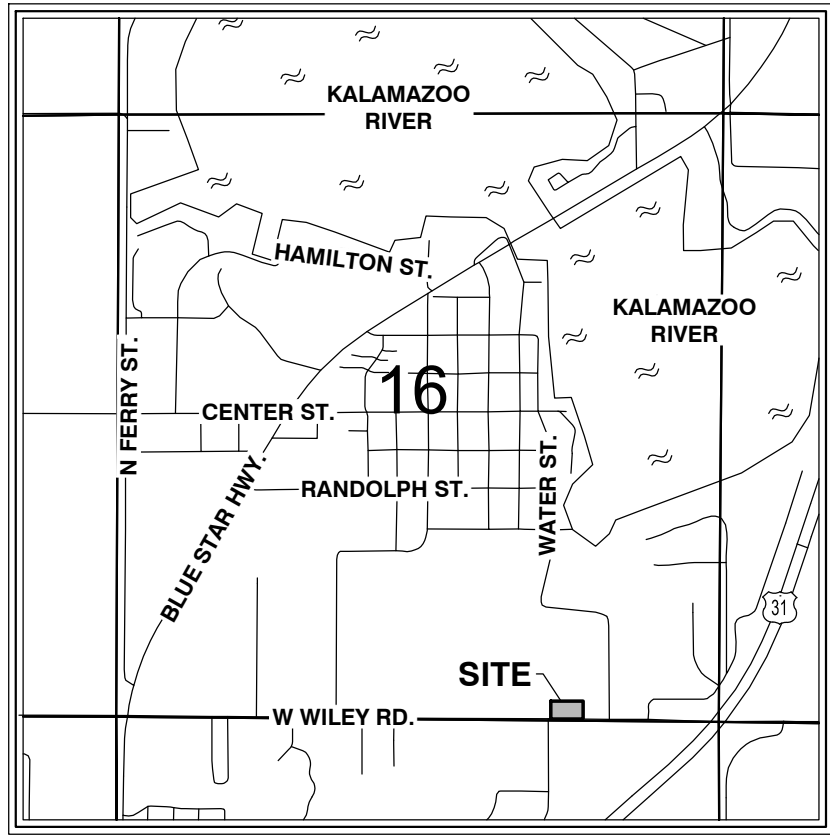


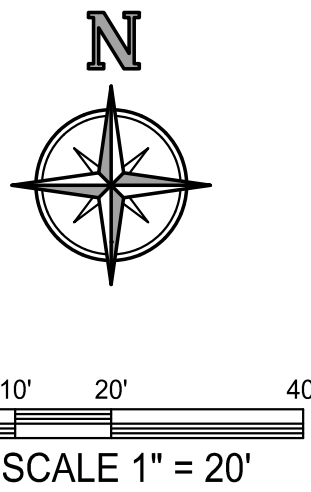


LOCATION MAP
-NOT TO SCALE-

I, MARK O. SCOVILL, A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT I HAVE SURVEYED THE PARCEL(S) OF LAND DESCRIBED AND DELINEATED HEREON; THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY AS PERFORMED BY ME; THAT SAID SURVEY WAS PERFORMED RESULTING WITH A RELATIVE POSITIONAL PRECISION AT EACH BOUNDARY CORNER SHOWN HEREON WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING. THIS SURVEY WAS MADE FROM THE ATTACHED LEGAL DESCRIPTION. THE DESCRIPTION WAS GIVEN TO US BY OTHERS, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY OTHERS, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

HOLLAND ENGINEERING, INC.
220 HOOVER BOULEVARD
HOLLAND, MICHIGAN 49423
(616) 392-5938

Mark O. Scovill
MARK O. SCOVILL
MICHIGAN PROFESSIONAL SURVEYOR #4001045504



LEGAL DESCRIPTION

PER WARRANTY DEED RECORDED IN LIBER 2678, PAGE 763, ALLEGAN COUNTY PUBLIC RECORDS, MICHIGAN.

REAL PROPERTY LOCATED IN THE VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN, LEGALLY DESCRIBED AS:

PART OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN DESCRIBED AS BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 16 DISTANT SOUTH 89° 07' 04" WEST 1279.62 FEET FROM THE SOUTHEAST CORNER OF SECTION 16 AND PROCEEDING THENCE SOUTH 89° 07' 04" WEST 256.86 FEET, ALONG THE SOUTH LINE OF SECTION 16; THENCE NORTH 02° 02' 18" WEST 169.62 FEET; THENCE NORTH 89° 07' 04" EAST 256.86 FEET; THENCE SOUTH 02° 02' 18" EAST 169.62 FEET PARALLEL WITH THE CENTERLINE OF WATER STREET TO THE POINT OF BEGINNING. SUBJECT TO ANY RESTRICTIONS AND LIMITATIONS OF RECORD.

GENERAL NOTES

THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED WITHOUT THE BENEFIT OF CURRENT TITELWORK. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 3 NORTH, RANGE 16 WEST AS HAVING A BEARING OF SOUTH 89°07'04" WEST.

ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

SOURCE BENCHMARK - MICHIGAN DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING SYSTEM (CORS) - MIHO (HOLLAND)

UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND OBSERVATIONS AT THE TIME OF THE FIELD SURVEY. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITIES.

NOTE: CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

ALL UTILITIES AND BELOW GROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED UNDER THE SCOPE OF THIS SURVEY.

PER THE FLOOD INSURANCE RATE MAP CITY OF THE VILLAGE OF DOUGLAS ALLEGAN COUNTY, MICHIGAN MAP NUMBER: 2005020164G EFFECTIVE DATE: JUNE 21, 2023

THE SUBJECT PARCELS LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND IS IN NOT IN A FLOOD HAZARD AREA.

DATE OF FIELD SURVEY: MAY 15, 2025.

LEGEND

- SECTION CORNER
- SET 1/2 DIA. STEEL BAR W/ CAP #45504
- FOUND 1/2" DIA. STEEL BAR W/ CAP "1"EF
- FOUND 1/2" DIA. STEEL BAR W/ CAP #16042
- DESIGNATED HANDICAP PARKING
- SANITARY MANHOLE
- STORM CATCH BASIN - FLAT
- STORM CATCH BASIN - BEE-HIVE
- FIRE HYDRANT
- WATER VALVE
- SPRINKLER VALVE
- MONITORING WELL
- ELECTRIC METER
- ELECTRIC PANEL
- YARD LAMP
- GAS METER
- ABOVE GROUND UTILITY MARKER W/ TEST LEADS
- UTILITY POLE
- TELEPHONE RISER
- AIR CONDITIONER
- FLAG POLE
- BOLLARD
- SHRUB
- LARGE ROCK
- DECIDUOUS TREE
- CONIFEROUS TREE
- PARCEL LINE
- ROAD RIGHT-OF-WAY LINE
- UNDERGROUND SANITARY LINE
- UNDERGROUND STORM LINE
- OVERHEAD UTILITY LINE
- WOOD FENCE LINE
- LANDSCAPING LINE
- MINOR CONTOUR
- MAJOR CONTOUR
- CONCRETE SURFACE
- ASPHALT SURFACE
- GRAVEL SURFACE
- (D) - DESCRIBED DIMENSION
- (M) - MEASURED DIMENSION
- INV. - INVERT
- ELEV. - ELEVATION
- PVC - POLY VINYL CHLORIDE
- REMON. - REMONUMENTATION
- L.C.R.C. - LAND CORNER RECORDATION CERTIFICATE

PARCEL NUMBER: 59-016-096-21
ADDRESS: 60 E WILEY RD

PARCEL NUMBER: 59-016-096-10
ADDRESS: 52 E WILEY RD

PARCEL
AREA = 1.000 ACRES
PARCEL NUMBER: 59-016-101-00
ADDRESS: 100 E WILEY RD

PARCEL NUMBER: 59-016-101-10
ADDRESS: 486 S WATER ST.

100 E. Wiley Rd - Interurban Transit Authority - Site Plan
Received #1 - 8/20/2025
Reviewed #1 - 9/10/2025 - 2102-CM
Approved #1 per Review #1 - 9/10/2025 - 2102-CM

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T 616-392-5938 F 616-392-2116

The Surveyor's / Engineer's liability for any errors or omissions, but not limited to those arising out of the Surveyor's / Engineer's negligence, gross negligence, or misrepresentation shall not be limited in amount to greater than the service fee.

MIDWEST CONSTRUCTION

16 S ELM STREET
ZEELAND, MI 49464

INTERURBAN

100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
PT. OF THE SE 1/4 SECT. 16 T3N, R16W
VILLAGE OF THE CITY OF DOUGLAS,
ALLEGAN COUNTY, MI

Issued for:

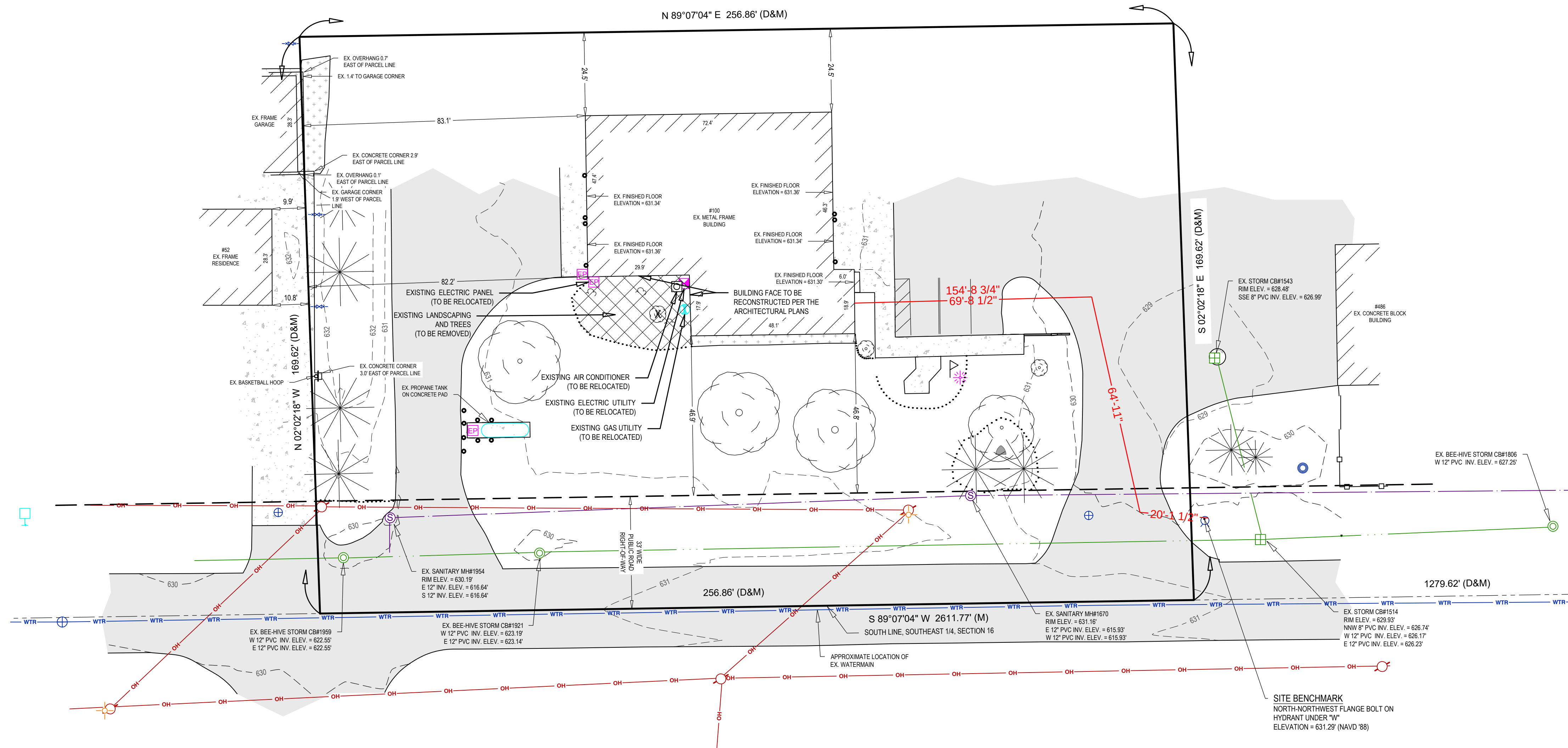
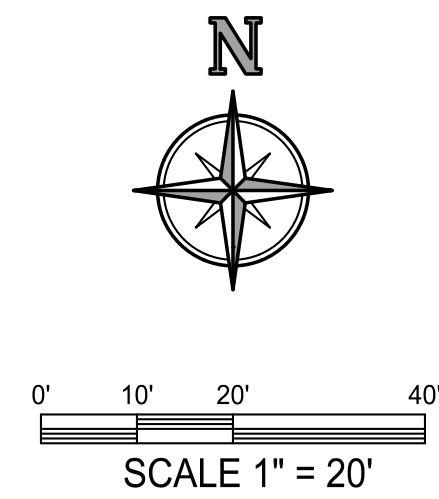
No.	A.
1	EXISTING CONDITIONS TOPOGRAPHIC MAP
2	
3	
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Project Manager	RYAN T. YSELDEYKE
Vertical Datum	NAVD 88
Horz. Datum	LOCAL
Drawn by	JOHN M. RANKIN
Checked by	Survey JCD
Date	06/03/2025
Civil	.
Struc.	.
L. A.	.

HEI Project Number
25-04-050

Sheet Title
EXISTING
CONDITIONS

Sheet No.
V-101



1. SEE BOUNDARY AND TOPOGRAPHIC SURVEY SHEET FOR PROPERTY, EASEMENT, BENCHMARK, ETC. INFORMATION.
2. LOCATION OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON SURFACE EVIDENCE AND RECORD INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITIES PRIOR TO CONSTRUCTION.
3. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE, SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER. THE PAVED ROADWAY SHALL BE SWEEPED CLEAN AS REQUIRED, BUT AT LEAST ONCE A WEEK.
4. CONSTRUCTION SHALL PROVIDE BARRIERS, AS NECESSARY, TO PREVENT PEDESTRIAN AND VEHICULAR TRAFFIC FROM ENTERING THE CONSTRUCTION SITE.
5. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
6. REMOVAL ITEMS ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO VERIFY THE EXTENT OF WORK REQUIRED.
7. REMOVE ALL STRUCTURES, CONCRETE CURB, CONCRETE PAVING, ASPHALT PAVING, TREES, STUMP UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN THE LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
8. ALL UTILITIES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND SURTAINANCES. CONTRACTOR SHALL CONFIRM UTILITIES REMOVED WILL NOT IMPACT UTILITIES TO REMAIN.
9. ALL REMOVALS OF PAVEMENT, CONCRETE, CURB AND GUTTER, ETC. SHALL BE PERFORMED TO THE NEXT JOINT BEYOND THE LIMITS OF REMOVAL. ALL REMOVALS SHALL BE PERFORMED BY SAWCUTTING.
10. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN SHRED LINE. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
11. ALL TREE STUMPS SHALL BE REMOVED TO BELOW GRADE BY EITHER GRINDING OR COMPLETE REMOVAL. IN ALL CASES NO WOODCHIPS AND/OR STUMPS SHALL BE LEFT IN PLACE.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITIES REMOVALS WITH PROPERTY OWNER AND ALL NEIGHBORS.
13. ALL WORK IN ROAD RIGHTS OF WAY SHALL BE COMPLETED IN ACCORDANCE WITH DDOT, THE ALLEGAN COUNTY ROAD COMMISSION, AND THE CITY OF THE VILLAGE OF DOUGLAS.
14. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

100 E. Wiley Rd - Interurban Transit Authority - Site Plan
Received #1 - 8/20/2025
Reviewed #1 - 9/10/2025 - 2102-CM
Approved #1 per Review #1 - 9/10/2025 - 2102-CM

The Surveyor's / Engineer's liability for any and all claims, including but not limited to those arising out of the Surveyor's / Engineer's professional services, negligence, gross misconduct, warranties or misrepresentations shall be deemed limited to an amount no greater than the service fee.

MIDWEST
CONSTRUCTION

16 S ELM STREET
ZEELAND, MI 49464

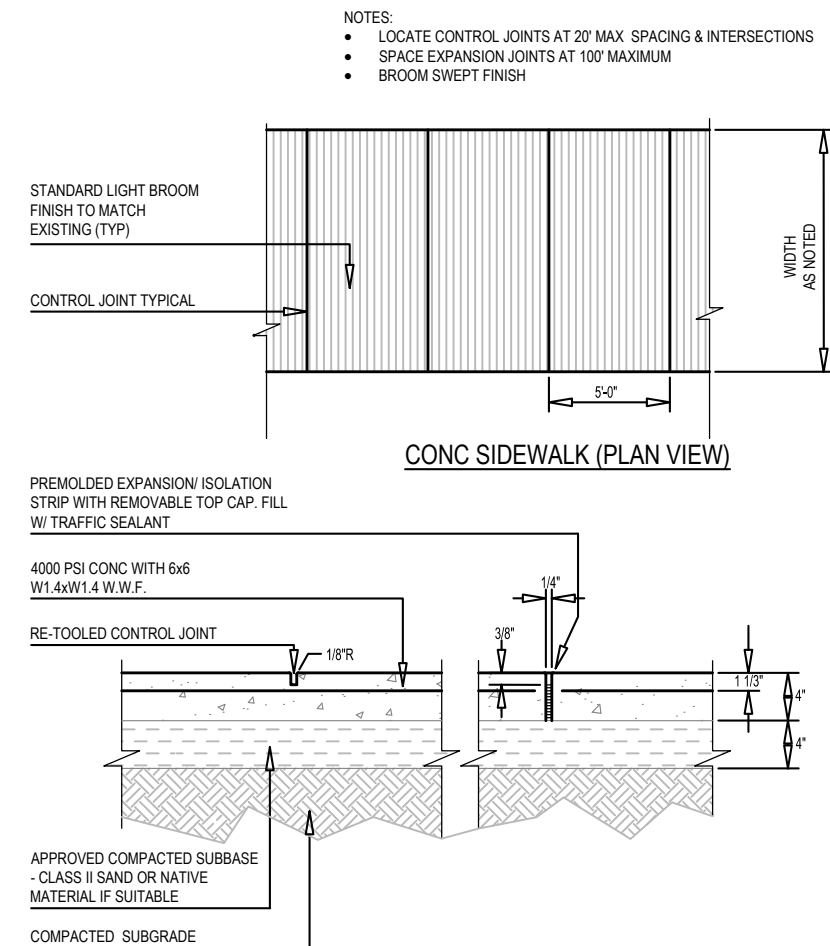
INTERURBAN ADDITION

100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
PT. OF THE SE 1/4 SECT. 16 T3N, R16E
VILLAGE OF THE CITY OF DOUGLAS,
ALLIEN COUNTY, MI

Issued for:		
Date	Description	No
06/03/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP	A
06/24/2025	SITE LAYOUT PLAN	B

Project Manager RYAN T. YSSELDYKE, P.E.		
Vertical Datum NAVD '88	Horz. Datum LOCAL	
Drawn by AARON VENEMA		
Checked by Survey	.	Date .
Civil	.	.
Struc.	.	.
L. A.	.	.

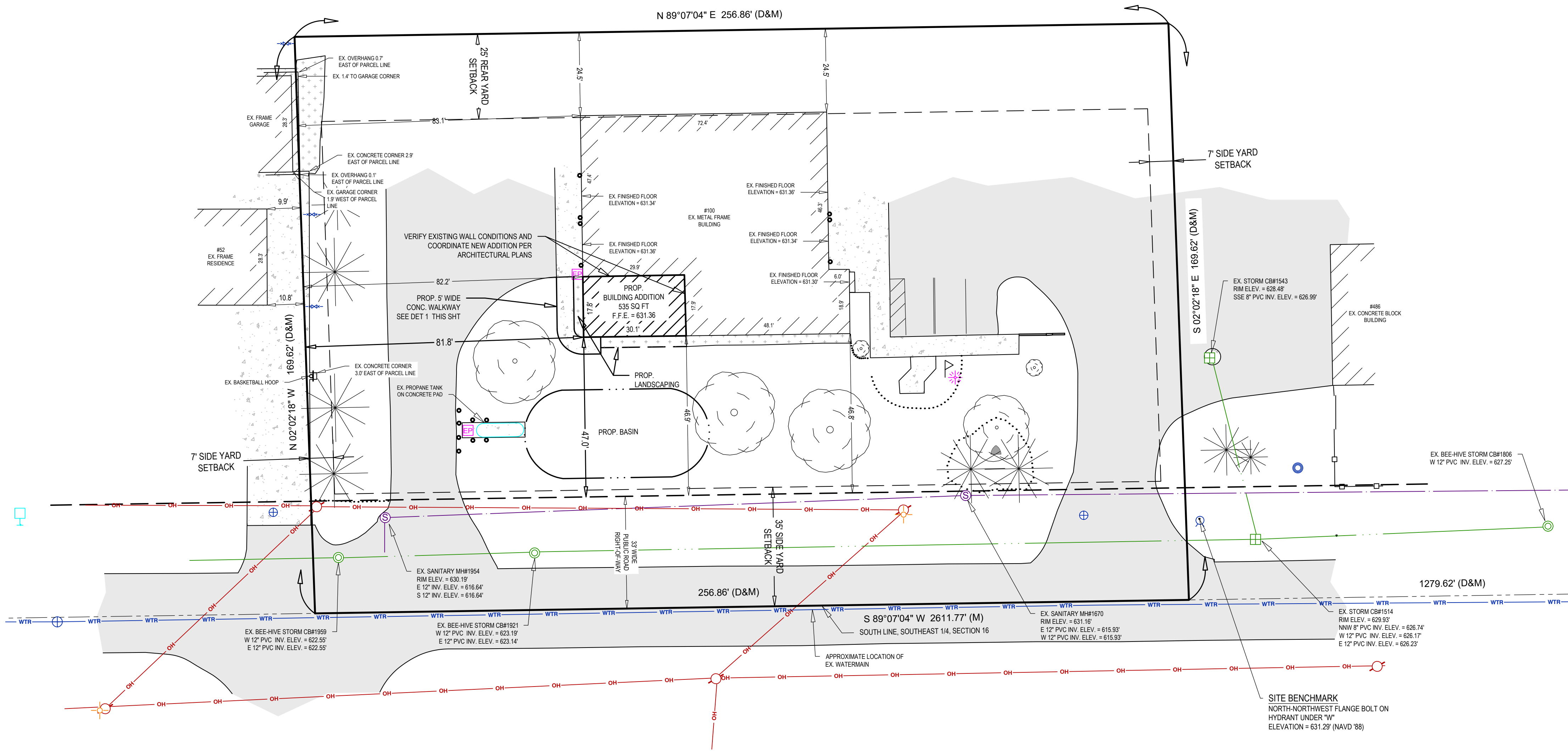
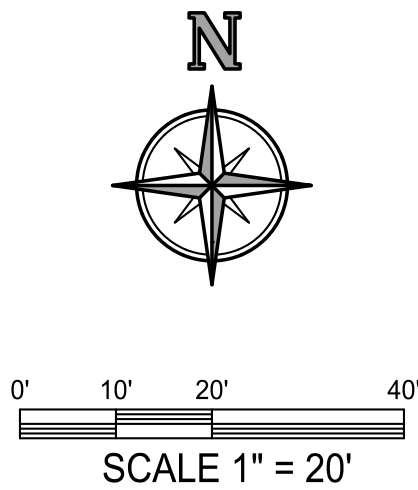
HEI Project Number	25-04-050
Sheet Title	CIVIL DEMOLITION
Sheet No.	CD-101



1 4" CONCRETE SIDEWALK

NOTE:

THE INTERURBAN TRANSIT AUTHORITY IS OPERATED BY THE CITY OF THE VILLAGE OF DOUGLAS, THE CITY OF SAUGATUCK AND SAUGATUCK TOWNSHIP. INTERURBAN PROVIDES PUBLIC TRANSPORTATION SERVICES WITHIN THE PREVIOUSLY LISTED JURISDICTIONS, AND THE PROPOSED BUILDING ADDITION CONFORMS TO THE SPECIAL LAND USES FOR R-1 ZONING, AS THE BUILDING IS ASSOCIATED WITH PUBLIC FACILITIES.



LAYOUT & UTILITY NOTES:

- SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
- CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- CONTRACTOR SHALL CONTACT ENGINEER IF ANY DISCREPANCIES ARE DETERMINED BETWEEN SITE LAYOUT DIMENSIONS AND ACTUAL SITE CONDITIONS.
- COORDINATE ALL UTILITY CONSTRUCTION WITH UTILITY PROVIDER, AS REQUIRED.
- CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KALAMAZOO LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
- ALL WATERMAIN, WATER SERVICES, AND FIRE PROTECTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KALAMAZOO LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
- ALL WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM THE ALLEGAN COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
- COORDINATE ALL SIGNAGE, REMOVAL AND RELOCATION WITHIN THE RIGHT-OF-WAY WITH ALLEGAN COUNTY ROAD COMMISSION.
- SITE CONTRACTOR RESPONSIBLE TO CONNECT EXISTING AND PROPOSED BUILDING TO WATER SERVICE AND SANITARY SEWER LATERAL, REFER TO PLUMBING PLANS FOR CONNECTION LOCATION AND DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDING SHALL BE STAKED BASED ON FOUNDATION PLAN. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE DISCREPANCIES BETWEEN THE BUILDING AND SITE DRAWINGS.
- ONSITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE.
- SITE SIGNAGE SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE. A SIGN PERMIT SHALL BE ACQUIRED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MEETING THE STANDARDS AND REQUIREMENTS OF THE LOCAL NOISE ORDINANCE FOR ALL CONSTRUCTION PRACTICES.
- SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

100 E. Wiley Rd - Interurban Transit Authority - Site Plan
Received #1 - 8/20/2025
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ENGINEERING

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Holland, Michigan 49423-3766
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T 616-392-5938 F 616-392-2116

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MIDWEST
CONSTRUCTION

16 S ELM STREET
ZEELAND, MI 49464

INTERURBAN ADDITION
100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
PT. OF THE SE 1/4 SECT. 16 T3N, R16W
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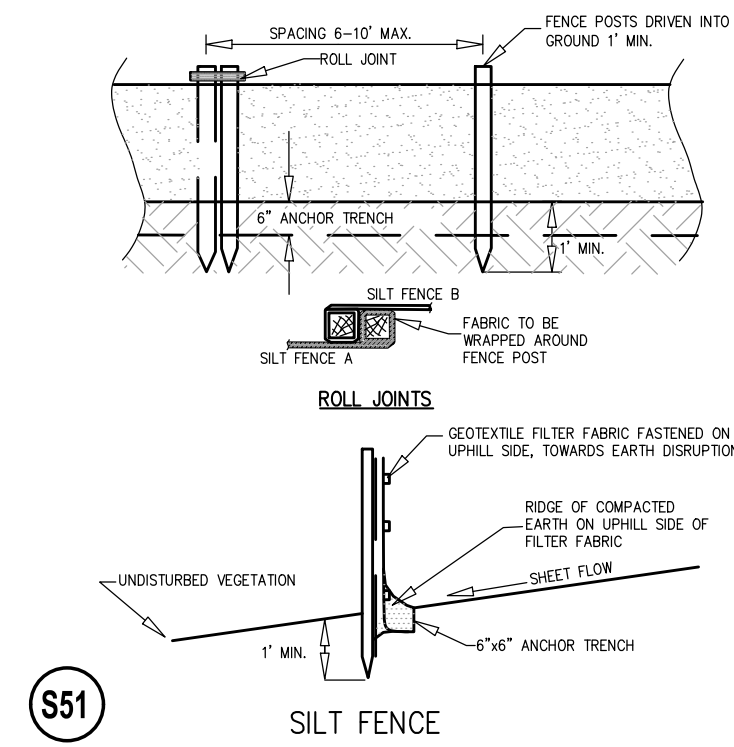
No.	Description	Date	Issued for:
A	EXISTING CONDITIONS TOPOGRAPHIC MAP	08/20/2025	RYAN T. YSSELDYKE, P.E.
B	SITE LAYOUT PLAN	08/20/2025	
C			
D			

Project Manager RYAN T. YSSELDYKE, P.E.	
Vertical Datum NAVD 88	Horz. Datum LOCAL
Drawn by AARON VENEMA	
Checked by Survey	Date
Civil	
Struc.	
L. A.	
HEI Project Number 25-04-050	
Sheet Title SITE LAYOUT PLAN	
Sheet No. C-101	

DISTURBANCE AREA: 0.08 ACRES

PROPOSED CONSTRUCTION SCHEDULE

*NOTE : CONSTRUCTION SCHEDULE MAY VARY BASED ON CONTRACTOR'S SCHEDULE. CONTRACTOR SHALL UPDATE THE OCWRC IF CONSTRUCTION SCHEDULE VARIES FROM ABOVE.



GRADING & STORM SEWER NOTES:

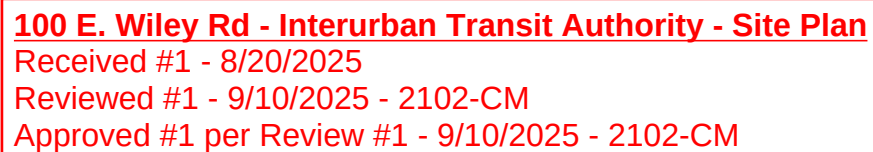
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
- SITE DESIGN DEVELOPMENT IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOLOGICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. THE CONTRACTOR SHALL ACQUIRE A COPY OF THE GEO TECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEO TECHNICAL INFORMATION. THE CONTRACTOR SHALL VERIFY THAT THE SOILS, AS SHOWN, ARE THE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL VERIFY THAT THE SOILS, AS SHOWN, ARE THE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL VERIFY THAT THE SOILS, AS SHOWN, ARE THE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL VERIFY THAT THE SOILS, AS SHOWN, ARE THE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES.
3. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
4. CONTRACTOR SHALL REPORT THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
5. ALLEGAN COUNTY WITHIN THE RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM ALLEGAN COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ALLEGAN COUNTY ROAD COMMISSION STORM WATER ORDINANCE.
6. STORM WATER MANAGEMENT SYSTEM AND GRADING SHALL BE IN ACCORDANCE WITH THE ALLEGAN COUNTY DRAIN COMMISSION STORM WATER ORDINANCE.
7. SITE CONTRACTOR RESPONSIBLE TO CONNECT STORM / ROOF WATER TO STORM DRAIN AS SHOWN. REFER TO PLUMBING PLANS FOR CONNECTION TO THE BUILDING AND DETAILS.
8. SITE SHALL BE GRADED WITH SMOOTH CONTIGUOUS IN ALL AREAS OF DISTURBANCE AND GRADED TO SLOPE AWAY FROM THE EXISTING AND PROPOSED BUILDINGS AND SITES.
9. ALL STORM SEWER PIPING SHALL BE ADS N12, HANCOR H10 OR APPROVED EQUIVALENT POLYETHYLENE (PE) PLASTIC PIPE AND FITTINGS, UNLESS OTHERWISE NOTED. WHERE SHOWN IN THE PLANS, CONCRETE CLASS IV PIPE WITH RUBBER GASKETS IS REQUIRED.
10. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

STORM WATER INFILTRATION BASIN NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
3. THIS PROJECT RELIES ON THE INFILTRATION OF RUNOFF TO PROVIDE STORMWATER MANAGEMENT FOR THE SITE IMPROVEMENTS. THEREFORE, ALL APPROPRIATE MEASURES SHALL BE TAKEN TO MINIMIZE COMPACTION OF ONSITE SOLIDS IN THE AREA OF THE INFILTRATION BASIN AND/OR INFILTRATION TRENCHES.
4. CONTRACTOR SHALL CONSTRUCT SIDE SLOPES OF THE STORM WATER INFILTRATION BASIN UTILIZING A BOBCAT OR SMALL MECHANIZED EQUIPMENT IN AN EFFORT TO MAINTAIN THE INFILTRATION PROPERTIES OF THE SIDE SLOPES.
5. IF THE WATER TABLE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL. THE EXISTING WATER TABLE ELEVATION WITNESSED ONSITE DURING CONSTRUCTION.
6. ONSITE SOLIDS WITHIN THE LIMITS OF THE INFILTRATION BASIN WERE DETERMINED TO BE EXISTING LOAMY FINE SAND. BASED ON THE UGA SOIL SURVEY DATA, SHOULD CONTRACTOR ENCOUNTER OTHER SOLIDS WITHIN THE LIMITS OF THE STORM WATER INFILTRATION BASIN AND/OR INFILTRATION TRENCHES, THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY. THE CONTRACTOR SHALL MAINTAIN THE STORM WATER MANAGEMENT BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ALLEGAN COUNTY DRAIN COMMISSION MOST CURRENT STANDARDS AND REQUIREMENTS.
7. EXISTING ONSITE INFILTRATIVE SOLLS SHALL BE LEFT IN PLACE WITHIN THE INFILTRATION BASIN AREA.
8. NO FILL OR ORGANIC MATERIAL SHALL BE PLACED WITHIN THE INFILTRATION BASIN, WITH THE EXCEPTION OF THE TOPSOIL AND SEED.
9. FOLLOWING CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL REMOVE ANY SILT OR SEDIMENT THAT HAS ACCUMULATED IN THE STORM WATER INFILTRATION BASIN AND/OR INFILTRATION TRENCHES.
10. THE STORM WATER MANAGEMENT BASIN WAS DESIGNED TO PROVIDE CAPACITY FOR 241 CUBIC FEET OF STORAGE. CONTRACTOR SHALL CONSTRUCT BASIN PER THE DESIGN DRAWINGS TO ACHIEVE THIS STORAGE VOLUME.
11. STORM SEWER AND STORMWATER BASIN AS-BUILT'S AND CERTIFICATION, IS REQUIRED BY ALLEGAN COUNTY. THE CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER WHEN CONSTRUCTION IS COMPLETED, PRIOR TO FINAL RESTORATION, TO PERFORM THE AS-BUILT SURVEY. CONTRACTOR IS RESPONSIBLE TO CORRECT ANY DEFICIENCIES' NEEDED TO COMPLETE THE AS-BUILT SURVEY.
12. AFTER FINAL RESTORATION AND PROJECT COMPLETION, PROPERTY OWNER SHALL COMPLETE MAINTENANCE AND CLEANING PER THE SIGNED MAINTENANCE AGREEMENT.
13. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

SESC NOTES:

1. CONTRACTOR SHALL OBTAIN ALL STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. THE SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE ALLEGAN COUNTY HEALTH DEPARTMENT SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION WHICH COULD HAVE AN EFFECT ON THE DESIGN. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM THE INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
3. CONTRACTOR IS RESPONSIBLE TO ACQUIRE THE ALLEGAN COUNTY HEALTH DEPARTMENT SOIL EROSION AND SEDIMENTATION CONTROL PERMIT AND THE NPDES NOTICE OF COVERAGE AND COMPLY WITH ALL PERMIT REQUIREMENTS AND WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND JURISDICTION.
4. BEST MANAGEMENT PRACTICES SHALL BE UTILIZED DURING AND AFTER CONSTRUCTION FOR TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
5. CONTRACTOR SHALL PROVIDE A CERTIFIED STORM WATER OPERATOR FROM CONSTRUCTION COMMENCEMENT THROUGH FINAL SITE STABILIZATION.
6. THE TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH THE EROSION REQUIREMENTS.
7. CALL MESS DIG AT LEAST 36 HOURS (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF THE VILLAGE OF DOUGLAS AND THE ALLEGAN COUNTY ROAD COMMISSION STANDARDS AND SPECIFICATIONS.
9. SOIL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO EARTH MOVING OR CONSTRUCTION DISTURBANCE AND REMAIN IN PLACE UNTIL FINAL RESTORATION HAS BEEN ESTABLISHED.
10. THE STORM WATER MANAGEMENT BASIN SHALL BE CONSTRUCTED FIRST. CONTRACTOR IS RESPONSIBLE TO REMOVE SEDIMENT FROM BOTTOM OF DETENTION BASIN PRIOR TO SITE STABILIZATION.
11. ALL FOREIGN MATERIAL OR DEBRIS FROM JOB SITE WHICH IS DEPOSITED ON PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.
12. THE PAVED ROADWAY SHALL BE SWEEP CLEAN AS NEEDED, BUT AT LEAST ONCE A WEEK.
13. SOIL EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE OWNER UPON COMPLETION.
14. CONTRACTOR SHALL PHASE THE PLACEMENT OF THE SOIL EROSION CONTROL MEASURES AS NECESSARY FOR THE SITE IMPROVEMENTS WITHIN THE LIMITATIONS OF THE ALLEGAN COUNTY HEALTH DEPARTMENT EROSION CONTROL REQUIREMENTS.
15. STOCKPILE AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SED IN ACCORDANCE WITH THE ALLEGAN COUNTY HEALTH DEPARTMENT SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS. ALL EXCESS SPOILS SHALL BE REMOVED FROM THE PROJECT AREA.
16. ALL EXCESS SPOILS SHALL BE HAULED OFFSITE AND PLACED IN AN UNPAVED AREA NOT ENCUMBERED BY WETLANDS OR FLOODPLAIN.
17. THERE SHALL BE NO EARTH MOVEMENT OR DISTURBANCE OUTSIDE THE LIMITS OF DISTURBANCE WITHOUT PRIOR AUTHORIZATION FROM THE ALLEGAN COUNTY HEALTH DEPARTMENT.
18. THE MINIMUM AMOUNT OF SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL MEASURES, MAINTENANCE, AND/OR STABILIZATION MEASURES AS NECESSARY FOR CONSTRUCTION FACTORS.
19. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.



HOLLAND
ENGINEERING

The Surveyor's / Engineer's liability for any and all claims, including but not limited to those arising out of the Surveyor's / Engineer's professional services, negligence, gross misconduct, warranties or misrepresentations shall be deemed limited to an amount no greater than the service fee.

**MIDWEST
CONSTRUCTION**
16 S ELM STREET
ZEELAND, MI 49464

INTERURBAN ADDITION
100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
PT. OF THE SE 1/4 SECT. 16 T3N, R16W
VILLAGE OF THE CITY OF DOUGLAS,
AUFERMAN COUNTY, MI

Issued for:		
Date	Description	No.
06/03/2025	EXISTING CONDITIONS TOPOGRAPHIC MAP	A
06/24/2025	SITE LAYOUT PLAN	B

Notes: see conditions (B) for material required for construction

[illegible]

Vertical Datum	Horz. Datum
NAVD '88	LOCAL

Drawn by
AARON VENEMA

Checked by Survey .	Date .
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Civil	.	.
Struc		

Struc.	.	.
L. A.	.	.

HEI Project Number
25-04-050

Sheet Title
GRADING

GRADING DRAINAGE &

SESC PLAN

Sheet No. C-201