

DOUGLAS MIXED-USE BUILDING

225 CENTER STREET
DOUGLAS, MI. 49406



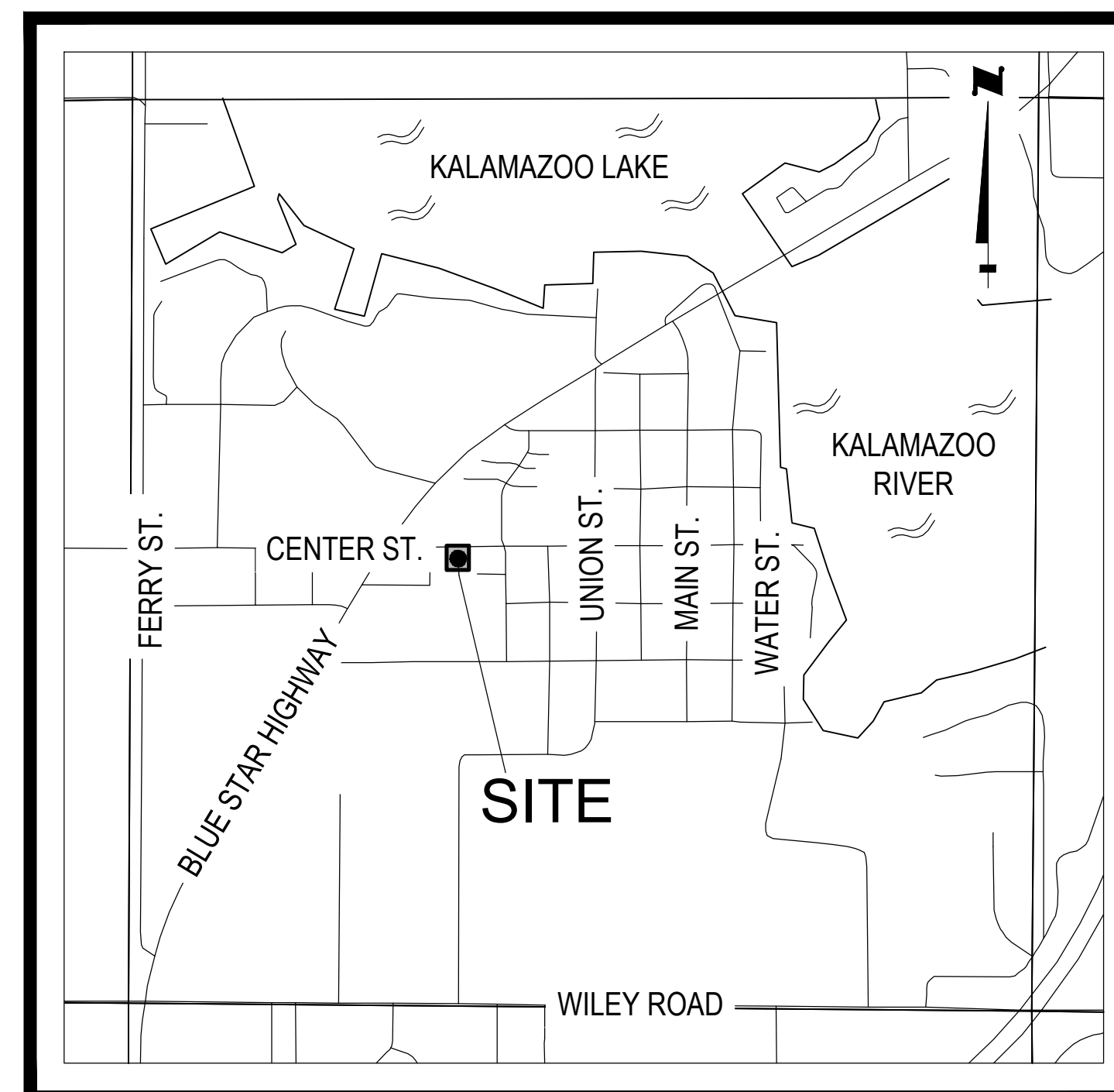
ZONING

C-1, VILLAGE COMMERCIAL DISTRICT

SETBACKS:
FRONT YARD 0 FEET MIN.
SIDE YARD 5 FEET MIN. (*)
REAR YARD 5 FEET MIN. (**)
HEIGHT 28 FEET MAX.

(*) EXCEPT WHERE A COMMERCIAL BUILDING IS PLACED
DIRECTLY UPON THE SIDE LOT LINE

(**) EXCEPT WHERE THE REAR YARD ABUTS A SIDE YARD IN A RESIDENTIAL DISTRICT THE REAR YARD SHALL BE 25 FEET.



LOCATION MAP NOT TO SCALE

225 Center St.
Received: 7/2/2026
Returned for corrections: 7/17/2026 - 2107 - CTB

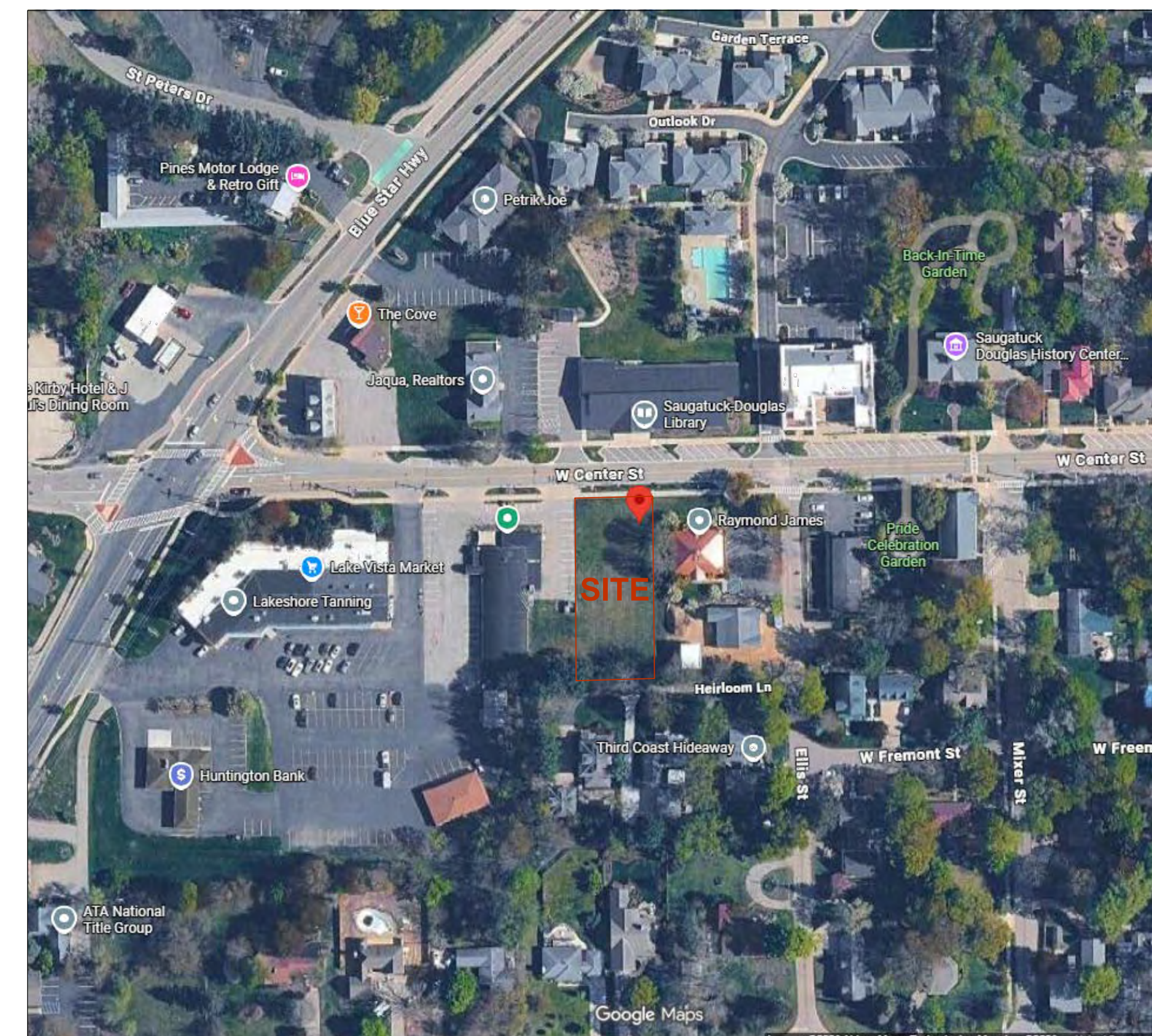
DESCRIPTION

SEE EXISTING CONDITIONS SHEET V-101



TABLE OF CONTENTS

SHEET G-100	COVER SHEET
SHEET V-101	EXISTING CONDITIONS
SHEET CD-101	CIVIL DEMOLITION PLAN
SHEET C-101	SITE LAYOUT PLAN
SHEET C-201	GRADING, DRAINAGE PLAN
SHEET C-501	GENERAL DETAILS
SHEET L-101	LANDSCAPE PLANTING PLAN



NEIGHBORHOOD MAP
SCALE 1" = 150'

ISSUED FOR:	
Date	Description
05/13/2026	TOPOGRAPHIC AND BOUNDARY SURVEY
06/30/2026	HEI REVIEW
07/01/2026	SITE PLAN SUBMITTAL

Plans are preliminary & incomplete until ISSUED FOR CONSTRUCTION

[illegible]

BRUCE ZEINSTR, LLA

Vertical Datum	Horz. Datum
NAVD88	LOCAL

Drawn by
MARK BROOKHOUSE

Checked by	Date
Survey	:

Survey	.	.
Civil	.	.

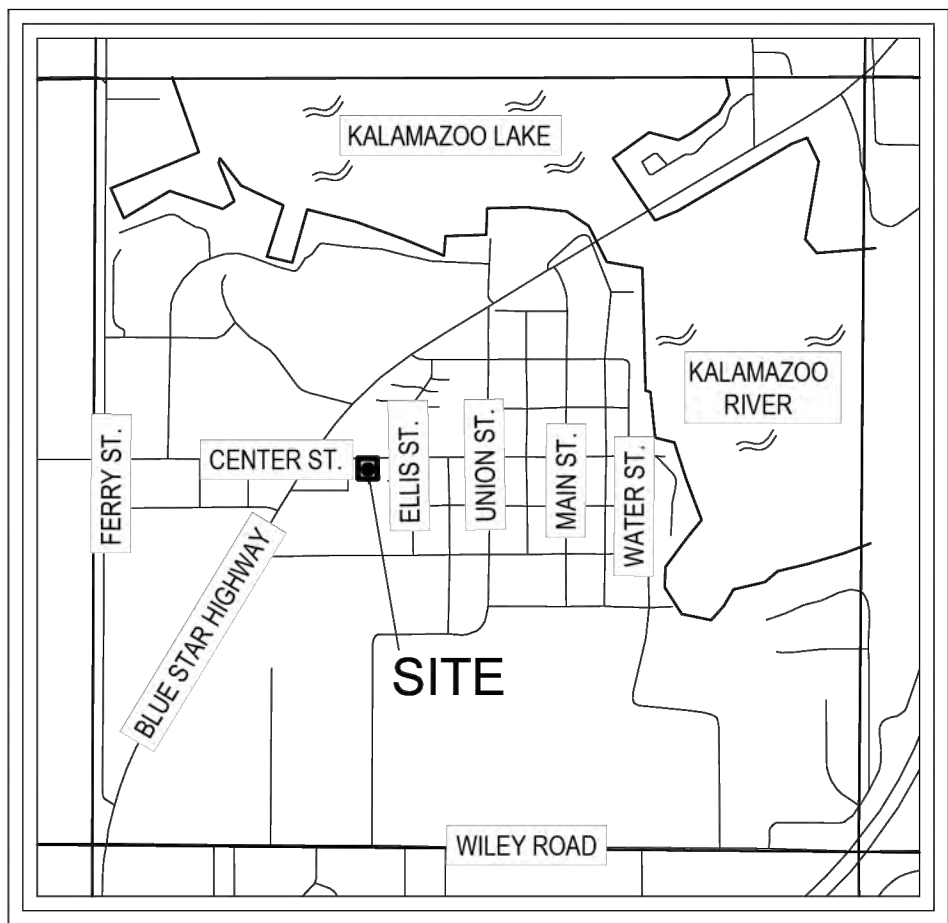
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26-04-022
Sheet Title

COVER
SHEET

Sheet No. **G-100**



LOCATION MAP

-NOT TO SCALE-

DOUGLAS FLATS, LLC PARCEL DESCRIPTION

PER WARRANTY DEED LIBER 4705, PAGE 523 RECORDED IN ALLEGAN COUNTY RECORDS, MICHIGAN.

PREMISES SITUATED IN THE CITY OF VILLAGE OF DOUGLAS, COUNTY OF ALLEGAN, STATE OF MICHIGAN, TO WIT:

THE EAST 100 FEET OF THE WEST 1858.62 FEET OF THE NORTH 233 FEET OF THE SOUTHWEST 1/4 OF SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, CITY OF THE VILLAGE OF DOUGLAS, COUNTY OF ALLEGAN, STATE OF MICHIGAN.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS, DESCRIBED AS PART OF THE SOUTHWEST 1/4 OF SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION, THENCE NORTH 89°16'47" EAST 1821.93 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION TO THE POINT OF BEGINNING, THENCE CONTINUING NORTH 89°16'50" EAST 18.00 FEET, THENCE SOUTH 00°02'13" EAST 18.40 FEET PARALLEL WITH THE EAST LINE OF THE WEST 548.88 FEET OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, THENCE NORTH 89°16'50" EAST 18.72 FEET, THENCE SOUTH 00°02'13" EAST 20.00 FEET ALONG SAID EAST LINE, THENCE SOUTH 89°26'50" WEST 36.72 FEET, THENCE NORTH 00°02'13" WEST 179.40 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES

THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED HEREIN WITHOUT THE BENEFIT OF CURRENT TIME WORK. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.

UTILITIES SHOWN HEREON ARE BASED UPON A COMBINATION OF VISIBLE ABOVE GROUND OBSERVATIONS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITIES.

NOTE: CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

BEARINGS ARE BASED ON A LOCAL COORDINATE SYSTEM, AND THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 16 HAVING A BEARING OF NORTH 88°22'29" EAST.

ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SOURCE BENCHMARK - NATIONAL GEODETIC SURVEY (NGS)
DESIGNATION: 03623
PID: D06962
ELEVATION = 606.68' (NAVD 88)

SOURCE OF FLOOD INFORMATION: <http://nrcsc.fema.gov>

SOURCE OF ADJOINING PARCEL DATA: <https://gis.allegancountymichigan.org/portal/>

DATE OF FIELD SURVEY: APRIL 27, 2026.

FLOOD NOTE

PER THE FLOOD INSURANCE RATE MAP

CITY OF THE VILLAGE OF DOUGLAS,
ALLEGAN COUNTY, MICHIGAN
MAP NUMBER: 2605C0184G
EFFECTIVE DATE: JUNE 21, 2023

THE SUBJECT PARCEL LIES IN:

ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

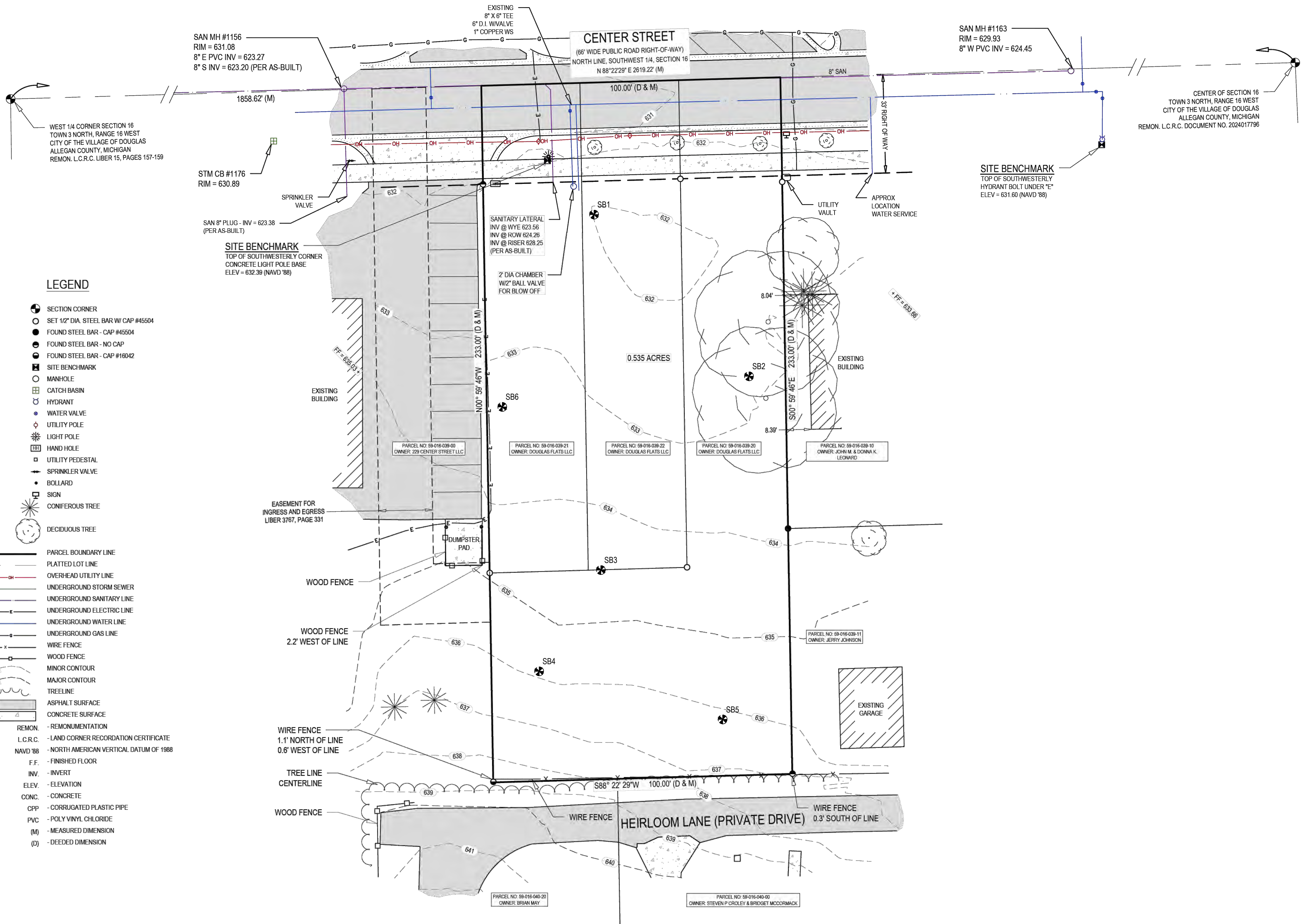
I, MARK O. SCOVILL, A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT I HAVE SURVEYED THE PARCEL(S) OF LAND DESCRIBED AND DELINEATED HEREON, THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY AS PERFORMED BY ME, THAT SAID SURVEY WAS PERFORMED RESULTING WITH A RELATIVE POSITIONAL PRECISION AT EACH BOUNDARY CORNER SHOWN HEREON WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING. THIS SURVEY WAS MADE FROM THE ATTACHED LEGAL DESCRIPTION. THE DESCRIPTION WAS GIVEN TO US BY OTHERS, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY OTHERS, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

HOLLAND ENGINEERING, INC.
220 HOOVER BOULEVARD
HOLLAND, MICHIGAN 49423
(616) 392-5938

MARK O. SCOVILL
MICHIGAN PROFESSIONAL SURVEYOR #4001045504



LEGEND	
	SECTION CORNER
	SET 1/2" DIA. STEEL BAR W/ CAP #45504
	FOUND STEEL BAR - CAP #45504
	FOUND STEEL BAR - NO CAP
	FOUND STEEL BAR - CAP #16042
	SITE BENCHMARK
	MANHOLE
	CATCH BASIN
	HYDRANT
	WATER VALVE
	UTILITY POLE
	LIGHT POLE
	HAND HOLE
	UTILITY PEDESTAL
	SPRINKLER VALVE
	BOLLARD
	SIGN
	CONIFEROUS TREE
	DECIDUOUS TREE
	PARCEL BOUNDARY LINE
	PLATTED LOT LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND STORM SEWER
	UNDERGROUND SANITARY LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND WATER LINE
	UNDERGROUND GAS LINE
	WIRE FENCE
	WOOD FENCE
	MINOR CONTOUR
	MAJOR CONTOUR
	TREELINE
	ASPHALT SURFACE
	CONCRETE SURFACE
	REMONUMENTATION
	LAND CORNER RECORDATION CERTIFICATE
	NORTH AMERICAN VERTICAL DATUM OF 1988
	FINISHED FLOOR
	INV.
	ELEV.
	CONC.
	CORRUGATED PLASTIC PIPE
	PVC
	MEASURED DIMENSION
	DEEDED DIMENSION



HOLLAND ENGINEERING

220 Hoover Boulevard
Holland, Michigan 49423-3766
www.hollandengineering.com
T 616-392-5938 F 616-392-2116

The Surveyor's / Engineer's liability for any work performed by the Surveyor's / Engineer's arising out of the Surveyor's / Engineer's negligence, gross negligence, or misrepresentation shall not be limited to the amount to greater than the service fee.

DOUGLAS FLATS LLC

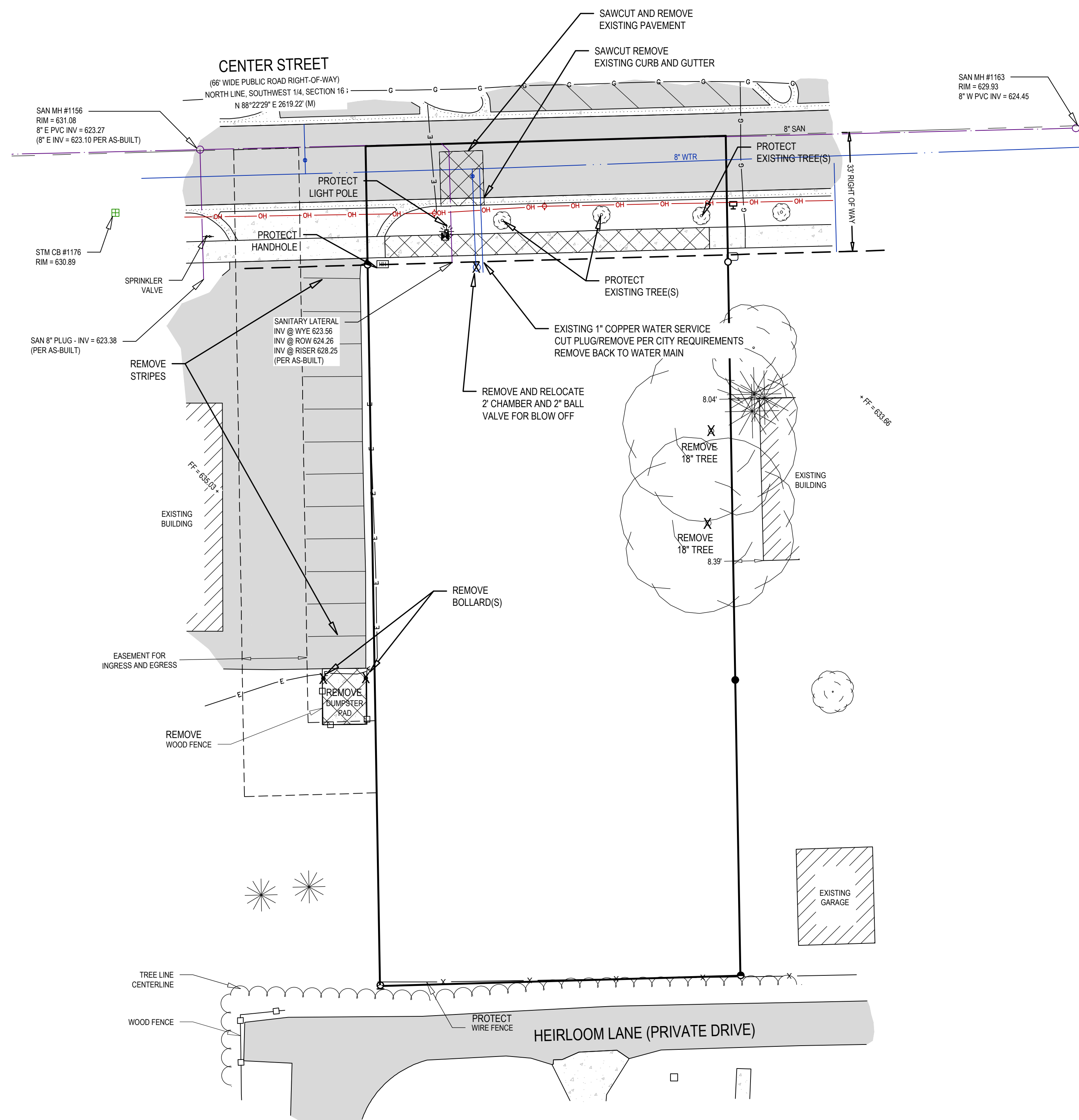
ATTN: MR. UFUK TURAN
7437 RIVER STREET SE
ADA, MICHIGAN 49301

225 CENTER STREET DOUGLAS, MI 49406

PT. OF THE SW 1/4 SEC. 16, T3N, R16W
CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN CO., MI.

Issued for:		No.	Date
BRUCE ZEINSTR, LLA			
TOPOGRAPHIC AND BOUNDARY SURVEY			
Date			
05/13/2026			
Description			
TOPOGRAPHIC AND BOUNDARY SURVEY			
Date			
05/13/2026			
Description			
TOPOGRAPHIC AND BOUNDARY SURVEY			

Project Manager		BRUCE ZEINSTR, LLA	
Vertical Datum		Horz. Datum	
NAVD88		LOCAL	
Drawn by		MARK BROOKHOUSE	
Checked by		Date	
Survey		JCD 05/13/2026	
Civil		.	
Struc.		.	
L. A.		.	
HEI Project Number		26-04-022	
Sheet Title		EXISTING CONDITIONS	
Sheet No.		V-101	



X	REMOVE ITEM
	REMOVE CONCRETE
	REMOVE PAVEMENT

HOLLAND
ENGINEERING

220 Hoover Boulevard
Holland, Michigan 49423-3766
www.hollandengineering.com
T 616-392-5938 F 616-392-2116

The Surveyor's / Engineer's liability for any and all claims, including but not limited to those arising out of the Surveyor's / Engineer's professional services, negligence, gross misconduct, warranties or misrepresentations shall be deemed limited to an amount no greater than the service fee.

DOUGLAS FLATS LLC

ATTN: MR. UFUK TURAN
7437 RIVER STREET SE
ADA, MICHIGAN 49301

225 CENTER STREET
DOUGLAS, MI 49406

PT. OF THE SW 1/4 SEC. 16, T3N, R16W
CITY OF THE VI I AGE OF DOUGLAS A

Issued for:		
No.	Date	Description
A.	05/13/2026	TOPOGRAPHIC AND BOUNDARY SURVEY
B.	06/30/2026	HEI REVIEW
C.	07/01/2026	SITE PLAN SUBMITTAL

Please note: All dates are in accordance with the schedule for construction.

Project Manager

Project Manager
BRUCE ZEINSTR, LLA

Vertical Datum	Horz. Datum
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NAVD88	LOCAL
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Drawn by
MARK BROOKHOUSE

MARK BROOKHOUSE	
Checked by	Date

Survey	.	.
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Civil	.	.
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Struc		
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L. A.	.	.
HFI Project Number		

26-04-022

Sheet Title

CIVIL

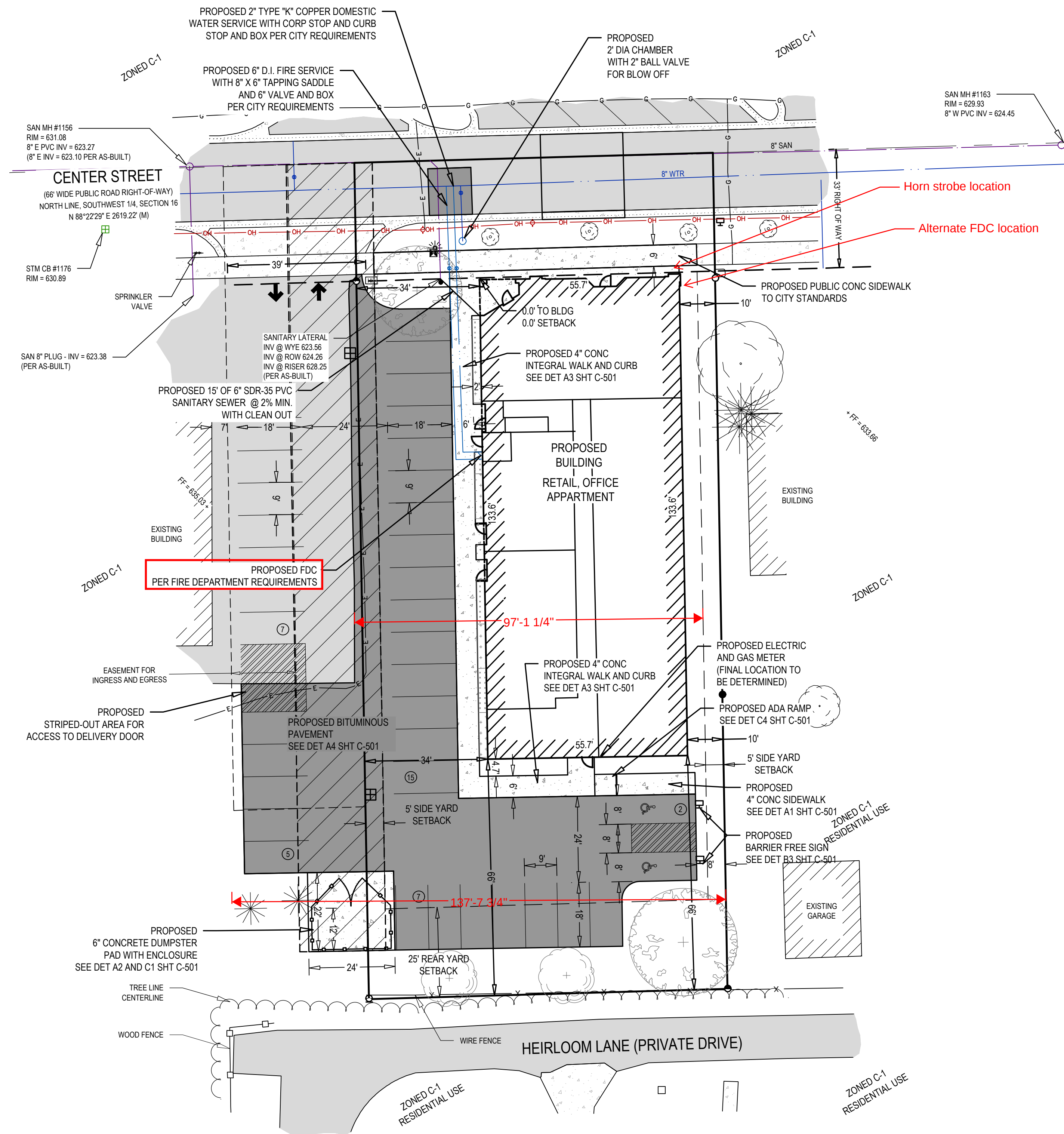
CIVIL
DEMOLITION

DEMOLITION

Sheet No.

CD-101

CD 101



- LAYOUT & UTILITY NOTES:
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
 - CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
 - CONTRACTOR SHALL CONTACT ENGINEER IF ANY DISCREPANCIES ARE DETERMINED BETWEEN SITE LAYOUT DIMENSIONS AND ACTUAL SITE CONDITIONS.
 - COORDINATE ALL UTILITY CONSTRUCTION WITH UTILITY PROVIDER, AS REQUIRED.
 - CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
 - ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KAL LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
 - ALL WATERMAIN, WATER SERVICES, AND FIRE PROTECTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KAL LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
 - ALL WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM THE CITY OF THE VILLAGE OF DOUGLAS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
 - COORDINATE ALL SIGNAGE REMOVAL AND RELOCATION WITHIN THE RIGHT-OF-WAY WITH CITY OF THE VILLAGE OF DOUGLAS.
 - SITE CONTRACTOR RESPONSIBLE TO CONNECT EXISTING AND PROPOSED BUILDING TO WATER SERVICE AND SANITARY SEWER LATERAL, REFER TO PLUMBING PLANS FOR CONNECTION LOCATION AND DETAILS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDING SHALL BE STAKED BASED ON FOUNDATION PLAN. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE DISCREPANCIES BETWEEN THE BUILDING AND SITE DRAWINGS.
 - ONSITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE.
 - SITE SIGNAGE SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE. A SIGN PERMIT SHALL BE ACQUIRED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE TO MEETING THE STANDARDS AND REQUIREMENTS OF THE LOCAL NOISE ORDINANCE FOR ALL CONSTRUCTION PRACTICES.
 - THE DRIVEWAY SHALL BE INSTALLED WITH ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE 80,000-POUND IMPOSED LOAD OF THE FIRE DEPARTMENT'S HEAVIEST APPARATUS AND BE INSTALLED TO PROVIDE EMERGENCY ACCESS PRIOR TO COMMENCEMENT OF BUILDING CONSTRUCTION.
 - THE EMERGENCY ACCESS SHALL BE INSTALLED, MAINTAINED, AND NAVIGABLE FOR EMERGENCY ACCESS PRIOR TO COMMENCEMENT OF VERTICAL BUILDING CONSTRUCTION.
 - SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

TOTAL PARCEL AREA 19,998 SQ FT 100%
(EXCLUDING PUBLIC RIGHT-OF-WAY)

BUILDING AREA
- FIRST FLOOR 7,420 SQ FT 37.1%
- CANOPY/OVERHANG 584 SQ FT 2.9%
BUILDING TOTAL 8,004 SQ FT 40.0%

PARKING REQUIRED:
MULTIPLE DWELLING
1 SPACE PER DWELLING UNIT LESS THAN 900 SQ FT
(13 UNITS LESS THAN 900 SQ FT X 1) 13 PARKING SPACES
PLUS 1 SPACE PER THREE DWELLING UNITS
(13 UNITS / 3) 5 PARKING SPACES

RETAIL
1 SPACE PER 300 SQ FT USABLE FLOOR AREA
(1755 SQ FT / 300) 6 PARKING SPACES

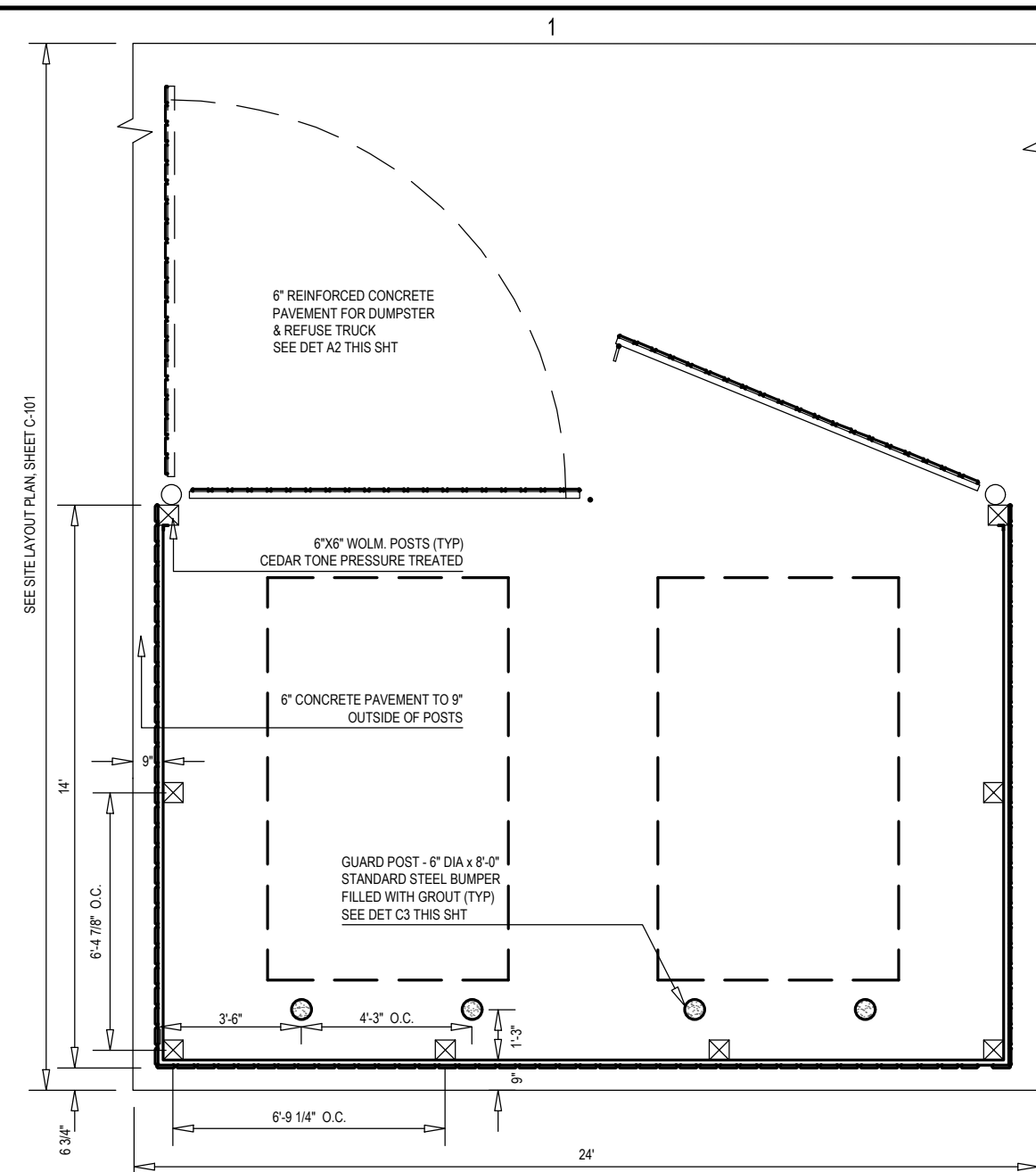
OFFICE
1 SPACE PER 200 SQ FT USABLE FLOOR AREA
(1796 SQ FT / 200) 9 PARKING SPACES

TOTAL PARKING REQUIRED: 33 PARKING SPACES

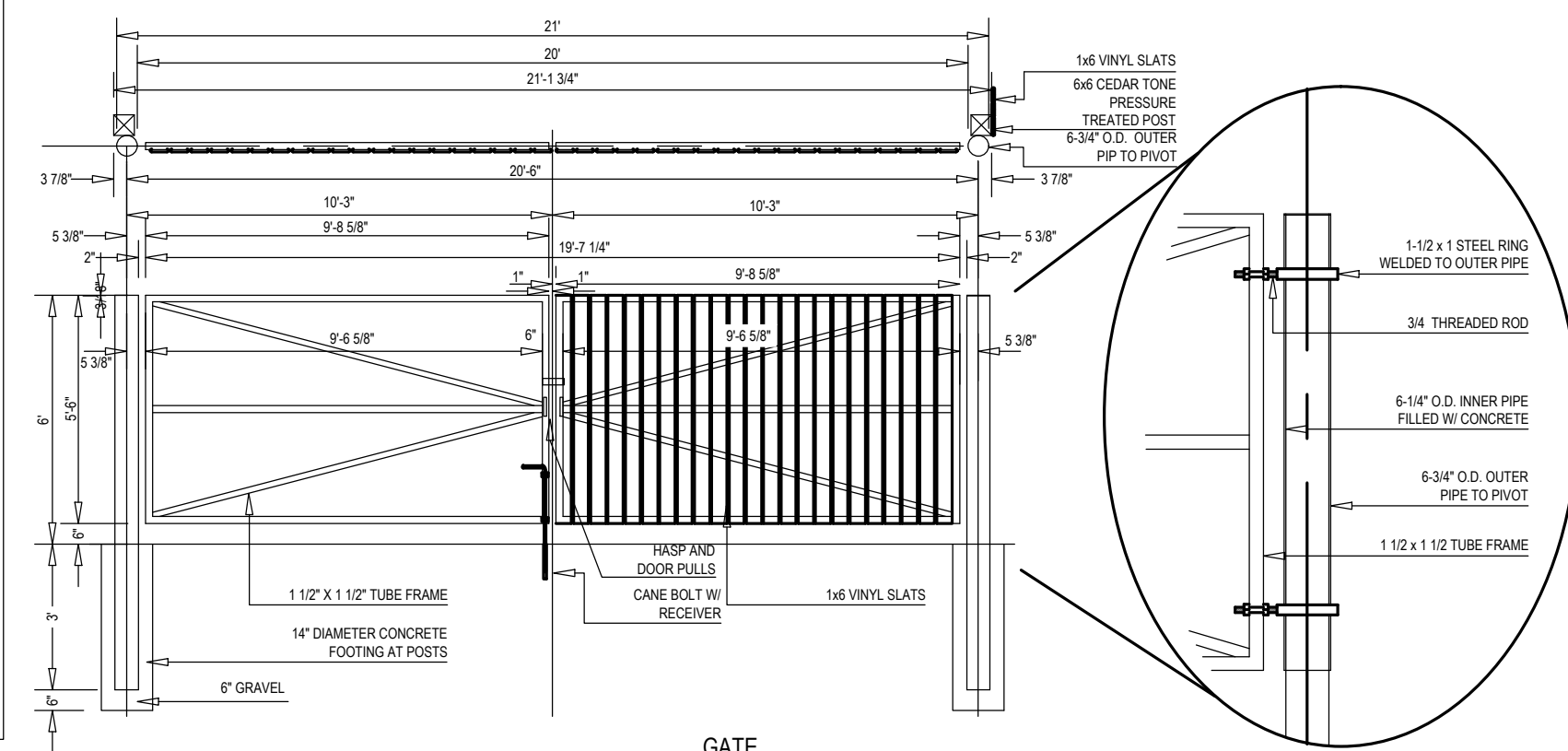
TOTAL PARKING PROVIDED: 24 PARKING SPACES
(INCLUDING 2 BARRIER FREE)

Issued for:		No.	Description			
Date	Description	A	B	C	D	E
05/13/2026	TOPOGRAPHIC AND BOUNDARY SURVEY					
06/02/2026	HEI REVIEW					
07/01/2026	SITE PLAN SUBMITTAL					

Project Manager BRUCE ZEINSTR, LLA	
Vertical Datum NAVD88	Horz. Datum LOCAL
Drawn by MARK BROOKHOUSE	
Checked by Survey	Date
Civil	
Struc.	
L. A.	
HEI Project Number 26-04-022	
Sheet Title SITE LAYOUT PLAN	
Sheet No. C-101	

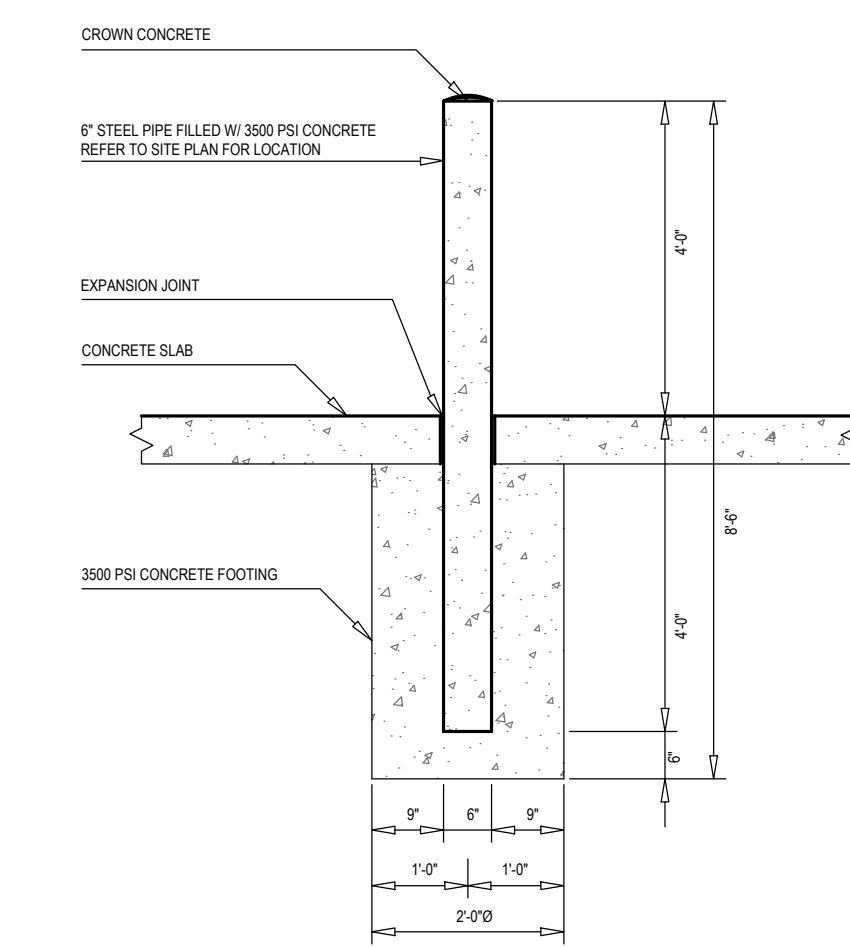


PLAN VIEW

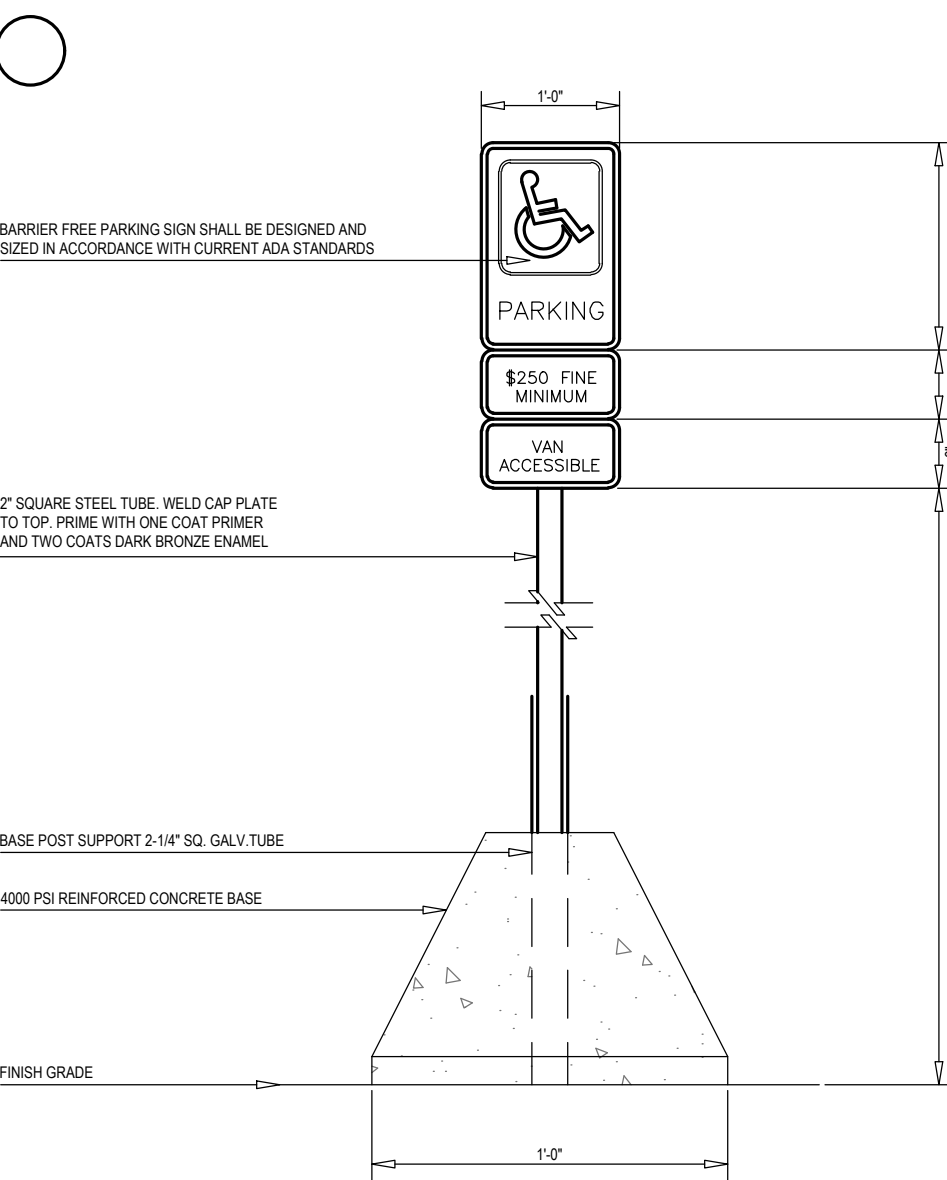


GATE

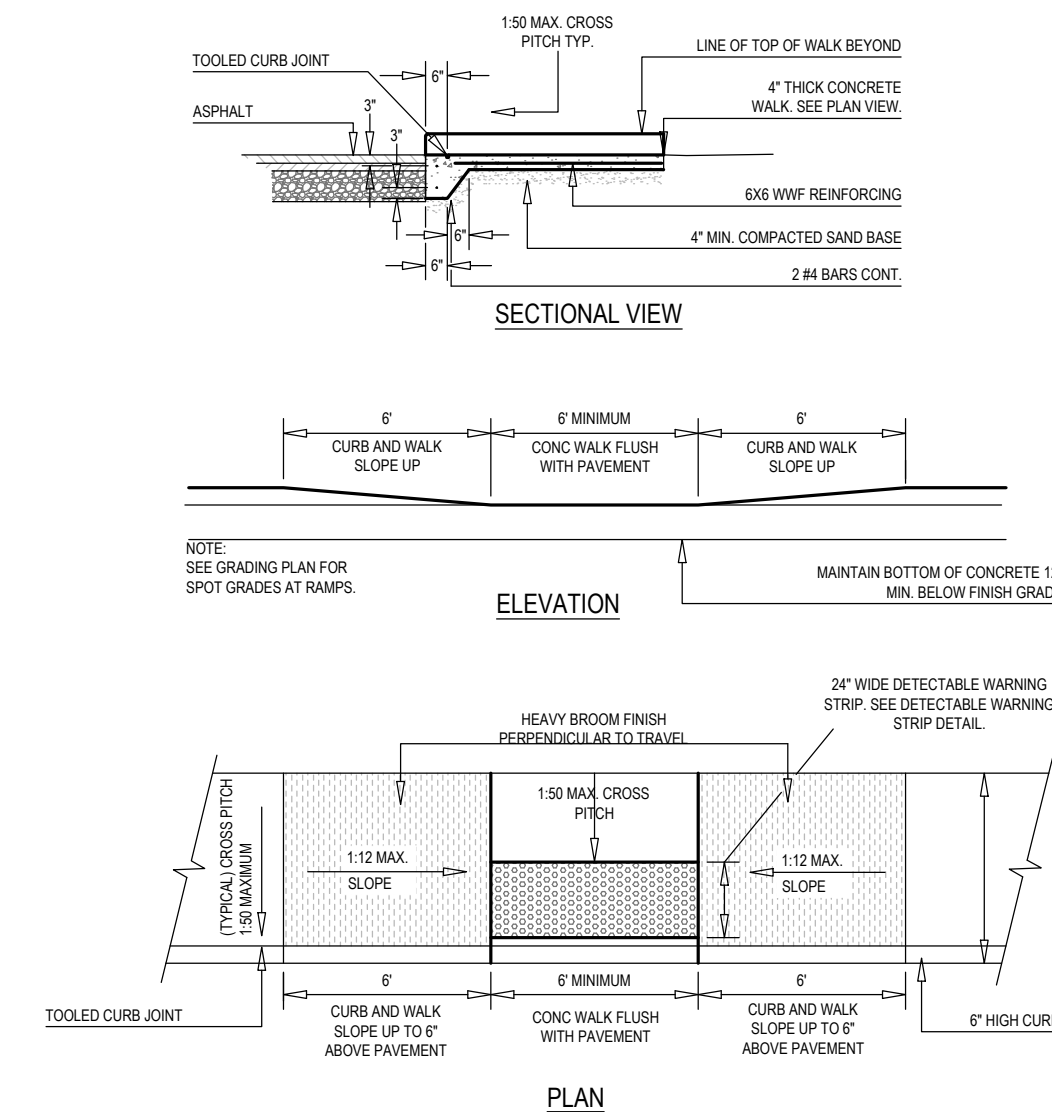
② DUMPSTER ENCLOSURE



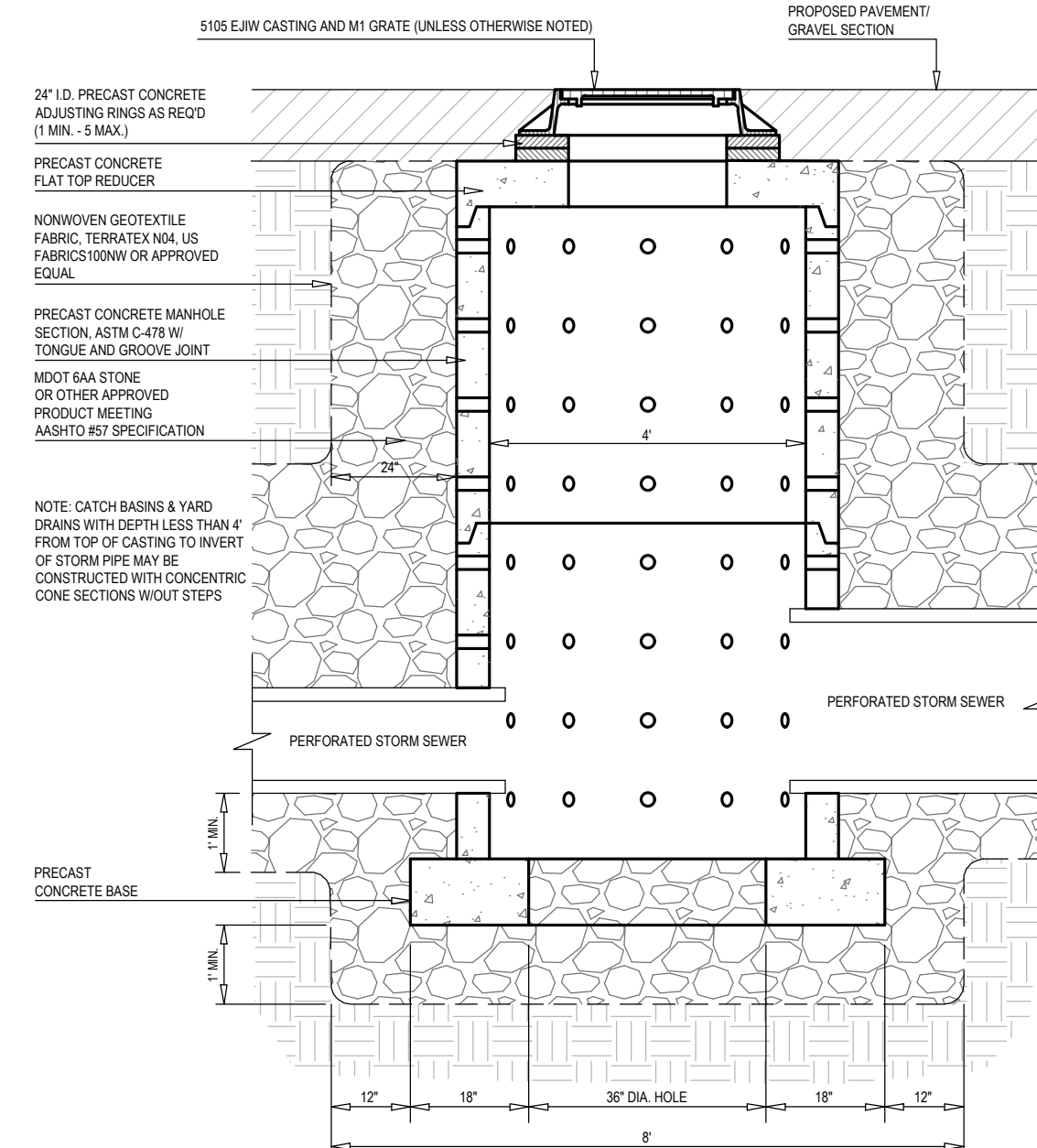
6" DIAMETER BOLLARD DETAIL



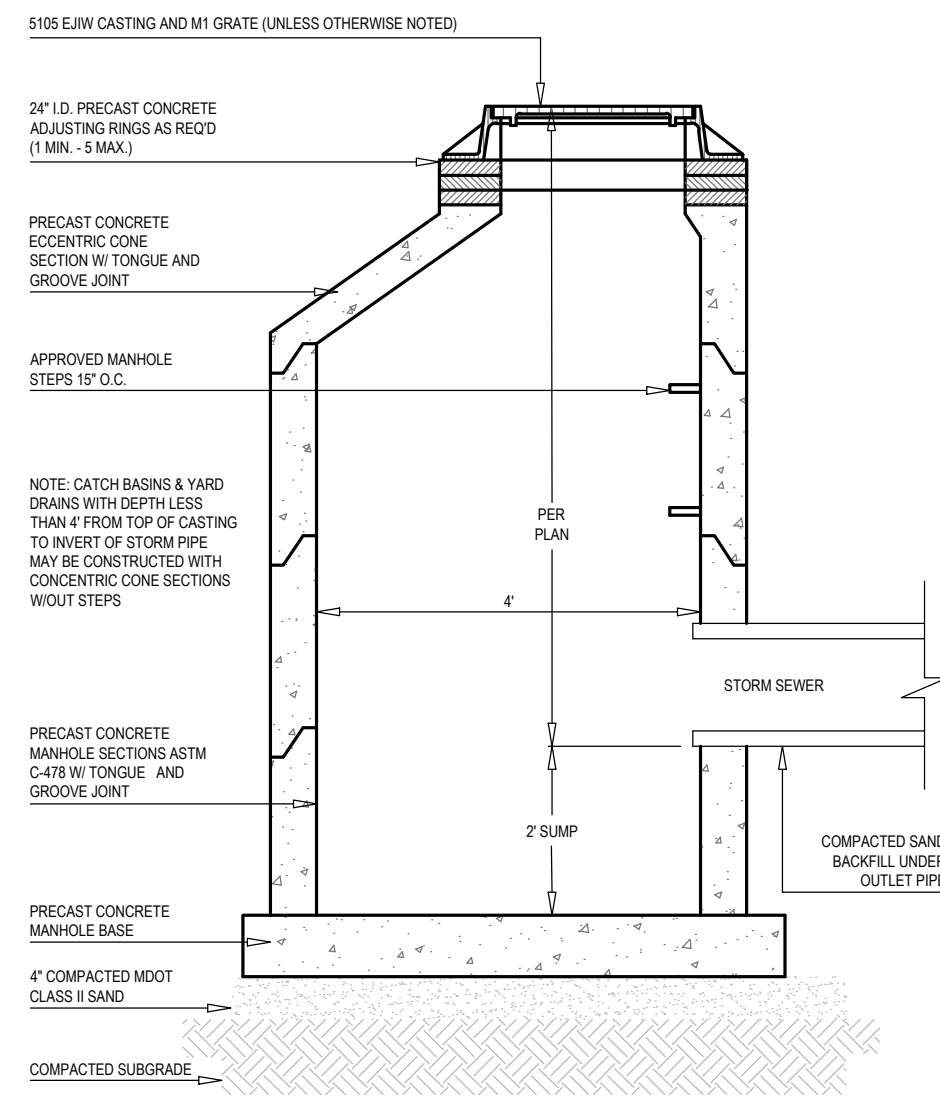
 BARRIER FREE PARKING SIGN



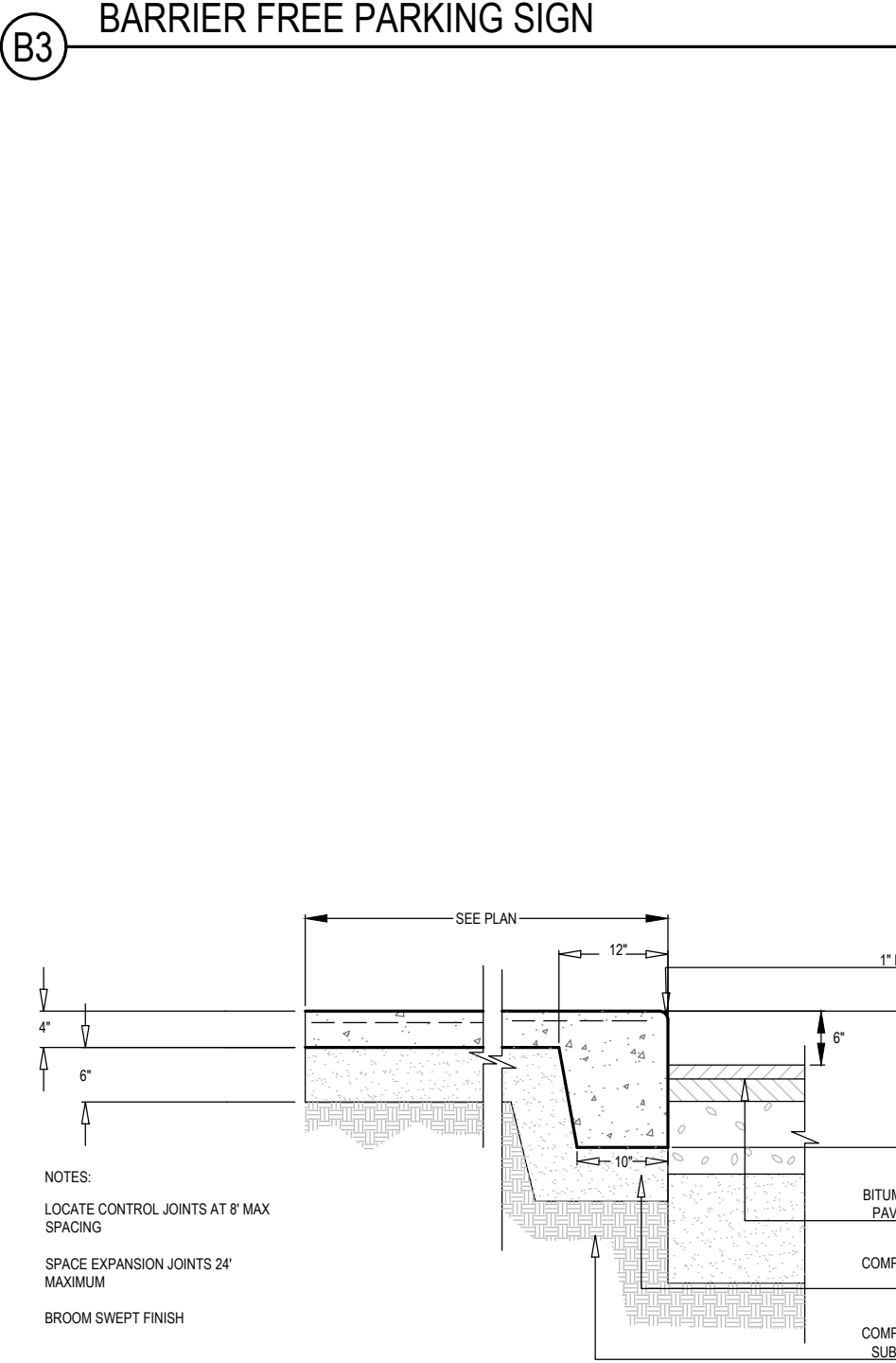
C4 TYPE F BARRIER FREE SIDEWALK RAMP



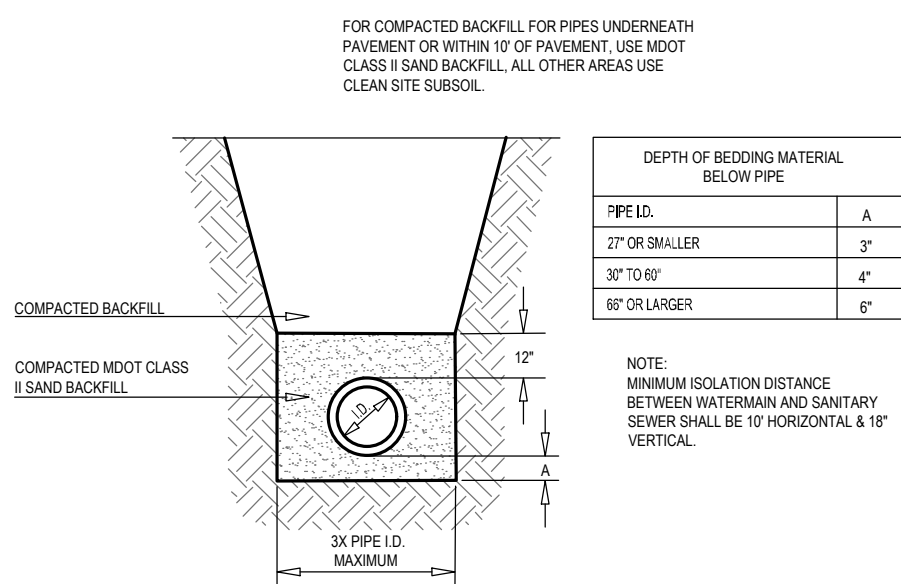
4' DIA. LEACHING BASIN



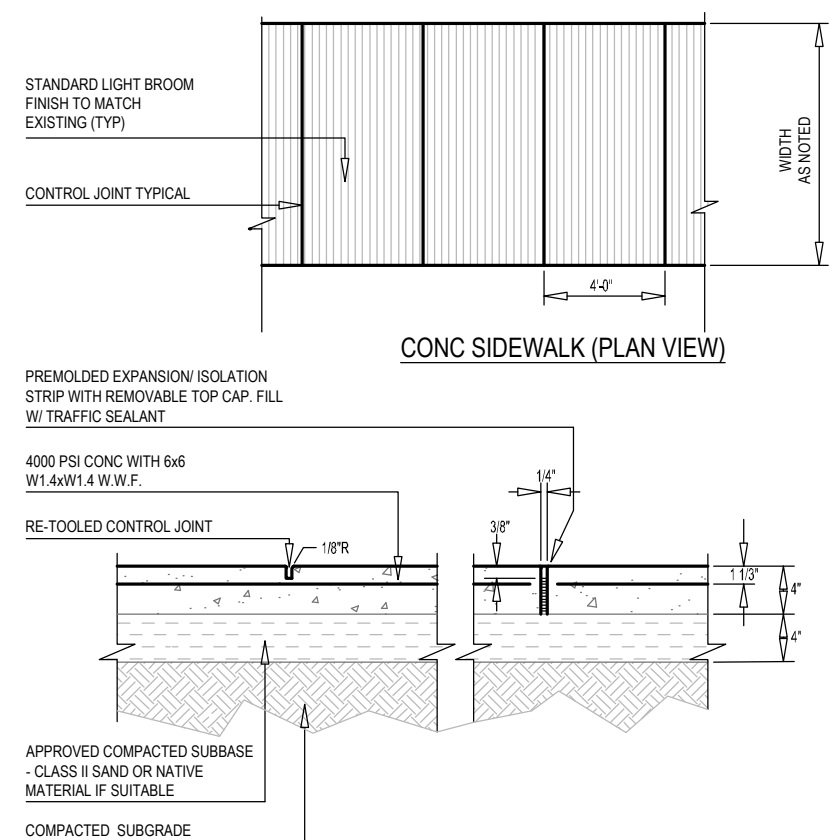
4' DIA. CATCH BASIN



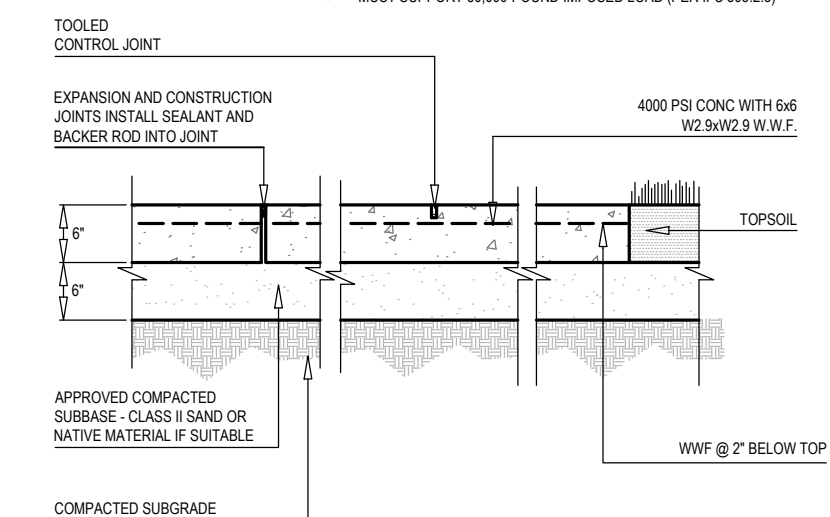
④ 4" INTEGRAL WALK AND CURB



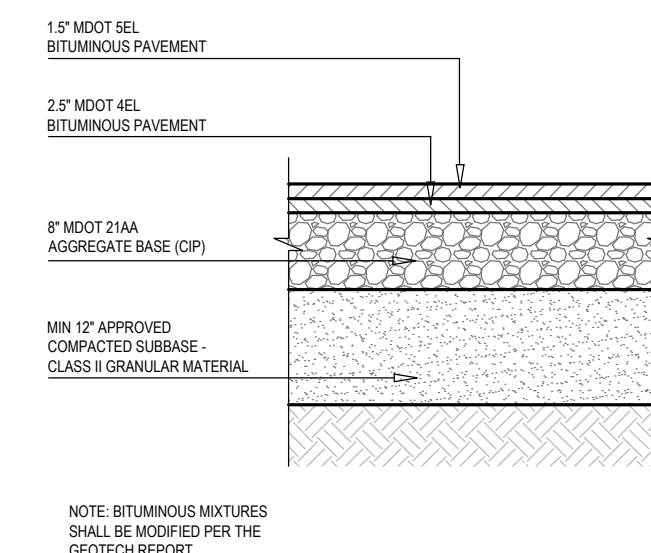
PIPE BEDDING



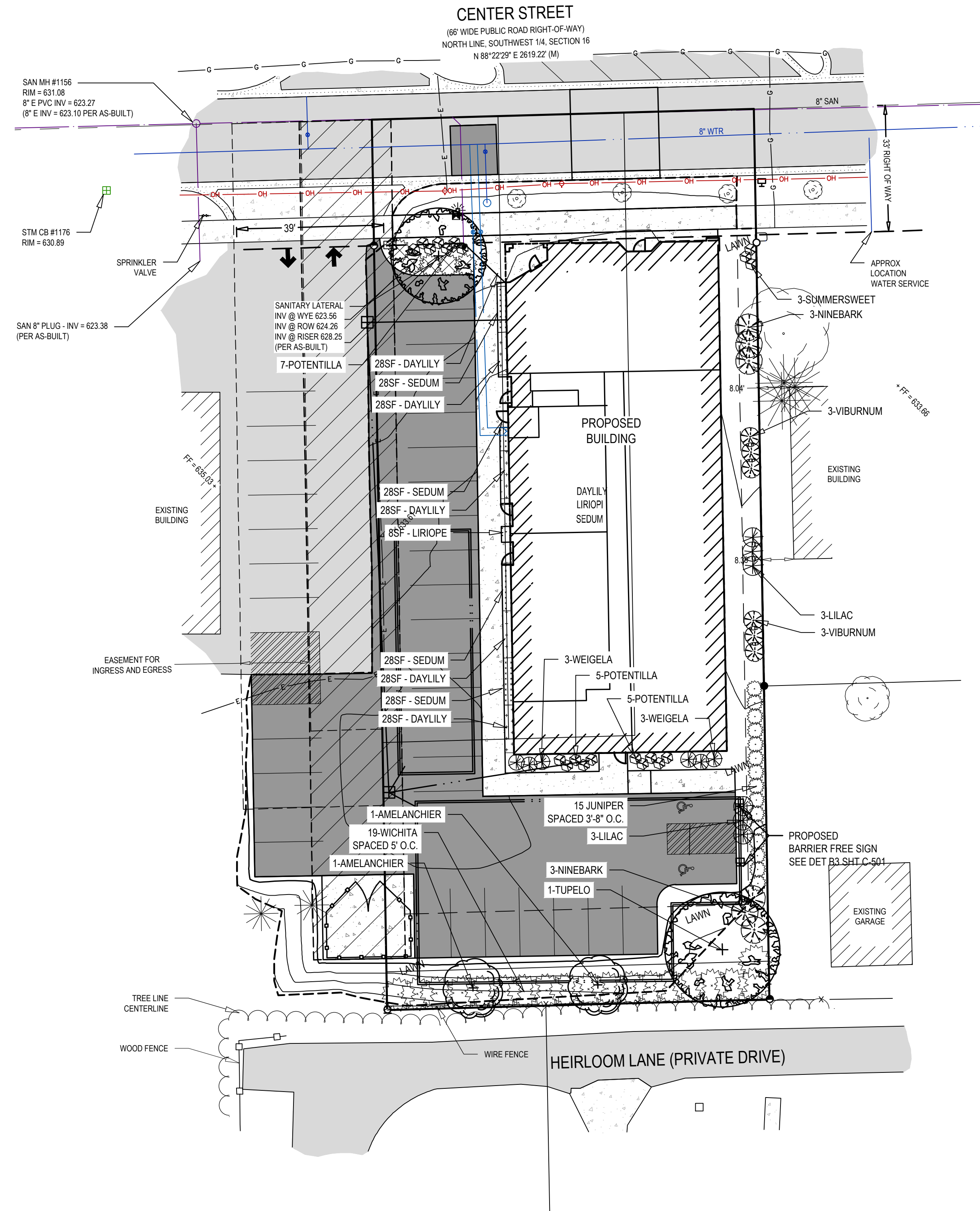
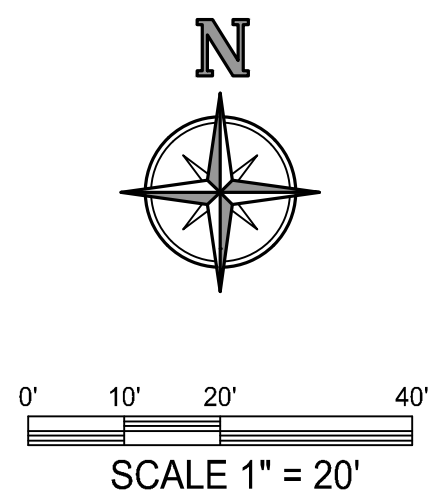
4" CONCRETE PAVEMENT SIDEWALK



④ 6" CONCRETE PAVEMENT



44 BITUMINOUS PAVEMENT

PLANTING NOTES:

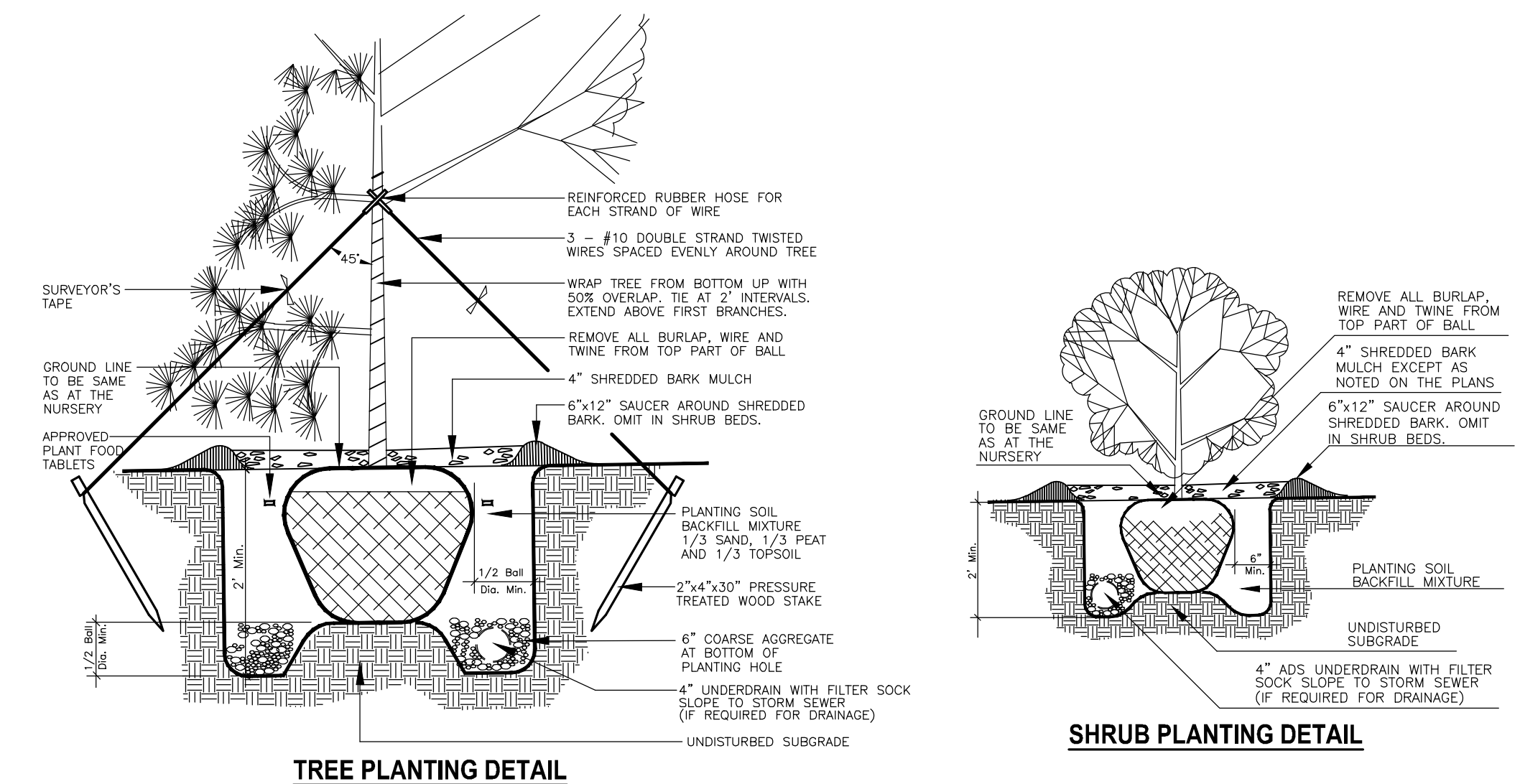
1. APPLICABLE LANDSCAPE REQUIREMENTS:
 - 1.1. SCREENING BETWEEN USES: 6' TALL SCREEN ALONG PROPERTY LINE TO REACH 80% OPACITY IN 3 YEARS.
 - 1.1.1. PROVIDED: 19 WICHTA JUNIPERS SPACED 5' APART ALONG SOUTH PROPERTY LINE AND 15 SPEARMINT JUNIPERS SPACED AT 3'-8" ALONG THE EAST PROPERTY LINE.
 - 1.2. PARKING LOT: 1 TREE PER 8 SPACES IN 50 SF SPACE. 14 SPACES / 8 = 1.75 ~ 2 TREES
 - 1.2.1. PROVIDED: 2 CANOPY TREES
 - 1.3. SITE LANDSCAPING: 10% OF THE SITE AREA SHALL BE LANDSCAPED IN ADDITION TO BUFFER. SITE AREA: 19,998 SF x 10% = 1,999 SF
 - 1.3.1. PROVIDED: 2,588 SF (12.9% - NOT INCLUDING RESIDENTIAL BUFFER AREA ALONG SOUTH AND EAST PROPERTY LINES)
 - 1.4. SITE LANDSCAPING: 1 TREE PER 30' OF FRONTAGE. CENTER STREET: 100' / 30 = 3 TREES;
 - 1.4.1. PROVIDED: 3 EXISTING TREES IN CENTER STREET ROW
 - 1.5. ALL SHRUBS SHALL BE PLANTED A MINIMUM OF 25' AWAY FROM PAVEMENT.
 - 1.6. ALL SHRUB BEDS SHALL BE COVERED WITH 4" MIN. OF SHREDDED HARDWOOD BARK.
 - 1.7. ALL LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GROWING CONDITION. TREES AND OTHER VEGETATION THAT DIE SHALL BE PROMPTLY REPLACED WITH KIN VEG. EQUIVALENT.
 - 1.8. CONTRACTOR SHALL PROVIDE SPECIFIED TREES, SHRUBS, GRASS COVERS AND OTHER PLANT MATERIAL THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - 1.9. SEED SHALL BE PLACED OVER 6" TPO/SLI IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION EXCEPT AS NOTED ON THE PLANS. SOG SHALL BE PLACED IN ALL AREAS AS SHOWN ON THE PLANS OVER 4" TPO/SLI.
 - 1.10. MULCH DEPTH: MINIMUM OF 1/3 TPO/SLI, 1/3 PEAT Moss AND 1/3 SAND SHALL BE PLACED IN ALL GROUND COVER AND FLOWER BEDS. DEPTH SHALL BE NOT LESS THAN 6".
 - 1.11. FOLLOWING CONSTRUCTION, RESTORE ALL DISTURBED AREAS WITH EGGS-PLUS SEED MIX, UNLESS OTHERWISE NOTED.
 - 1.12. PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY OWNER & LANDSCAPE ARCHITECT.

PLANT LIST

	QTY.	KEY	SIZE	COMMON NAME	BOTANICAL NAME	MATURE SIZE/COMMENTS
	1	MAPLE	2-1/2"BB	CELEBRATION MAPLE	ACER X FREEMANII 'CELZAM'	45Hx25"S, SEEDLESS, COMPACT, RED & GOLD FALL COLOR
	1	TUPELO	2-1/2"BB	TUPELO / BLACK GUM	NYSSA SYLVIATA	50"Hx30"S, PYRAMIDAL, ORANGE, RED & GOLD FALL COLOR
	2	ORNAMENTAL TREES AMELANCHIER	2-1/2"BB	SHADBLOW SERVICEBERRY	AMELANCHIER CANADENSIS	20"Hx15"S, TREE FORM, EQUIVALENT TO 2.5" CALIPER IF MULTI-STEM
	15	EVERGREEN SHRUBS JUNIPER	6"BB	SPEARMINT JUNIPER	JUNIPEROUS CHINENSIS 'SPEARMINT'	15"Hx3-4"S, DENSE, UPRIGHT; SOFT BRIGHT GREEN NEEDLES
	19	WICHTA	6"BB	WICHTA BLUE JUNIPER	JUNIPEROUS SCOPULORUM 'WICHTA BLUE'	18"Hx8"S, DENSE, BROAD PYRAMIDAL FORM, BRIGHT BLUE FOLIAGE
	5	CYPRESS	30" CONT.	SIBERIAN CYPRESS	MICROBIOTA DECUSSATA	1'HX6-8"S, GREEN FEATHERY LEAF TURNING BRONZE IN WINTER, HARDY; FULL/PART SUN
	3	ORNAMENTAL SHRUBS SUMMERSWEET	24" CONT.	HUMMINGBIRD SUMMERSWEET	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	4'Hx4"S, WHITE FLOWERS, JULY-AUGUST;
	6	LILAC	30" CONT.	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	6'Hx5'S, BLUE FLOWERS; DARK GREEN FOLIAGE; FULL/PART SUN
	6	NINEBARK	30" CONT.	DABLO NINEBARK	PHYSOCARPUS OPIULIFOLIOUS 'MONLO'	8'Hx8"S, CREAMY-WHITE FLOWERS; PURPLISH FOLIAGE; SUNSHADE
	17	POTENTILLA	24" CONT.	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	2'Hx3"S, WHITE FLOWERS, EARLY SPRING-LATE FALL
	6	WEGELA	24" CONT.	WINE & ROSES WEGELA	WEGELA FLORIDA 'ALEXANDRA'	4'Hx4"S ROSE-PINK FLOWERS, MAY-JUNE, BURGUNDY-PURPLE FOLIAGE
	6	VIBURNUM	30" CONT.	KOREAN SPICE VIBURNUM	VIBURNUM CARLESII	5'Hx5"S, FRAGRANT, SPRING WHITE FLOWERS; FULL/PART SUN
PERENNIALS						
	145 SF	DAYLILY	6" POT	HAPPY RETURN DAYLILY	HEMEROCALLIS 'HAPPY RETURNS'	16" TALL; SPACE 16"; CANARY YELLOW FLOWER; RE-BLOOMING; FULL SUN-LIGHT SHADE
	190 SF	LIRIOPE	3" POT	CREeping LILTYURP	LIRIOPE SPICATA	8"-12" TALL; SPACE 12"; LILY-LIKE TURF; DRAUGHT RESISTANT; FULL SUN-MOON SHADE
	115 SF	SEDUM	6" POT	BLACK JACK SEDUM	SEDUM 'CARL'	14"-18" TALL; SPACE 16"; VIBRANT PINKISH-RED FLOWERS; FULL SUN-LIGHT SHADE

LAWN-EGS PLUS SEED MIX

29.44%	ORACLE CREEPING RED FESCUE	SEEDING RATE: 5 LBS. PER 1,000 SQUARE FEET.
21.38%	SOX FAN PERENNIAL RYEGRASS	HYDROSEED ALL AREAS WITH A SLURRY OF SEED,
19.44%	GALLOP PERENNIAL RYEGRASS	PULVERIZED MULCH, FERTILIZER AND WATER.
14.90%	SHANNON KENTUCKY BLUEGRASS	PLACE IN ALL DISTURBED AREAS NOT LABELED AS
14.84%	GAELIC KENTUCKY BLUEGRASS	DETENTION BASIN SEED MIX

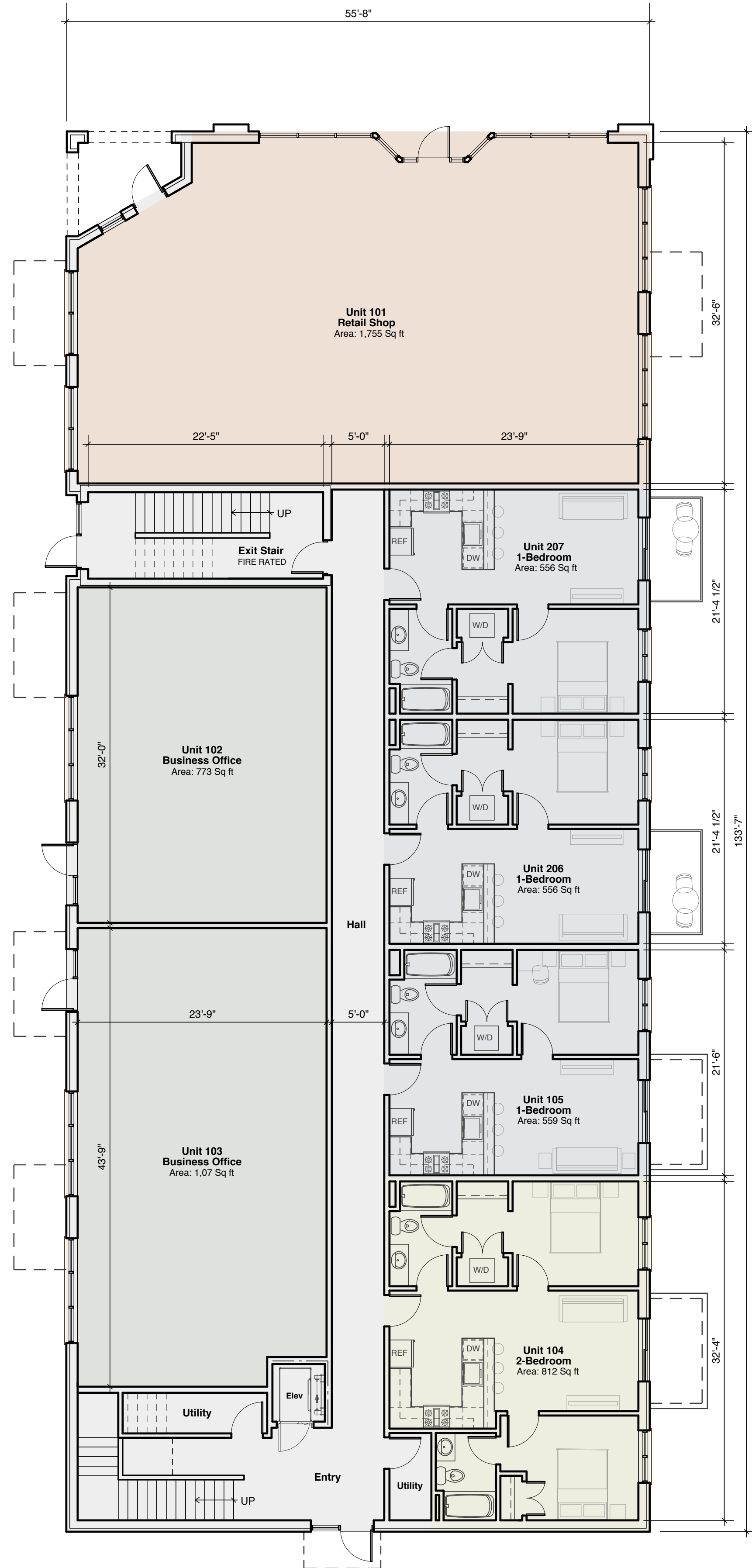


No.	Date	Description	ISSUED FOR:
A	05/13/2026	TOPOGRAPHIC AND BOUNDARY SURVEY	
B	06/30/2026	HEI REVIEW	
C	07/01/2026	SITE PLAN SUBMITTAL	

Plans are preliminary & incomplete until ISSUED FOR CONSTRUCTION

Exterior Material Selections

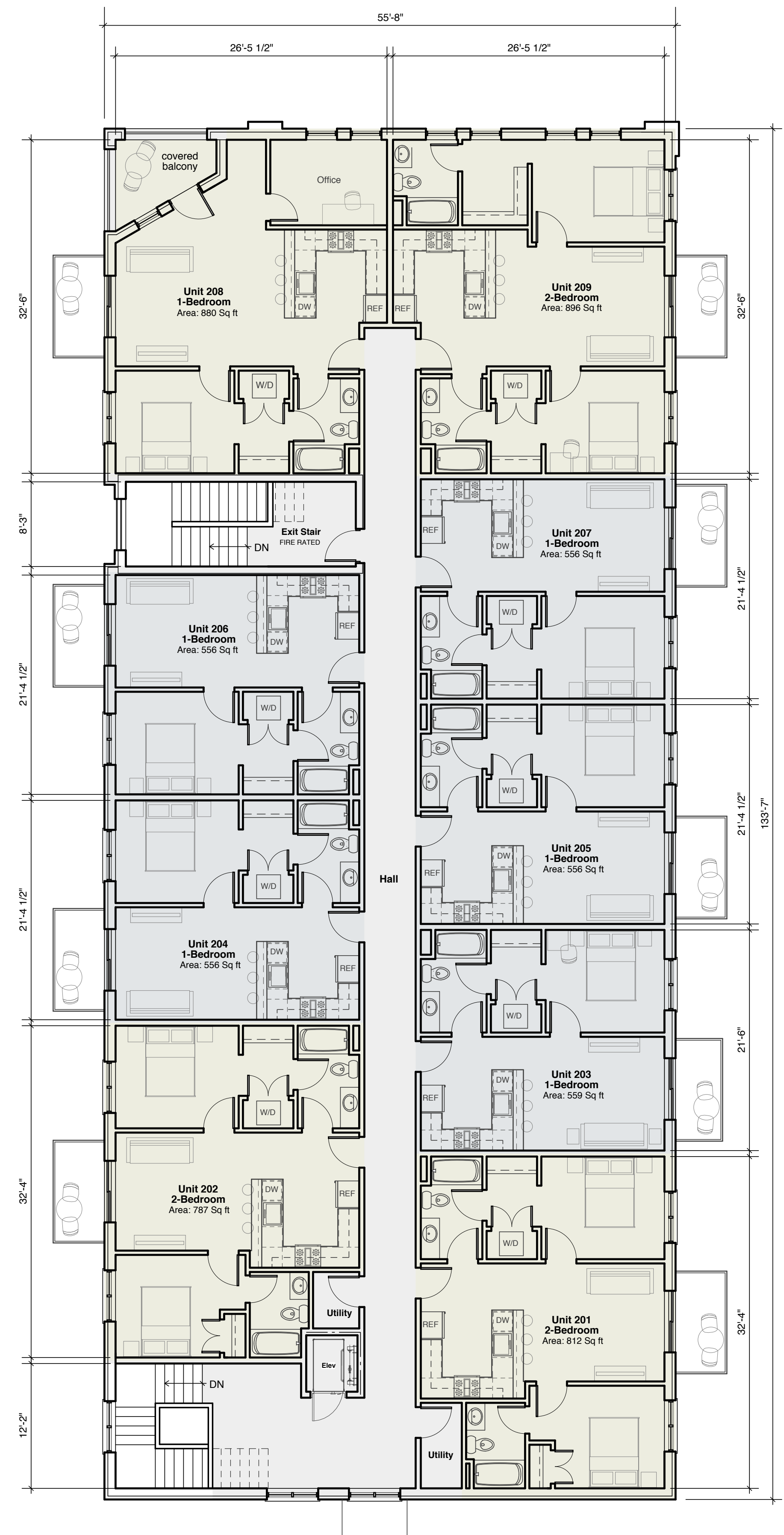
WALL CLADDING			
BR-1	BRICK VENEER FIELD	STANDARD/MODULAR	MEDIUM RED BLEND
BR-2	BRICK VENEER FIELD	STANDARD/MODULAR	DARK RED BLEND
BR-3	BRICK VENEER ACCENT	STANDARD/MODULAR	
BR-4	BRICK VENEER ACCENT	STANDARD/MODULAR	
PC-1	PRECAST CONC PROFILE	CUSTOM	LIMESTONE GRAY
WINDOWS AND DOORS			
AL-1	ALUM STOREFRONT	2" X 4-1/2"	DARK SAGE GREEN
AL-2	ALUM STOREFRONT	2" X 4-1/2"	CHARCOAL GRAY
AL-3	ALUM STOREFRONT	2" X 4-1/2"	CHARCOAL GRAY
WIN-1	OPERABLE WINDOW	STANDARD	CHARCOAL GRAY
WIN-2	SLIDING DOOR	STANDARD	CHARCOAL GRAY
METALS			
MTL-1	PREFIN PARAPET CAP	CUSTOM PROFILE	CHARCOAL GRAY
STL-1	STEEL CANOPY/RAILINGS	CUSTOM PROFILE	CHARCOAL GRAY
SEE SHEET A4.1 FOR EXTERIOR ELEVATIONS AND MATERIAL LOCATIONS			



1. First Floor Plan

SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA: 7,347 SQFT

- (1) RETAIL UNIT PROPOSED
- (2) OFFICE UNITS PROPOSED
- (4) RESIDENTIAL UNITS PROPOSED
 - (3) 1-BEDROOM UNITS
 - (1) 2-BEDROOM UNITS



2. Second Floor Plan

SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA: 7,176 SQFT

- (9) RESIDENTIAL UNITS PROPOSED
 - (5) 1-BEDROOM UNITS
 - (4) 2-BEDROOM UNITS



North Front Computer Rendering



North Front Photorealistic Rendering



Northeast Front/Side Computer Rendering



West Side Computer Rendering

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Building Renderings

Made in Michigan

Revisions:

Project No: 221061
Issue Date: 7/1/26
Reviewer: KCD
Drawn By: KCD

A3.1

