

AMK PROPERTIES - DOUGLAS BUILDING

13 South Union Street, Douglas, MI 49406



SOUTHWEST PERSPECTIVE



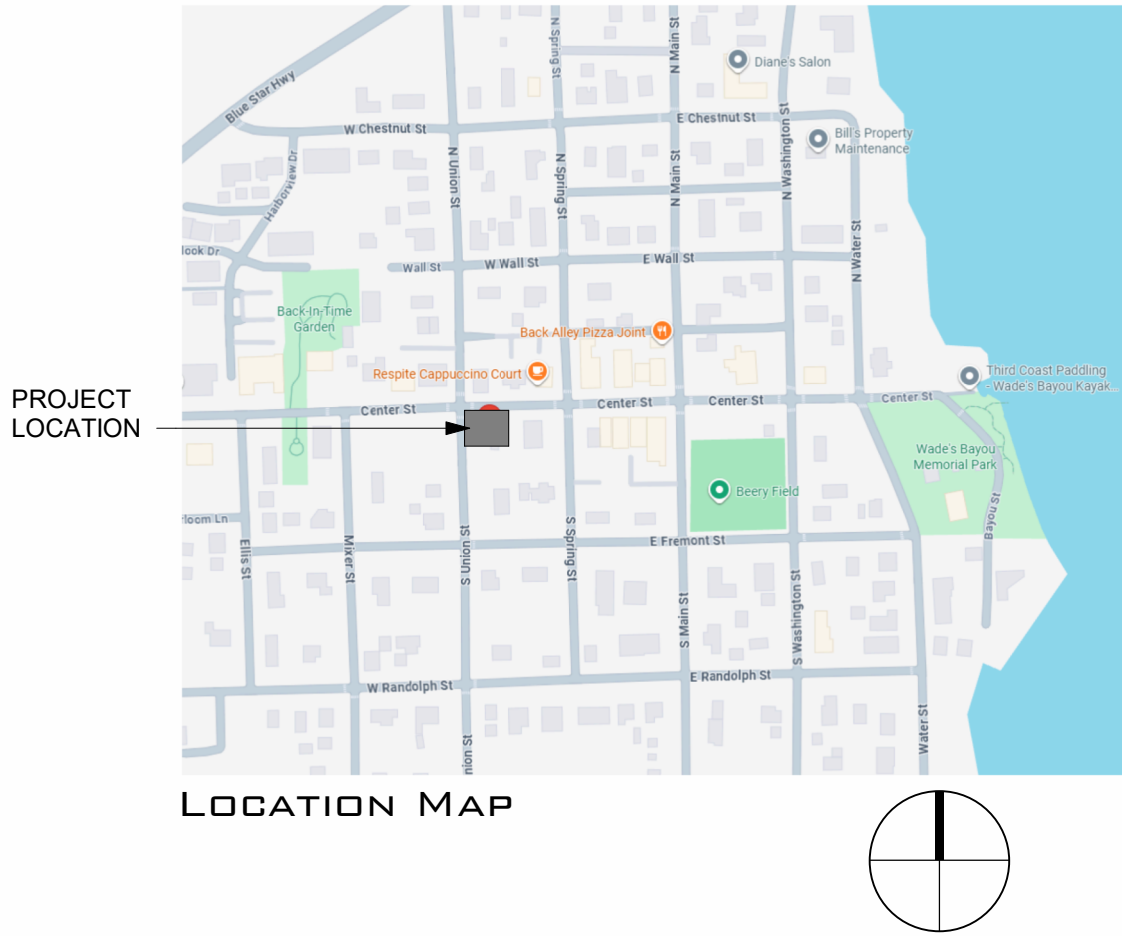
SOUTHEAST PERSPECTIVE



NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



DRAWING INDEX			
DWG NO.	Drawing Title	Issuance	Date
GENERAL			
G-1	Title Sheet	Revision	11-05-25
GENERAL: 1			
CIVIL			
C-1	Survey	Survey Issue	03-24-24
C101	Grading Plan	Revision	11-05-25
C202	Utility and Stormwater Management Plan	Revision	11-05-25
CIVIL: 3			
LANDSCAPE			
L-1	Landscape Plan	Revision	11-05-25
L-2	Landscape Details	PC Review	10-03-25
LANDSCAPE: 2			
DEMOLITION			
D-1	Site Demolition Plan	PC Review	10-03-25
DEMOLITION: 1			
ARCHITECTURAL			
A-1	Site Plan	Revision	11-05-25
A-1.1	Site Details	Revision	11-05-25
A-2	First Floor Plan	Revision	11-05-25
A-3	Second Floor Plan	Revision	11-05-25
A-4	Exterior Elevations	Revision	11-05-25
A-5	Exterior Elevations	PC Review	10-03-25
ARCHITECTURAL: 6			
ELECTRICAL			
PH-1	Site Photometric Plan	PC Review	10-03-25
ELECTRICAL: 1			
TOTAL DRAWINGS: 14			

DANIEL
BOGGS
ARCHITECT

ARCHITECTURE
&
PLANNING

8538 ISLAND BLVD.
GROSSE ILE, MI 48138
248.882.3642

PROJECT:
Douglas Building
13 South Union Street
Douglas, MI 49406

PROFESSIONAL SEAL:



PRELIMINARY
NOT FOR CONSTRUCTION
ISSUED:
09-04-25 Client Review
09-12-25 Revision
10-03-25 PC Review
10-31-25 Revision
11-05-25 Revision

PROJECT NO:
2025.12

DRAWN BY:
DWB

These drawings have been specifically prepared for
AMK Properties for use at 13 South Union Street
Douglas, MI 49406.
These drawings shall not be used at other locations
without the consent and participation of Daniel Boggs
Architect.

SHEET TITLE:
Title Sheet

SHEET NO:

G-1

PREPARED FOR:

Lakewood Construction Inc.
Max Nykerk
11253 James Street
Holland, MI 49424

CREATED:

Drawn: DS Date: 3/24/2024

REVISIONS:

Rev: Drawn: Date:

Lakewood Construction

Topographic Survey

13 Union St
PART OF THE SOUTHEAST 1/4 OF SECTION 16, T3N, R18W,
CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN

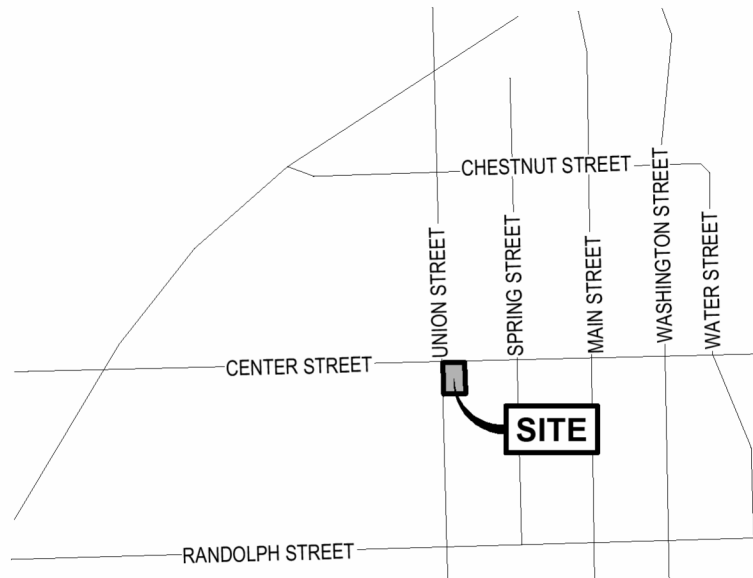
STAMP:



PROJECT NO:
24200315

SHEET NO:
C-1

SHEET: 1 OF 1



LOCATION MAP

NOT TO SCALE



TITLE INFORMATION

The Title Description and Schedule B items herein are from Chicago Title Insurance Company, Commitment No. 031217902RTA Revision 1, Dated October 18, 2023

TITLE DESCRIPTION

Land Situated in the State of Michigan, County of Allegan, City of the Village of Douglas.

Lots 1 and 2 of Dudleyville Plat, except the East half of said Lot 2, according to the Plat thereof recorded in Liber 21 of Deeds on Page 289, Allegan County Records.

SCHEDULE B - SECTION II NOTES

- 9 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: City of the Village of Douglas Recording No: Liber 2945, Page 59.
Supporting documents were not provided at time of survey.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: **An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260549, Panel Number 0164G, with an Effective Date of 6/21/2023, shows this parcel to be located in Zone X (subject to map scale uncertainty).**
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

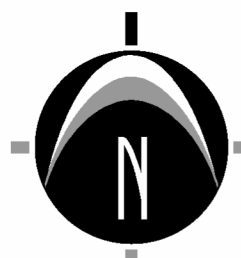
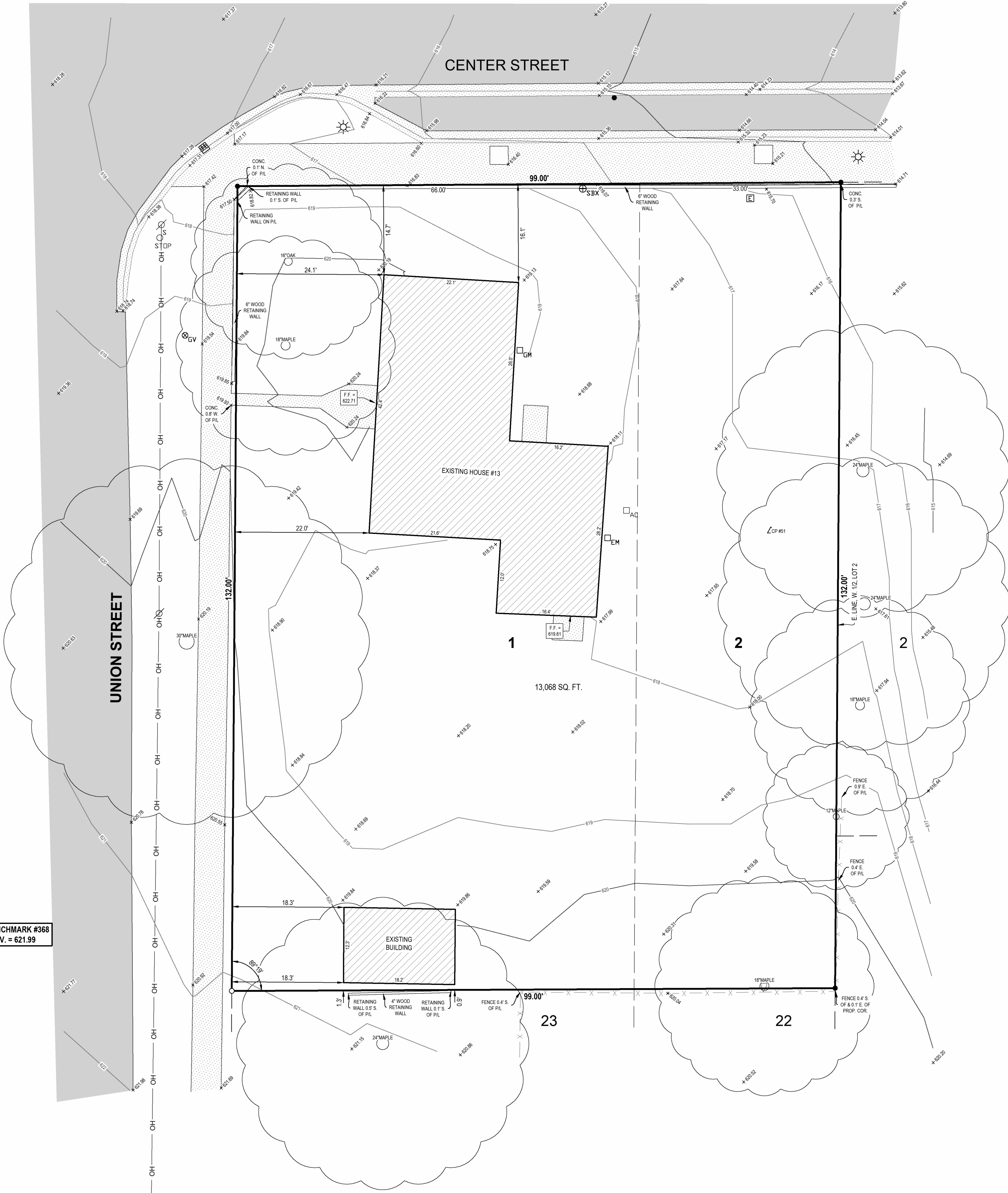
BENCHMARKS

BENCHMARK #336 ELEV. = 620.94 (NAVD88)
Flange bolt under "E" to Hydrant located in southwest corner of Center Street and Union Street, 56'± West of the Easterly asphalt edge of Union Street

BENCHMARK #368 ELEV. = 621.99 (NAVD88)
Set spindle in East side of power pole located 150'± South of the Centerline of Center Street and 14'± West of the Centerline of Union Street

LEGEND

AC	Air Conditioning	Light Pole
Catch Basin - Square	Utility Pole	
Control Point/ Benchmark	Stop Box	
Deciduous Tree	Stop Sign	
Electric Meter	Fence	
Electric Riser	Overhead Utility	
Gas Meter	Asphalt	
Gas Valve	Existing Building	
Hydrant	Concrete	
Iron-Found	Property Line	
Iron-Set		

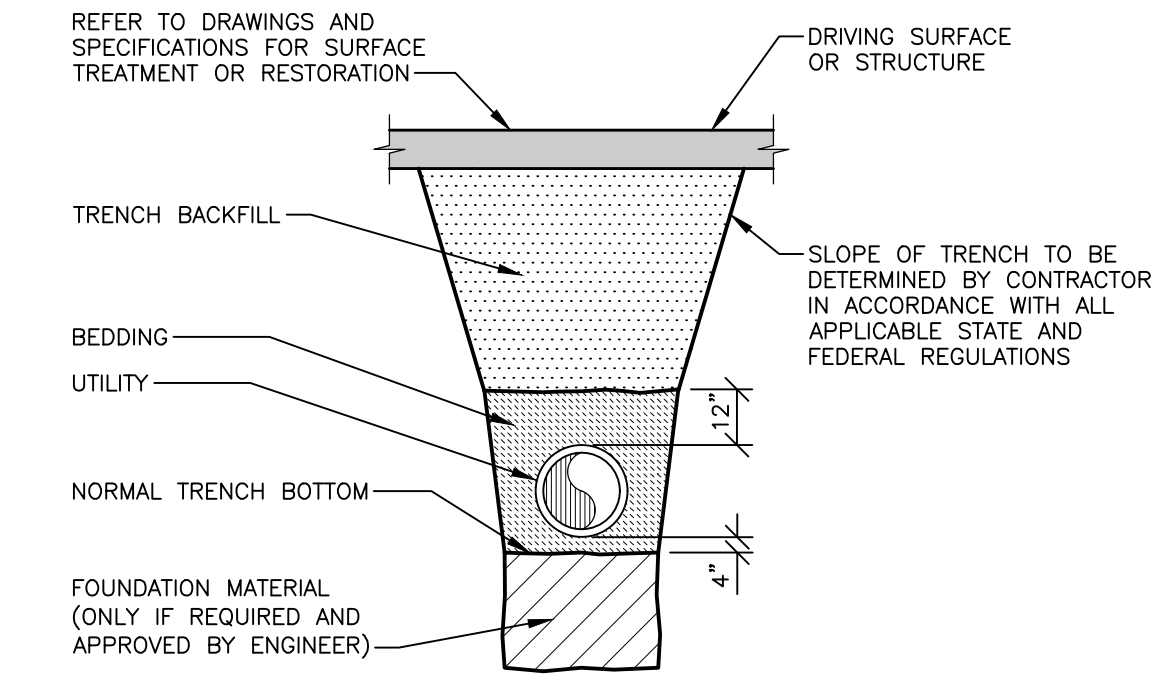
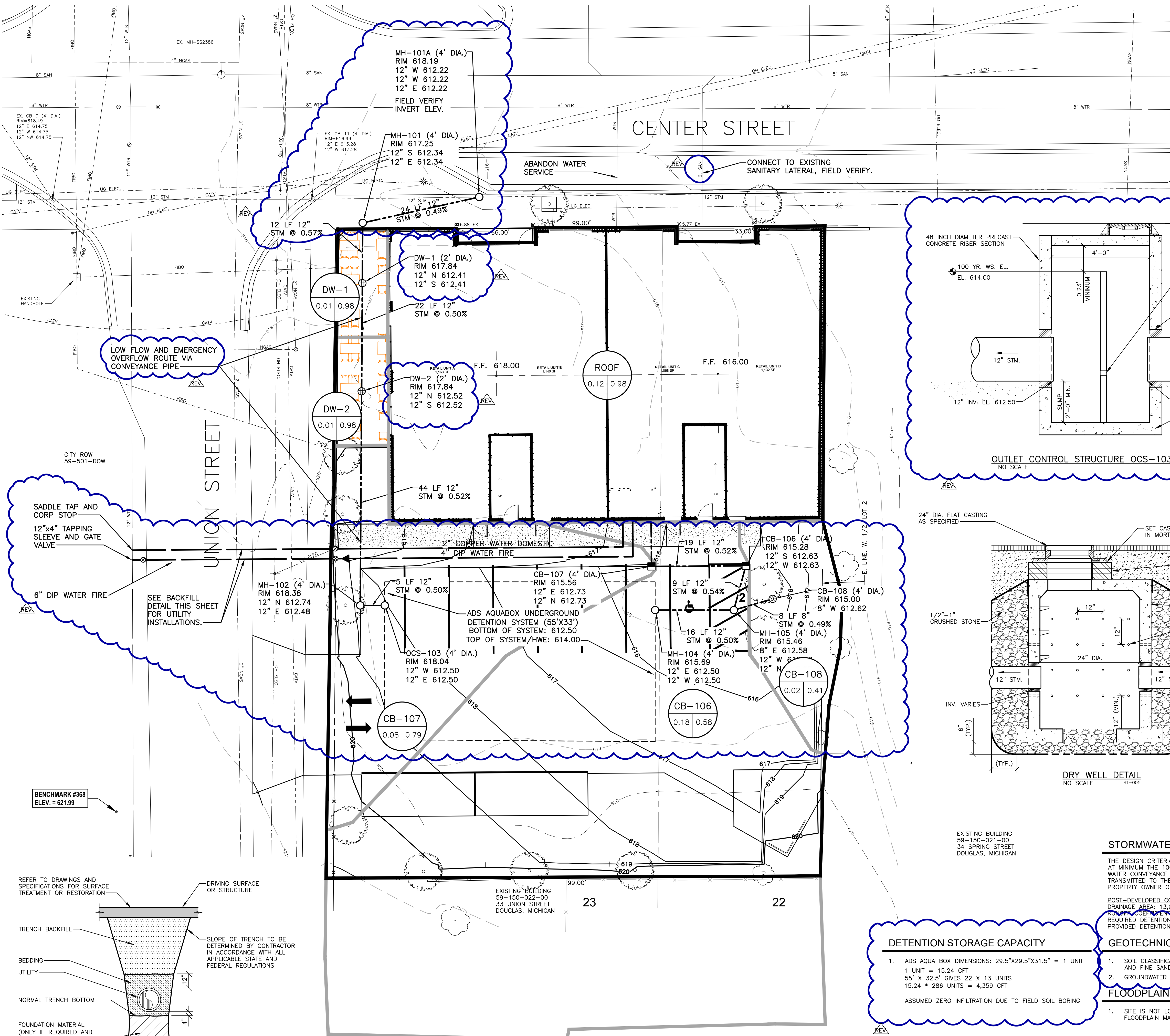


0' 5' 10' 20'
SCALE: 1" = 10'

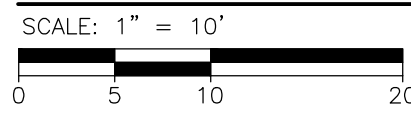


UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



UTILITY AND STORMWATER MANAGEMENT PLAN



TRENCH BELOW DRIVING SURFACE OR STRUCTURE
NO SCALE

DETENTION STORAGE CAPACITY

- ADS AQUA BOX DIMENSIONS: 29.5'X29.5'X31.5" = 1 UNIT
1 UNIT = 15.24 CFT
55' X 32.5' GIVES 22 X 13 UNITS
15.24 * 286 UNITS = 4,359 CFT

ASSUMED ZERO INFILTRATION DUE TO FIELD SOIL BORING

STORMWATER MANAGEMENT SUMMARY

THE DESIGN CRITERIA FOR THE DETENTION SYSTEM IS TO DETAIN AT MINIMUM THE 100-YEAR, 24-HOUR STORM EVENT. THE STORM WATER CONVEYANCE SYSTEM UPON EXITING THE SITE IS TRANSMITTED TO THE EXISTING STORM SEWER. OWNERSHIP BY PROPERTY OWNER ON PARCEL. CITY TO OWN STORM IN ROW.

POST-DEVELOPED CONDITIONS
DRAINAGE AREA: 13,099 SF = 0.30 AC
ROUGH COEFFICIENT: 0.85
REQUIRED DETENTION = 4,311 CFT
PROVIDED DETENTION = 4,359 CFT

GEOTECHNICAL NOTES

- SOIL CLASSIFICATION: PRIMARILY LOAMY FINE SAND (27B) AND FINE SAND (72B) PER WEB SOIL SURVEY
- GROUNDWATER ELEVATION: 611.40

FLOODPLAIN NOTES

- SITE IS NOT LOCATED IN A FLOODPLAIN PER FEMA FLOODPLAIN MAPS.

WETLAND NOTES

- SITE IS NOT LOCATED IN A WETLAND PER EGLE WETLANDS MAPPER.

ENVIRONMENTAL NOTES

- NO KNOWN AREAS OF CONTAMINATION.

MICHIGAN
811
3 full working days before you dig:
1-800-482-7171
on the web at: www.missdig.org

BENCH MARKS

BENCH MARK 336 ELEVATION: 620.94
FLANGE BOLT UNDER "E" TO HYDRANT LOCATED IN CORNER OF CENTER STREET AND UNION STREET, 56'+/- WEST OF THE EASTERLY ASPHALT EDGE OF UNION STREET.

BENCH MARK 368 ELEVATION: 621.99
SET SPINDLE IN EAST SIDE OF POWER POLE LOCATED 150'+/- SOUTH OF THE CENTERLINE OF CENTER STREET AND 14'+/- WEST OF THE CENTERLINE OF UNION STREET.

SURVEY NOTES

- TOPOGRAPHIC SURVEY WAS COMPLETED BY NEDERVELD IN MARCH 2024 AND REFLECTS CONDITIONS AT THAT TIME. THE SURVEY HAS BEEN SUPPLEMENTED WITH RECORD AND GIS INFORMATION FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING TO CONFIRM EXISTING CONDITIONS AS SHOWN ON THE PLANS. REPORT ALL DISCREPANCIES TO THE ENGINEER.
- THE HORIZONTAL AND VERTICAL INFORMATION PROVIDED IS BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE INTERNATIONAL FEET) WITH NAVD83 DATUM, RESPECTIVELY.
- UNDERGROUND UTILITIES ARE SHOWN BASED ON SURFACE MANHOLE AND VALVE LOCATIONS, RECORD DRAWINGS, AND GIS MAPS AND MAY NOT BE ACCURATE. CONTRACTOR SHALL CONTACT MISS DIG PRIOR TO ANY DIGGING. CONTACT ENGINEER IF UTILITIES ARE FOUND IN DIFFERENT CONDITIONS THAN SHOWN ON THESE PLANS.

SYMBOL LEGEND

	8" SAN	SANITARY SEWER & MANHOLE
		WYE & LEAD
		STANDARD SEWER CLEANOUT
	12" STM	STORM SEWER & MANHOLE
		CATCH BASIN
		UNDERDRAIN
	8" WTR	WATER MAIN
		VALVE & BOX
		METER
		PLUG
		STANDARD FIRE HYDRANT ASSEMBLY
		CURB STOP & BOX
		GAS MAIN
		ELECTRIC
		TELEPHONE/FIBER OPTIC
		TRIBUTARY DRAINAGE BOUNDARY
		TRIBUTARY DETENTION AREA
	AREA ACRE "C"	TRIBUTARY AREA TAG

NOTES

- EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
- PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
- DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
- PROVIDE AND MAINTAIN INLET FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
- WATER MAIN TO HAVE A MINIMUM OF 5.5 FEET OF COVER.
- FIRE HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
- FACE NOZZLES OF SITE FIRE HYDRANTS TOWARD BUILDING.
- ADJUST ALL CASTINGS TO FINISH GRADES.
- PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
- UTILITY ELEVATIONS INDICATED REPRESENT INVERT ELEVATIONS UNLESS OTHERWISE NOTED.

AMK Properties

13 South Union Street, Douglas, MI 49406

Douglas Building

REVISONS	
11/5/2025	REV REVISION

NOT FOR
CONSTRUCTION

10/3/2025	PG REVIEW
Drawn By	SNETZ
Designer	BAMCDOWELL
Reviewer	DRRHOTON
Manager	BAMCDOWELL

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
2501288

SHEET NO.

C201

Planting Schedule						
Type	Common Name	Miniumum Caliper	Miniumum Height	Miniumum Spread	Root Type	Count
Small Evergreen Shrubs						
DAS	Dwarf Alberta Spruce	-----	36 inches	----	BB	3
JY	Japanese Yew	-----	24 inches	-----	BB	16
Small Deciduous Shrubs						
DMQ	Dwarf Japanese Quince	-----	24 inches	-----	BB	11
DWE	Dwarf Winged Euonymous	-----	24 inches	-----	BB	12
Perennials						
HO	Hosta	-----	-----	15 inches	BB	12
Large Evergreen Shrubs						
HY	Hicks Yew	-----	24 inches	----	BB	12
Large Deciduous Trees						
PO	Pin Oak	2-1/2" inches	-----	-----	BB	4
SM	Sugar Maple	2-1/2" inches	-----	-----	BB	5

LANDSCAPE GENERAL NOTES

- ALL LANDSCAPE AREAS, ESPECIALLY PARKING LOT ISLANDS AND SHRUB BEDS NEXT TO BUILDING, SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOIL TO A DEPTH OF 12"-18" AND BACK FILLED W/ A GOOD MEDIUM TEXTURED SOIL (LOAM OR LIGHT YELLOW CLAY). ALL LANDSCAPE AREAS TO HAVE 4"-6" OF TOP SOIL AND ARE TO BE CROWNED A MINIMUM OF 6" HIGHER THAN ADJACENT CURBS OF WALKS AFTER EARTH SETTLING.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES APART:
A. SHADE TREES: 20' O.C.
B. SHRUBS LESS THAN 1'-0" HT & WIDTH AT MATURITY: 5' O.C.
C. ORNAMENTAL & EVERGREEN TREES (CRAB, PINE, SPRUCE): 10' O.C.
- DIG SHRUB PITTS 1'-0" LARGER THAN THE SHRUB ROOT BALLS. TREE PITTS 2'-0" LARGER THAN ROOT BALLS. BACK FILL W/1 PART TOPSOIL - 1 PART SOIL FROM EXCAVATED PLANT HOLE.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM TOP OF ALL SHRUB EARTH BALLS AND TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2'-0" WIDE BY 3" DEEP MINIMUM SHREDDED BARK RING OR APPROVED ALTERNATE DESIGN FOR TRUNK PROTECTION.
- ALL LANDSCAPE AREAS TO BE MULCHED WITH 3" OF SHREDDED WOOD MULCH ON CONTINUOUS WEED-CONTROL BARRIER WITH PLASTIC EDGING AROUND PERIMETER.
- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- ALL TREES TO STAKED, WRAPPED, AND MULCHED ACCORDING TO THE CITY STANDARDS.
- ALL ERICACIOUS PLANT MATERIAL AND OTHER ACID LOVING PLANTS SHALL BE PLANTED IN PLANTING MIX OF 1 PART TOPSOIL - 1 PART PEAT.
- ALL LAWN AREAS TO BE FINE GRADED AND TOP DRESSED WITH 3" OF TOPSOIL BEFORE SODDING.
- ALL QUANTITIES ON PLANS HAVE BEEN FIGURED AS CLOSELY AS POSSIBLE. IT REMAINS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COMPLETE THE PROJECT AS INDICATED ON THE DRAWINGS.
- ALL GROUND COVER BEDS SHALL RECEIVE 3" OF PLANT MIX (1/3 TOPSOIL, 1/3 SAND, 1/3 PEAT) ROTOTILLED INTO THE UPPER 6" OF SOIL, MULCH WITH 2" OF MICHIGAN PEAT MULCH.
- ALL NEW PLANT BEDS AND LAWN AREAS TO BE IRRIGATED UNLESS INDICATED OTHERWISE. EXISTING PLANT BEDS AND LAWN AREAS TO BE IRRIGATED IF INDICATED. CONTRACTOR TO PROVIDE A DESIGN/BUILD IN-GROUND AUTOMATIC IRRIGATION SYSTEM.

CITY LANDSCAPE REQUIREMENTS

CITY OF DOUGLAS ZONING ORDINANCE

SECTION 19.05 SITE DEVELOPMENT REQUIREMENTS

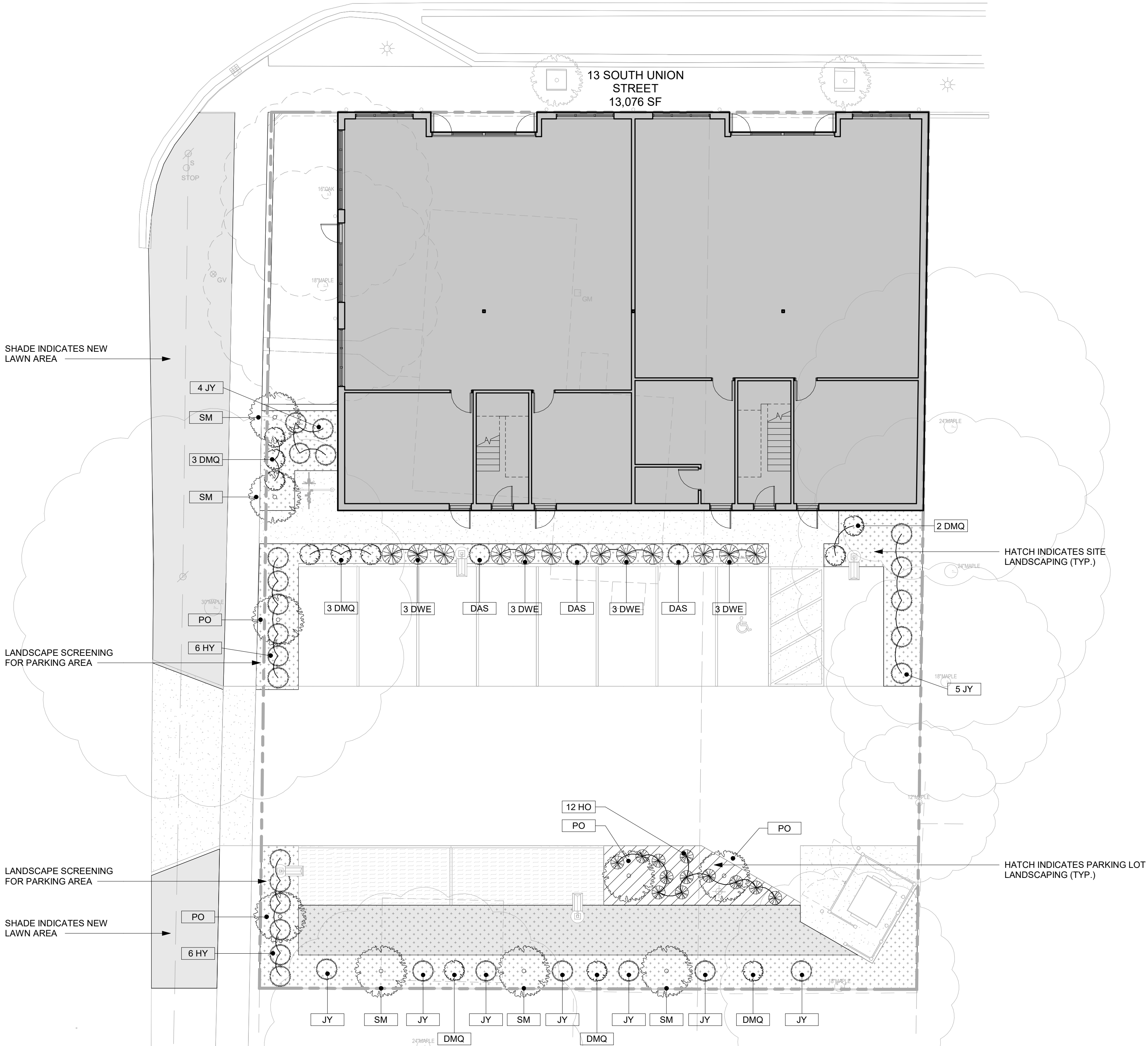
- (8) SCREENING: 1 TREE PER 20 FEET OF PARKING AREA
99 FEET OF PARKING /20 = 4 TREES
(B) 5 FOOT LANDSCAPE STRIP WITH EVERGREEN HEDGE PLANTINGS AND STREET TREES.

SECTION 21.01 LANDSCAPING, FENCING, WALLS, AND SCREENING

- (4) PARKING LOT LANDSCAPING:
(A) 1 TREE FOR EVERY 8 PARKING SPACES WITH 50 SQUARE FEET OF LANDSCAPED SPACE.
(B) 51% OF LANDSCAPED AREAS SHALL BE DEEP-ROOTED PERENNIALS AS APOPOSE TO SOD.
(C) PROVIDE CLEARLY MARKED PEDESTRIAN AISLEWAY FROM PARKING.
- 17 SPACES/8 = 2.125 x 8 = 2 TREES
17 SPACES/8 = 2.125 x 50 = 106 SF SPACE
0.51 x 106 = 54 SF PERENNIALS
- (5) SITE LANDSCAPING:
(A) 10% OF SITE AREA SHALL BE LANDSCAPED.
13,076 x 10% = 1,307.6 SF REQ'D. (15% ACTUAL)
(C) LANDSCAPING ALONG PUBLIC RIGHT OF WAY SHALL INCLUDE 1 TREE EVERY 30 FEET.
- CENTER STREET 99' / 30 = 3 TREES
UNION STREET 132' / 30 = 4 TREES

Landscaping Area

Type	Area
Parking Lot Landscaping	203 SF
Site Landscaping	1,928 SF
Total:	2,130 SF



1 LANDSCAPE PLAN
L-1 SCALE: 1" = 10'-0"

DANIEL
BOGGS
ARCHITECT

ARCHITECTURE
&
PLANNING

8538 ISLAND BLVD.
GROSSE ILE, MI 48138
248.882.3642

PROJECT:
Douglas Building
13 South Union Street
Douglas, MI 49406

PROFESSIONAL SEAL:



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED:
10-03-25 PC Review
10-31-25 Revision
11-05-25 Revision

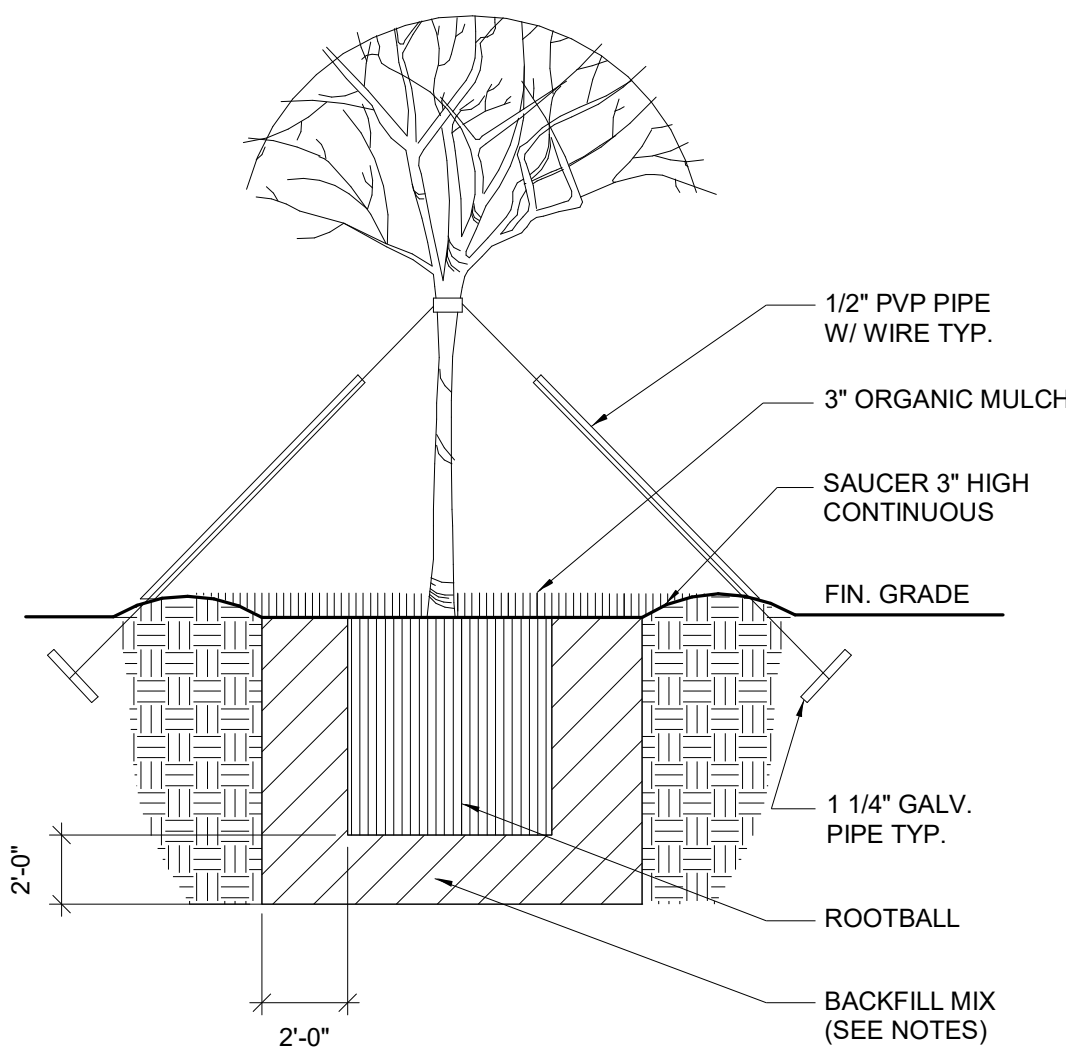
PROJECT NO:
2025.12

DRAWN BY:
Author

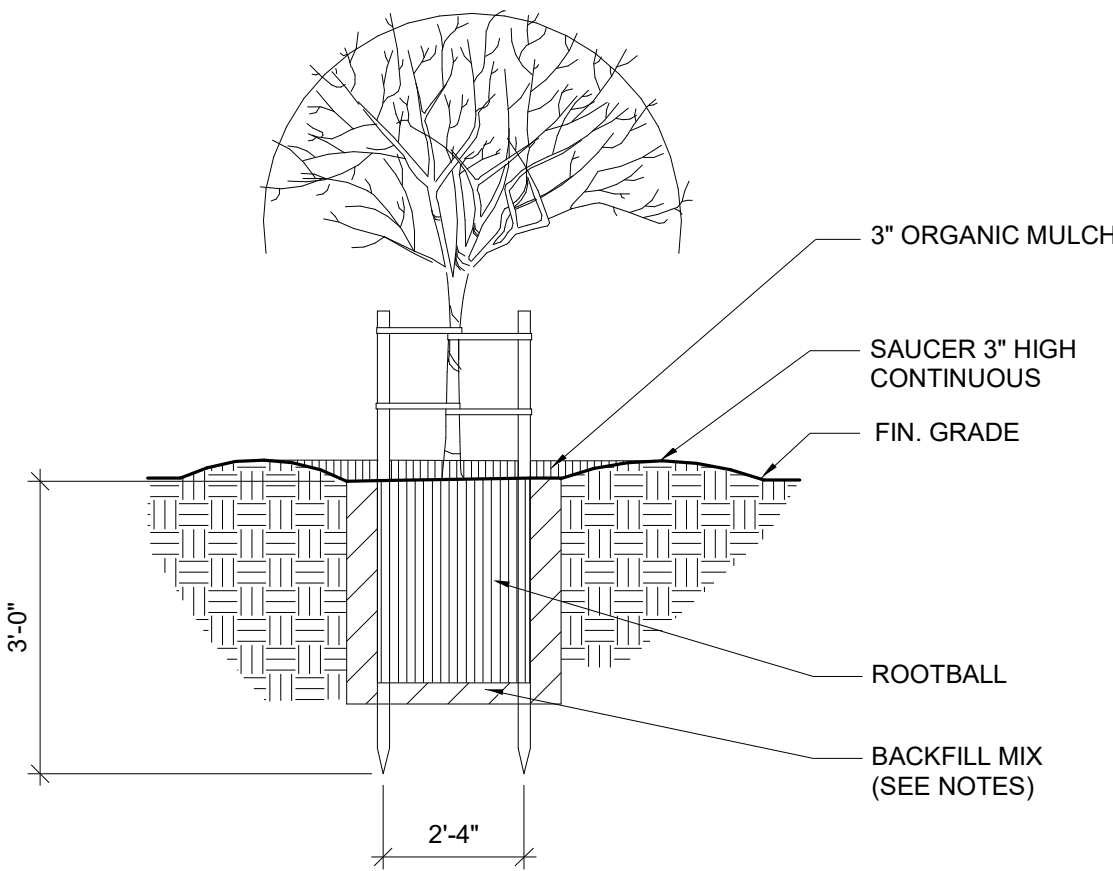
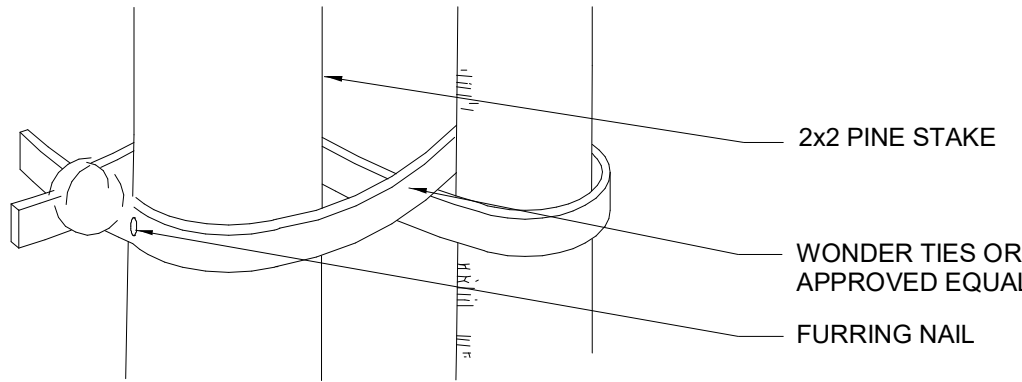
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SHEET TITLE:
Landscape Plan

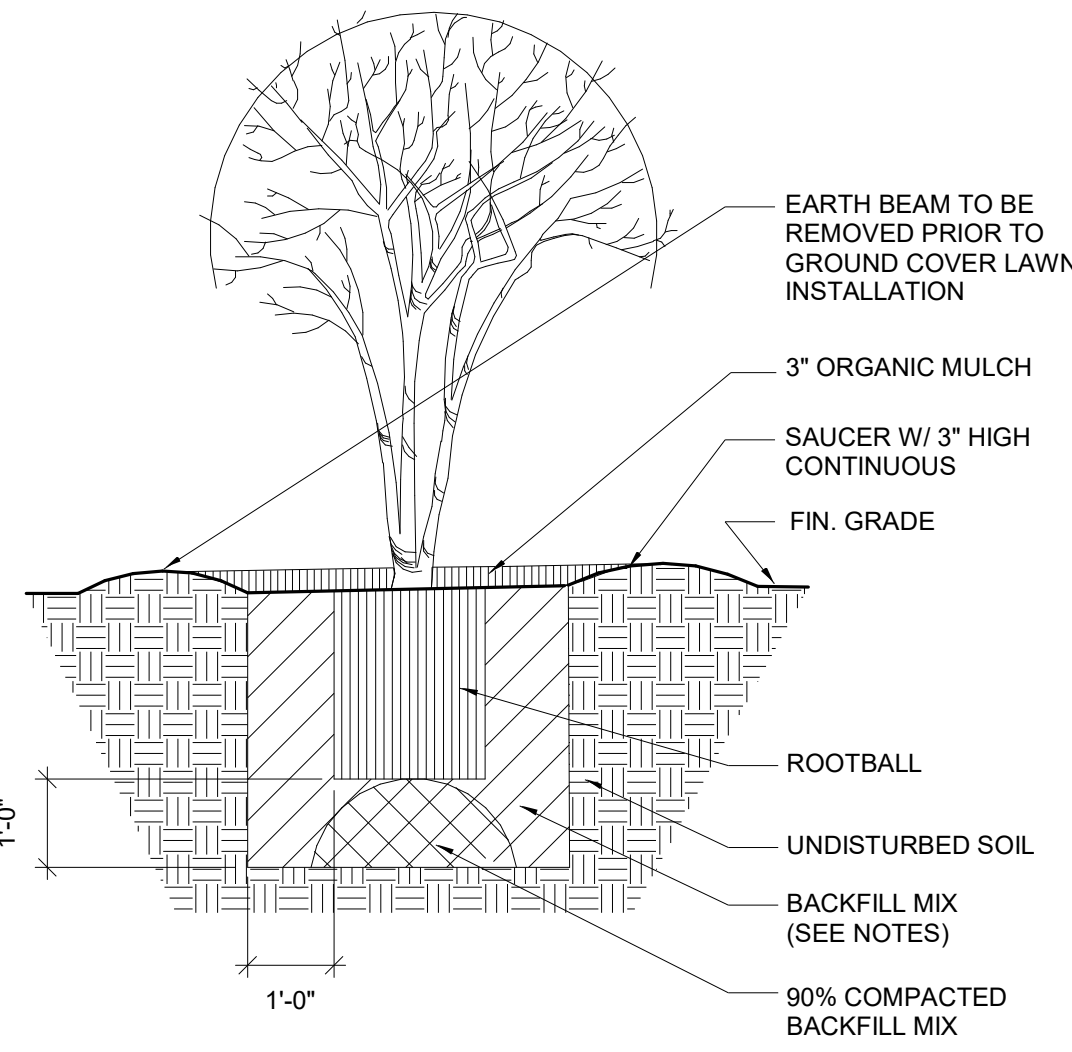
SHEET NO:
L-1



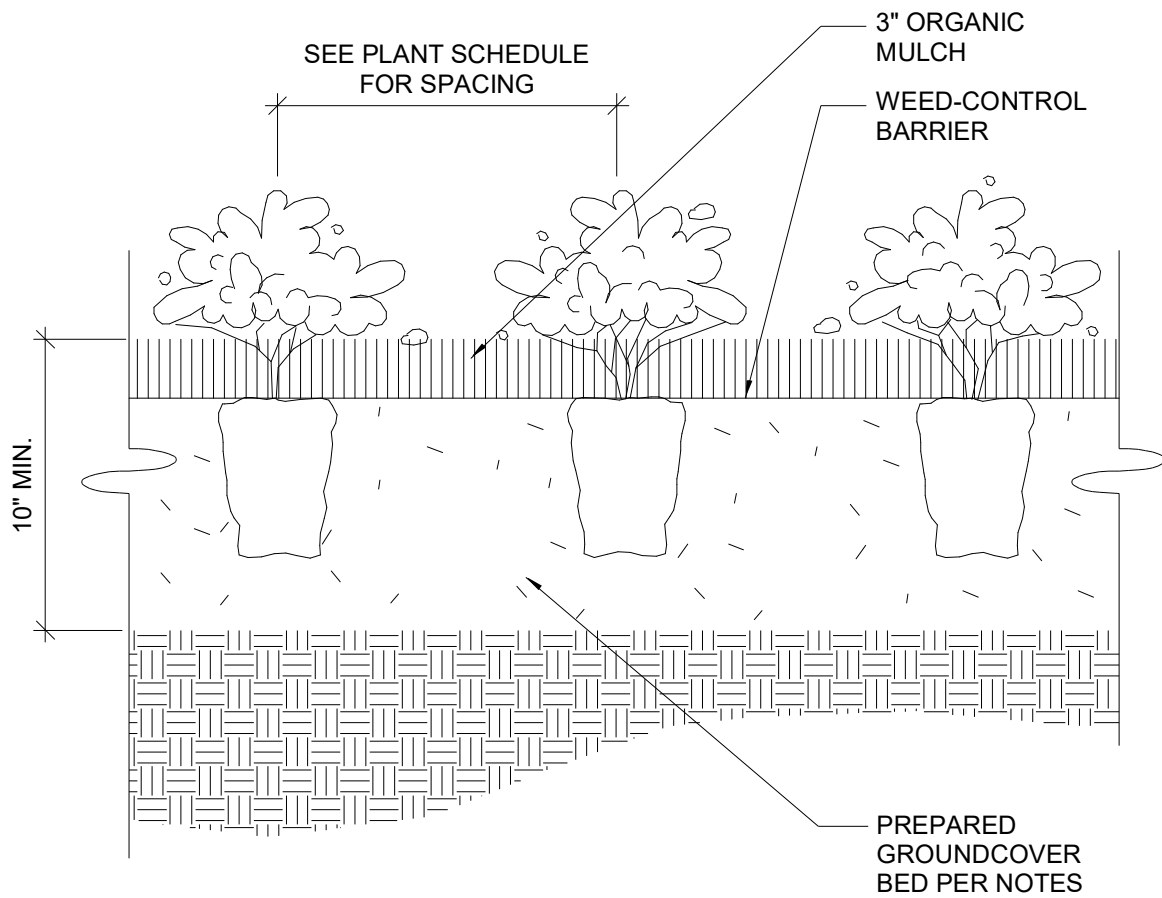
TREES - STAKING



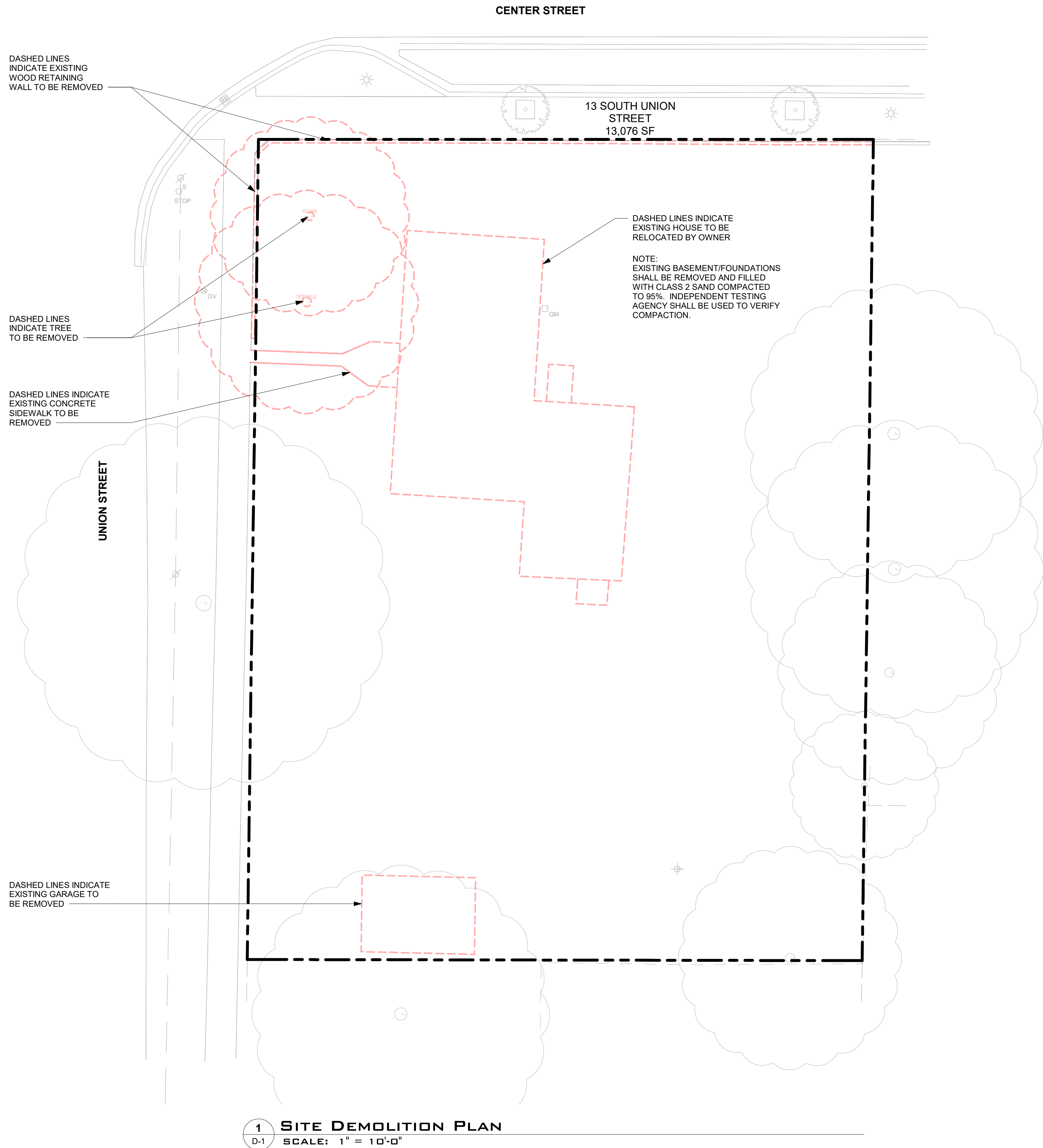
TREES - GUYING



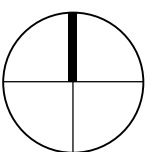
SHRUBS



GROUND COVER PLANTING



1 SITE DEMOLITION PLAN
D-1 SCALE: 1" = 10'-0"





07-15-25	Client Review
07-22-25	City Preliminary Review
09-04-25	Client Review
10-03-25	PC Review
10-31-25	Revision
11-05-25	Revision

C-1 VILLAGE COMMERCIAL DISTRICT

UNION STREET

C-1 VILLAGE COMMERCIAL DISTRICT

CENTER STREET

PROPOSED 2 STORY BUILDING

C-1 VILLAGE COMMERCIAL DISTRICT

R-3 NEIGHBORHOOD CONSERVATION DISTRICT

NEAREST FIRE HYDRANT

BIKE RACK
SITESCAPES EC2-07-SM

FRONT YARD SETBACK

NEW CONCRETE
AT DRIVEWAY
(SEE CONCRETE
PAVINGDETAIL)

NEW CONCRETE
SIDEWALK AT DRIVEWAY
(SEE DETAIL)

PARKING LOT
SETBACK

NEW FENCE ALONG
ENTIRE SOUTH
PROPERTY LINE
(SEE FENCE DETAIL)

1 SITE PLAN
SCALE: 1" = 10'-0"

CITY ORDINANCE REVIEW

CITY OF DOUGLAS ZONING ORDINANCE

FLOOR AREA RATIO: 9,498/13,076 = 73%

ESTIMATED COMPLETION DATE: NOVEMBER 1, 2026

ARTICLE 10: C-1 VILLAGE CENTER DISTRICT
SECTION 10.02 - DISTRICT SUMMARY

A. PERMITTED USES

RESIDENTIAL ABOVE RETAIL OR OFFICE
RETAIL BUSINESS OR RETAIL SALES

C. SITE AND BUILDING PLACEMENT STANDARDS

MINIMUM LOT AREA: 4,000 SF (13,076 ACTUAL)

MINIMUM LOT FRONTAGE: 20 FT
(99 FT CENTER STREET)
(132 FT UNION STREET)

MAXIMUM LOT COVERAGE: 80% (40% ACTUAL)

MINIMUM SETBACKS:
FRONT: 0 FT (0 FT ACTUAL)
EAST SIDE: 5 FT OR ON LOT LINE
(0 FT ACTUAL)
WEST SIDE: 10 FT CORNER LOT
(10 FT ACTUAL)
REAR: 25 FT ABUTS RESIDENTIAL
(72 FT ACTUAL)

D. BUILDING FORM STANDARDS

MAXIMUM PRINCIPAL
BUILDING HEIGHT: 28 FT (28 FT ACTUAL)

MAXIMUM NUMBER
OF STORIES: 2 STORIES (2 ACTUAL)

ROOF PITCH: FLAT WITH PARAPET
OR 6:12 TO 12:12
(FLAT WITH PARAPET)

MINIMUM TRANSPARENCY
GROUND FLOOR: 60% (100% ACTUAL)
UPPER STORIES: 30% (100% ACTUAL)

FIRST FLOOR USE: NON-RESIDENTIAL

RESIDENTIAL ACCESS: SEPARATE FROM
COMMERCIAL ENTRY

RECESS ENTRY: 3 FEET TO 5 FEET
(3 FT ACTUAL)

BUILDING MATERIALS PROVIDED

STRUCTURAL
COMPONENTS: STEEL, MASONRY, WOOD

BUILDING FACADES: BRICK, STONE,
FIBER CEMENT SIDING

SECTION 10.03 - PERFORMANCE STANDARDS

(D) SCREENING AT LEAST 6 FEET IN HEIGHT SHALL BE
PROVIDED TO PREVENT HEADLIGHT GLARE FROM
SHINING ONTO ADJACENT RESIDENTIAL PROPERTY.

SECTION 10.04 - OFF STREET PARKING AND LOADING

(B) C-1 DISTRICT PARKING REQUIREMENTS
(1) SHALL BE 50% OF PARKING REQUIRED BY
SECTION 19.03.

ARTICLE 19: OFF STREET PARKING AND LOADING
SECTION 19.03 PARKING SPACE REQUIREMENTS

(2) MULTIPLE DWELLINGS: 2 SPACES FOR EACH
DWELLING UNIT AND 1 SPACE FOR EACH 3
DWELLING UNITS FOR GUEST PARKING. 1 PARKING
SPACE FOR DWELLING UNITS LESS THAN 900 SF.

2 DWELLING UNITS x 2 SPACES = 4 SPACES
2 DWELLING UNITS < 900 SF x 1 SPACE = 2 SPACES
1 GUEST SPACE PER 3 DWELLING UNITS = 1 SPACE
TOTAL SPACES REQUIRED = 7 SPACES

(38) RETAIL STORES: 1 SPACE FOR EVERY 300 SQUARE
FEET OF USABLE FLOOR AREA.

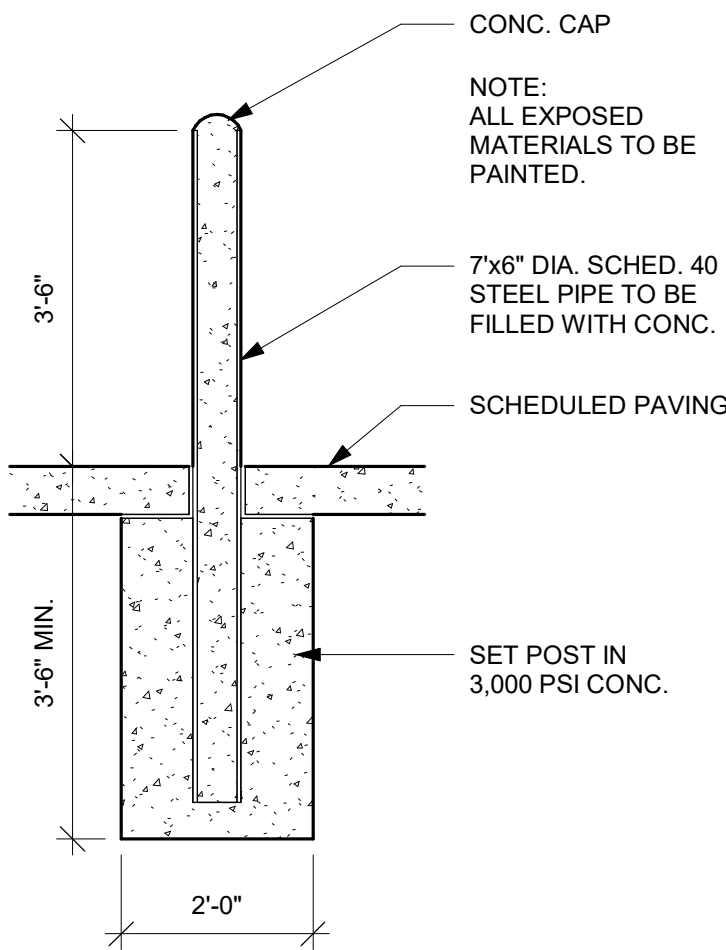
USABLE FLOOR AREA = 3,347 SF / 300 = 11

TOTAL PARKING SPACES REQ'D: 7 + 11 x 50% = 9

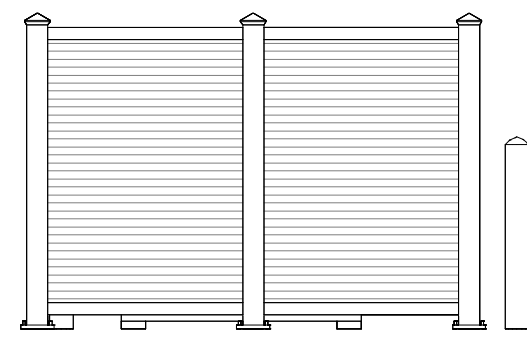
SECTION 19.06 LOADING AND UNLOADING SPACE
REQUIREMENTS

(3) SPACE REQUIREMENTS: 12'x25' LOADING SPACE.

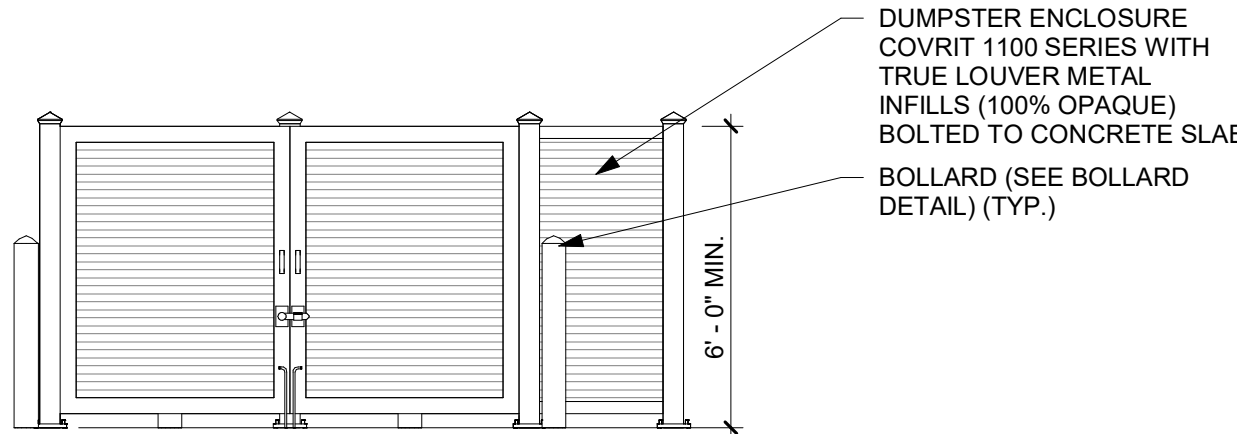
Parking Schedule	
Type	Count
8' x 18' Van Accessible	1
9' x 18' - 90 deg	8
9' x 23' Parallel	2
Total Provided:	11



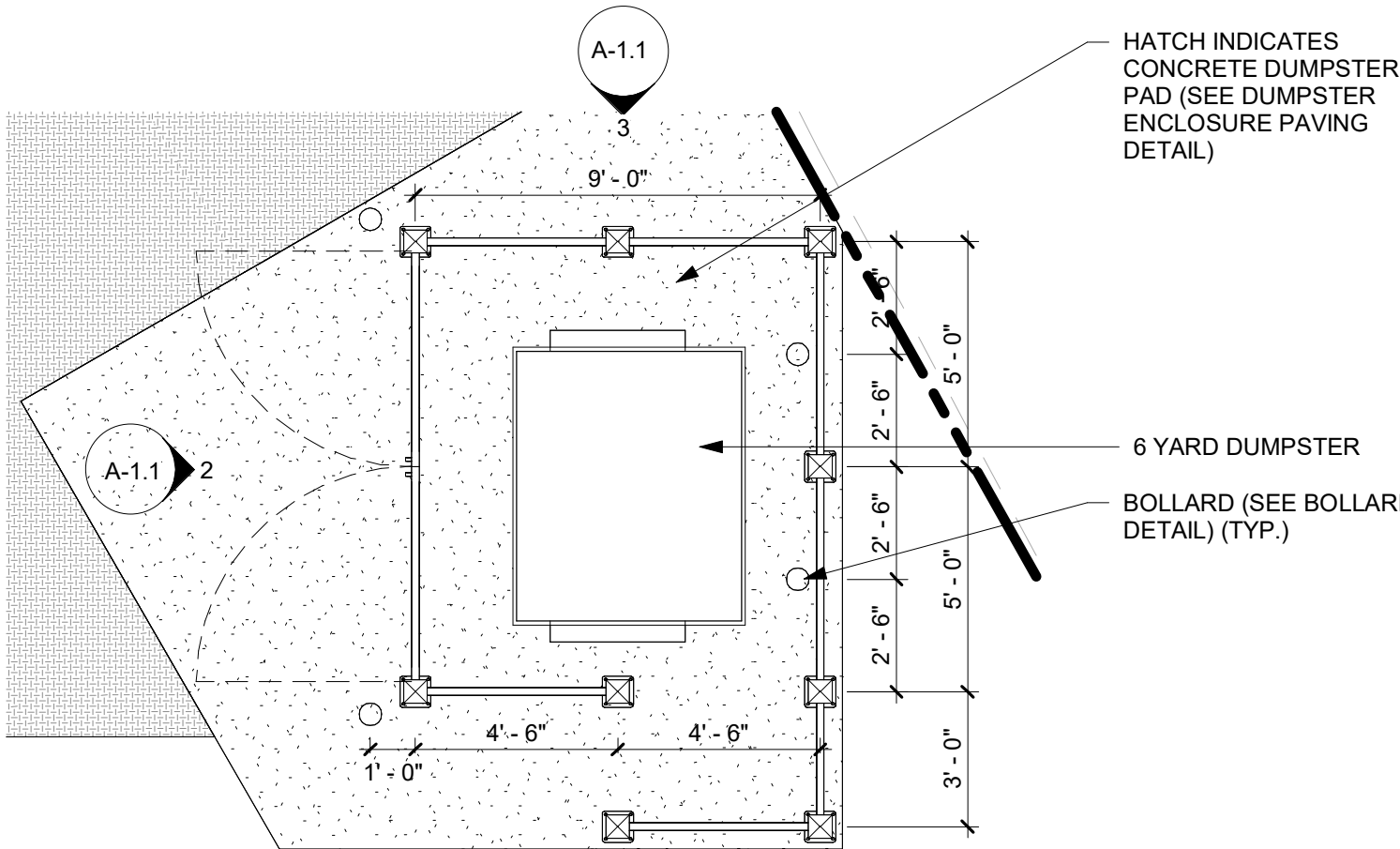
4 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



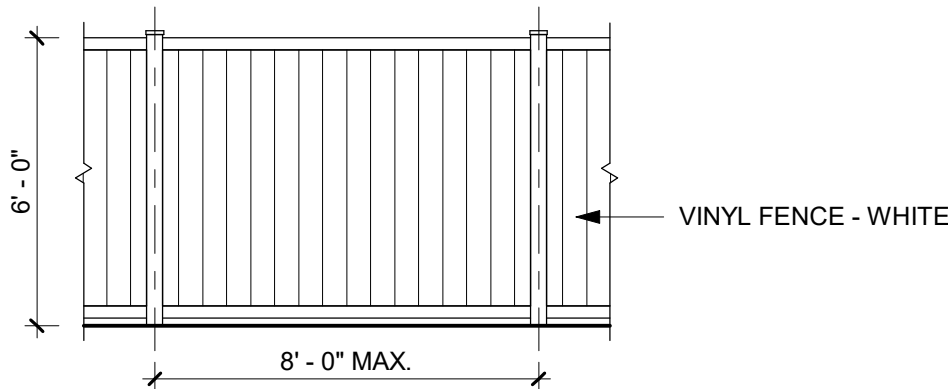
3 DUMPSTER ENCLOSURE - SIDE
SCALE: 1/4" = 1'-0"



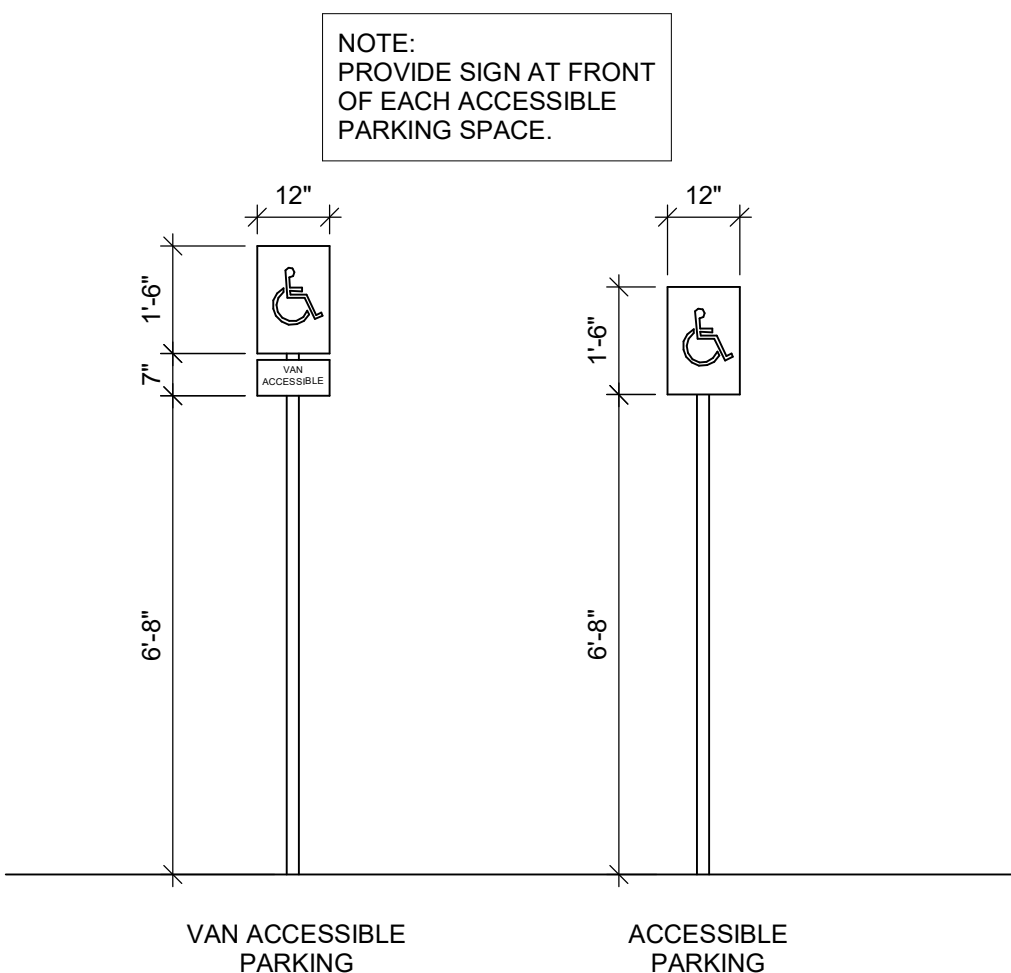
2 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



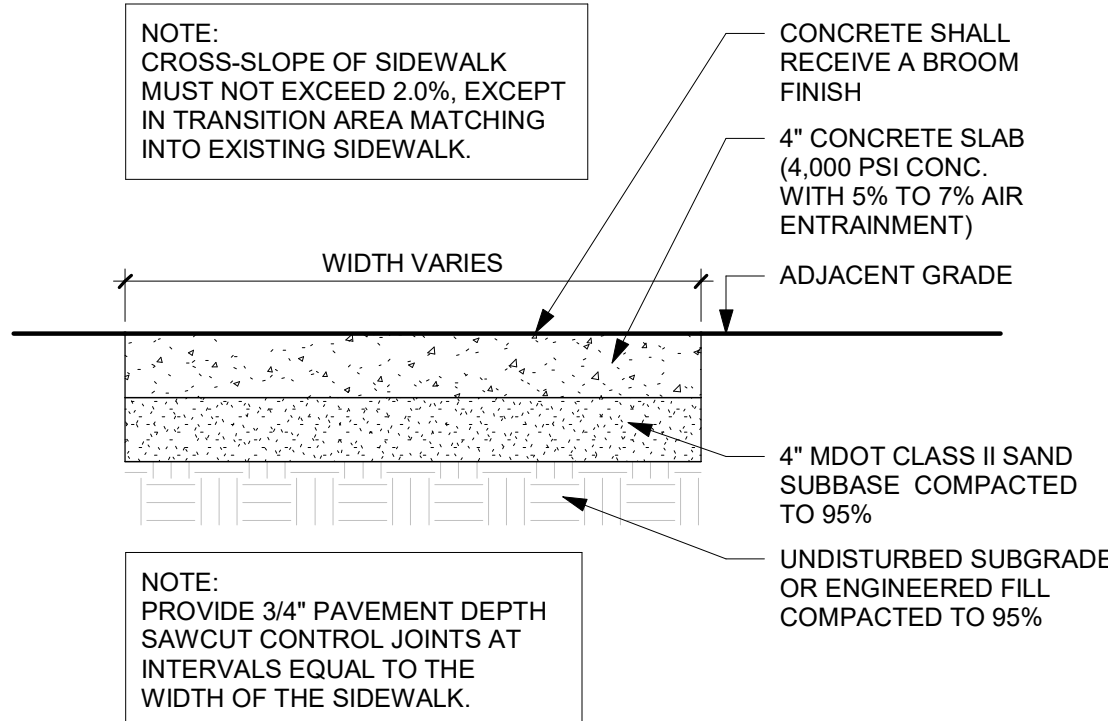
1 ENLARGED DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



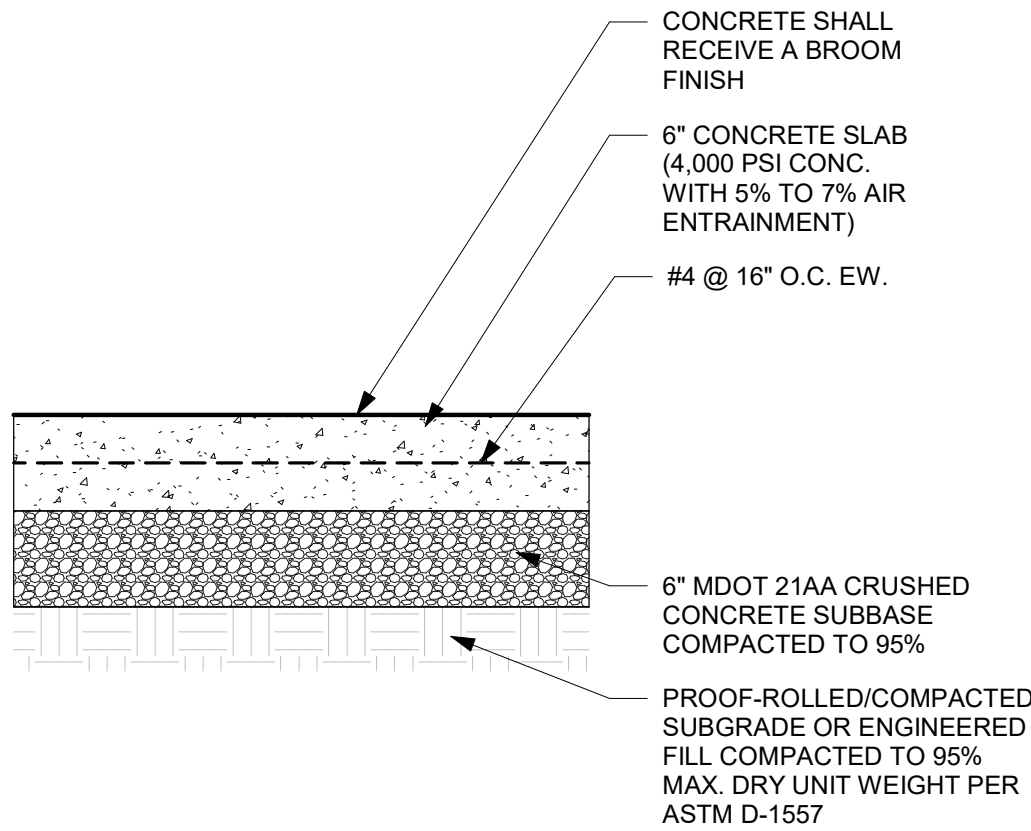
6 FENCE DETAIL - VINYL
SCALE: 1/4" = 1'-0"



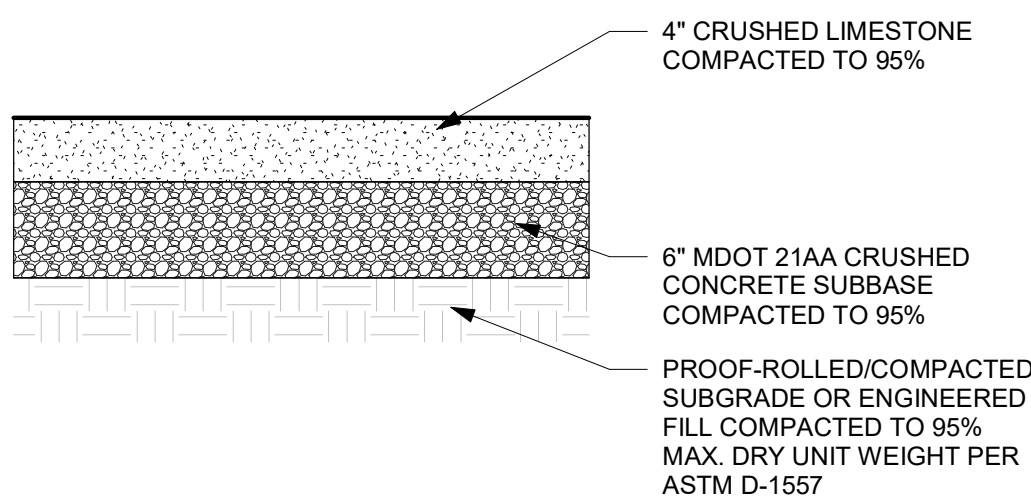
5 ACCESSIBLE PARKING SIGNAGE
SCALE: 3/8" = 1'-0"



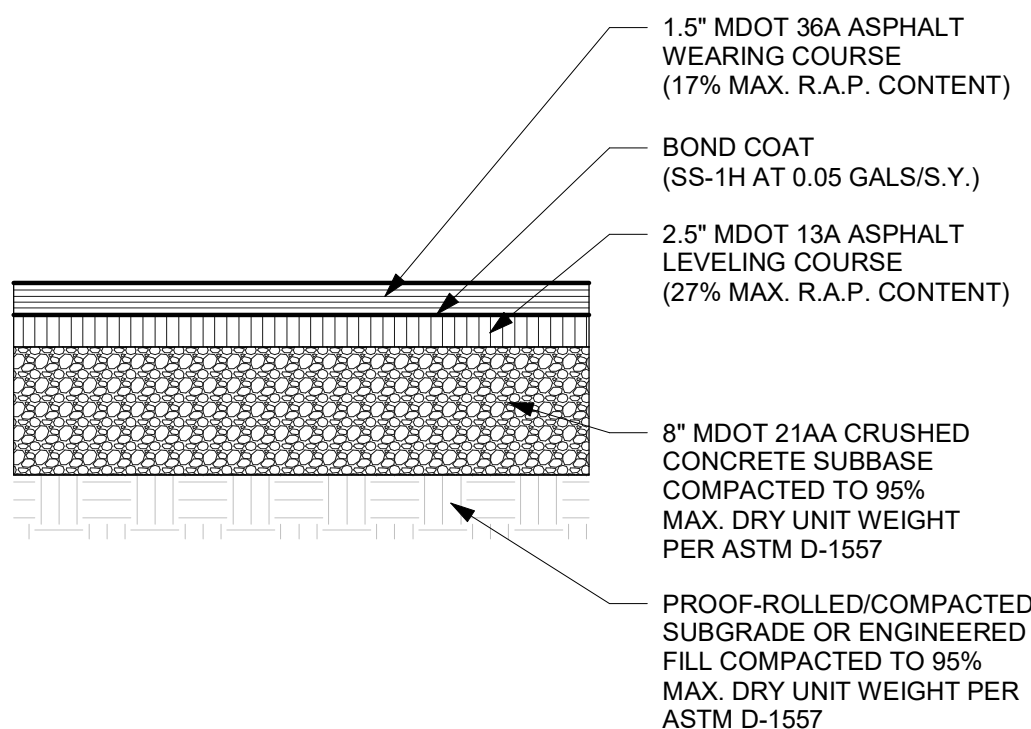
10 CONCRETE SIDEWALK DETAIL
SCALE: 1" = 1'-0"



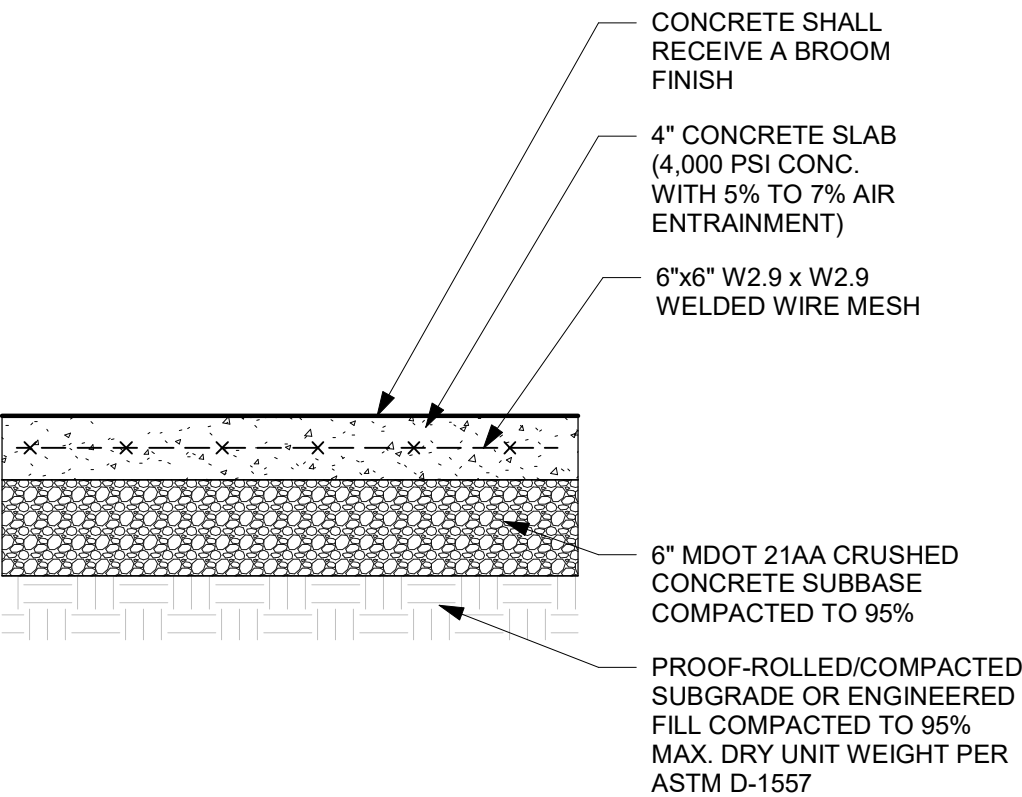
9 DUMPSTER ENCLOSURE PAVING DETAIL
SCALE: 1" = 1'-0"



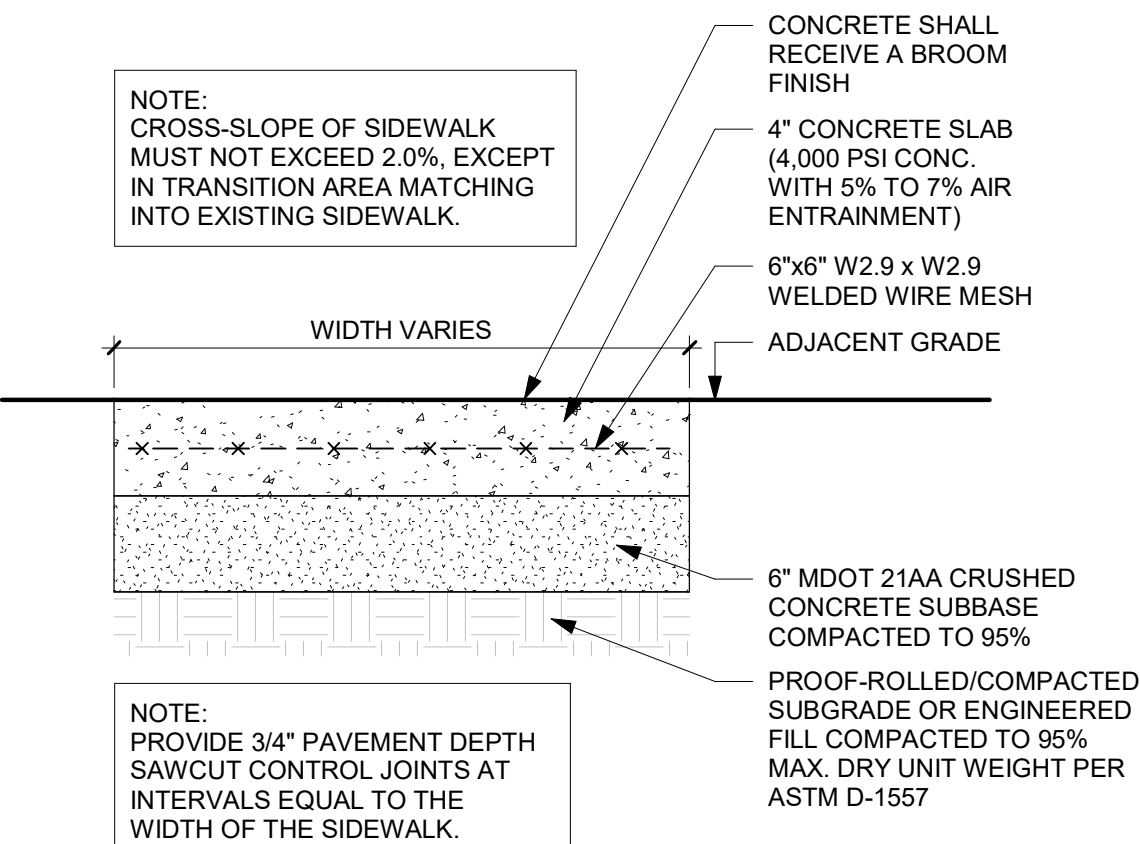
8 STONE PAVING DETAIL
SCALE: 1" = 1'-0"



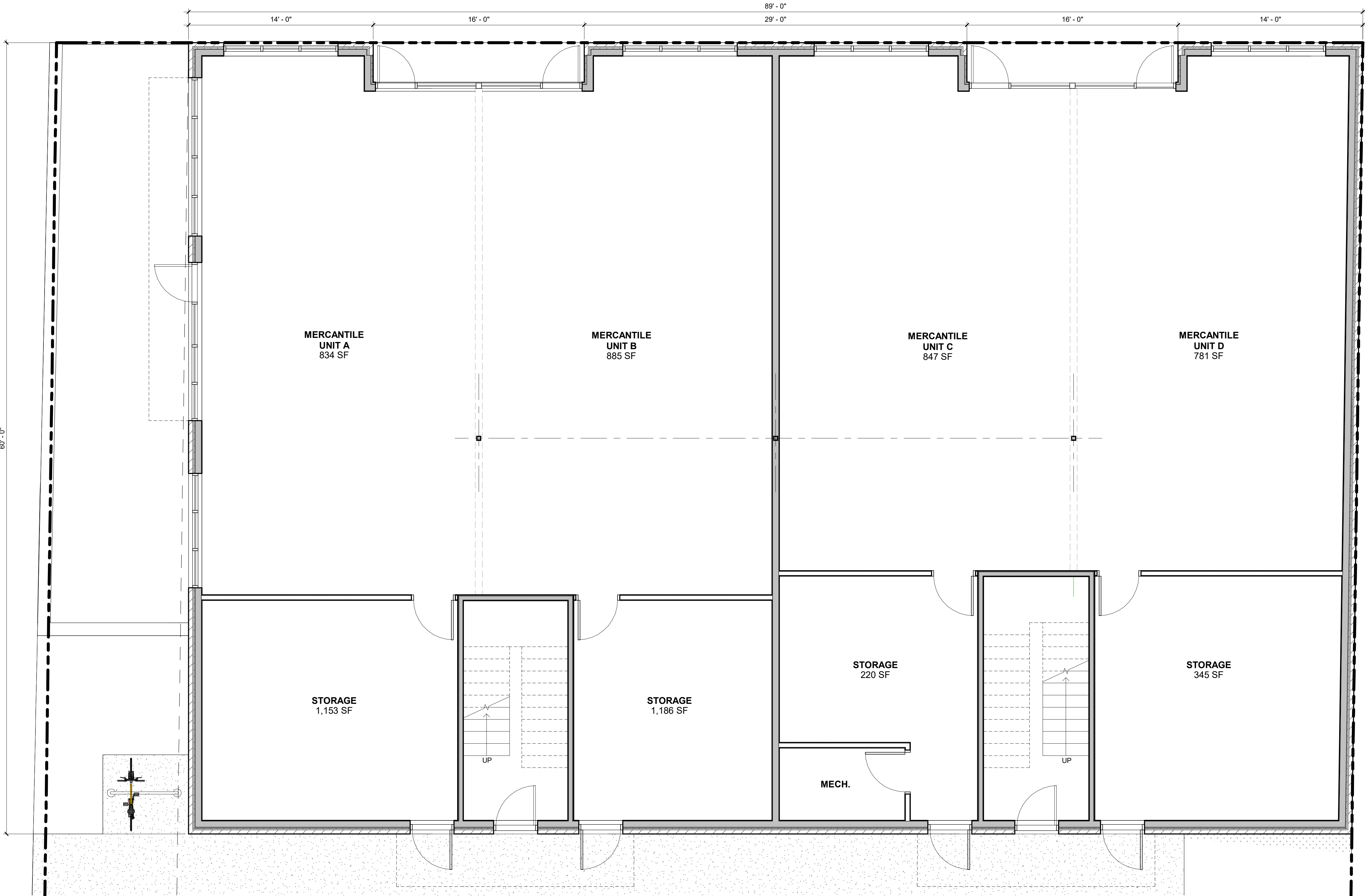
7 ASPHALT PAVING DETAIL
SCALE: 1" = 1'-0"



12 CONCRETE PAVING DETAIL
SCALE: 1" = 1'-0"



11 CONCRETE SIDEWALK DETAIL AT DRIVEWAY
SCALE: 1" = 1'-0"



Seating Schedule		
Type	Count	Seating #



1 SECOND FLOOR PLAN
A-3 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

**DANIEL
BOGGS
ARCHITECT**

**ARCHITECTURE
&
PLANNING**

**8538 ISLAND BLVD.
GROSSE ILE, MI 48138
248.882.3642**

PROJECT:
Douglas Building
13 South Union Street
Douglas, MI 49406

PROFESSIONAL SEAL:



PRELIMINARY
NOT FOR CONSTRUCTION
ISSUED:
10-03-25 PC Review
11-05-25 Revision

PROJECT NO:
2025.12

DRAWN BY:
Author

These drawings have been specifically prepared for AMK Properties for use at 13 South Union Street Douglas, MI 49406. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.

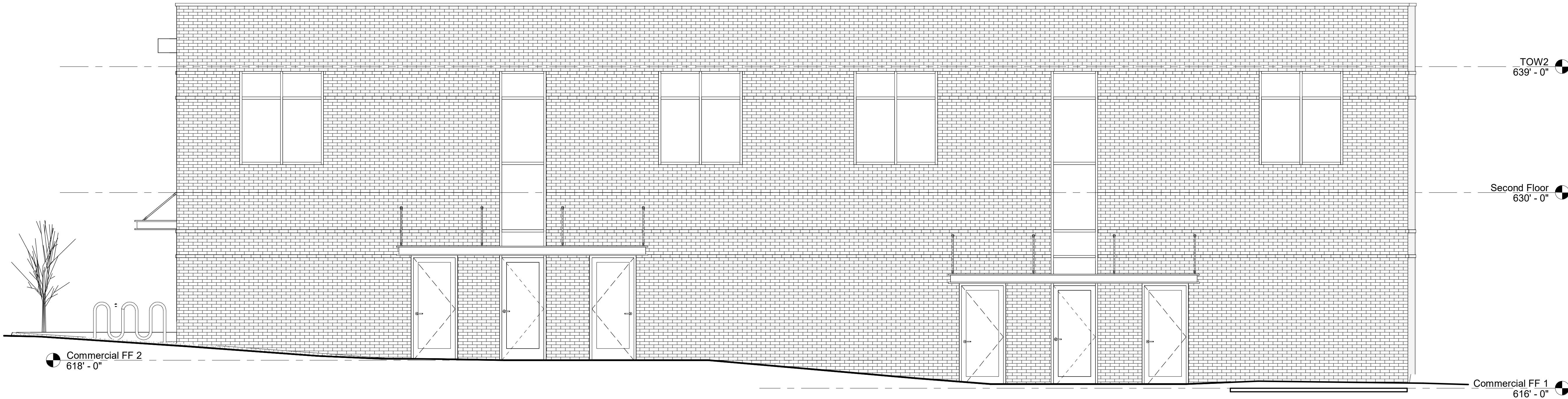
SHEET TITLE:
Exterior Elevations

SHEET NO:

A-4

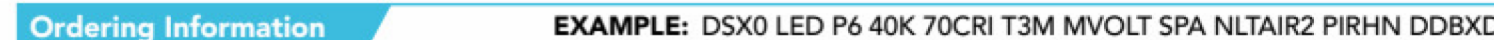


2 WEST ELEVATION
A-5 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
A-5 SCALE: 1/4" = 1'-0"

Scale - 1" = 10ft



Ordering Information **EXAMPLE:** DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2019.
FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE
RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC
IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE
VERIFIED IN FIELD BY OTHERS.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT
QUOTES@GASSERBUSH.COM OR 734-266-
6705.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



PROJECT:	
QUANTITY:	TYPE:

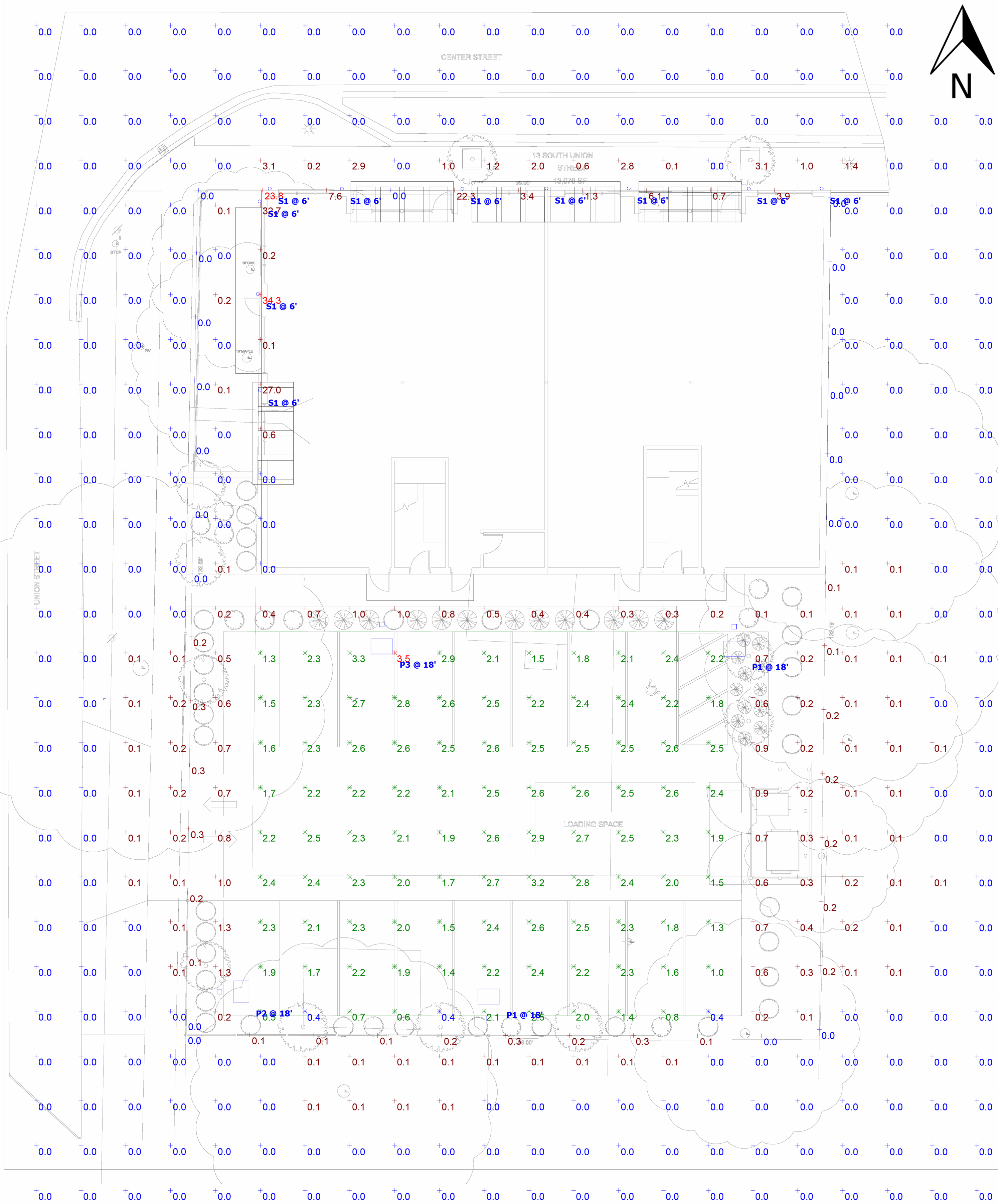
EXAMPLE: CWO612UDPC10L35KMDWDEX/CL/WM/MW

NOTES:

- 1 Nominal Delivered Combined Uplight/Downlight Lumens at 3500K
- 2 Uplight & Downlight Use The Same Lumen Output
- 3 See IES Files for Details
- 4 Consult Factory for Additional Options
- 5 Standard Finish



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Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.7 fc	34.3 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	2.1 fc	3.5 fc	0.4 fc	8.8:1	5.3:1
Property Line	+	1.6 fc	23.8 fc	0.0 fc	N/A	N/A

Designer
BK
Date
10/01/2025
REV 10/02/2025
Scale
Not to Scale
Drawing No.
PH-1