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## MEMORANDUM

**To:** City of the Village of Douglas Planning Commission  
**Date:** January 6, 2023  
**From:** Tricia Anderson, AICP  
**RE:** **Douglas Flats – 200 Center Street – Final PUD Plan Review**

**Background.** Mr. Steve Witte of Nederveld & Associates, on behalf of the property owner Ufuk Turan, has submitted an application for Final PUD plan review for a 3,069 square foot vertical mixed-use building at 200 Center Street (Parcel #: 59-600-003-00) containing 10 residential units, with 2 of the units located on the ground floor and commercial uses facing Center Street. The subject parcel is approximately .27 acres in size and is zoned C-1 PUD. It is generally located on the north side of Center Street, just east of the Blue Star Hwy/Center Street intersection.

**Procedure.** The subject parcel is zoned C-1 PUD according to the official zoning map for the City. It has been unclear as to whether the property was incorporated into the Douglas Harbor Village PUD that is immediately adjacent to the parcel, OR if it was rezoned as a stand-alone PUD. The City's records are incomplete as it pertains to historical documents that would piece this puzzle together. Because of this, we sought the advice of the City Attorney, who concluded that the applicant should either seek a zoning change back to C-1, Village Center OR process the application in accordance with the requirements of Article 27, Planned Unit Development District. The applicant would prefer to seek approval under the PUD zoning, thus, our review is based on the standards in Article 27, and is treated as a final PUD plan.



Procedurally, the Planning Commission is tasked with making a recommendation to the City Council for the approval of the final PUD plan, per Section 27.05.F.

**Review of Final PUD Plan.** Section 27.05.E. states that a final PUD plan shall demonstrate compliance with the following sections of Article 27:

1. Section 27.05.D. Procedures and Requirements, Data Required for Final PUD plan
2. Section 27.04, Project Design Standards
3. 27.06, Standards of Approval

The applicant attended a Site Plan Review Committee (SPRC) meeting on 12/21/2022 and received comments and recommendations from the committee on the initial submittal. A revised submittal was provided, last revision dated 12/23/2022. This final PUD plan was reviewed against the above-listed ordinance sections. Areas that still need attention or special consideration by the Planning Commission are indicated below, along with our remarks:

- 1. Off-Street Parking and Loading areas.** The applicant has provided parking calculations that would indicate that a total of 18 spaces are needed based on the number of residential units (containing 900 SF or less) and the usable floor area of the commercial space. The total proposed parking is 12 spaces (including one barrier-free space). The Planning Commission has discretion under Section 27.04(5) to allow for regulatory flexibility.

*“5) Regulatory Flexibility. To encourage flexibility and creativity consistent with the Planned Unit Development concept, departures from the regulations in subsection (4), above, may be permitted, subject to recommendation by the Planning Commission and approval of City Council. For example, such departures may include but are not limited to modifications to: lot dimensional standards; floor area standards; setback requirements; parking, loading, and landscaping requirements; and similar requirements. Such modifications may be permitted only if they will result in a higher quality of development or a better design or layout than would be possible without the modifications.....”*

**Remarks:** The 12 parking spaces proposed allow for at least one space for each residential unit (10 units) in the rear of the building. The other two spaces, located as parallel spaces in the road right of way, will be used for guests and commercial space patrons. The applicant also proposes bicycle racks in the front of the building. The Planning Commission must decide if this departure “would result in a higher quality development or a better design or layout than would be possible without the modifications”. It should be noted that in the underlying zoning district (C-1, Village Center) allows a 50% reduction in required parking for by-right uses. Since ground floor residential is a special land use in the C-1 district, it would be required to provide 100% of the required spaces. Since this parcel is located within a PUD, the Planning Commission has the discretion to waive any requirement that meets the underlined criteria above. It’s important to remember that the City’s downtown is a walkable area and does attract neighborhood residents who walk or ride to their destination. The

Planning Commission should take this into consideration in determining whether to allow a reduction in parking.

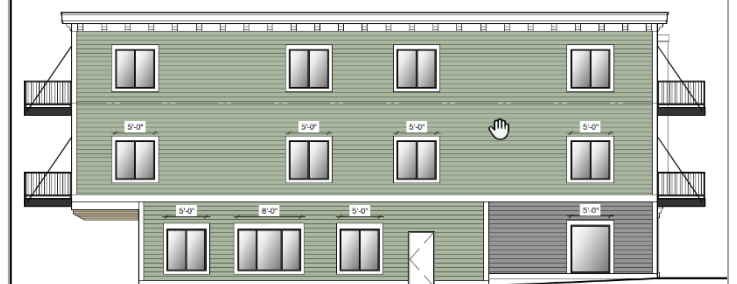
- 3) PARKING REQUIREMENTS:
- A) TYPICAL PARKING SPACE = 9' x 18' (24' TWO-WAY DRIVE AISLES)
  - B) TYPICAL BARRIER FREE SPACE = 8' x 18' (WITH 8' WIDE VAN ACC. AISLES)
  - C) NUMBER OF SPACES REQUIRED = 18 TOTAL
    - 14 = RESIDENTIAL = BASED ON 1 PER RESIDENTIAL UNIT (UNDER 900 SF) PLUS 1 PER 3 UNITS FOR GUESTS
    - 4 = RETAIL = BASED ON 1 PER 300 SF OF USABLE FLOOR AREA (ASSUMES 1,155 SF USABLE)
  - D) NUMBER OF SPACES PROVIDED = 12 (INCLUDING 1 BARRIER FREE SPACE)
  - E) NORMAL MINIMUM ALLOWED PARKING SETBACK = 5 FT FRONT  
2.5 FT IN SIDE / REAR
  - F) PARKING SPACES SHALL BE STRIPED WITH 4" WIDE PAINT.

**2. Building Height.** The applicant requests that the Planning Commission allow a height of 33' to the top of the parapet to align with the mixed-use building located at 150 Center Street (just east of the subject site). Article 27 requires that the base regulations from the underlying zoning district shall be met, but as noted above, there is room for regulatory flexibility. Section 27.04(2) indicates that the proposed development must be compatible with adjacent uses. See below:



150 Center Street Mixed-Use Building

*2) Compatibility with Adjacent Uses. The proposed Planned Unit Development shall set forth specifications with respect to height, setbacks, density, parking, circulation, landscaping, views, and other design and layout features which exhibit due regard for the relationship of the*



4. West Elevation

200 Center Proposed Mixed-Use Building

*development to surrounding properties and the uses thereon. In determining whether this requirement has been met, consideration shall be given to the following:*

- a) *The bulk, placement, and materials of construction of proposed structures.*
- b) *The location and screening of vehicular circulation and parking areas in relation to surrounding development.*
- c) *The location and screening of outdoor storage, outdoor activity or work areas, and mechanical equipment in relation to surrounding development.*
- d) *The hours of operation of the proposed uses.*
- e) *The provision of landscaping and other site amenities.*

**Remarks:** The mixed-use building located at 200 Center is also zoned PUD. It would appear that the Planning Commission approved the height of this building. The vertical mix of uses and the architectural character of this building appear to fit the intent of the C-1, Village Center district. The proposed building is similar in architecture and height with 3 stories proposed. The Planning Commission should take into consideration the language of 27.04(2) in exercising its authority to waive applicable base regulations, per Section 27.04(5). In our view, the proposed building height and architectural style is compatible with the surrounding development along Center Street, particularly with the development at 150 Center Street.

### 3. Ground Floor Residential. The




applicant is proposing ground floor residential on the north side of the building. As stated above, the C-1 underlying zoning district permits ground floor residential as a special land use if the site requirements shown to the right can be met.

#### Section 26.13 Ground Floor Residential

- 1) Locational Requirements: Residential uses shall be permitted on the ground floor of a structure located in the C-1 District only where such use does not front upon Center Street.
- 2) Site Requirements:
  - a) All residential dwelling units on the ground floor of a structure located within the C-1 District shall be set back a minimum of thirty (30) feet from the Center Street right-of-way to avoid breaking up the continuity of active commercial areas along Center Street.
  - b) All ground floor structures used for residential purposes shall be located on property which abuts property zoned R-1, R-2, R-3, R-4 or R-5 on at least one side.
  - c) The Planning Commission shall make a determination that the regular flow of pedestrian traffic to and from established commercial uses is not likely to be negatively reduced or impeded by the residential use within a ground floor structure.
  - d) Any application for Ground Floor Residential use within the boundaries of the Downtown Development Authority shall be submitted to the DDA Board for recommendation prior to Planning Commission approval.
  - e) All standards of Article 10 C-1 Village Center District shall apply to a ground floor residential use except that the minimum transparency requirements set forth within Section 10.02, D, may be reduced to no less than 30% to insure the safety and privacy of residents.

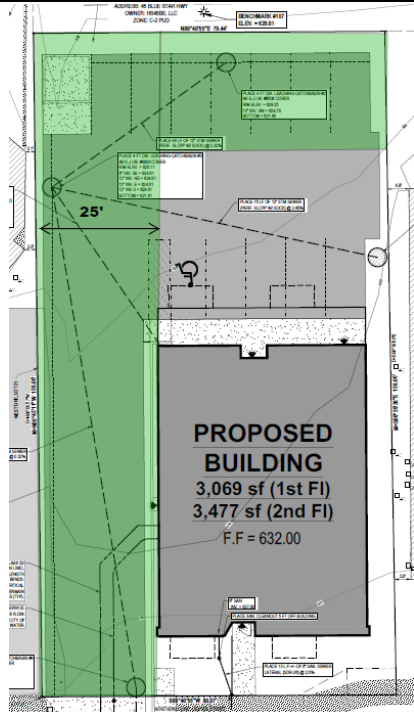
**Remarks:** The parcel to the east, 229 Center Street, while not zoned residential (it is zoned PUD), contains residential units within the vertically mixed-use building. The proposed building also places the ground floor residential units on the north side of the building, putting them at least 30' from Center Street and allowing for the active commercial area facing Center Street. Again, Section 27.04(5) allows regulatory flexibility to approve a use that would otherwise be permitted as a special land use, with the requirement to meet the standards set forth in Section 26.13. The Planning Commission will need to determine if ground floor residential will be permitted.

**Section 27.04, Project Design Standards.** As indicated above, a final PUD plan is reviewed against the following project design standards. Our corresponding remarks are shown below, along with our determination of whether the standard has been met. Some of these standards are only applicable to *new PUD rezonings* and thus are marked N/A (not applicable).

Design Standard	Remarks	Standard Met?
1. Location	Permitted in any district – this lot was previously rezoned to PUD.	Yes
2. <i>Compatibility with Adjacent Uses.</i>	Adjacent uses include a mixed-use building to the east and commercial uses to the west and north.	Yes
3. <i>Permitted Uses.</i>	Proposed uses align with the uses permitted by right and by special land use permit within the underlying C-1 zoning district.	Yes
4. <i>Applicable Regulatory Flexibility.</i>	This section is stated above. There are areas where the Planning Commission is being asked to grant a departure from the applicable base regulations. The applicant requests that the Planning Commission exercise its discretion with regard to building height, ground floor residential, 25' vegetated buffer strip, and parking.	Planning Commission to determine
5. <i>Residential Density.</i>	N/A – underlying zoning does not prescribe any maximum residential densities for mixed-use developments	N/A
6. <i>Permitted Mix of Uses.</i>	N/A – this standard is for residential PUDs only	N/A
7. <i>Open Space Requirements.</i>	N/A – this standard is for the establishment of a new PUD	N/A
8. <i>Frontage and Access.</i>	<p>A single driveway is proposed for ingress/egress from the site onto Center Street. The applicant has indicated that he has reached out to neighboring property owners (shown in yellow) to negotiate cross-access and shared parking agreements. Neither owner was interested. The driveway is proposed at ~125' from the existing driveway to the east and approximately 50' from the driveway to the west. The distance from the driveway to the nearest intersection is approximately 200', exceeding the minimum requirement of 100'.</p> 	Yes

9. <i>Utilities.</i>	This standard requires that all utilities are placed underground wherever feasible.	<i>Can be met</i>
10. <i>Privacy for Dwelling Units.</i>	This standard requires measures to be taken to ensure privacy is maintained both visually and for the purpose of sound/noise. The building appears to be designed so as not to allow one unit to intrude on the privacy of another.	Yes
11. <i>Base Regulations.</i>	Base regulations are met with the exception of those indicated above. The applicant requests that the Planning Commission exercise their discretion with regard to building height, ground floor residential, 25' vegetated buffer strip and parking.	Planning Commission to determine
12. <i>Emergency Access.</i>	The plan was reviewed by the Fire Department at the SPRC meeting. A recommendation was made to widen the drive aisles to 26' both in the driveway and within the parking lot. The applicant has stated that he has not made this change to the plan set, but is willing to make the modification if needed by the fire department. The fire department also requires a minimum of 10' between buildings – this has been met.	<i>Can be met</i>
13. <i>Pedestrian and Vehicular Circulation.</i>	The existing sidewalk along Center Street will be utilized and an updated sidewalk easement is provided for the area where the public sidewalk is located on private property.	Yes
14. <i>Maximum Height.</i>	As indicated in 11, the C-1 max for height is 28'. The applicant requests a departure from this to allow the building to be 36' measured to the top of the parapet. This is consistent with the mixed-use building located at 150 Center.	Planning Commission to determine
15. <i>Minimum Spacing</i>	N/A – this applies to developments with multiple buildings	N/A
16. <i>Building Length.</i>	N/A – this applies only to multi-family developments	N/A
17. <i>Sensitive Natural Features.</i>	N/A – there are no sensitive features on the subject site	N/A
18. <i>Buffer Zone Along Streams</i>	N/A – there are no streams located on the subject site	N/A
19. <i>Common Property</i>	N/A - The proposed stand-alone development, while part of an existing PUD zoning district, does not share any common elements with other developments within the PUD.	N/A

<p>20. <i>Parking Areas.</i></p>	<p>This standard speaks to the design of the parking areas to break up the expanse of surfaced area. The parking area provides landscaping along the perimeter of the lot on the east side. It is recommended that some plantings be added to the north property line .</p>	<p><i>Can be met</i></p>
<p>21. <i>Buffer Zone Along Property Lines</i></p>	<p>This requirement asks that a 25' buffer strip planted with natural vegetation or landscaped along property lines be provided. The western and northern property lines both serve as boundaries for the PUD. The site is somewhat constrained with a width of 80'. This requirement significantly restricts buildable areas. It is recommended that some type of screening be provided along the northern property line, such as arbor vitae, which would offer additional privacy for the residents.</p>	<p>Planning Commission to determine</p>
<p>22. <i>Easements Across Common Property</i></p>	<p>N/A – There are no common property areas or cross-access areas.</p>	<p>N/A</p>



**Section 27.06 Standards of Approval.** The Planning Commission must base its recommendation to the City Council on the following standards, per Section 27.05.F.3. Each standard must be met in order for the Planning Commission to offer a favorable recommendation for the final PUD plan. Some standards are not applicable, as they pertain to the rezoning process.

- A. *The PUD will result in a recognizable and substantial benefit to the residents of the PUD and the City, and such benefit would otherwise be unlikely to be achieved.*
- B. *The PUD will not result in an undue burden on available public services, facilities or utilities.*
- C. *The PUD will comply with the land use designations for such lands in the future land use map of the Master Plan; the PUD will otherwise be consistent with the intent and purposes of this Chapter, and the Master Plan.*
- D. *The PUD satisfies the development requirements of Section 27.04.*

- E. The PUD will not result in significant adverse effects upon adjacent or nearby lands.*
- F. The PUD will not alter wetlands, steep slopes or other natural features except as approved for essential services or as otherwise permitted in the PUD.*
- G. Buildings and structures will be suitably located and arranged, with adequate setbacks and convenient access points.*
- H. The number, location and size of access points for the PUD, and internal traffic and pedestrian circulation routes are designed to promote safe and efficient access to and from the PUD and circulation within the PUD.*
- I. Storm water detention and drainage systems will be designed so that the removal of surface waters will not adversely affect lands in the PUD or adjacent or nearby lands. The final PUD plan shall demonstrate compliance with the City Storm Water Ordinance.*
- J. Landscaping in the PUD will be in accordance with City landscape requirements or as they may be modified in the approval of the PUD.*
- K. Outdoor lighting will be designed to minimize glare on adjacent lands and streets and will otherwise be designed, installed and operated in compliance with City requirements, or as otherwise approved in the terms of the PUD ordinance.*
- L. Sanitary sewer and water supply facilities will comply with City and other applicable requirements.*
- M. Signs in and for the PUD will comply with applicable sign requirements, including such modifications as may be permitted in the approval of the PUD.*
- N. Off-street parking areas and facilities will comply with applicable City requirements, including such modifications as may be permitted in the approval of the PUD.*

**Recommendation.** The Planning Commission must carefully consider the comments made during the public hearing at the January 12<sup>th</sup> meeting, as well as comments offered by the applicant and Planning Commissioners. We believe that the proposed mixed-use building meets the intent of the C-1 Village Commercial District and that a favorable recommendation to the City Council is appropriate based on the findings outlined in this memorandum demonstrating that it meets the approval standards of 27.06. If the Planning Commission is comfortable with the requested departures from the applicable base regulations as described in this memorandum, a favorable recommendation to the City Council may be offered.

**Suggested motion:**

I move to forward a favorable recommendation to the Douglas City Council for the approval of the Final PUD plan for Douglas Flats, a 3,069 square foot, mixed-use building located at 200 Center Street (PPN 59-600-003-00), in accordance with the plan set last revision dated 12/23/2022, subject to the following conditions: The applicant shall address all concerns noted in the City Engineer's report dated 12/29/2022, prior to City Council's review of the final PUD

plan.

1. The applicant shall address any and all concerns relayed by the Saugatuck Township Fire Department, prior to City Council's review of the final PUD plan.
2. The applicant shall address any and all concerns relayed by the Kalamazoo Lake Sewer and Water Authority, prior to City Council's review of the final PUD plan.
3. The applicant shall revise the landscape plan to include a row of arbor vitae along the north property line, prior to City Council's review of the final PUD plan.
4. The applicant shall submit a lighting and photometric plan that provides locations for exterior lighting and illumination levels, as well as fixture specifications.

Please feel free to reach out to us with any questions.

December 29, 2022  
2221209

Ms. Tricia Anderson  
Williams&Works  
549 Ottawa Ave., NW Ste. 310  
Grand Rapids, MI 49503

RE: Douglas Flats (200 Center Street)  
Engineering Review Comments

Dear Tricia:

On behalf of the City of Douglas, our office has reviewed the *revised* drawings dated **December 23, 2022** and received **December 28, 2022** for the above referenced project. Our comments regarding the project are as follows: (*The original comments were from our December 16, 2022 review letter.*)

1. The proposed development includes a two-story building for residential and commercial development on about 0.3 acre site. **Information only.**
2. C-205 – Pavement markings for the parking spaces shown on the street should be included. Dimensions should be added to verify the spaces meet the City requirements. **This was added; two spaces are shown on C-205.**
3. C-205 – The existing easement for the sidewalk does not appear to encompass the sidewalk outside the right-of-way. Additional sidewalk easement should be granted. **Additional easement is shown on C-205. The easement should be similar to other agreements the City has accepted, and we recommend this be completed prior to occupancy permit being granted.**
4. C-205 – Radius dimensions should be shown. It appears the proposed radius is rather tight. This would be especially true for any delivery trucks. **Turning template overlay for an aerial fire truck was provided. Normally we would ask for a minimum of 25' radius; for this site that would not fit due to the property corner. We suggest requiring 20' radius to help the vehicle movement. Please note that light pole will need to be moved in either case as we recommend that there is a minimum of 2 feet of clearance from the back of the curb.**
5. C-205 – The concrete drive and sidewalk in the right-of-way should be 6 inches thick as there will be commercial traffic. **This is noted on C-205.**
6. C-400 – All storm sewer shall be reviewed by Allegan County Drain Commissioner's office and meet their standards. **Storm sewer has not been fully reviewed as this has not been submitted to ACDC's office for review yet.**

7. C-400 – If the water service is determined to be lead/galvanized it must be replaced back to the main. A 1” service does not seem large enough for this project. Applicant should consider a 1-1/2” or 2” service. Is there a need for a fire line to this building? ***C-400 shows a new 6” fire line and 2” water service. The existing 1” water service will need to be removed at the main.***

***Based on records received from KLSWA, the water service servicing 41 Blue Star Highway from the right-of-way to the building may still be galvanized. Because the new driveway will be over a portion of this service, the service should be replaced at the time of this project if found to be galvanized.***

***The water depth will need to be field verified is the storm outlet stay as proposed as it may be in conflict. A note should be added to the drawings to field verify.***

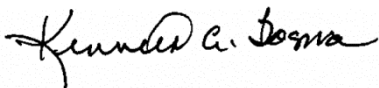
***Metering for the building should be reviewed with KLSWA.***

8. C-400 – Because there is commercial portion to the building, consideration for a possible grease trap and/or monitoring manhole shall be consider if the use requires it. ***This should be noted in any approvals that this may be a future requirement.***
9. This should be reviewed by KLSWA and the Fire Department.
10. The developer is responsible for all review fees.
11. The developer is responsible for obtaining all permits required for this project.

If you have any questions or comments regarding the above, please feel free to call me.

Sincerely,

**Prein&Newhof**



Kenneth A Bosma, P.E.  
KAB/kab

cc: Ms. Jenny Pearson, City of Douglas  
Mr. Daryl VanDyk, KLSWA  
Mr. Steve Witte, Nederveld  
Mr. Ufuk Turan, Developer

## Anderson, Tricia

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**From:** Daryl VanDyke <Daryl@klswa.com>  
**Sent:** Thursday, December 29, 2022 8:29 AM  
**To:** Anderson, Tricia; Ken Bosma; Rich LaBombard  
**Subject:** RE: Douglas Flats - 200 Center St - Proposed Mixed-use Building

Tricia,

Please remind the domestic plumbing engineer to determine the fixture unit count and maximum flow demand of the domestic plumbing necessary for the structure. They should also determine if there will be any irrigation and if so what is the maximum flow required for their irrigation system. It appears that there would be very nominal irrigation, if any, for this property and they may wish to avoid irrigation due to the existing limiting factors.

Due to the number of occupied units I am suspecting that the 1" existing water service may likely be undersized for the structure's needs. A 1" metered service has a maximum flow of 70 gpm which will be the limiting factor for the 1" water service for the structure.

*Daryl VanDyke, Manager*

Kalamazoo Lake Sewer & Water Authority  
6449 Old Allegan Rd., PO Box 789  
Saugatuck, MI 49453  
(269)857-2709  
[daryl@klswa.com](mailto:daryl@klswa.com)

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**From:** Anderson, Tricia <Anderson@williams-works.com>  
**Sent:** Wednesday, December 28, 2022 1:24 PM  
**To:** Ken Bosma <KBosma@preinnewhof.com>; Chris Mantels <cmantels@saugatuckfire.org>; Greg Janik <gjanik@saugatuckfire.org>; rzoet@douglasmi.gov; Rich LaBombard <rlabombard@douglasmi.gov>; Daryl VanDyke <Daryl@klswa.com>  
**Subject:** FW: Douglas Flats - 200 Center St - Proposed Mixed-use Building

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. Please reach out to EGLtech if you would like any assistance with this email.

All,

Please see the revised plan set for the proposed mixed-use building at 200 Center Street. Steve Witte has provided a summary below of all the changes that have been made to the plans per our discussion at the SPRC meeting. Please provide written comments to be included in the Planning Commission packets to me by January 4, 2023. Thank you!

**Tricia Anderson, AICP**  
Planner + Project Manager

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**williams&works**  
(616) 224-1500 | (800) 224-1590  
[williams-works.com](http://williams-works.com)

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**From:** Steve Witte <[switte@nederveld.com](mailto:switte@nederveld.com)>  
**Sent:** Wednesday, December 28, 2022 1:15 PM

To: Anderson, Tricia <[Anderson@williams-works.com](mailto:Anderson@williams-works.com)>

Subject: Douglas Flats - overnight submittal

Hi Trisha.

I hope you had a great Christmas!

I modified the plans per staff comments. Attached is a pdf of what I plan on printing and overnighting to you/city. I won't print copies of the last attachment (truck turns), but the rest will be FedEx'd to the city for delivery tomorrow. If you want met to send the hard copies to you at Williams & Works instead, please let me know.

Please also forward this to whoever at the city would be interested in the attached/below:

Please note that the following changes have been made per staff comments:

- 1). Changed 'Village' to 'City' everywhere I could find it.
- 2). Added a line between the light poles in the city ROW to illustrate underground electric line (approximate location).
- 3). We are now proposing a new water service and fire protection line. It is understood that if the existing 1" service is disturbed, it may have to be abandoned/removed at the main if it is lead/galvanized.
- 4). Deleted a couple of the unused SESC numbers from the SESC legend.
- 5). Added a standard leaching catchbasin detail. The grate types (EJIW) are specified on the plans.
- 6). Construction Note #32 has been added to the C400 stating all permits/approvals are required prior to start of construction.
- 7). There was a comment about possibly needing a wider access driveway to the west and/or north. For now, I kept it as is.
- 9). I moved the building a couple of inches west to make sure we have at least 10 ft of space between existing building to the east and our building.
- 10). The building must be sprinkled. For now, I'm showing a 6" line on the plan, but the fire protection designer/plumbing engineer will have to verify the size/pressure.
- 11). I currently show a new 2" domestic water line to the building. The plumbing engineer will need to verify the size.
- 12). The fire department mentioned a fire truck has a 28 ft inside radius and that the drive entrance curb radius is likely too sharp. I modified the west radius to be 10 ft. I had mentioned we could make the radii larger at the meeting – which we definitely can if required. But doing so would result in only 1 parallel space on Center instead of 2. In thinking more about this, though, the fire truck can swing a bit onto Center Street, so it seems like they could fairly easily make the turn as is. I have attached a 'truck maneuvering' plan showing a truck with a minimum 28 ft inside radius – to show how the vehicle could enter/exit the site okay.
- 13). The 'east' and 'west' elevation text error on the building elevation sheet has been corrected.
- 14). We talked about me contacting Kalamazoo Lake Sewer and Water to see if they have any flow tests on the watermain. I will follow up with them on this, as well as send them a pdf of the plans for any comments they might have.
- 15). We will need soil borings and a permeability test for the drainage design (this is in Ken Bosma's review letter). This will be ordered and obtained pending comments back from the Planning Commission/city (we would like to know in general that the city/Planning Commission is supportive of the project before Turan spend a bunch more money on geotechnical work).
- 16). I have modified the attached narrative to include a list of the known deviations to the ordinance. Briefly, we're aware of the following:
  - a). Building height
  - b). Deficiency in parking
  - c). Ground floor residential use.

- 17). I modified the site plan general notes/parking calculations to be 'correct' as I interpret the ordinance (18 spaces required).
- 18). I added a sheet in the plan set to include an aerial and to illustrate within 300 ft of the property (see sheet 6 of 6)

Per Ken's review letter dated December 16, please note the following:

- 1). The building is actually three stories tall.
- 2). The pavement markings/parking is now shown on the plan. As shown, the parallel spaces would be 23 ft long.
- 3). I illustrate where the sidewalk easement could be added/expanded to include the existing sidewalk that is not already in an easement.
- 4). I added dimensions on the radii. I slightly increased the exit radius to the west. I have them drawn at 10 ft now, which is rather tight. But it is not envisioned that there will be a ton of traffic here, and keeping the 10 ft radius allows two parallel spaces to remain on Center Street.
- 5). I added a note stating that the concrete apron/sidewalk shall consist of 6" thick concrete.
- 6). It is understood that ACDC will have to review/approve the drainage. This will be worked out/fully designed pending preliminary approval of the project by the city.
- 7). Okay on the water service. As mentioned above and at our meeting, new services will be provided to the building.
- 8). Per the owner, he is not anticipating any sort of use that would require a grease trap. Therefore, he would like to avoid installing one at this time.
- 9). I will follow up with KLSWA on the project. I know the fire department has and will review the plan as well.
- 10). All review fees will be paid by the owner.
- 11). All permits will be obtained by the owner. However, obviously, the first step is to obtain site plan approval of the project from the city.

Please review the above and the attached and let me know if you have any questions or need anything else. Assuming I don't hear from you before 2 pm, I'll have our admin support print the plans and overnight them to Douglas.

Thank you very much for your continued help on this. I really appreciate it.

Steve  
616-292-5953

**Steve Witte PE**

800.222.1868  
[www.nederveld.com](http://www.nederveld.com)



# DOUGLAS FLATS

## 200 CENTER STREET, DOUGLAS

### Narrative

**OVERVIEW:** The 200 Center Street property is part of a larger PUD that includes six additional parcels to the east of the subject site. The existing PUD includes the following existing uses: real estate office, vacant land owned by the library, residential uses, and a three-story mixed use (commercial and residential) building located at 150 Center Street.

The proposed project on 200 Center Street consists of a three-story mixed use building. Commercial space will be provided on the ground floor, with a total of 10 residential units. 2 residential units are provided on the ground floor in the back/rear of the building, 4 additional residential units are provided on the second floor, and 4 additional residential units are provided on the third floor. Five of the residential units will be 1-bedroom units, and the other five will be 2-bedroom units.

The property will be accessed via a single proposed driveway off Center Street. A total of 12 parking spaces are provided on site, along with bicycle racks.

The building will be serviced by public sanitary sewer and water. Leaching catchbasins and perforated pipe are proposed for storm water management of the property.

Landscaping is provided as required by the ordinance.

### **WRITTEN STATEMENT OF KNOWN DEPARTURES FROM THE PREVISIONS OF THE ZONING ORDINANCE:**

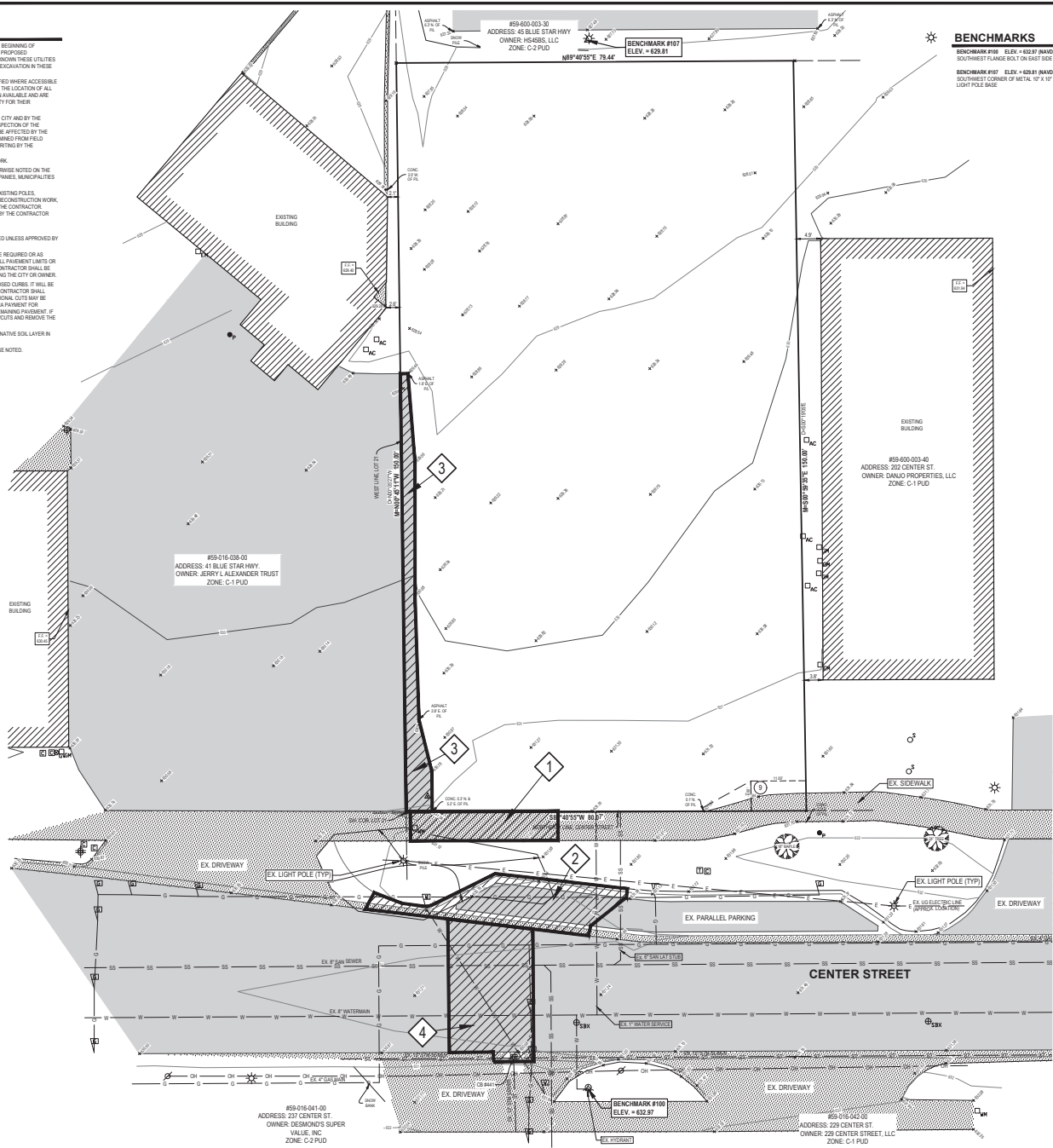
- 1). **Building Height:** The proposed building height is 33 ft to the ceiling, and 36 ft to the top of the parapet wall. Section 10.02.D of the zoning ordinance states that the normal C-1 district allows buildings to be 28 ft tall. It is our understanding that the PUD allows for flexibility in building height. Note that the existing building located at 150 Center Street is also a three story, mixed use building.
- 2). **Number of Parking Spaces.** 12 on-site parking spaces are proposed. Per the zoning ordinance, normally a total of 18 parking spaces are required for the site. It is our understanding that per Section 10.04.b.1 of the zoning ordinance, the planning commission can waive up to 50% of the required parking for allowed uses (ground floor commercial and the upper level residential)– which would bring the required parking down to 9 required. Therefore, the parking is not necessarily a departure, although it would require the planning commission to waive some parking.
- 3). **Ground floor residential:** Ground floor residential is proposed in the back of the proposed building (commercial is located along Center Street). Section 10.02.B lists ground floor residential as a special land use in the C-1 district. One of the special land use standards for ground floor residential in the C-1 district is for the site to be adjacent to property zoned residential. The surrounding property is zoned PUD, which allows for residential uses, but the abutting property is not a straight residential zoning district.

**REMOVAL / DEMOLITION NOTES**

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED RECONSTRUCTION WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED BY VISUAL MEANS, THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE. ONLY INFORMATION OBTAINED FROM EXISTING RECORDS MAY BE USED TO DETERMINE THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING UTILITIES WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPEARANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDEVELOPED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPEARANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL EGRESS SHALL BE MAINTAINED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAVINGS AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH. ALL PAVEMENT LIMITS OR EXISTING JOINTS, IF ANY DAMAGE IS INCURRED TO ANY OF THE SUBGRADING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO AGENCIES ELSE INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED SHALL BE FULL DEPTH AS ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAVINGS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE REQUIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO RETURN PAVEMENT OR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/YEAR.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

**REMOVAL / DEMOLITION NOTES**

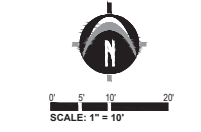
- ◆ SAWCUT, REMOVE, AND REPLACE EX. CONCRETE SIDEWALK FOR DRIVEWAY. CONCRETE ACROSS APPROACH SHALL BE RECONSTRUCTED WITH A MINIMUM 8" THICK CONCRETE (TYP)
- ◆ SAWCUT, REMOVE, AND REPLACE EXISTING ASPHALT CURBING, ETC. AS NECESSARY FOR PROPOSED DRIVE APPROACH (TYP)
- ◆ SAWCUT AND REMOVE EXISTING ASPHALT AT PROPERTY LINE. REPAIR AS NECESSARY.
- ◆ SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT AND CURBING AND SIDEWALK AS NECESSARY IN CENTER STREET AND OPPOSITE DRIVEWAY APPROACH FOR SEWER AND WATER SERVICE CONNECTION.



**BENCHMARKS**

**BENCHMARK #101** ELEV. = 624.37 (NAVD83)  
SOUTHWEST CORNER OF METAL 10' X 10' X 4" BASE ON CONC. LIGHT POLE BASE.

**BENCHMARK #102** ELEV. = 624.37 (NAVD83)  
SOUTHWEST CORNER OF METAL 10' X 10' X 4" BASE ON CONC. LIGHT POLE BASE.



**STRUCTURE INFORMATION**

**Structure 441**  
Rtn Elev. = 620.86  
12" CONC. (E) = 626.46  
12" CONC. (W) = 625.42

**LEGEND**

	Air Conditioner		Post
	Benchmark / Control Point		Phone Rise
	Catch Basin - Round		Stop Box
	Catch Basin - Square		Sign
	Cable Rise		Water Meter
	Christmas Tree		Gas
	Electric Meter		Overhead Utility
	Gas Meter		Watermain
	Gas Valve		Asphalt
	Hydrant		Concrete
	Iron - Found		Existing Building
	Light Pole		Measured
	Misc Dig Flag - Gas		Described
	Misc Dig Flag - Water		

**SCHEDULE B - SECTION II NOTES**

- 1) Easement in favor of Consumers Power Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 901, page 431. Said easement is not on, does not touch, and/or is based on the description contained in the record document - does not affect the surveyed property, and is not shown on this survey.
- 2) Terms and Conditions contained in Sidewalk Easement No. 11 as disclosed by instrument recorded in Liber 295, page 150. The easement described in this document is shown on this survey.

**TITLE INFORMATION**

The Title Description and Schedule B items hereon are from Premier Lakeshore Title Agency, Commitment No. 4012-059170, dated September 13, 2021.

**TITLE DESCRIPTION**

The land situated in the County of Allegan, City of Douglas, State of Michigan, is described as follows:  
  
Lot 21 and part of Lots 22 and 23, Spencer's Second Addition, according to the recorded plat thereof, described as Beginning at the Southwest corner of said Lot 21, Spencer's Addition to the Village of Douglas, as recorded in Liber 5 of Flats, page 57, thence along the West line of said Lot 21, North 00°04'40" West (referred to as North 00°02'07" West), 150.00 feet; thence North 89°45'05" East 75.44 feet; thence South 00°19'05" East 150.00 feet to the Northern line of Center Street, thence along said Northern line, South 89°40'35" West 80.70 feet to the place of beginning of this description.

**811 Know what's below. CALL before you dig.**

UTILITY COMPANIES ARE ADVISED FROM ACTUAL INFORMATION OR RECORDS. VISUAL CHECKS AND APPROVED TO BE EXACT. CONDITIONS NOT SHOWN OR NOT ASSURED THAT THEY ARE THE ONLY UTILITIES PRESENT.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS PLANS HAVE BEEN OBTAINED FROM EXISTING RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION.

**NEDERVELD**

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Grand Rapids, MI 49503  
Phone: 616.575.8190

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HOLLAND  
INDIANAPOLIS

**PREPARED FOR:**  
Douglas Flats, LLC  
Attention: USA Turan  
7437 River Street  
Ada, MI 49301  
Telephone: (616) 682-2222

**REVISIONS:**

Title: Preliminary Site Plan	Checked: SW	Date: 03/19/22
Title: Preliminary Site Plan	Checked: SW	Date: 06/07/22
Title: Site Plan	Checked: SW	Date: 08/10/22
Title: Site Plan	Checked: SW	Date: 11/09/22
Title: Site Plan	Checked: SW	Date: 11/29/22
Title: Per City Staff	Checked: SW	Date: 12/22/22

**Douglas Flats**  
Existing Conditions and Demolition Plan  
230 Center Street  
PART OF THE NORTHEAST 1/4 OF SECTION 16, T2N, R17W,  
CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
STEVEN L. WHITE  
ENGINEER  
No. 46769  
*Steven L. White*

**PROJECT NO:**  
22200138

**SHEET NO:**  
**C-201**

**SHEET: 1 OF 6**

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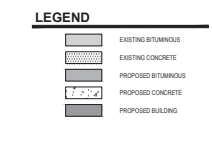
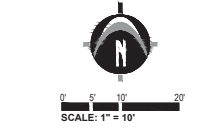


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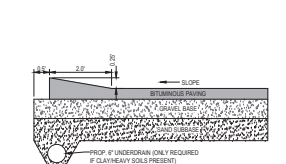
REVISIONS:

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Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 06/07/22
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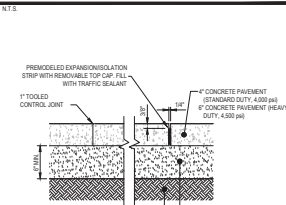


GENERAL NOTES

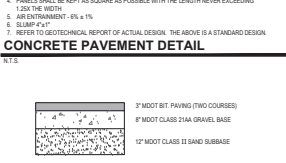
- EXISTING PROPOSED ZONING OF PROPERTY: C-1 P.U.D. (C-1 C.P.U.D.)  
FORMAL C-1 ZONING REQUIREMENTS:  
MINIMUM LOT AREA = 4,000 SF  
MINIMUM LOT WIDTH = 20 FT  
MAXIMUM ALLOWED BUILDING HEIGHT = 28 FT / 2 STORES  
MAXIMUM ALLOWED BUILDING COVERAGE = 40%  
MINIMUM ALLOWED BUILDING SETBACKS:  
FRONT YARD = 5 FT  
SIDE YARD = 5 FT  
REAR YARD = 5 FT
- SUMMARY OF LAND USE:  
A) TOTAL AREA = 1.22 ACRES (APPROXIMATELY 1,962 SF) (EXCLUDING ROAD R.O.W.)  
B) AREA OF PROPOSED BUILDING FOOTPRINT = APPROXIMATELY 3,069 SF (GROUND FLOOR) + APPROXIMATELY 1,407 SF (SECOND FLOOR)  
C) PROPOSED BUILDING HEIGHT = 33 FT TO CEILING, 38 FT TO TOP OF PARAPET (3 STORES)  
D) GROUND FLOOR BUILDING LOT COVERAGE = APPROXIMATELY 25.0%  
E) PROPOSED NEW ON-SITE ASPHALT CONCRETE AREA = APPROXIMATELY 1,600 SF  
F) TOTAL ASPHALT PAVEMENT AREA = APPROXIMATELY 18,000 SF  
G) THE GROUND FLOOR OF THE BUILDING WILL BE RETAIL ON SOUTHERN PORTION AND 2 RESIDENTIAL UNITS ON NORTHERN PORTION.  
H) THE SECOND FLOOR WILL CONSIST OF FOUR RESIDENTIAL UNITS (2 2-BED AND 2 1-BED UNITS). THE THIRD FLOOR WILL CONSIST OF FOUR RESIDENTIAL UNITS (2 2-BED AND 2 1-BED UNITS).
- PARKING REQUIREMENTS:  
A) TYPICAL PARKING SPACE = 8' x 14' (20' TWO-WAY DRIVE ALLEYS)  
B) TYPICAL BARRIER FREE SPACE = 8' x 20' (8' WIDE WALKWAY ASIDE)  
C) NUMBER OF SPACES REQUIRED = 18 TOTAL  
D) 4+ RESIDENTIAL = BASED ON PER RESIDENTIAL UNIT (UNDER 800 SF) PLUS  
E) RETAIL = BASED ON PER 100 SF OF GROUND FLOOR AREA (ASSUMES 1.5% SF USABLE)  
F) NUMBER OF SPACES PROVIDED: 12 (INCLUDING BARRIER FREE SPACE)  
G) NORMAL MINIMUM ALLOWED PARKING SETBACK = 5 FT FRONT  
2 FT REAR  
2 FT BY SIDE REAR  
H) PARKING SPACES SHALL BE STRIPPED WITH 4" WIDE PAINT  
I) THE PROJECT IS SET IN THE 100-YEAR FLOODPLAIN  
J) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF BEST PRACTICES, SEDIMENT AND EROSION CONTROL MEASURES, FERTILIZER AND PESTICIDE MANAGEMENT, AND PROTECTION OF THE UNDERLYING SOIL. DRAINAGE PROTECTION MEASURES.  
K) SIGNS SHALL BE CONSTRUCTED TO THE STANDARDS SET FORTH BY THE VILLAGE OF DOUGLAS ZONING ORDINANCE.  
L) UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
M) CONTRACTOR TO FIELD VERIFY ALL UTILITIES.  
N) ALL LIGHTING SHALL COMPLY WITH THE VILLAGE OF DOUGLAS ZONING ORDINANCE. ALL LIGHTING SHALL BE FULLY SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF SODIUM VAPOR LIGHTS AT BUILDING ENTRANCES AND SHIELDED WALL MOUNTED LIGHTS. THE FUTURES WILL BE CHECKED TYPE FIXTURES THAT MEET THE LIGHTING ORDINANCE.  
O) LANDSCAPING SHALL COMPLY WITH THE REQUIREMENTS OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE TYPE FIXTURES THAT MEET THE LIGHTING ORDINANCE.  
P) THE PERMANENT FENCE NUMBERS FOR THE SITE IS IN ADJACENT.  
Q) THE ADDRESS FOR THE SITE IS 202 CENTER STREET.  
R) THE STORM WATER RUNOFF FROM THE SITE WILL BE COLLECTED BY CATCHBASINS AND STORM SEWERS PERIOD AND WILL DISCHARGE AT THE ALLOWABLE RATE TO THE STORM SEWER SYSTEM IN THE VICINITY OF THE SITE. THE SOIL IS PRIMARILY FRANKLIN LOAM SAND AND URBAN LAND OVERLIE COMPLEX, BASED ON THE USGS SOIL SURVEY MAP INFORMATION.



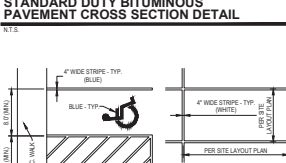
PRIVATE ROAD & SITE BITUMINOUS VALLEY GUTTER DETAIL



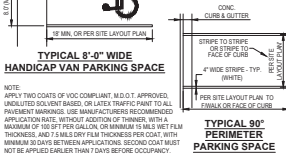
CONCRETE PAVEMENT DETAIL



STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL

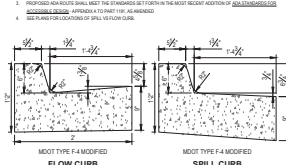


TYPICAL 8'-0" WIDE HANDICAP VAN PARKING SPACE



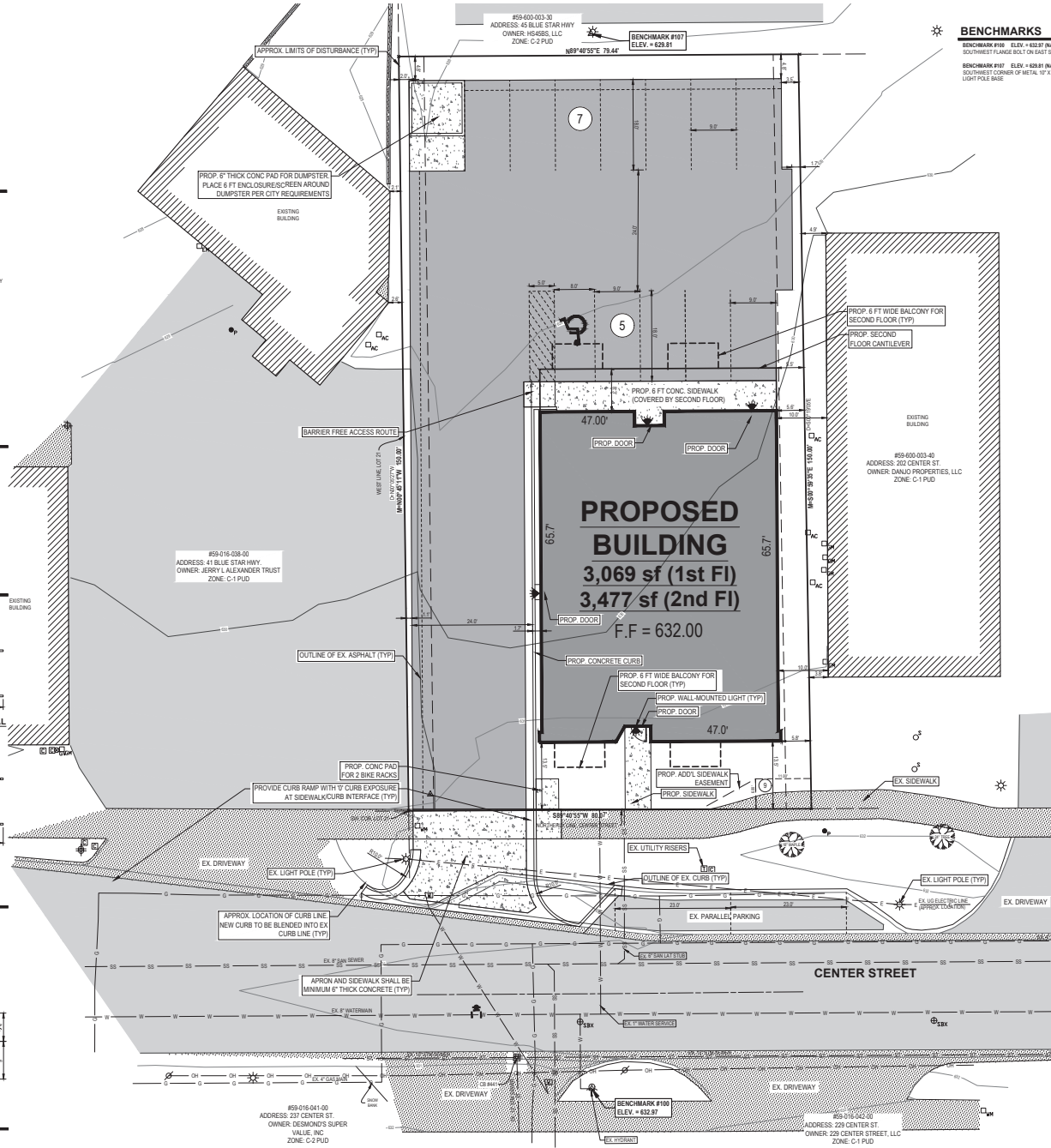
TYPICAL 9'-0" PERIMETER PARKING SPACE

PARKING SPACE MARKING DETAILS

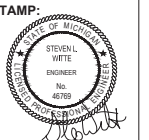


24" CONCRETE CURB AND GUTTER DETAIL

Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — High Definition Scanning — Forensic Engineering — Fire Investigation



Douglas Flats  
Site Layout Plan  
202 Center Street  
PART OF THE NORTHEAST 1/4 OF SECTION 16, T3N, R17W,  
CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN



PROJECT NO:  
22200138  
SHEET NO:  
C-205  
SHEET: 2 OF 6



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS UNLESS SO INDICATED BY THE DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND SERVICES PRIOR TO ANY CONSTRUCTION.

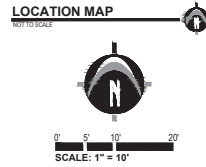


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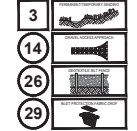


**LEGEND**

[Pattern]	EXISTING BITUMINOUS
[Pattern]	EXISTING CONCRETE
[Pattern]	PROPOSED BITUMINOUS
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED BUILDING

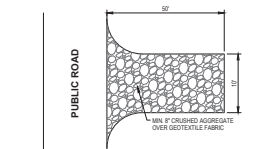
**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL SHRE EARTH SHALL BE STABILIZED WITH SEEDING. REFER TO THE M.D.O.'S SOIL EROSION AND SEDIMENTATION CONTROL MANUAL APPENDIX FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND HAS RECEIVED THEREOF PROVIDED TO THE ENGINEER AND COUNTY RESIC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY EROSION MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

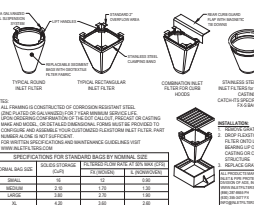


**SOIL EROSION CONTROL SCHEDULE 2023**

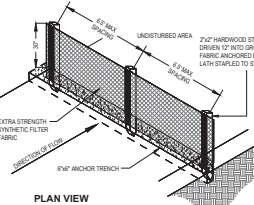
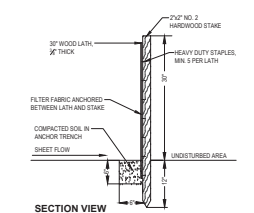
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STORM & STORAGE TRENCH												
CONSTRUCT CONNECTION TO STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESURFACE TOPSOIL COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												



**TEMPORARY CRUSHED ROCK TRACKING PAD**



**FLEXSTORM INLET FILTER DETAIL**

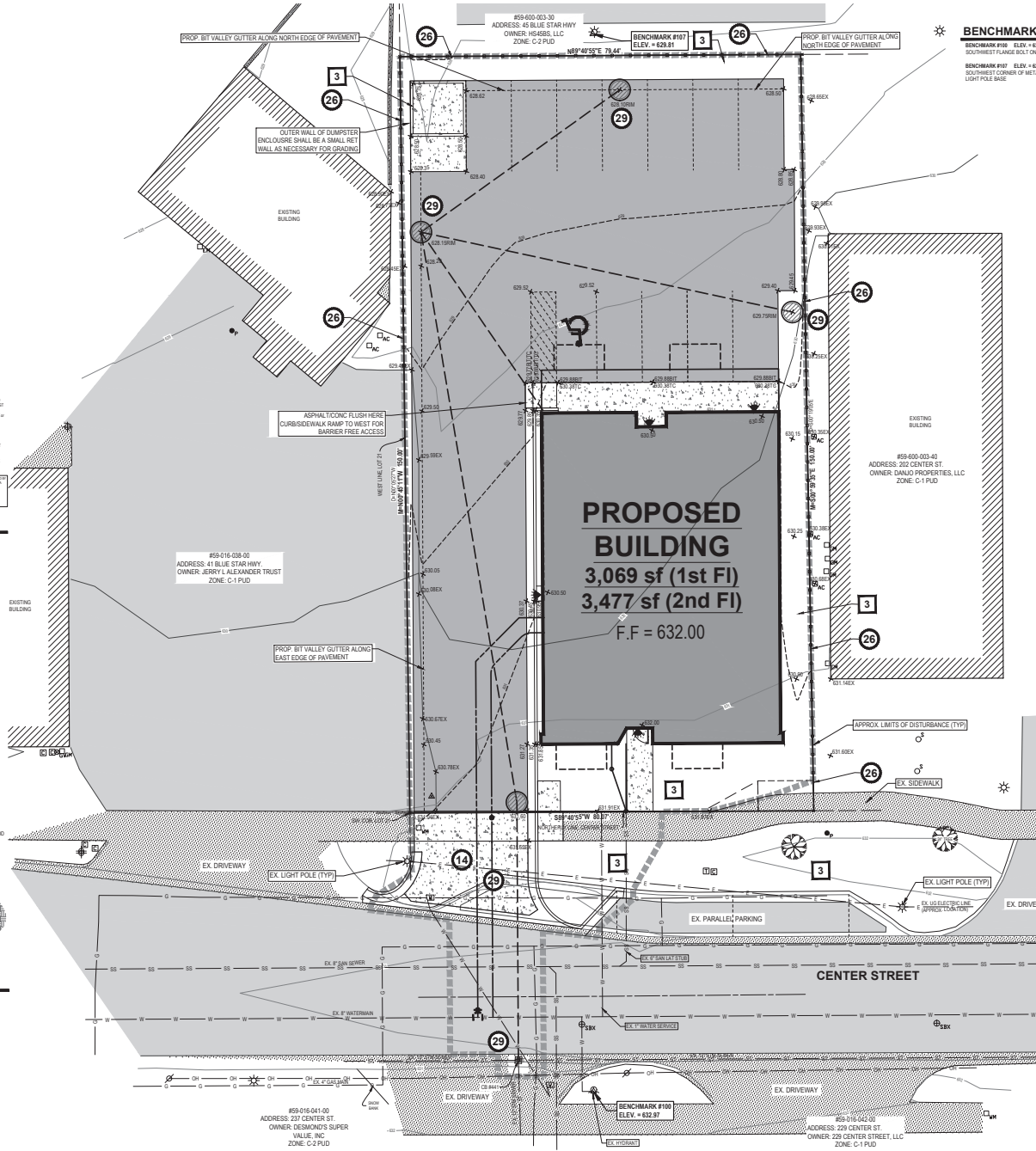


**SILT FENCE DETAIL**

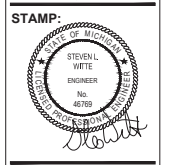
**811 Know what's below. CALL before you dig.**

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL RECORDINGS OR SURVEY RECORDS. THIS SHALL NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES PRESENT.

NOTE: ALL UTILITIES AND SERVICE LINES IDENTIFIED AS "UTILITY HERE SHOWN" FROM THIS SURVEY SHALL BE DEEMED TO BE THE PROPERTY OF THE CITY OF GRAND RAPIDS AND SHALL BE THE RESPONSIBILITY OF THE CITY OF GRAND RAPIDS FOR ANY DAMAGE TO SUCH UTILITIES OR SERVICE LINES DURING CONSTRUCTION.



**Douglas Flats**  
Grading & Soil Erosion Control Plan  
230 Center Street  
PART OF THE NORTHEAST 1/4 OF SECTION 16, T21N, R17W,  
CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN



**PROJECT NO:**  
22200138

**SHEET NO:**  
**C-300**

**SHEET:** 3 OF 6

**NEDERVELD**

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GRAND RAPIDS  
217 Delaware Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.575.9190

ANN ARBOR  
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HOLLAND  
INDIANAPOLIS

**PREPARED FOR:**  
Douglas Flats, LLC  
Attention: USA, Turen

7437 River Street  
Ada, MI 49301  
Telephone: (616) 682-2222

**REVISIONS:**

Tilt Pathway Site Plan	Checked SW	Date: 03/19/22
Tilt Pathway Site Plan	Checked SW	Date: 06/07/22
Tilt Site Plan	Checked SW	Date: 08/10/22
Tilt Site Plan	Checked SW	Date: 11/09/22
Tilt Site Plan	Checked SW	Date: 11/09/22
Tilt Per City Staff	Checked SW	Date: 12/02/22

**Douglas Flats**  
Utility Plan  
230 Center Street  
Ada, MI 49301

PART OF THE NORTHEAST 1/4 OF SECTION 16, T21N, R17W, CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN

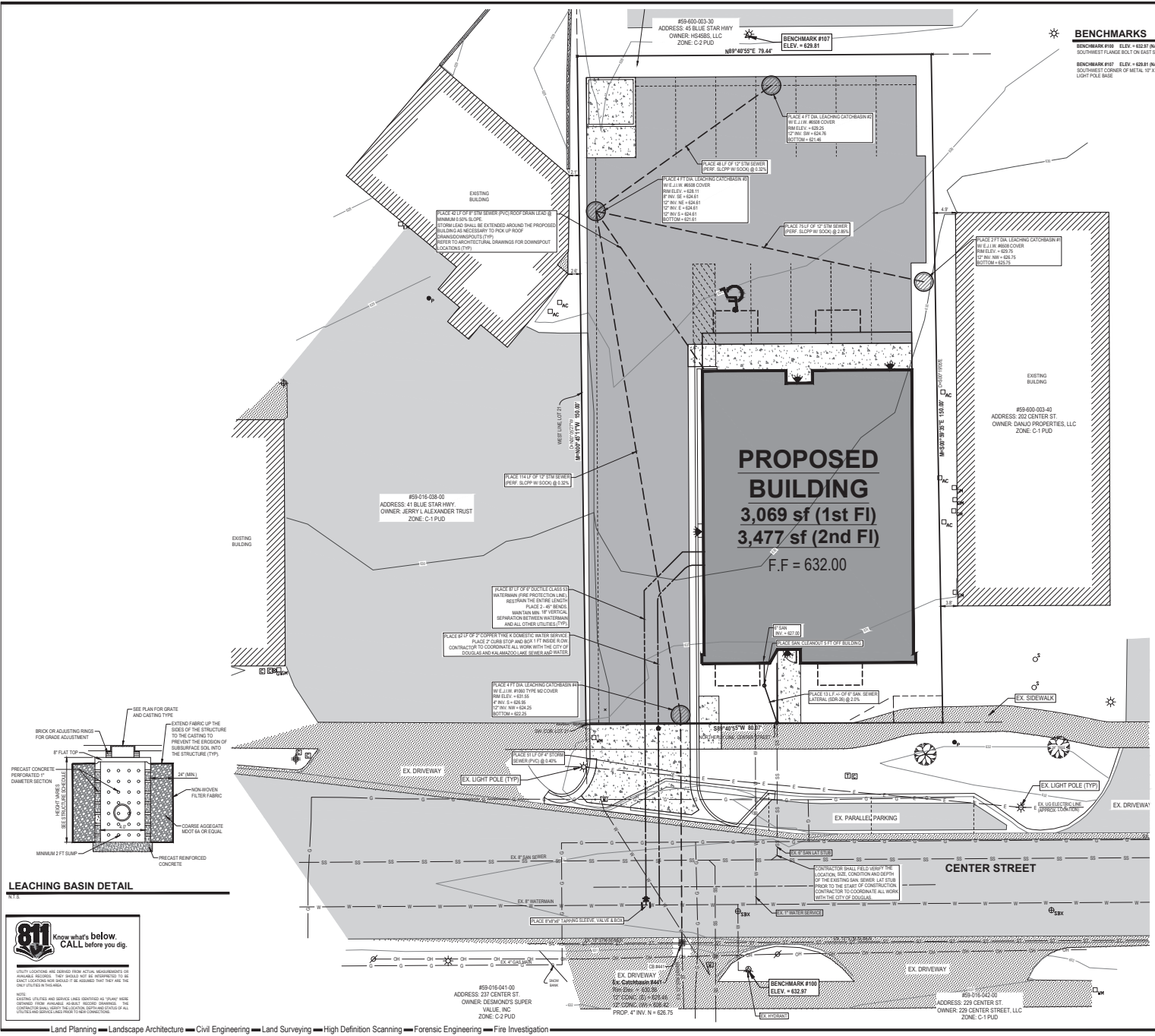
**STAMP:**

STATE OF MICHIGAN  
REVEN L. WHITE  
ENGINEER  
No. 46709

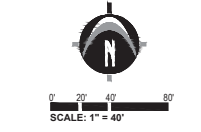
**PROJECT NO:**  
22001138

**SHEET NO:**  
**C-400**

**SHEET: 4 OF 6**







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**GRAND RAPIDS**  
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**ANN ARBOR**  
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**PREPARED FOR:**  
 Douglas Flats, LLC  
 Attention: Uluk Turan  
 7437 River Street  
 Ada, MI 49301  
 Telephone: (616) 682-2222

**REVISIONS:**

Title: Preliminary Site Plan	Drawn SW	Checked SW	Date: 03/15/22
Title: Preliminary Site Plan	Drawn SW	Checked SW	Date: 06/07/22
Title: Site Plan	Drawn SW	Checked SW	Date: 08/10/22
Title: Site Plan	Drawn SW	Checked SW	Date: 11/09/22
Title: Site Plan	Drawn SW	Checked SW	Date: 11/09/22
Title: Per City Staff	Drawn SW	Checked SW	Date: 12/22/22

**Douglas Flats**  
**Aerial OverviewPlan**  
 200 Center Street  
 PART OF THE NORTHEAST 1/4 OF SECTION 16, T2N, R15W,  
 CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN

**STAMP:**

**PROJECT NO:**  
22200138

**SHEET NO:**  
**C-600**

**SHEET: 6 OF 6**

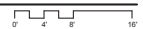
**811** Know what's below. CALL before you dig.

PLANT LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS OR BE SUBJECT TO ANY WARRANTY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SERVICES PRIOR TO ANY CONSTRUCTION.



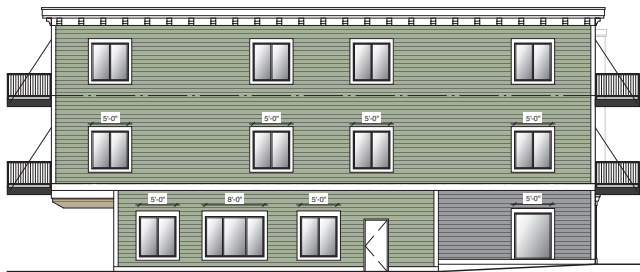
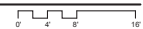
**6. South Elevation**

SCALE: 1" = 18"  
 TRANSPARENCY CALCULATIONS  
 RESIDENTIAL: 47' @ 30% = 14.1'; PROPOSED: 26'  
 COMMERCIAL: 47' @ 60% = 28.2'; PROPOSED: 29'



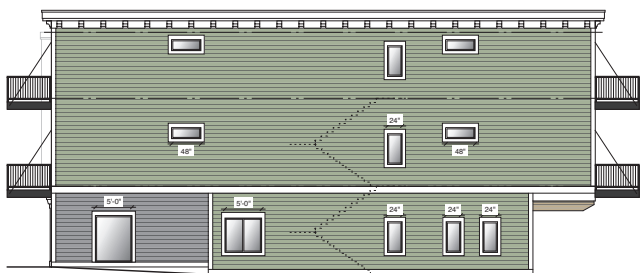
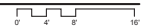
**5. North Elevation**

SCALE: 1" = 18"  
 TRANSPARENCY CALCULATIONS  
 RESIDENTIAL: 47' @ 30% = 14.1'; PROPOSED: 26'  
 COMMERCIAL: 47' @ 60% = 28.2'; PROPOSED: 29'



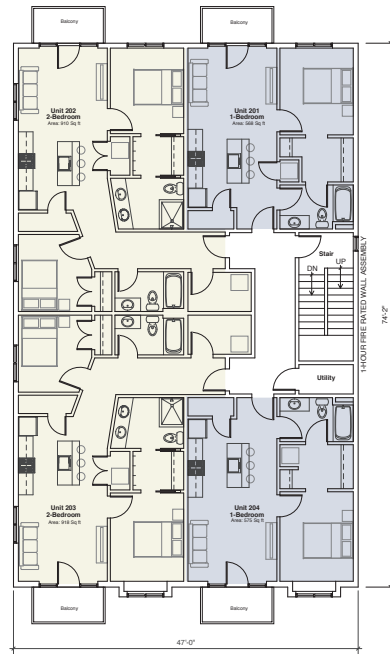
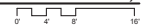
**4. West Elevation**

SCALE: 1" = 18"  
 TRANSPARENCY CALCULATIONS  
 RESIDENTIAL: 22' @ 30% = 6.6'; PROPOSED: 14'  
 COMMERCIAL: 22' @ 60% = 13.2'; PROPOSED: 14'



**3. East Elevation (1-HR FIRE RATED ASSEMBLY, CODE-LIMITED GLAZING AREA)**

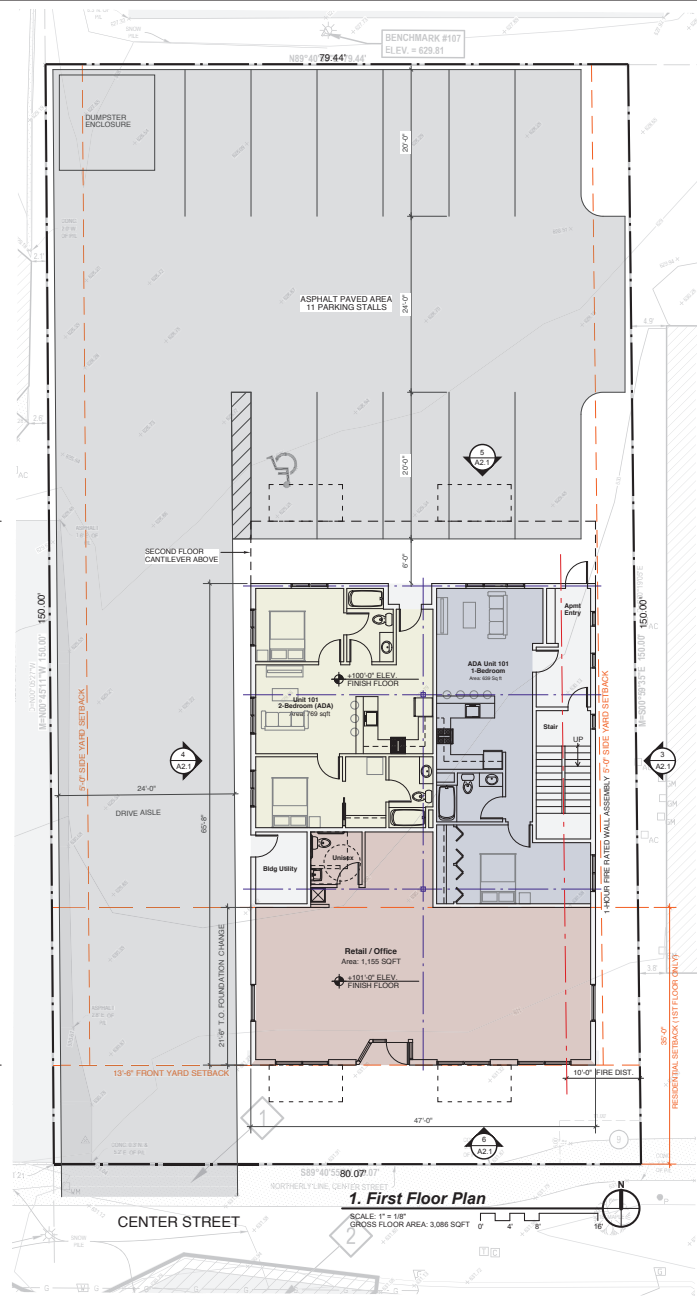
SCALE: 1" = 18"  
 TRANSPARENCY CALCULATIONS  
 RESIDENTIAL: 44' @ 25' @ 30% = 13.20'; PROPOSED: 11' (CODE LIMITED TO 25% = 11')  
 COMMERCIAL: 21.5' @ 60% = 12.9'; PROPOSED: 9' (CODE LIMITED TO 25% = 5.4')



**2. Second & Third Floor Plans**

SCALE: 1" = 18"  
 GROSS FLOOR AREA: 3,485 SQFT

- ADA REQUIREMENTS**  
 4+ Dwelling Units = FHA requirements kick in  
 - either (1) ground floor accessible Dwelling Unit  
 - or, all units accessed by elevator  
 - multi-story townhouses are exempt w/ exceptions



**1. First Floor Plan**

SCALE: 1" = 18"  
 GROSS FLOOR AREA: 3,086 SQFT



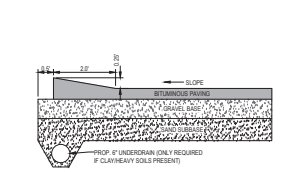
**Douglas Flats Mixed-Use Building**  
 215 Center Street  
 Douglas, Michigan  
**Conceptual Plans & Elevations**



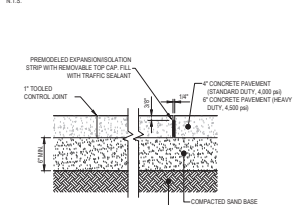
Revisions:  
 Plan Review: 12/29/2022

Project No.: 221061  
 Issue Date: 12/29/22  
 Reviewer: KCD  
 Drawn By: DBC

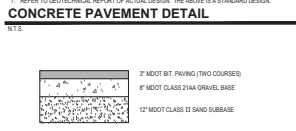
**A2.1**



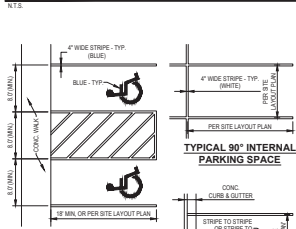
**PRIVATE ROAD & SITE BITUMINOUS VALLEY GUTTER DETAIL**



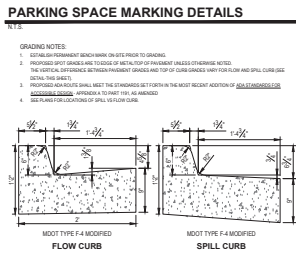
**CONCRETE PAVEMENT DETAIL**



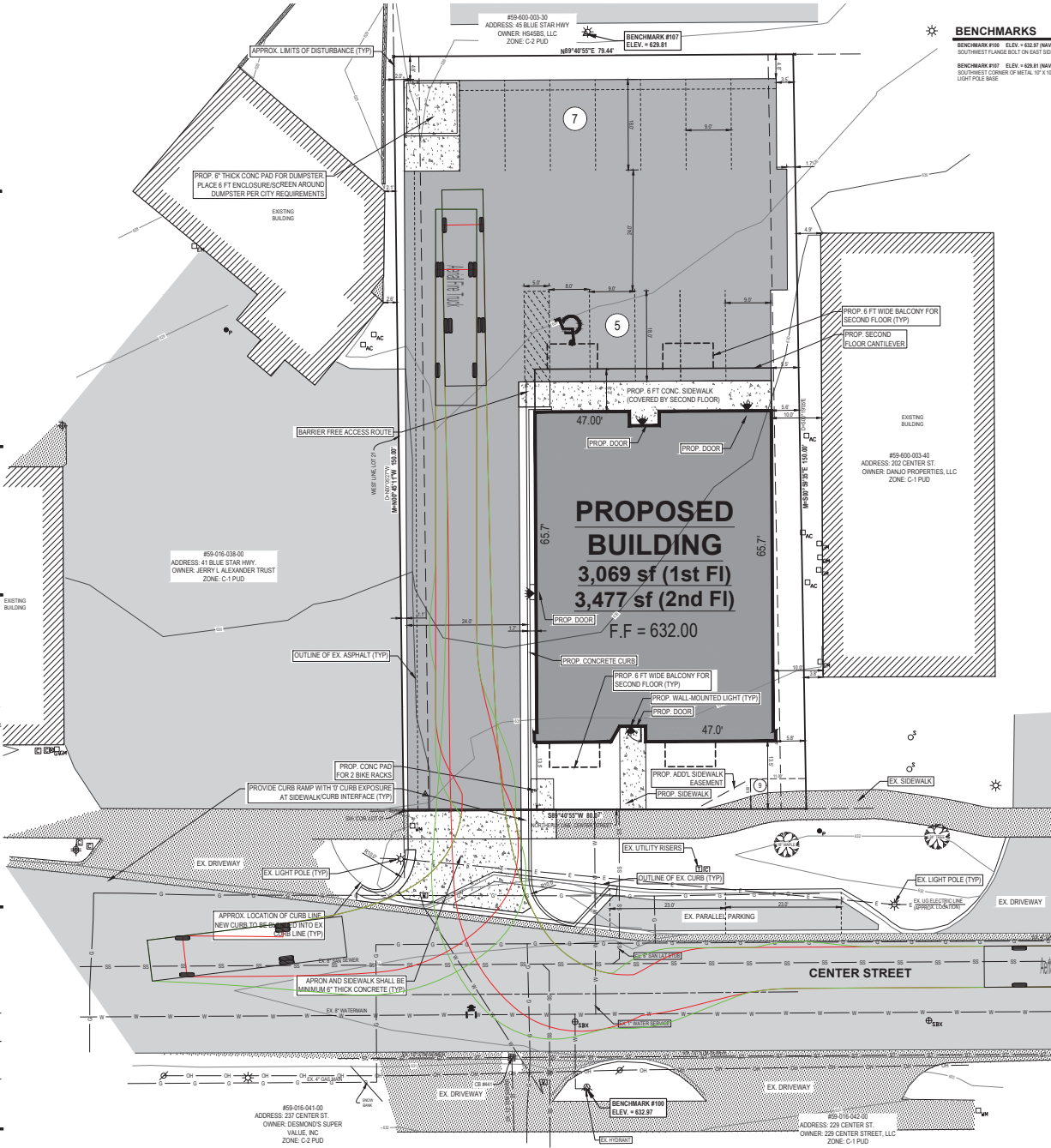
**STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**



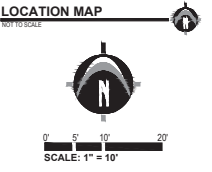
**PARKING SPACE MARKING DETAILS**



**24\"/>**



**BENCHMARKS**  
 BENCHMARK #100 ELEV. = 632.87 (NAVD83)  
 SOUTHWEST CORNER OF METAL 10' X 10' X 9\"/>



**LEGEND**

[Symbol]	EXISTING BITUMINOUS
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED BITUMINOUS
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED BUILDING

**GENERAL NOTES**

- EXISTING PROPOSED ZONING OF PROPERTY: C-1 P LUD (C1 P LUD).
- NORMAL CITY ZONING REQUIREMENTS:  
 A) MINIMUM LOT AREA = 4,000 SF  
 B) MINIMUM LOT WIDTH = 20 FT  
 C) MAXIMUM ALLOWED BUILDING HEIGHT = 20 FT  
 D) MAXIMUM ALLOWED BUILDING SETBACKS:  
 FRONT YARD = 5 FT  
 SIDE YARD = 5 FT  
 REAR YARD = 5 FT
- SUMMARY OF LAND USE:  
 A) TOTAL ACRES = 0.27 ACRES (APPROXIMATELY 11,900 SF EXCLUDING ROAD R.O.I.)  
 B) AREA OF PROPOSED BUILDING FOOTPRINT = APPROXIMATELY 3,069 SF (GROUND FLOOR) + APPROXIMATELY 3,477 SF (SECOND FLOOR)  
 C) PROPOSED BUILDING HEIGHT = 30 FT TO CEILING, 36 FT TO TOP OF PARAPET (2 STORES)  
 D) GROUND FLOOR BUILDING LOT COVERAGE = APPROXIMATELY 25.0%  
 E) PROPOSED NEW ON-SITE ASPHALT/CONCRETE AREA = APPROXIMATELY 1,600 SF  
 F) TOTAL IMPERVIOUS PERCENTAGE = APPROXIMATELY 60% (10.0% IMP.)  
 G) THE GROUND FLOOR OF THE BUILDING WILL BE RETAIL ON SOUTHERN PORTION AND 2 RESIDENTIAL UNITS ON NORTHERN PORTION.  
 THE SECOND FLOOR WILL CONSIST OF FOUR RESIDENTIAL UNITS (2 BEDS AND 2 1 BED UNITS). THE THIRD FLOOR WILL CONSIST OF FOUR RESIDENTIAL UNITS (2 BEDS AND 2 1 BED UNITS).  
 H) ZONING OF SURROUNDING PARCELS:  
 C-1 TO STREET, EAST, SOUTHWEST  
 C-2 TO SOUTHWEST NORTH
- PARKING REQUIREMENTS:  
 A) TYPICAL PARKING SPACE = 9' x 18' (ON TWO-WAY DRIVE ABLE)  
 B) TYPICAL BARRIER FREE SPACE = 4' x 18' (WITH WIDE VAN ACCESSIBLE)  
 C) NUMBER OF SPACES REQUIRED = 18 TOTAL  
 14 = RESIDENTIAL - BASED ON 10% PER RESIDENTIAL UNIT UNDER 900 SF PLUS  
 4 = RETAIL - BASED ON 1% PER SQ. FT. OF GROUND FLOOR AREA (ASSUMES 1.5% SF USED)  
 D) NORMAL MINIMUM ALLOWED PARKING SETBACK = 5 FT FROM  
 2.5 FT FROM REAR  
 F) PARKING SPACES SHALL BE STRIPPED WITH 4\"/>

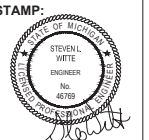
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 INDIANAPOLIS

**PREPARED FOR:**  
 Douglas Flats, LLC  
 Attention: USA Turan  
 7437 River Street  
 Ada, MI 49301  
 Telephone: (616) 682-2222

**REVISIONS:**

Title Pathway Site Plan	Checked: SW	Date: 03/10/22
Title Pathway Site Plan	Checked: SW	Date: 06/21/22
Title Site Plan	Checked: SW	Date: 08/10/22
Title Site Plan	Checked: SW	Date: 11/08/22
Title Site Plan	Checked: SW	Date: 11/08/22
Title Parc City Staff	Checked: SW	Date: 12/23/22

**Douglas Flats**  
**Site Layout Plan**  
 200 Center Street  
 PART OF THE NORTHEAST 1/4 OF SECTION 16, T3N, R15W,  
 CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN



**PROJECT NO:**  
22200138

**SHEET NO:**  
**C-205**

**SHEET: 2 OF 5**



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE ASSUMED TO BE EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.  
 CONTRACTOR TO FIELD VERIFY ALL UTILITIES.  
 ALL LIGHTING SHALL COMPLY WITH THE VILLAGE OF DOUGLAS ZONING ORDINANCE. ALL LIGHTING SHALL BE FULLY SHIELDED TO PREVENT LIGHT POLLUTION. PROPOSED LIGHTING SHALL CONSIST OF SIGHTY LIGHTS AT BUILDING ENTRANCES AND SHIELDED WALL MOUNTED LIGHTS. THE FIXTURES WILL BE SHOCK-PROOF TYPE FIXTURES THAT DIRECT THE LIGHT DOWNWARD.  
 LANDSCAPING SHALL COMPLY WITH THE REQUIREMENTS OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE.  
 THE PERMANENT FINDER NUMBER FOR THIS SITE IS 00404248.  
 THE ADDRESS FOR THIS SITE IS 200 CENTER STREET.  
 THE PROJECT WILL BE COMPLETED IN 2022. THE PROJECT WILL BE COMPLETED IN ONE PHASE.  
 THE STORM WATER RUNOFF FROM THE SITE WILL BE COLLECTED BY CATCHBASINS AND STORM SEWER PIPES AND WILL DISCHARGE AT THE ALLOWABLE RATE TO THE STORM SEWER SYSTEM IN THE VICINITY OF THE SITE. SOIL IS PRIMARILY FINE-SAND LOAMY SAND AND URBAN LOAM CHALKY CLAY COMPLEX, BASED ON THE U.S. SOIL SURVEY MAP INFORMATION.