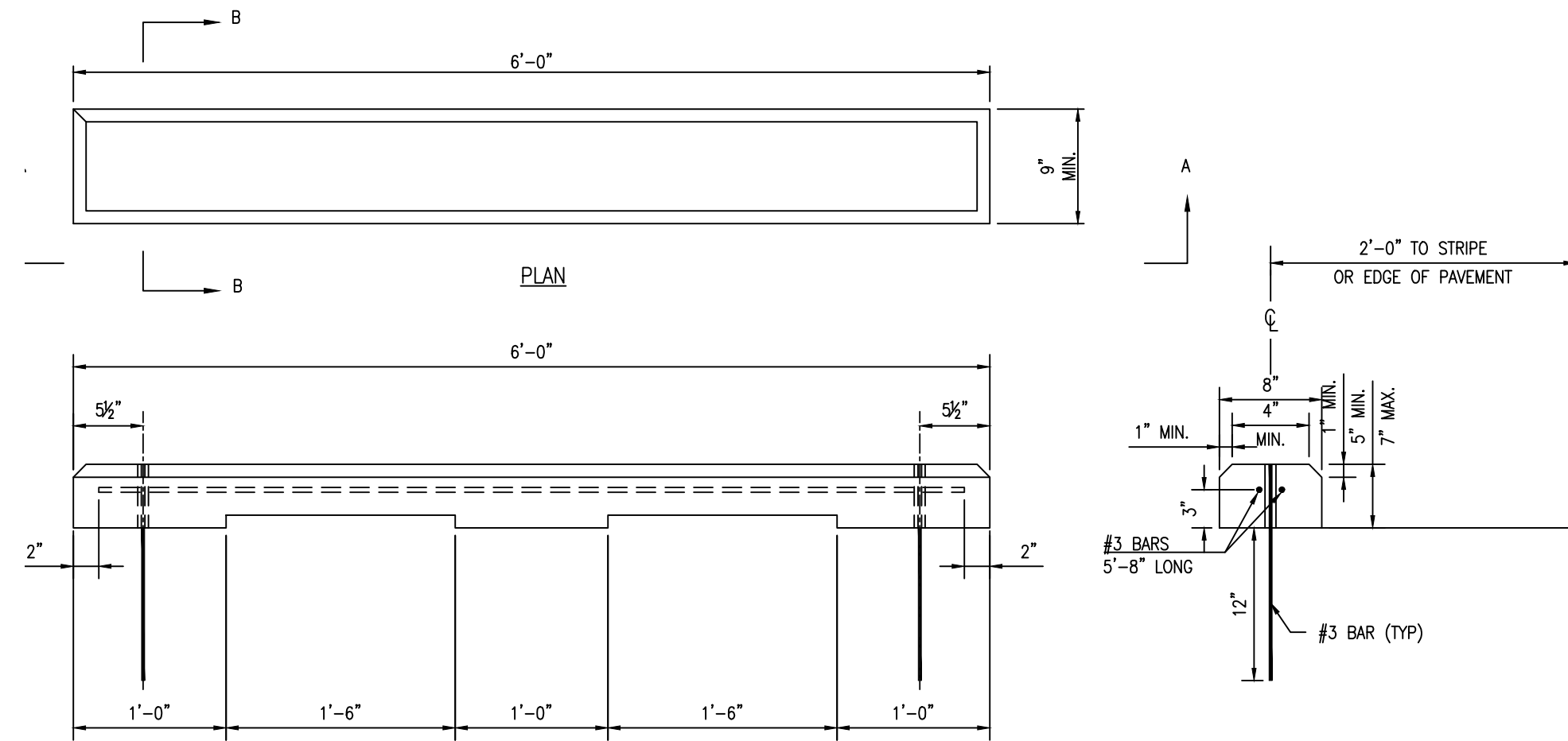
NOTES:

1. SIDEWALKS 10 FEET IN WIDTH OR LESS MARK IN 5' SQUARES, USE CORK EXPANSION JOINTS AT INTERVALS NOT GREATER THAN 15'.
2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.
3. CROSS SLOPE OF SIDEWALK SHALL BE 1% MIN., 2% MAX. LONGITUDINAL SLOPE AS SHOWN ON PLANS.
4. 6" CONCRETE OVER 6" GABC SHALL BE USED IN DRIVEWAYS AND TRANSITIONAL AREAS.

2 SIDEWALK SECTION
C305 SCALE: N.T.S.



3 SAWCUT/PAVEMENT TIE-IN DETAIL
C305 SCALE: N.T.S.

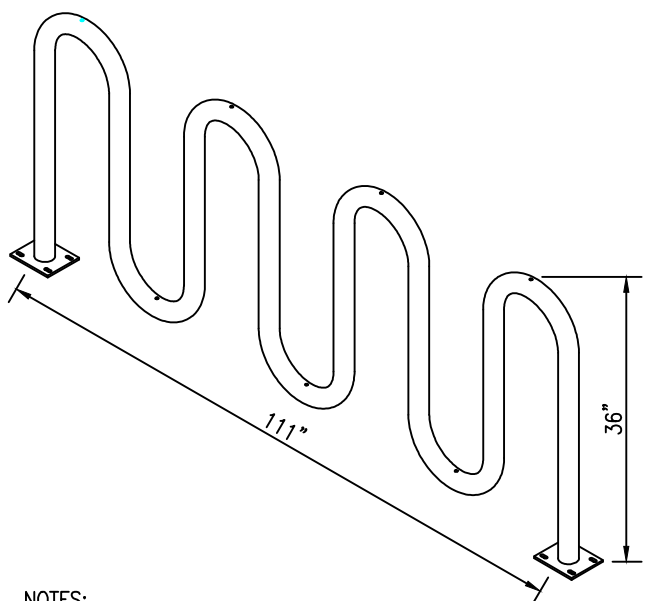


NOTES

1. REFER TO SECTION 701505 - P.C.C. PARKING BUMPER FOR ADDITIONAL INFORMATION.
2. ALL VERTICAL SURFACES HAVE DRAFT.
3. FLOW CHANNELS SHALL BE PROVIDED AS SHOWN.
4. ATTACH BUMPER TO PAVEMENT WITH (2) #3 X 18" LONG REBAR (TYP.).

SECTION A-A

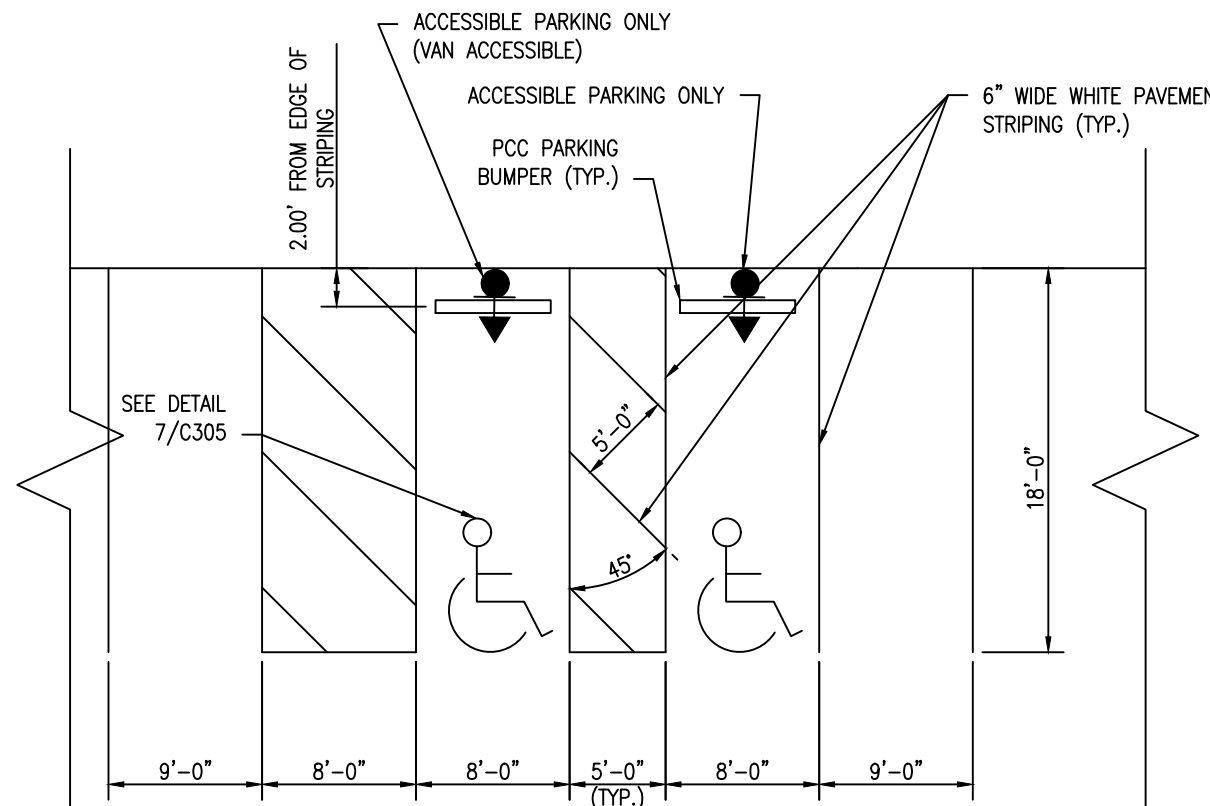
4 P.C.C. PARKING BUMPER DETAIL
C305 SCALE: N.T.S.



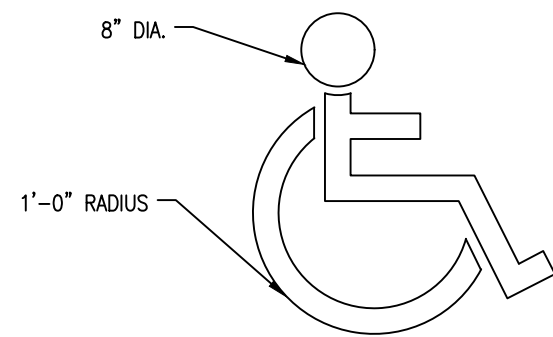
NOTES:

1. FINISH SHALL BE BLACK AND SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
2. PROVIDE RACKS TO ACCOMMODATE PARKING FOR 11 BIKES.
3. INSTALL USING SURFACE MOUNT OPTION.

5 BIKE RACK: DERO ROLLING RACK (RR5H-111") - 11 BIKES
C305 SCALE: N.T.S.



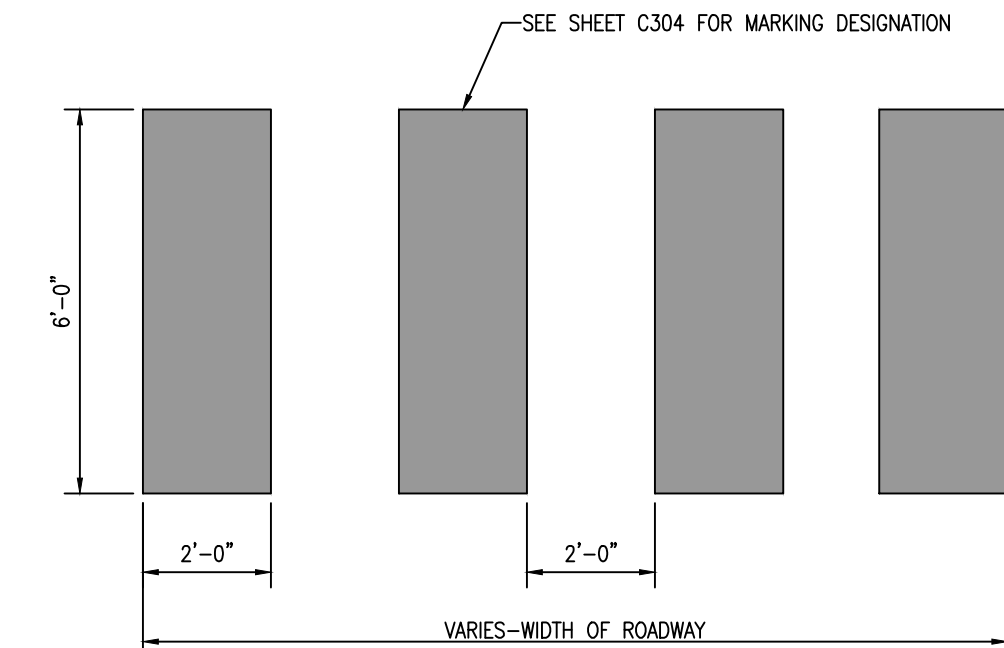
6 TYPICAL ACCESSIBLE PARKING SPACE DETAIL
C305 SCALE: N.T.S.



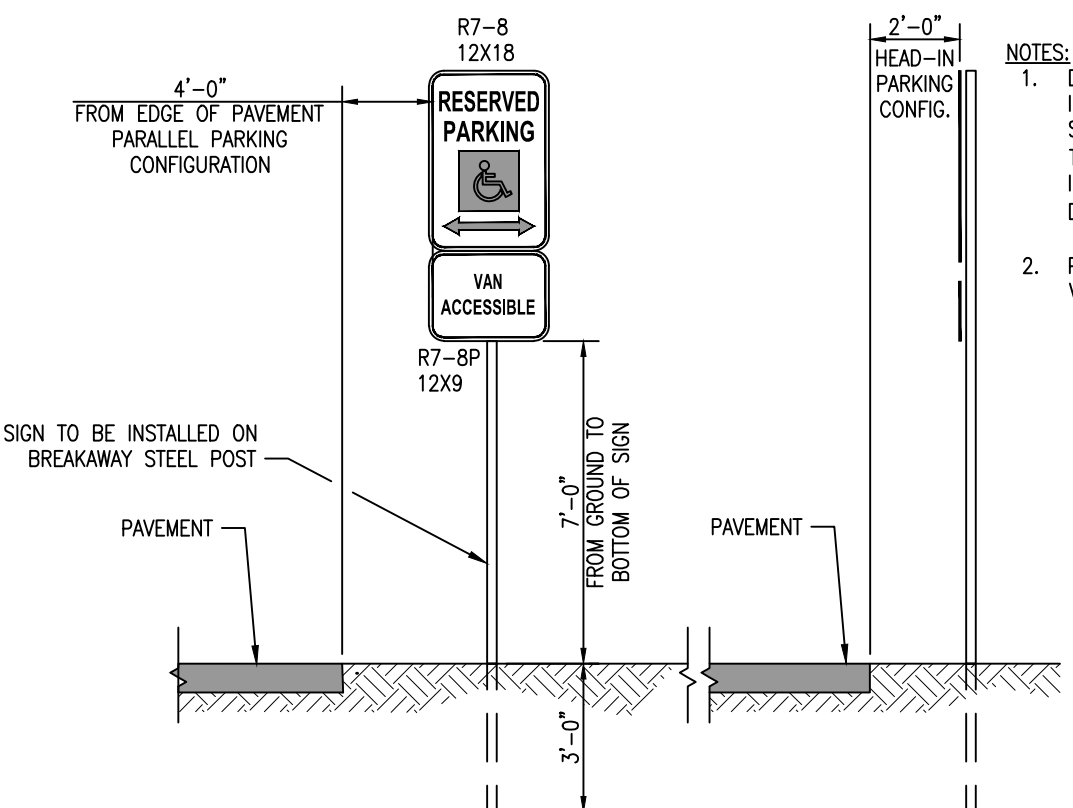
NOTES

1. SYMBOL STRIPING SHALL BE 3" WIDE (MIN.) THERMOPLASTIC ON EACH ACCESSIBLE SPACE.
2. ACCESSIBLE SPACES SHALL BE 8'-0" WIDE AT MINIMUM.
3. PAVEMENT MARKING TO BE BLUE PREFORMED THERMOPLASTIC, CONFORMING TO DELDOT: ITEM 863001 FOR HOTMIX ITEM 864010 FOR CONCRETE -PREFORMED TAPE

7 ACCESSIBLE SYMBOL PAVEMENT DETAIL
C305 SCALE: N.T.S.



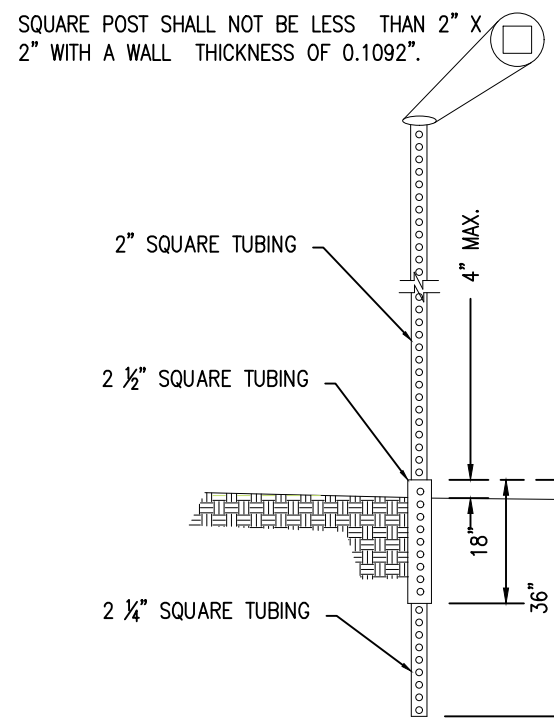
8 CROSSWALK - 6' WIDE
C305 SCALE: N.T.S.



9 TYPICAL ACCESSIBLE PARKING SPACE SIGN INSTALLATION DETAIL
C305 SCALE: N.T.S.

NOTES:

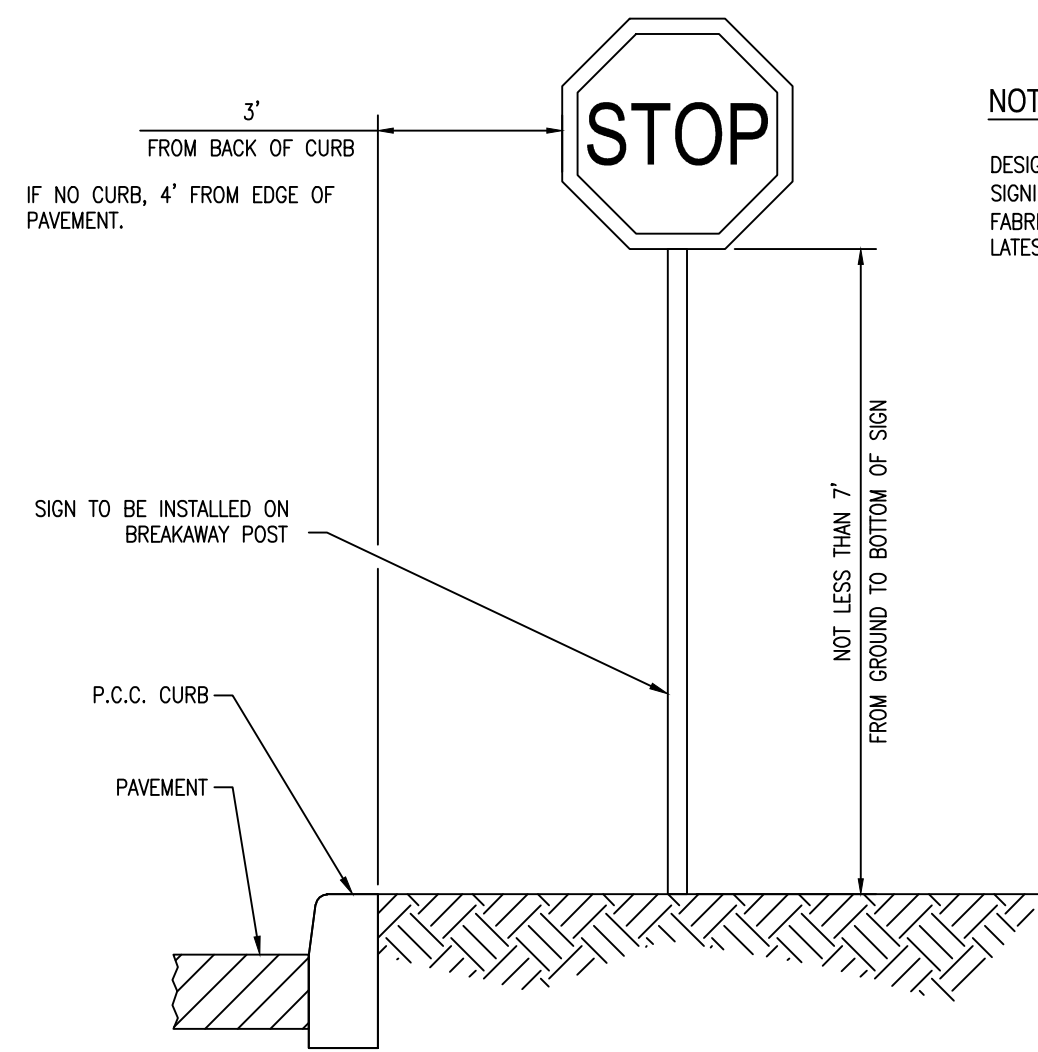
1. DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 'GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL DEVICES' LATEST EDITION.
2. PLACE "VAN ACCESSIBLE" SIGN ON VAN ACCESSIBLE SPOTS ONLY.



NOTES:

1. SQUARE TUBES ARE TO BE FORMED FROM GALVANIZED SHEET STRUCTURAL (PHYSICAL) QUALITY, ASTM A 446, GRADE A, COATING DESIGNATION G 90, REGULAR SPANGLE, OR HOT ROLLED CARBON SHEET STEEL STRUCTURAL (PHYSICAL) QUALITY, ASTM A 570, GRADE 33.
 - A. NOMINAL OUTSIDE DIMENSION, (INCHES):
 - 2 X 2
 - 2 1/4 X 2 1/4
 - 2 1/2 X 2 1/2
 - B. ALL FOUR SIDES ARE TO HAVE EVENLY SPACED 7/16" DIAMETER HOLES ON 1" CENTERS THE ENTIRE LENGTH OF THE TUBE.
 - C. TOLERANCE ON HOLE SIZE IS $\pm 1/64$ ". TOLERANCE ON HOLE SPACING IS $\pm 1/8$ " IN 20 FEET.
 - D. STANDARD CORNER RADIUS SHALL BE $5/32" \pm 1/64"$.
 - E. THE FASTENERS TO BE SUPPLIED UNDER THIS SPECIFICATION SHALL BE 5/16" GRADE 5 UNC CORNER BOLTS WITH CADMIUM OR ZINC PLATING, INSTALLATION OF SIGNS SHALL BE WITH 3/8" X 2-1/2" BOLT WITH LOCKNUT AND WASHER.
2. REGULATORY SIGNS WIDER THAN 30" SHALL BE MOUNTED ON TWO POSTS. WHEN MORE THAN ONE REGULATORY SIGN IS TO BE INSTALLED ON THE SAME POST ASSEMBLY, THE MOUNTING HOLES SHALL BE DRILLED IN THE FIELD AS THE ASSEMBLY IS BEING CONSTRUCTED.
3. DEVELOPMENT SIGNS THAT ARE GREATER THAN 36" WIDE SHALL BE DISPLAYED ON TWO POSTS.
 - A. DEVELOPMENT SIGN FACE BACKGROUNDS SHALL BE GREEN; LEGENDS SHALL BE SILVER (WHITE).
 - B. LEGEND SHALL BE 5" SERIES "C" LETTERS.
 - C. NO BORDER ON DEVELOPMENT SIGN PANELS.
 - D. MAXIMUM DEVELOPMENT SIGN WIDTH OF 36" FOR SINGLE LINE SIGNS, 54" FOR TWO OR MORE LINES.
 - E. DEVELOPMENT SIGNS SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY OF THE HIGHWAY ON WHICH THE ENTRANCE(S) IS (ARE) LOCATED. THE SIGNS SHALL BE PLACED WITHIN 750 FEET OF THE CENTERLINE OF THE ENTRANCE(S).

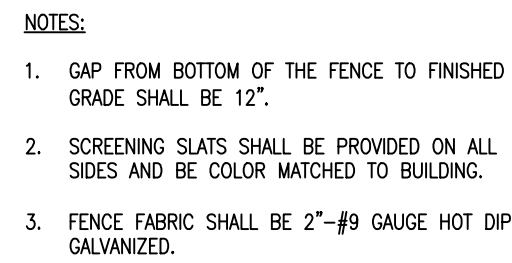
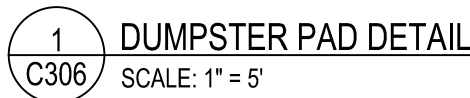
10 TELESOPING STEEL SIGN/BREAKAWAY ASSEMBLY
C305 SCALE: N.T.S.



NOTE:

DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE 'GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL DEVICES' LATEST EDITION.

11 TYPICAL STOP SIGN INSTALLATION DETAIL
C305 SCALE: N.T.S.

REVISIONS/ADDENDUMS

SEAL

DELAWARE STATE UNIVERSITY
FOOTBALL STADIUM PLAZA
FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

ECT

SHEET TITLE

CONSTRUCTION DETAILS

AGENCY
SUBMISSION
APRIL 30, 2026

DRAWN	CHK'D/DESIGNER
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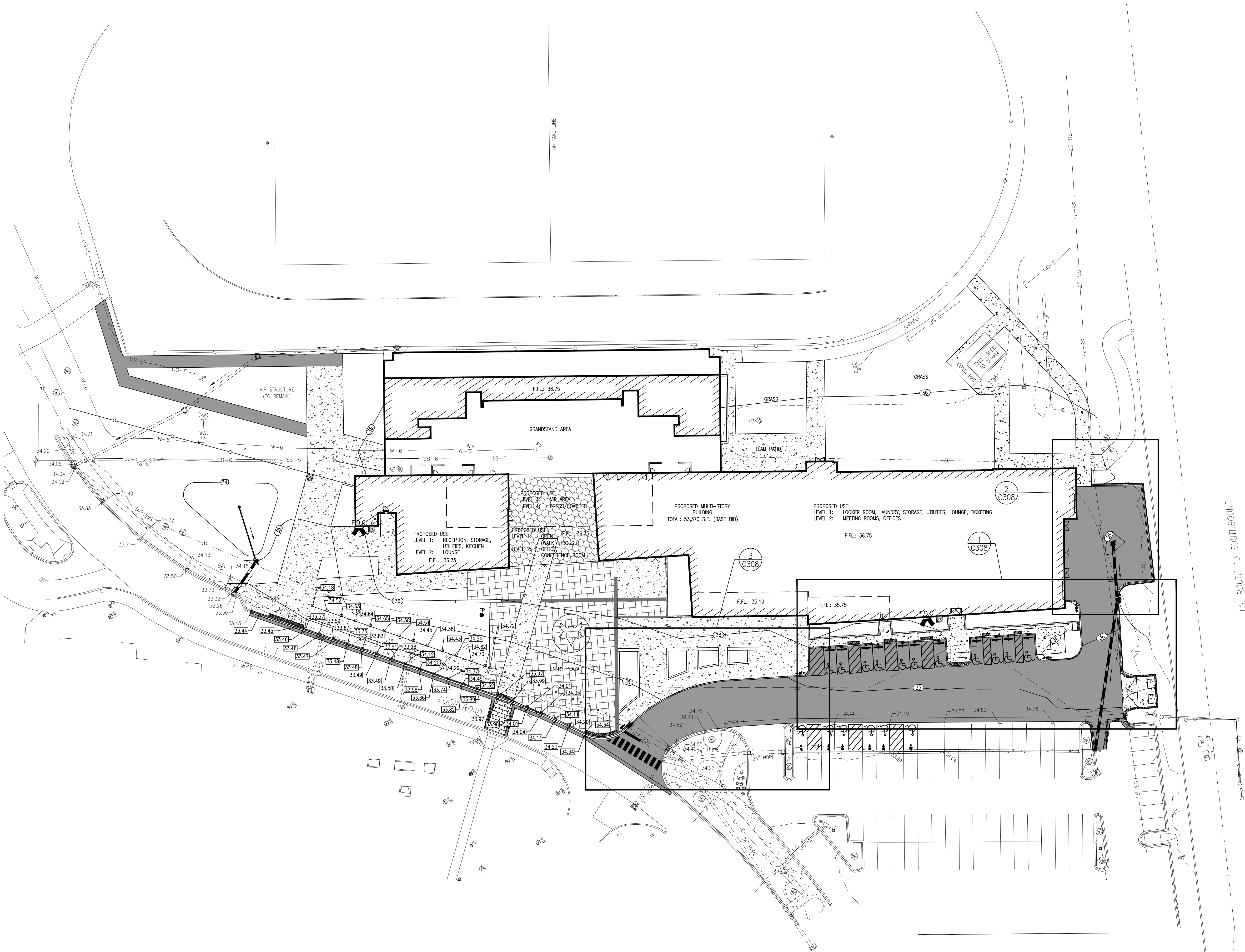
DLD
SCALE

AS NOTED
PROJECT NO.
226024.0001

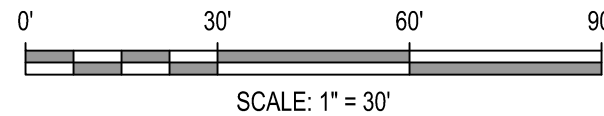
C306

\\PWA\226024.0001\Subarea_Colld..._working\Plan_Sheets\Construction\02-01.dwg, 4/26/2026

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GENERAL NOTE:
FOR GRADING DETAIL FROM CURB LINE INTO SITE, SEE
LANDSCAPE PLANS.



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GRADES AND
GEOMETRICS

AGENCY
SUBMISSION
APRIL 30, 2026

DRAWN: DLD
SCALE: 1" = 30'
PROJECT NO.: 226024.0001

CHK'D/DESIGNER: AES/DLD
SHEET NO.

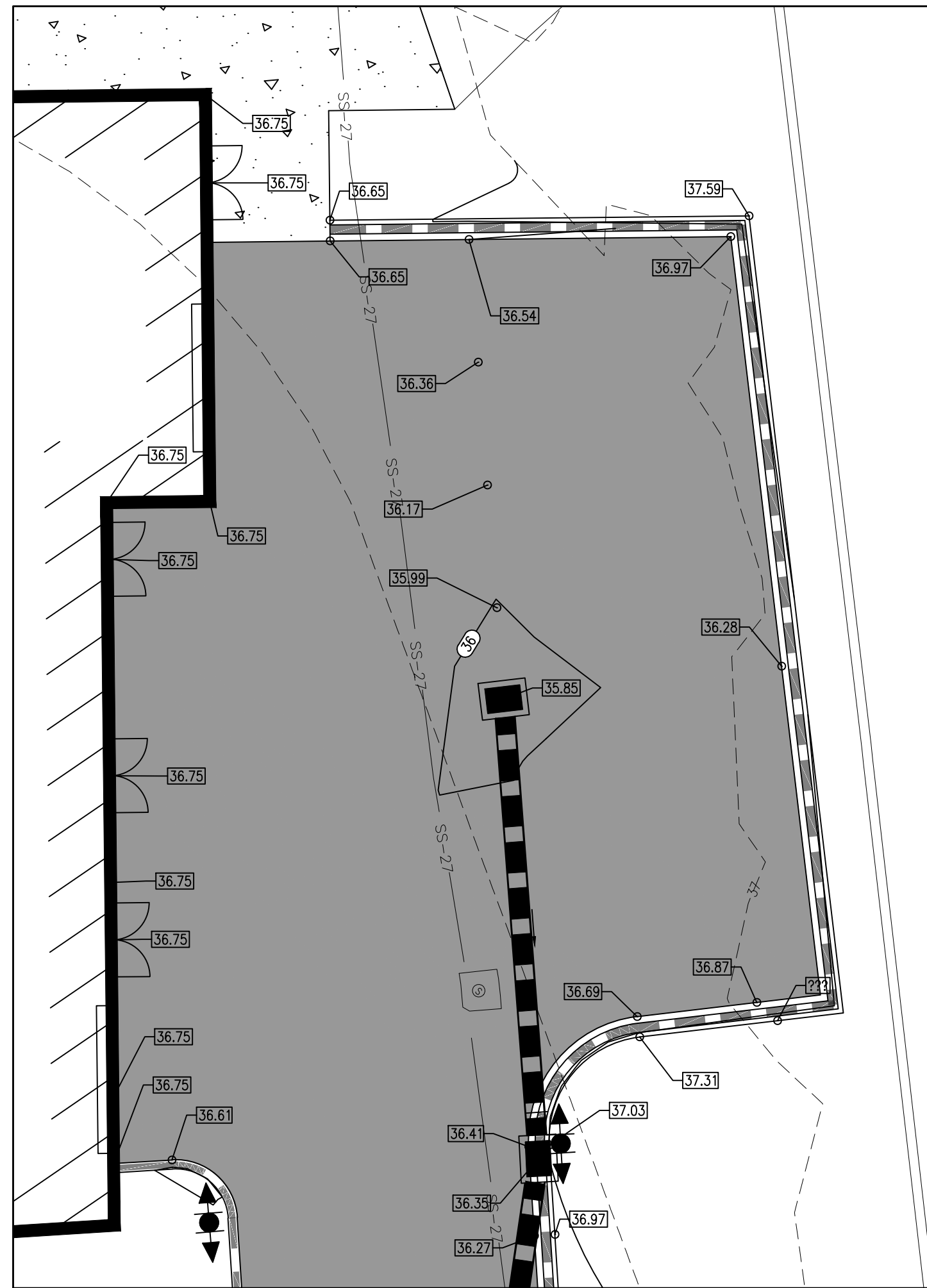
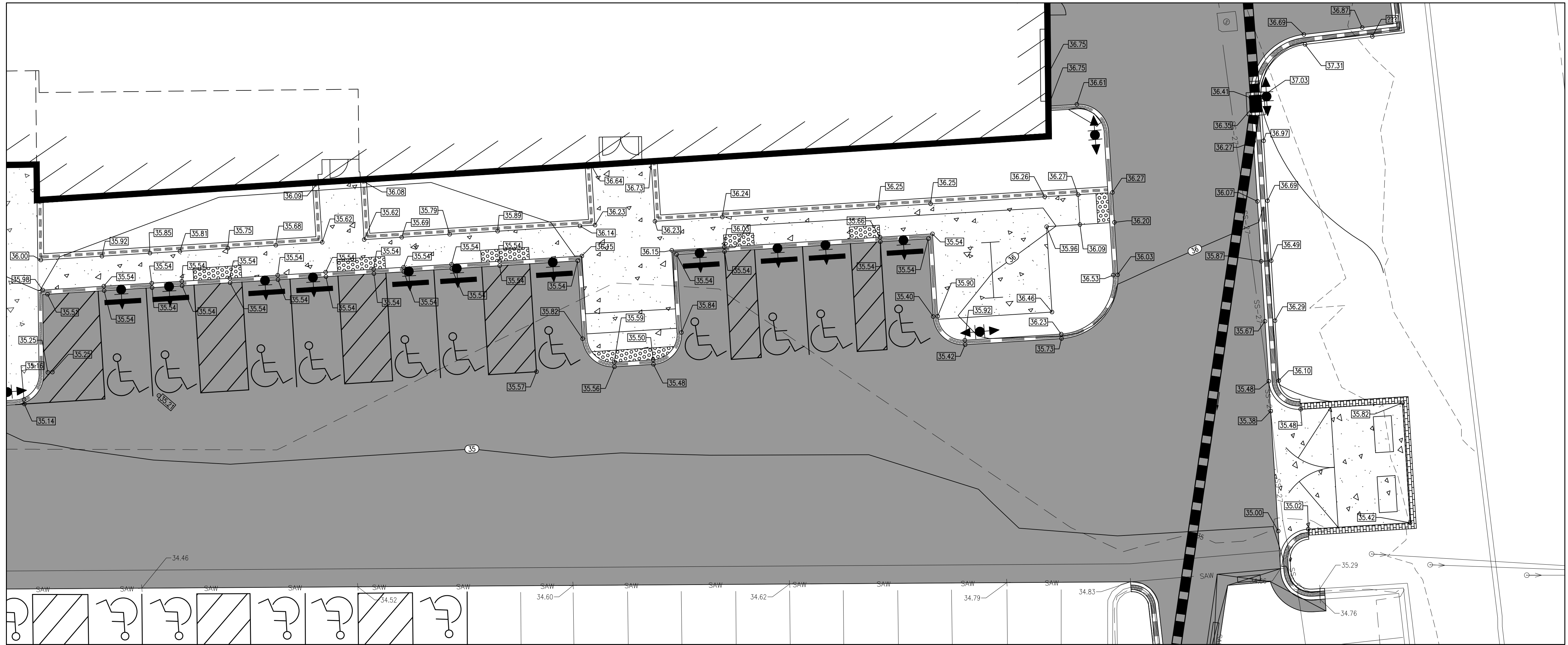
C307



222 S. DUPONT HIGHWAY | SUITE 202 | DOVER, DE 19901 | 302-257-3100

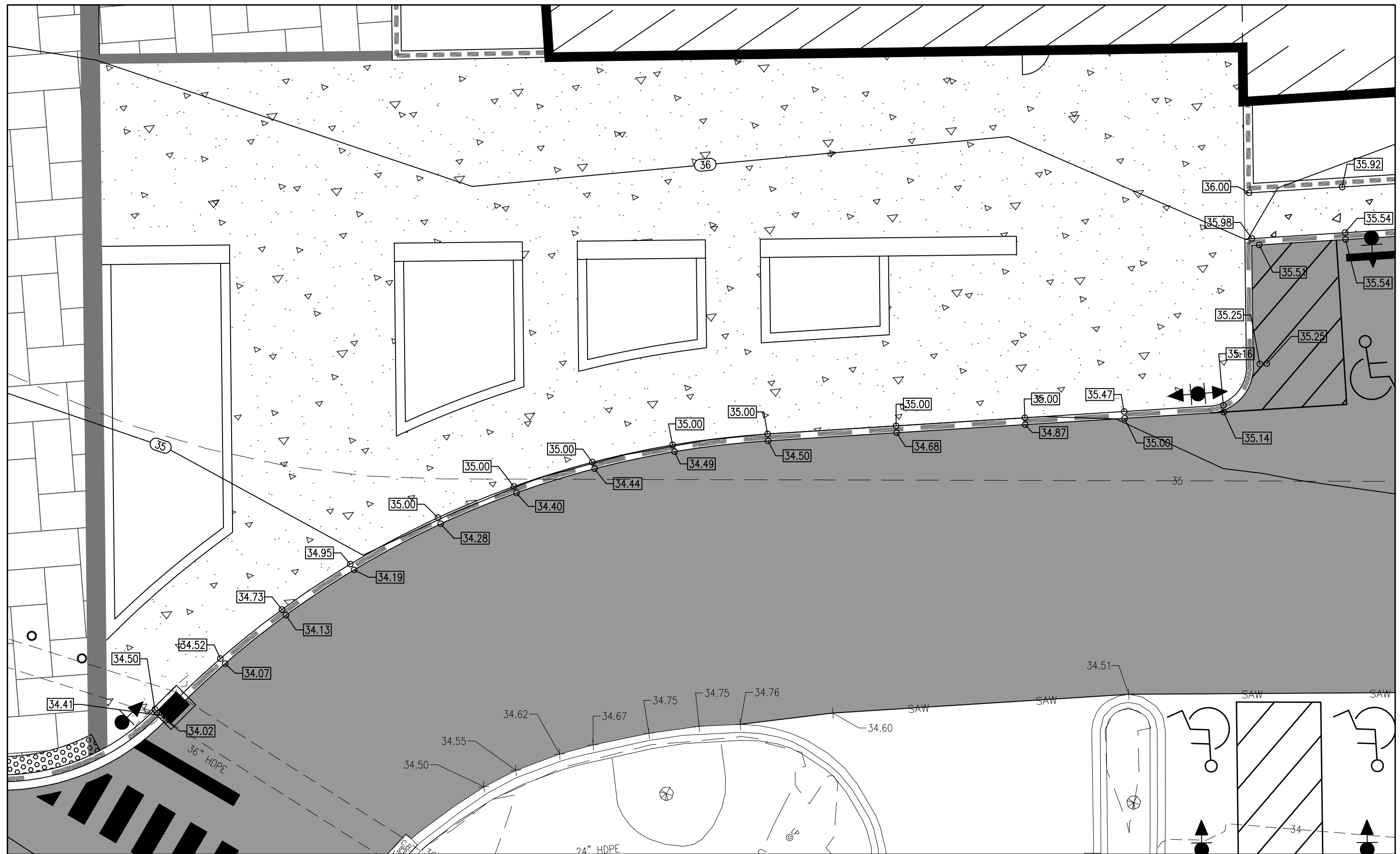
REVISIONS/ADDENDUMS

SEAL

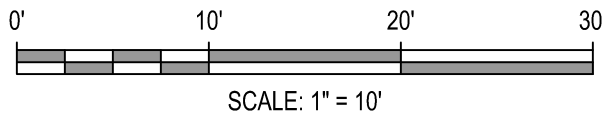


2 SERVICE AREA DETAIL
C308 SCALE: 1" = 10'

1 BUILDING ENTRANCE AND DUMPSTER PAD DETAIL
C308 SCALE: 1" = 10'



3 DROP-OFF AREA DETAIL
C308 SCALE: 1" = 10'



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REVISIONS/ADDENDUMS

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FOOTBALL STADIUM PLAZA
FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER
EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT

SHEET TITLE

GRADES AND
GEOMETRICS

AGENCY
SUBMISSION
APRIL 30, 2026

DRAWN CHK'D/DISIGNER

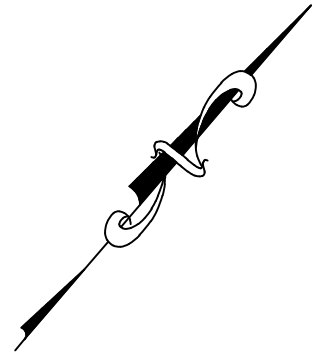
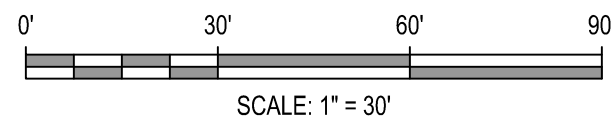
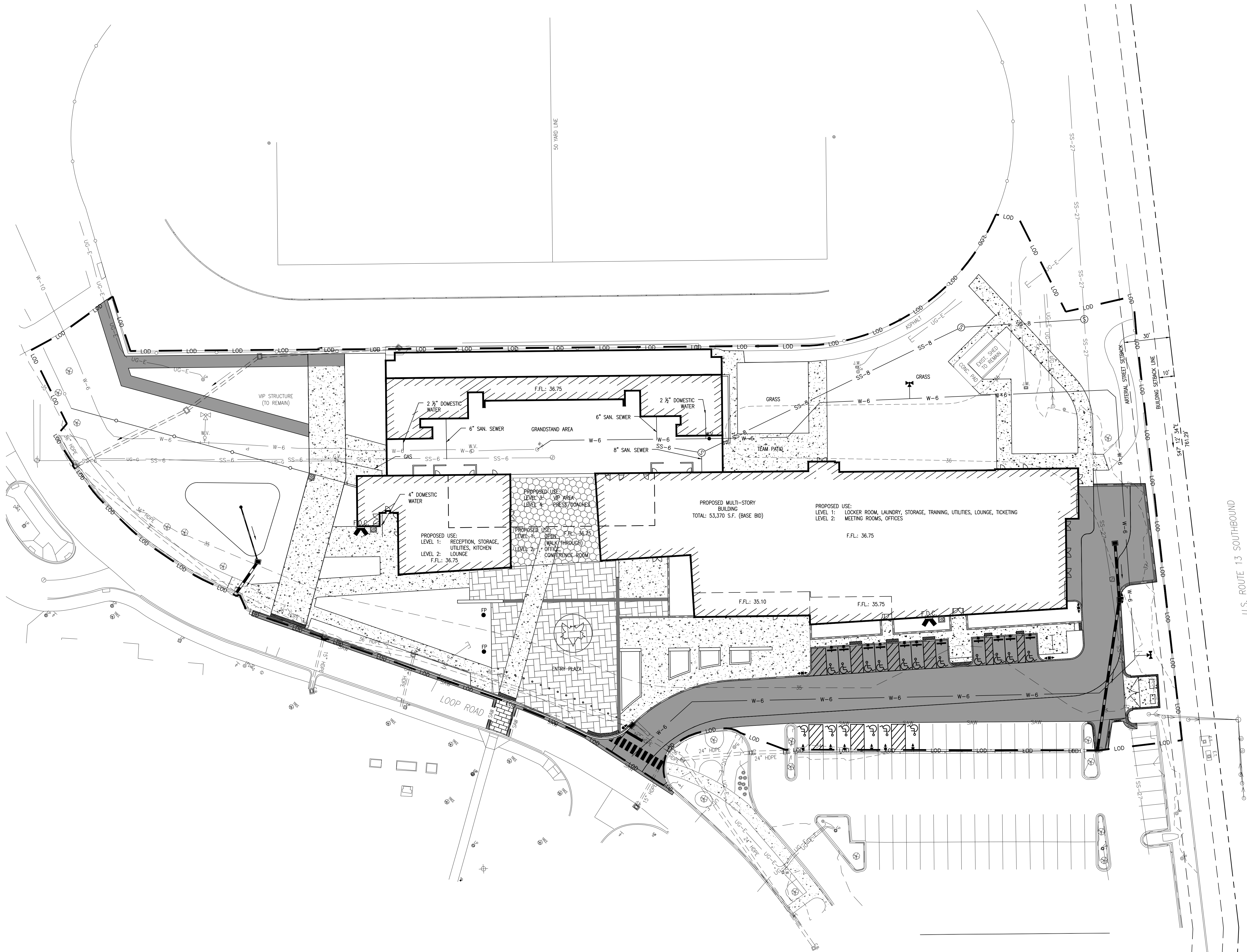
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SCALE SHEET NO.

1" = 10'
PROJECT NO.
226024.0001

C308

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FOOTBALL STADIUM PLAZA
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PROJECT
SHEET TITLE

UTILITY PLAN

AGENCY
SUBMISSION
APRIL 30, 2026
DRAWN
DLD
SCALE
1" = 30'
PROJECT NO.
226024.0001
CHK'D/DESIGNER
AES/DLD
SHEET NO.
C309



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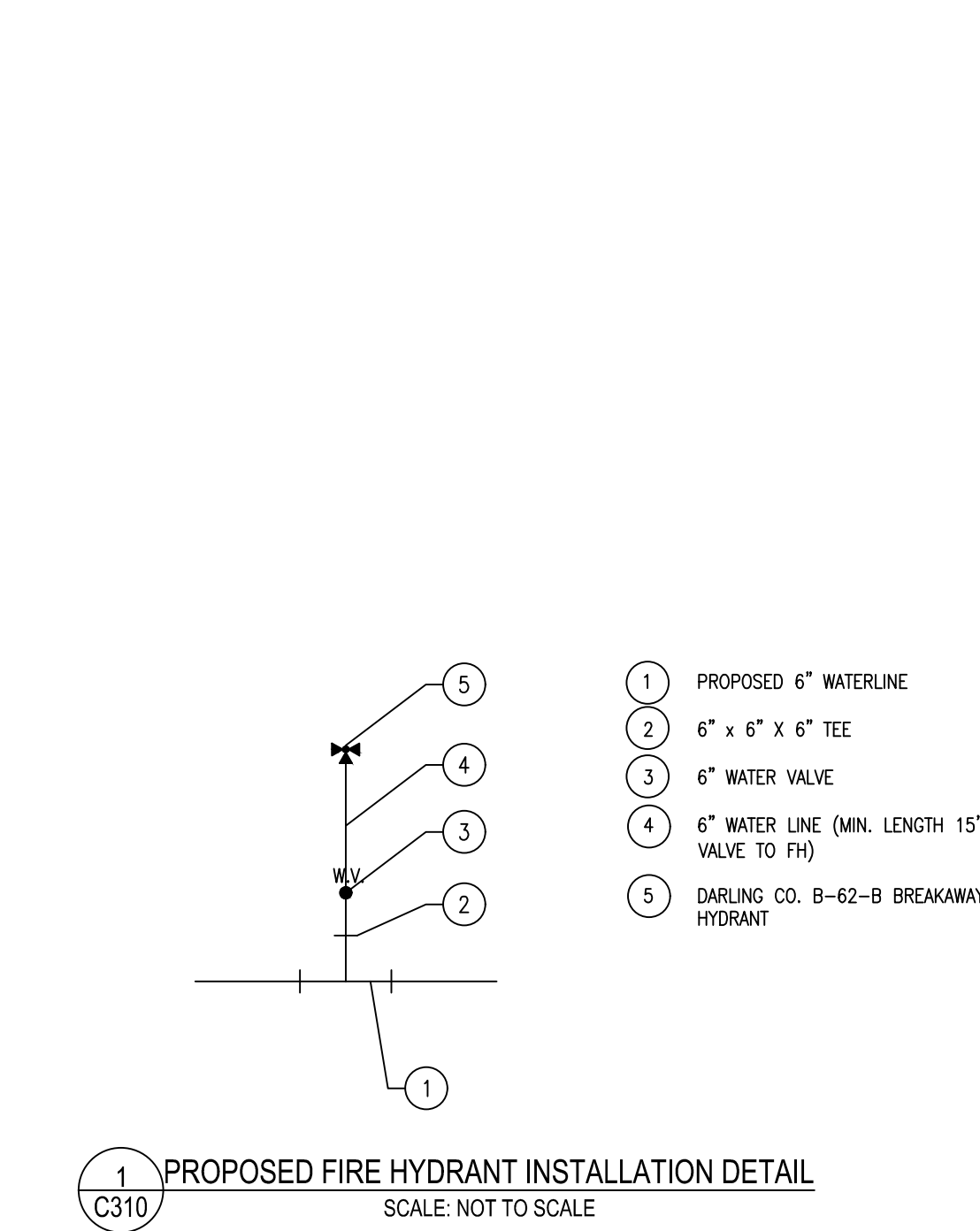
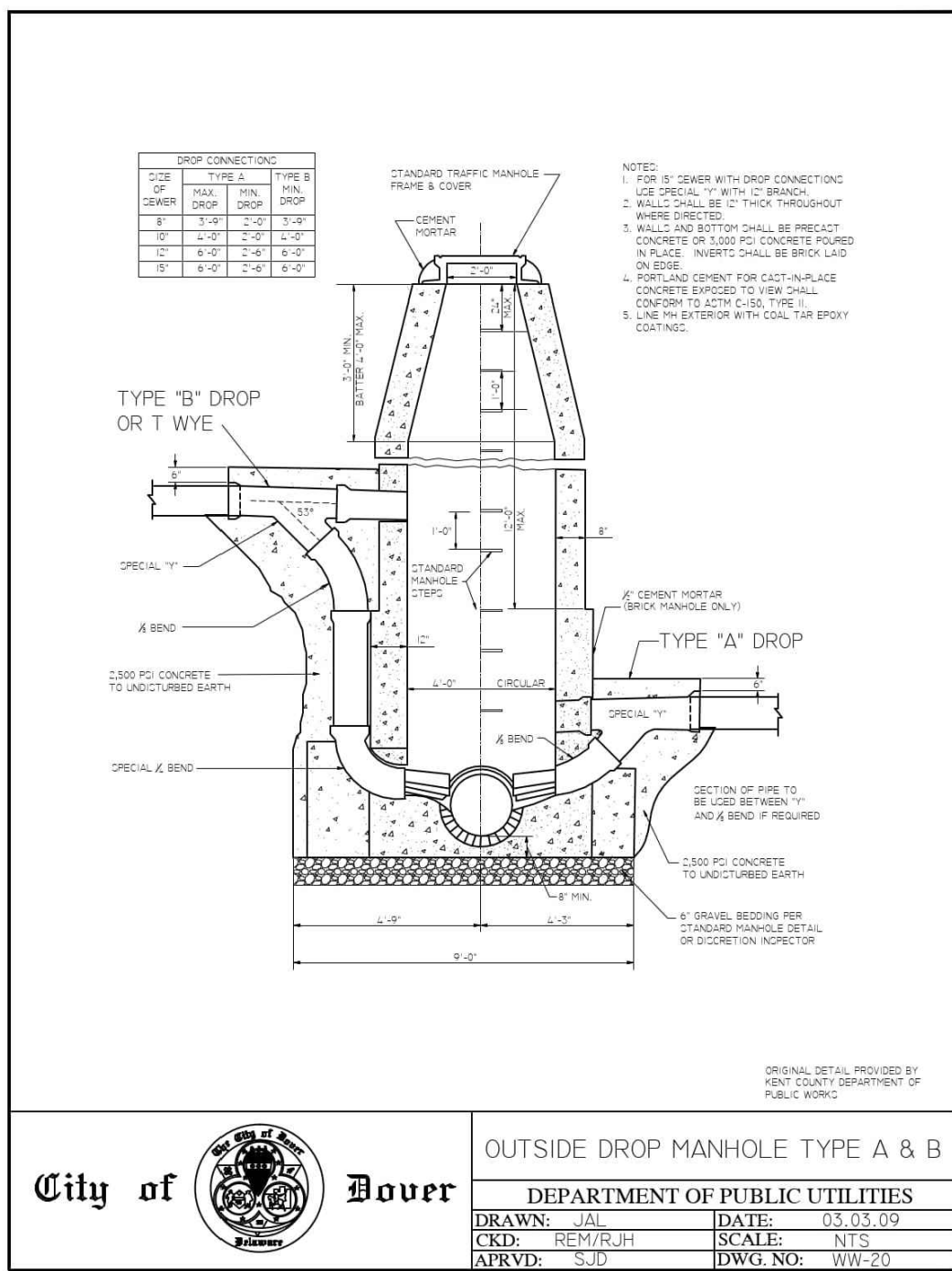
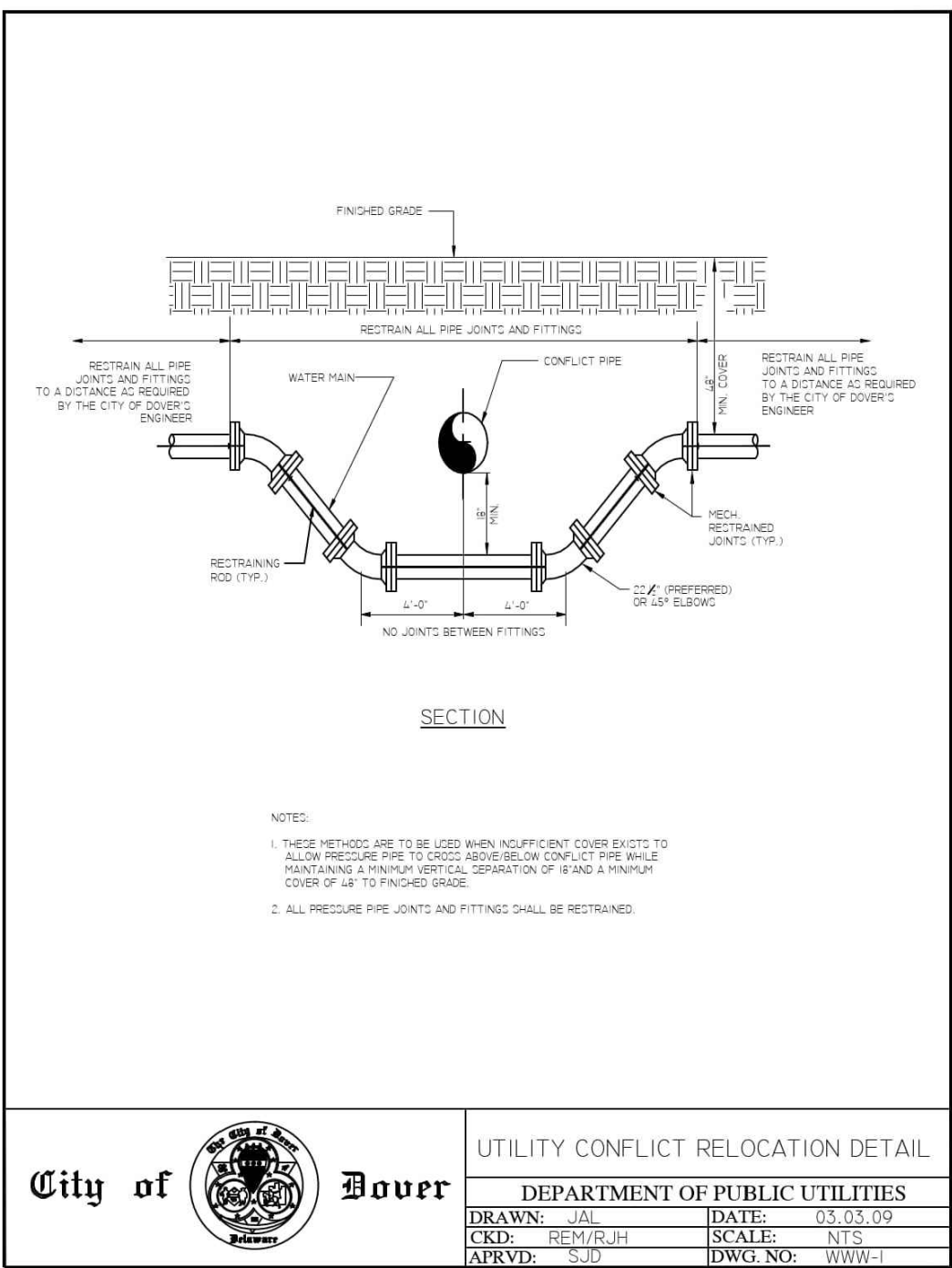
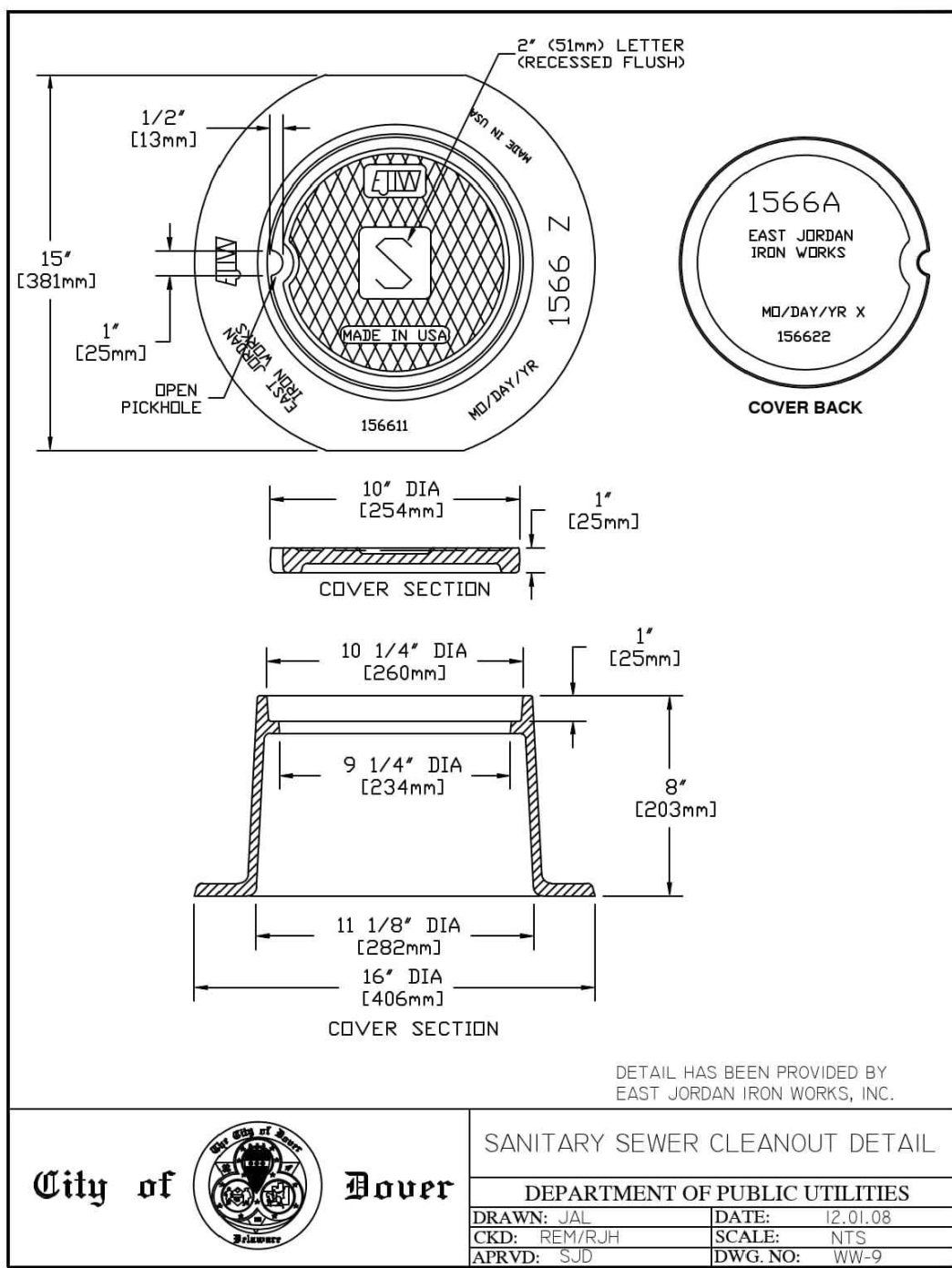
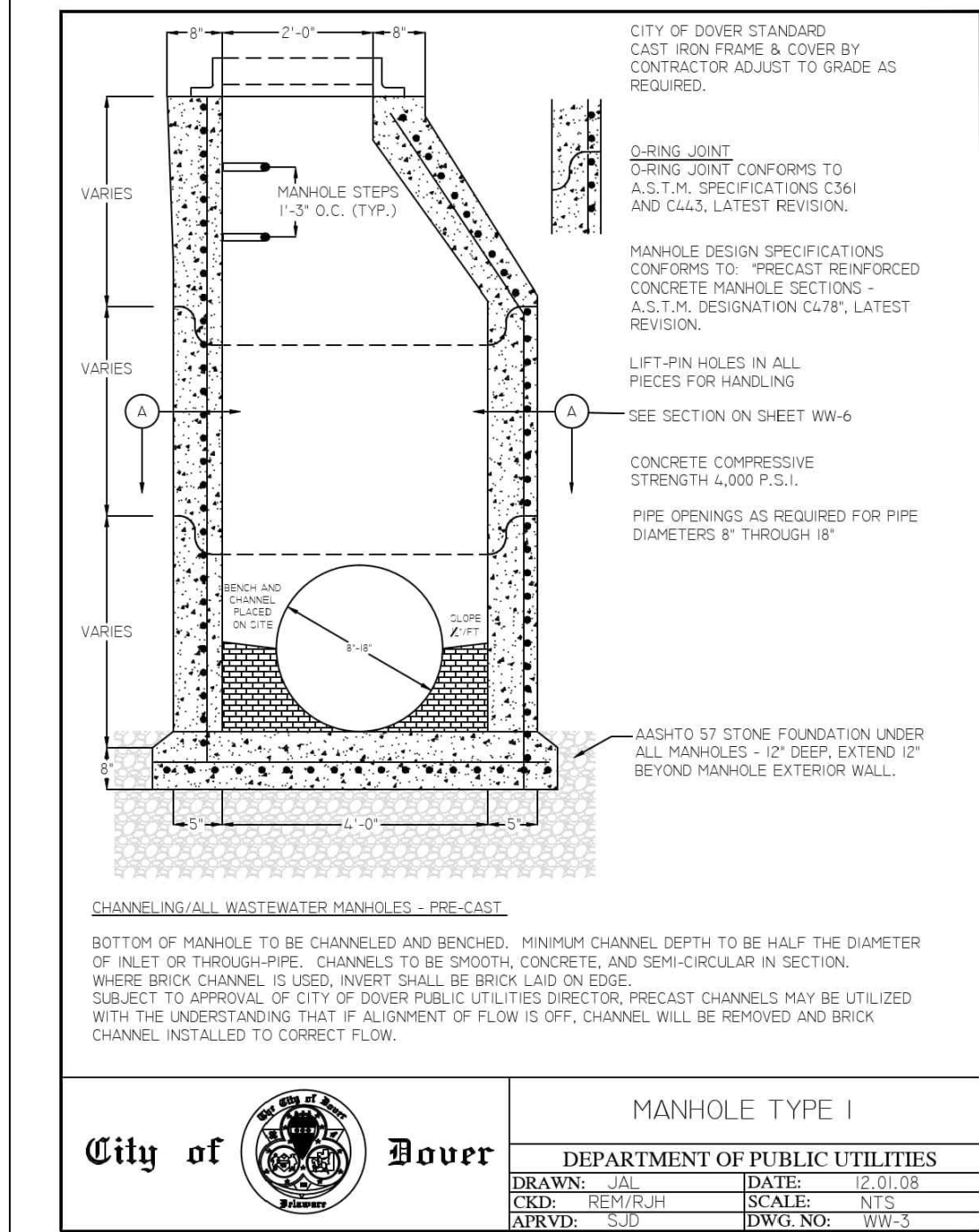
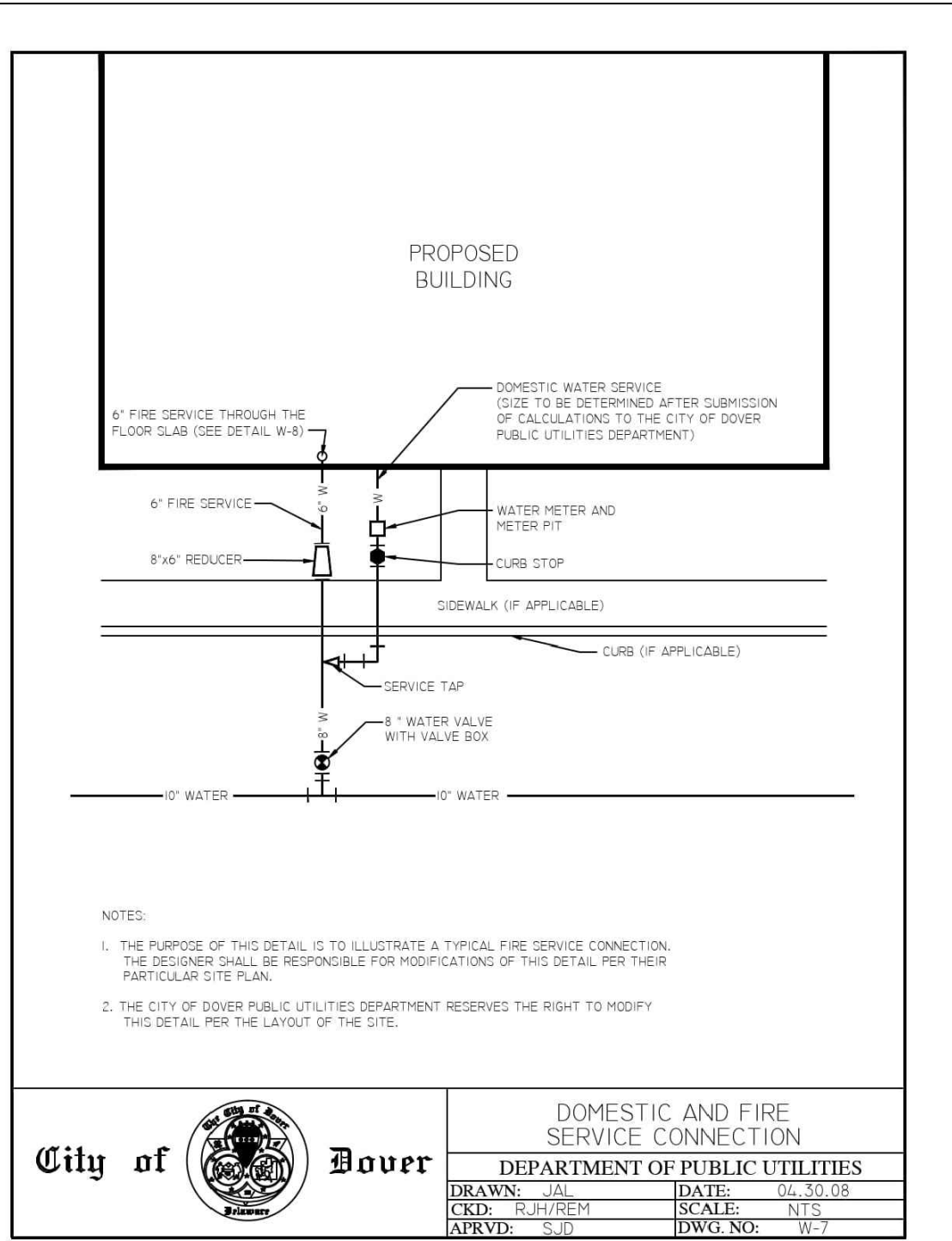
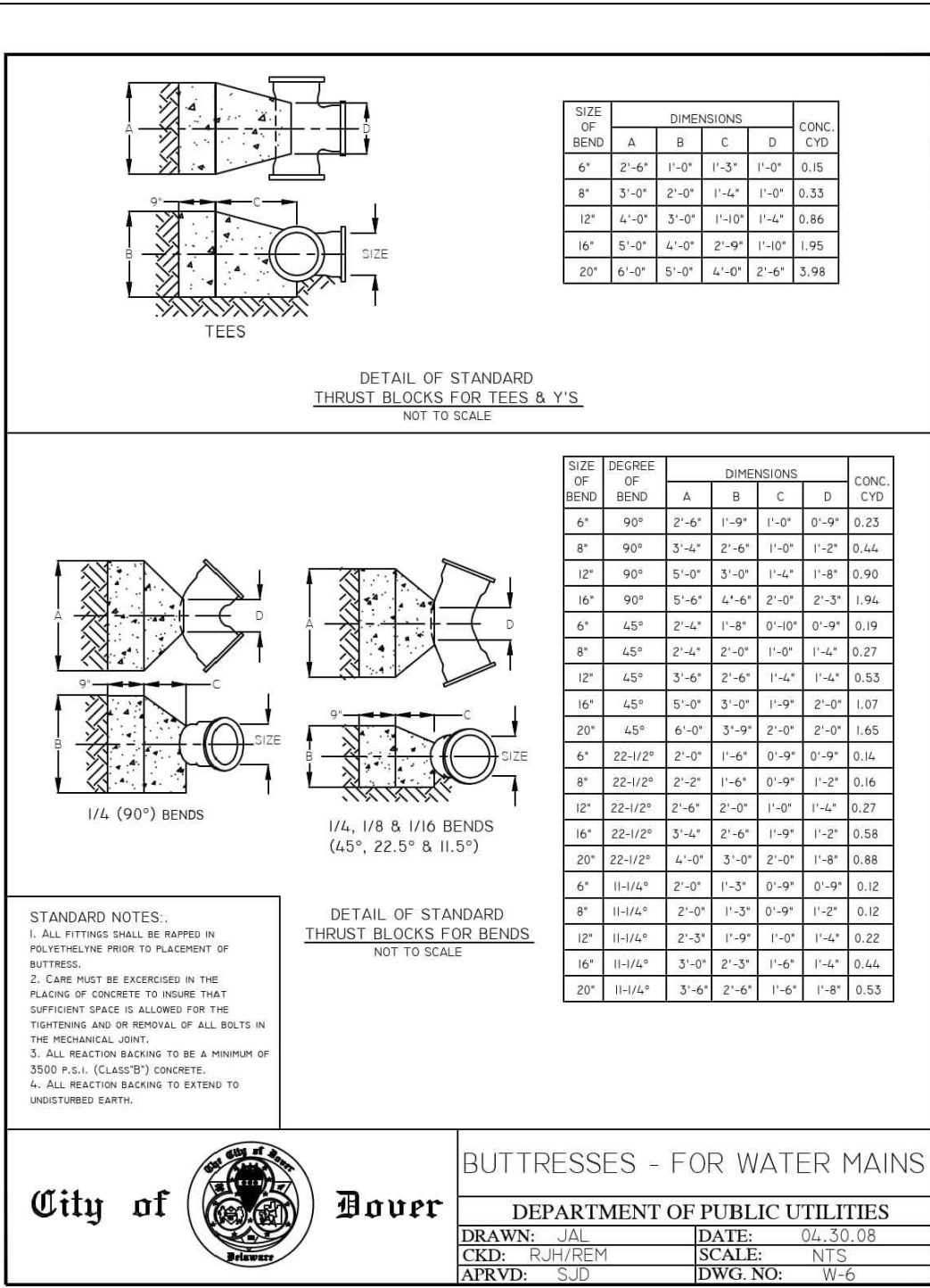
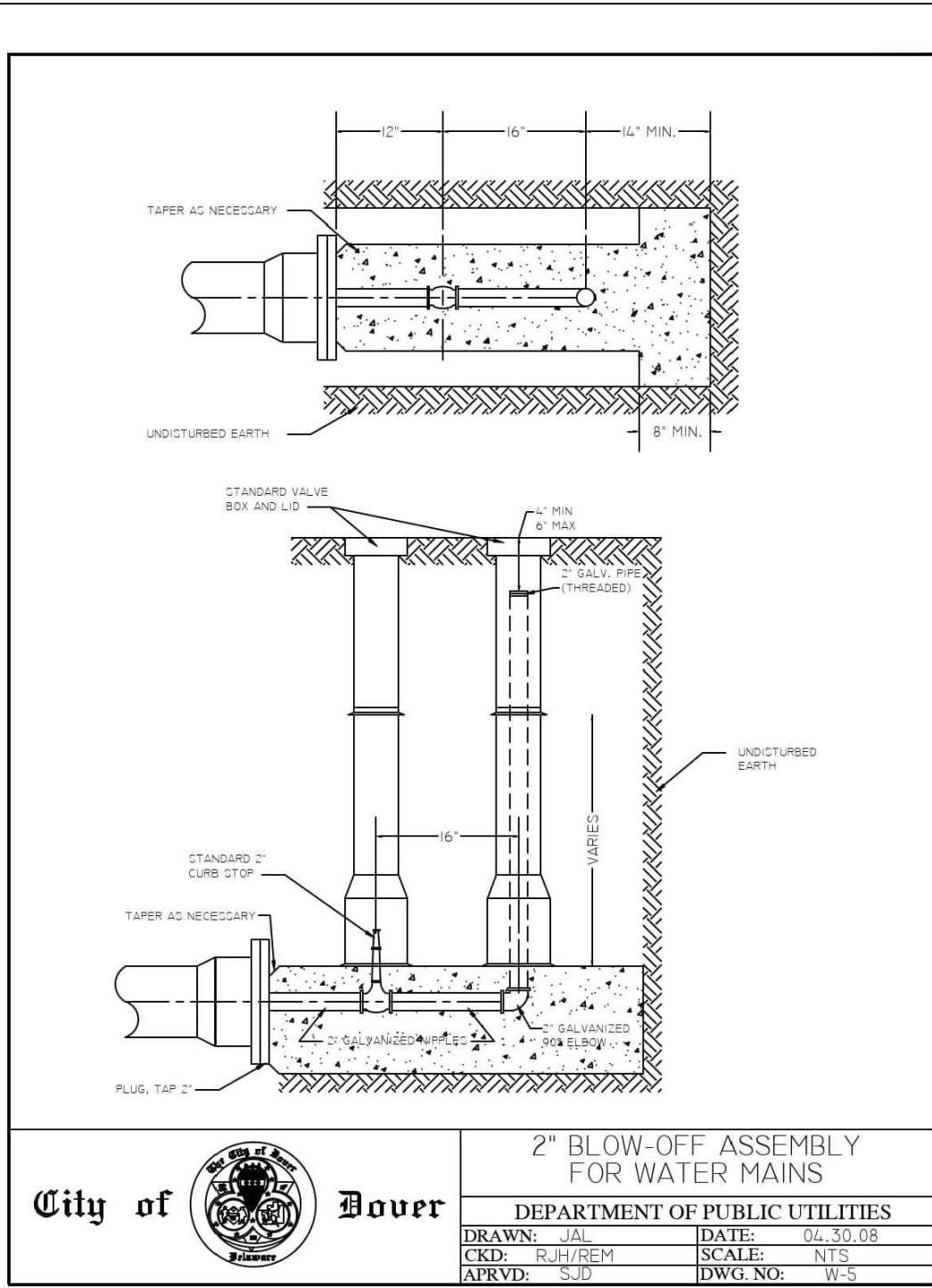
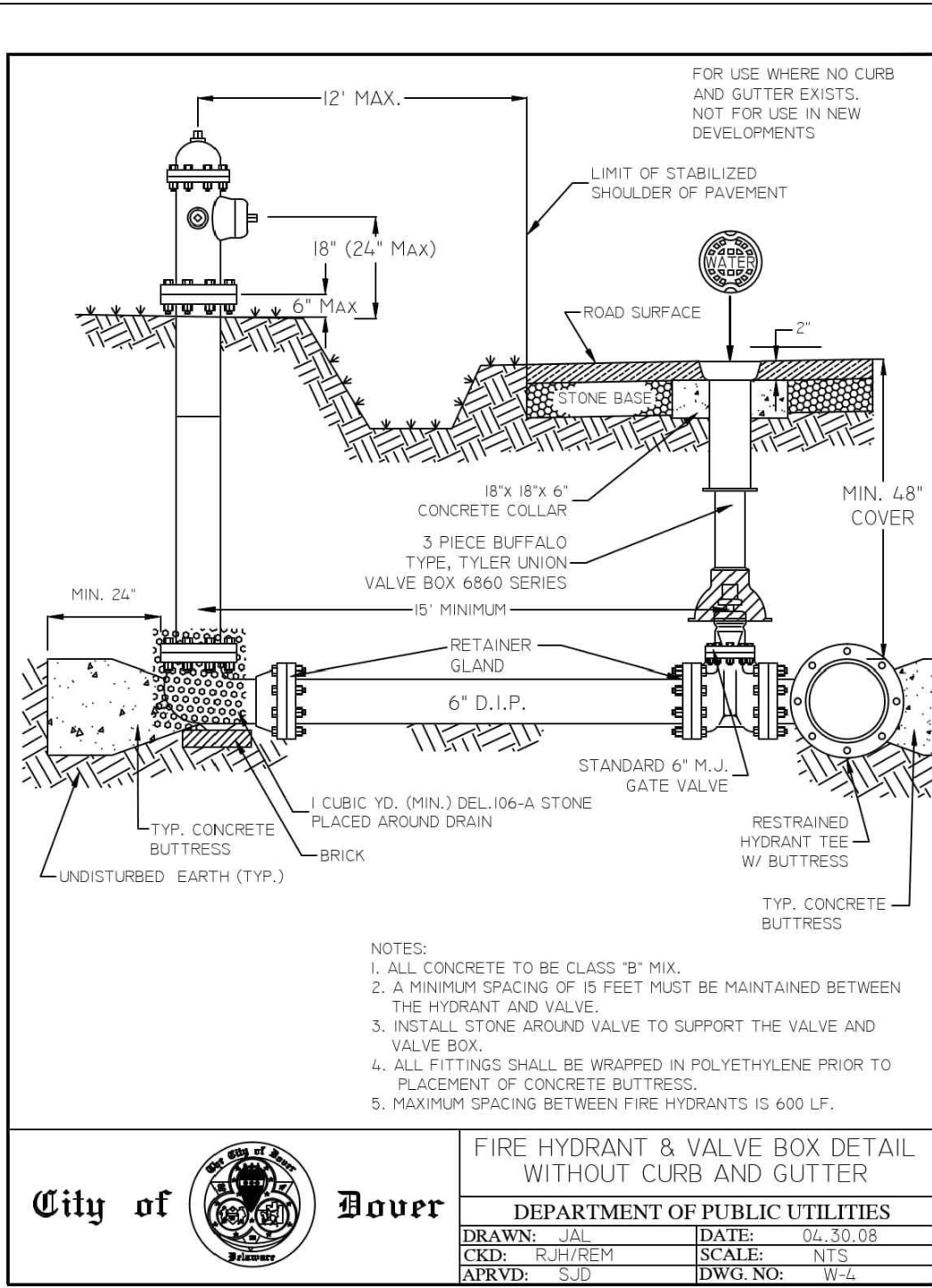
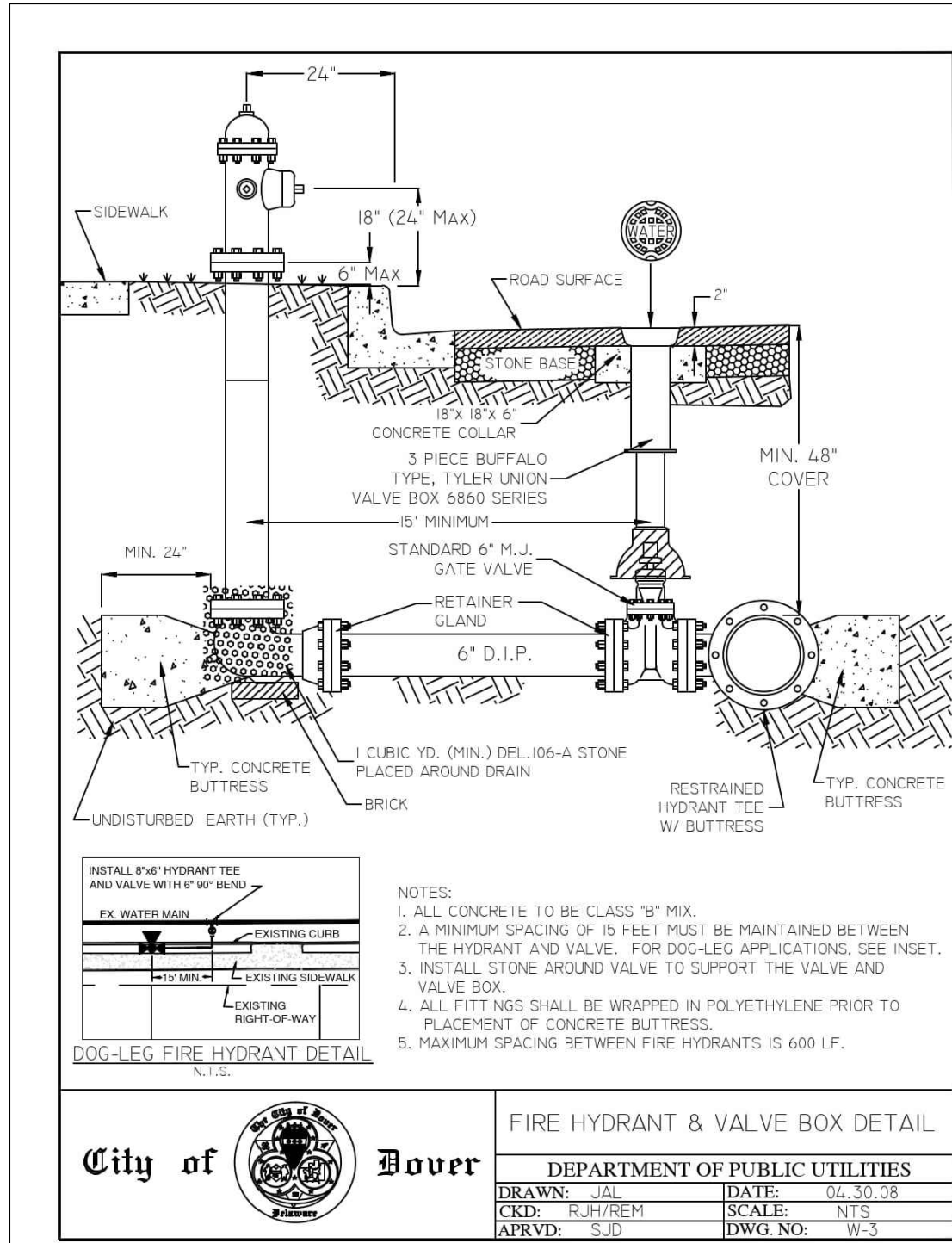
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REVISIONS/ADDENDUMS

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FOOTBALL STADIUM PLAZA

FOR
DELAWARE STATE UNIVERSITY
MOODY NOLAN
CITY OF DOVER

EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT
SHEET TITLE

UTILITY DETAILS

AGENCY
SUBMISSION
APRIL 30, 2026

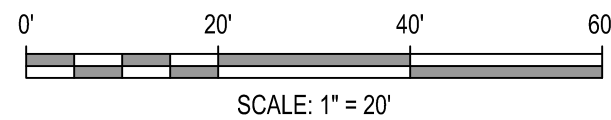
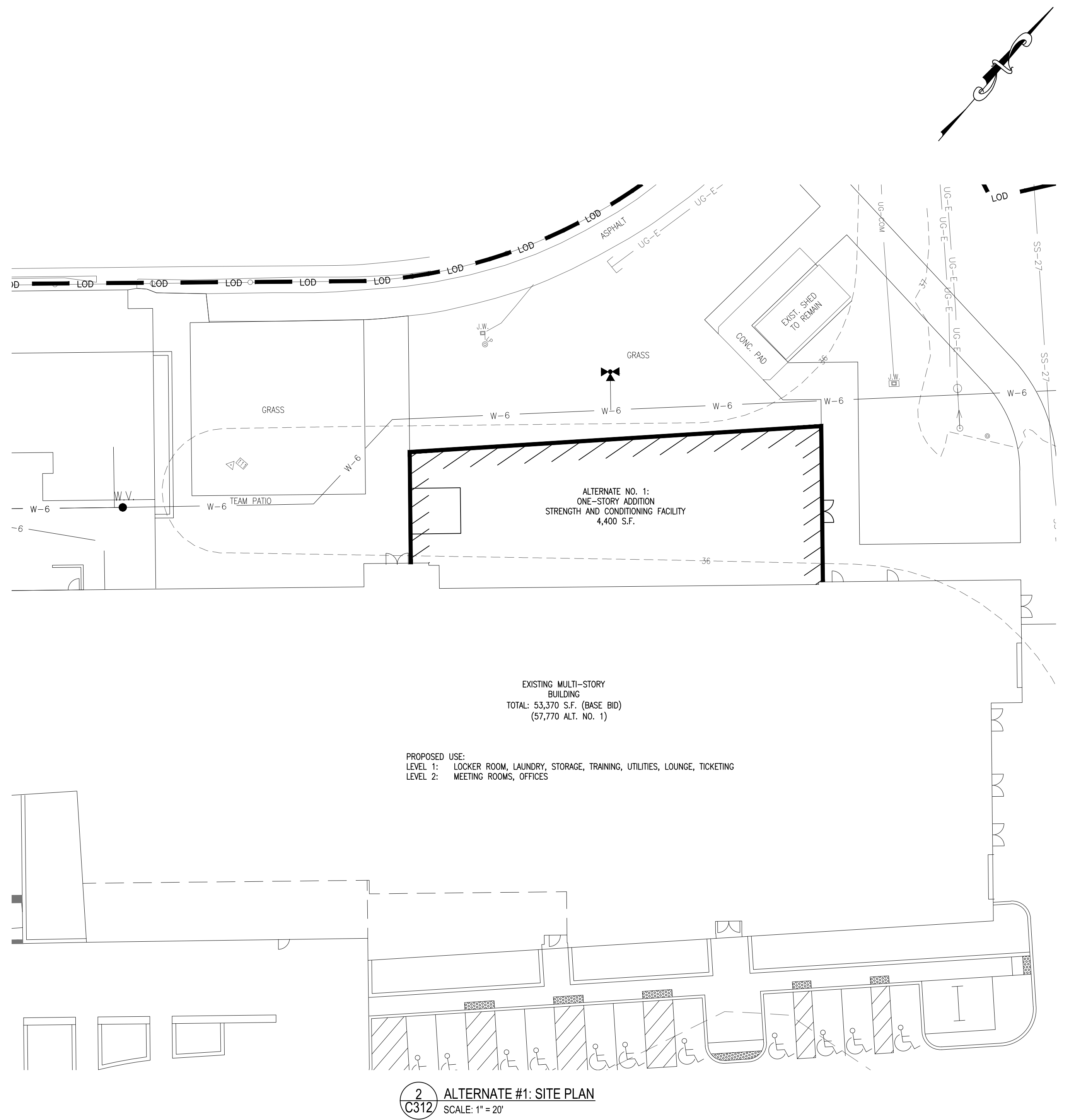
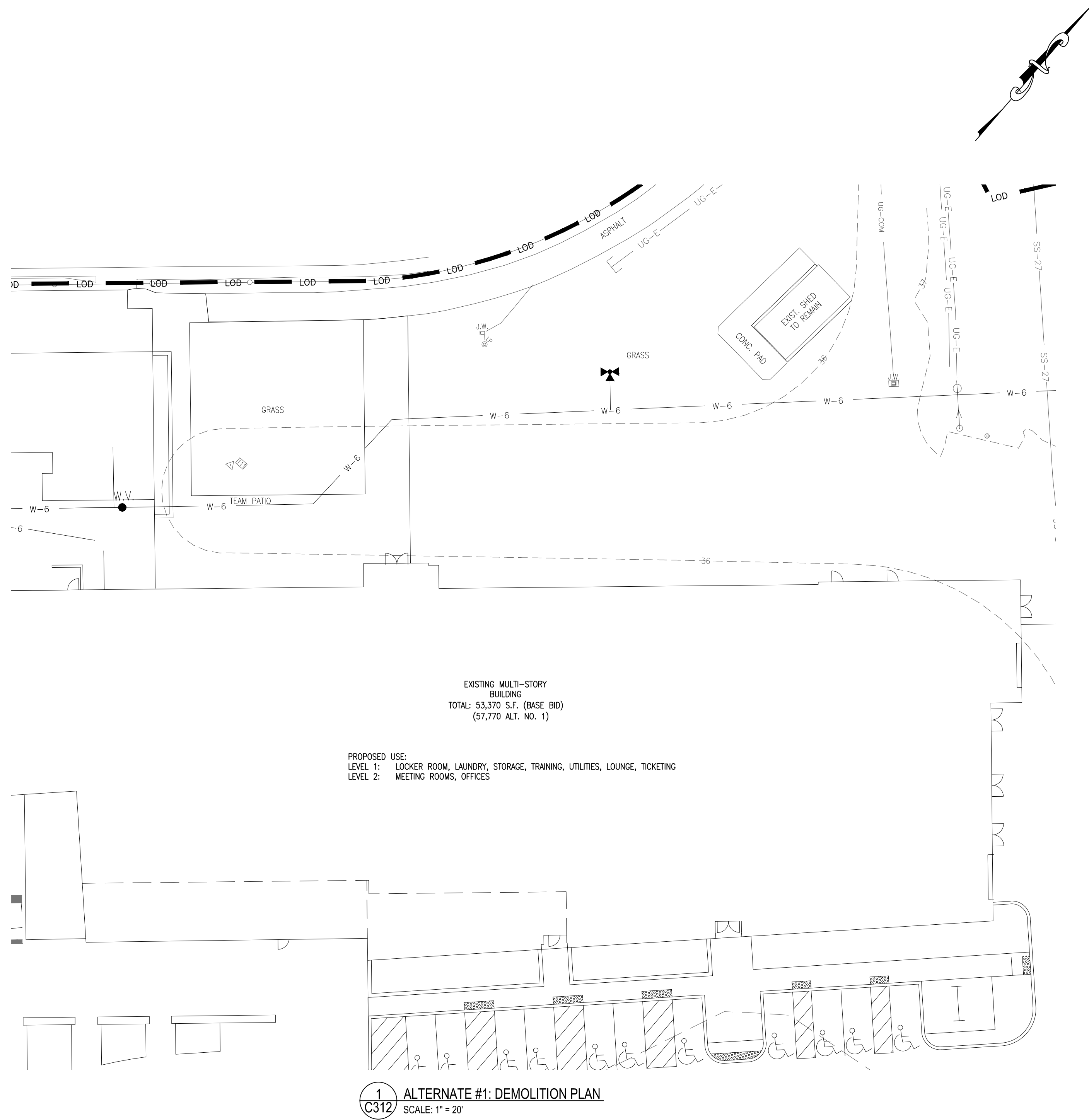
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SCALE: DLD AES/DLD
SHEET NO.

N.T.S.
PROJECT NO. C310

226024.0001

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EAST DOVER HUNDRED, KENT COUNTY, STATE OF DELAWARE

PROJECT
SHEET TITLE
ALTERNATE NO. 1
CONSTRUCTION PLAN

AGENCY
SUBMISSION
APRIL 30, 2026
DRAWN
CHK'D/DIGNER
SCALE
DLD
AES/DLD
SHEET NO.
1" = 20'
PROJECT NO.
226024.0001
C312

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