

HOLLAND
ENGINEERING

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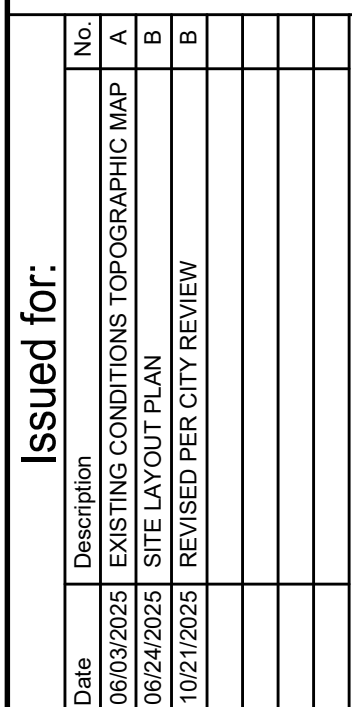
MIDWEST
CONSTRUCTION

16 S ELM STREET
ZEELAND, MI 49464

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INTERURBAN ADDITION

100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
PT. OF THE SE 1/4 SECT. 16 T3N, R16E
WILLAGE OF THE CITY OF DOUGLAS,
ALLIAGEAN COUNTY MI

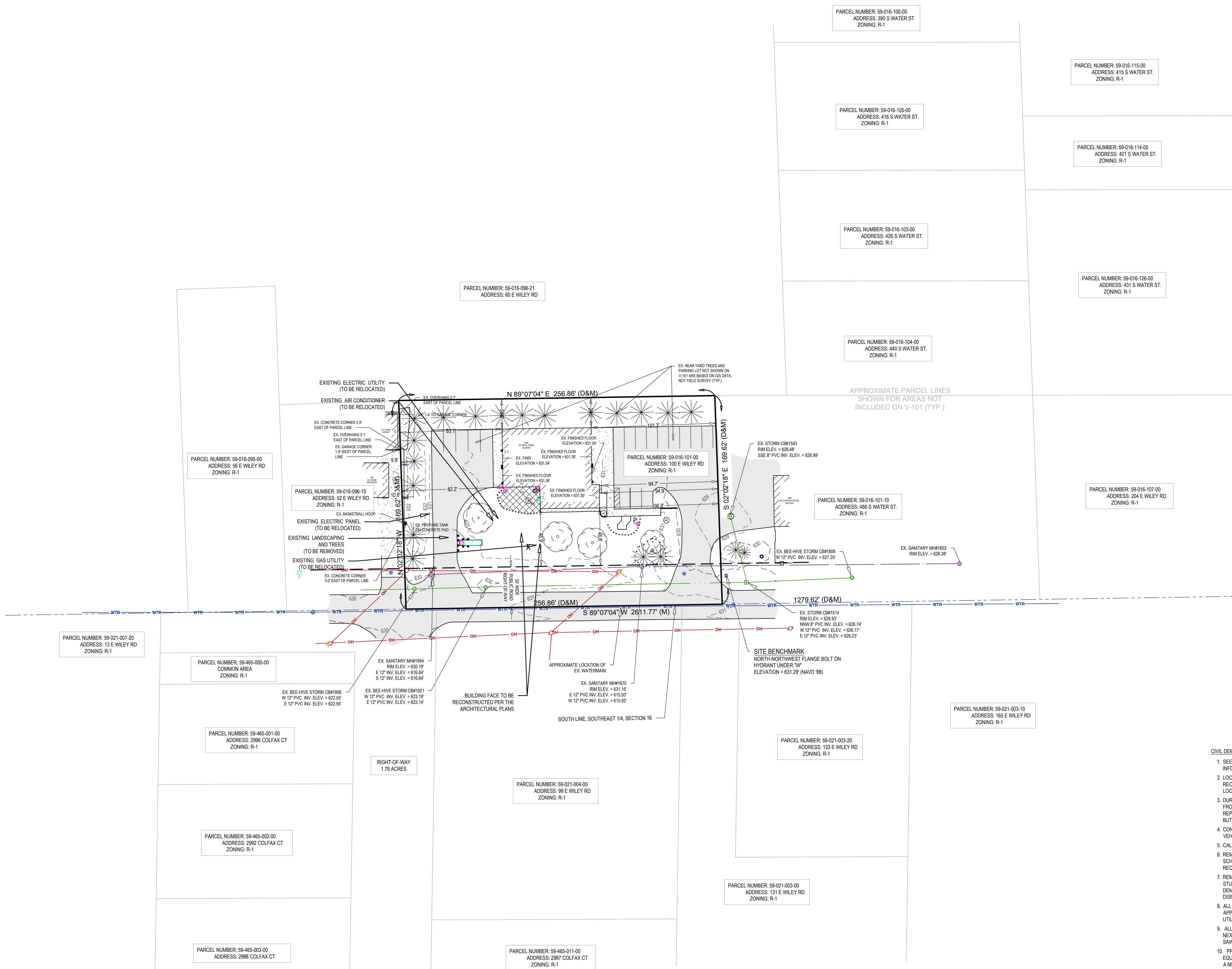
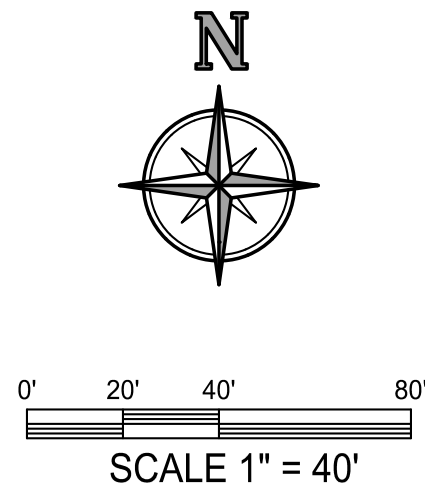


Project Manager RYAN T. YSELDYKE, P.E.	
Vertical Datum NAVD '88	Horz. Datum LOCAL
Drawn by AARON VENEMA	
Checked by Survey	Date
Civil	
Struc.	
L. A.	
HEI Project Number 25-04-050	
Sheet Title COVER SHEET	
Sheet No. G-100	

**Know what's below.
Call before you dig.**

REAL PROPERTY LOCATED IN THE VILLAGE OF DOUGLAS, ALLEGAN
COUNTY, MICHIGAN, LEGALLY DESCRIBED AS:

PART OF THE SOUTHEAST 1/4 OF SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN DESCRIBED AS BEGINNING AT A POINT ON THE SOUTH LINE OF SECTION 16 DISTANT SOUTH 89° 07' 04" WEST 1279.62 FEET FROM THE SOUTHEAST CORNER OF SECTION 16 AND PROCEEDING THENCE SOUTH 89° 07' 04" WEST 256.86 FEET, ALONG THE SOUTH LINE OF SECTION 16; THENCE NORTH 02° 02' 18" WEST 169.62 FEET; THENCE NORTH 89° 07' 04" EAST 256.86 FEET; THENCE SOUTH 02° 02' 18" EAST 169.62 FEET PARALLEL WITH THE CENTERLINE OF WATER STREET TO THE POINT OF BEGINNING. SUBJECT TO ANY RESTRICTIONS AND LIMITATIONS OF RECORD.



- CIVIL DEMOLITION NOTES:
1. SEE BOUNDARY AND TOPOGRAPHIC SURVEY SHEET FOR PROPERTY, EASEMENT, BENCHMARK, ETC. INFORMATION.
 2. LOCATION OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON SURFACE EVIDENCE AND RECORD INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 3. DURING CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER. THE PAVED ROADWAY SHALL BE SWEEPED CLEAN AS NEEEDED, BUT AT LEAST ONCE A WEEK.
 4. CONTRACTOR SHALL PROVIDE BARRIERS, AS NECESSARY, TO PREVENT PEDESTRIAN AND VEHICULAR TRAFFIC FROM ENTERING THE CONSTRUCTION SITE.
 5. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
 6. REMOVAL ITEMS ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO VERIFY THE EXTENT OF WORK REQUIRED.
 7. REMOVE ALL STRUCTURES, CONCRETE CURB, CONCRETE PAVING, ASPHALT PAVING, TREES, STUMPS, UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN THE LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
 8. ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES. CONTRACTOR SHALL CONFIRM UTILITY LINES REMOVED WILL NOT IMPACT UTILITIES TO REMAIN.
 9. ALL REMOVALS OF PAVEMENT, CONCRETE, CURB AND GUTTER, ETC. SHALL BE PERFORMED TO THE NEXT JOINT BEYOND THE LIMITS OF REMOVAL. ALL REMOVALS SHALL BE PERFORMED BY SAWCUTTING.
 10. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE. HOLD NECESSARY DISTURBANCE TO A MINIMUM.
 11. ALL TREE STUMPS SHALL BE REMOVED TO BELOW GRADE BY EITHER GRINDING OR COMPLETE REMOVAL IN ALL CASES NO WOODCHIPS AND/OR STUMPS SHALL BE LEFT IN PLACE.
 12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITIES REMOVALS WITH PROPERTY OWNER AND UTILITY PROVIDER.
 13. ALL WORK IN ROAD RIGHTS OF WAY SHALL BE COMPLETED IN ACCORDANCE WITH MDOT, THE ALLEGAN COUNTY ROAD COMMISSION, AND THE CITY OF THE VILLAGE OF DOUGLAS.
 14. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

The Surveyor's / Engineer's liability for any errors or omissions in this drawing is limited to the amount of the fee for this service, but not limited to those arising out of the Surveyor's / Engineer's negligence, gross negligence, or willful misconduct. Warranties or representations shall not be made in an amount greater than the service fee.

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INTERURBAN ADDITION
100 WILEY ROAD
CITY OF THE VILLAGE OF DOUGLAS
CT. OF THE SE 1/4 SECT. 16 T3N, R16W
VILLAGE OF THE CITY OF DOUGLAS,
ALLEGAN COUNTY, MI

Issued for:		No.	Description	
Date	Description	A	EXISTING CONDITIONS TOPOGRAPHIC MAP	
		B	SITE LAYOUT PLAN	
		C	REVISED PER CITY REVIEW	
		D	REVISED PER CITY REVIEW	

Project Manager
RYAN T. YSSELDYKE, P.E.

Vertical Datum
NAVD 88

Horizontal Datum
LOCAL

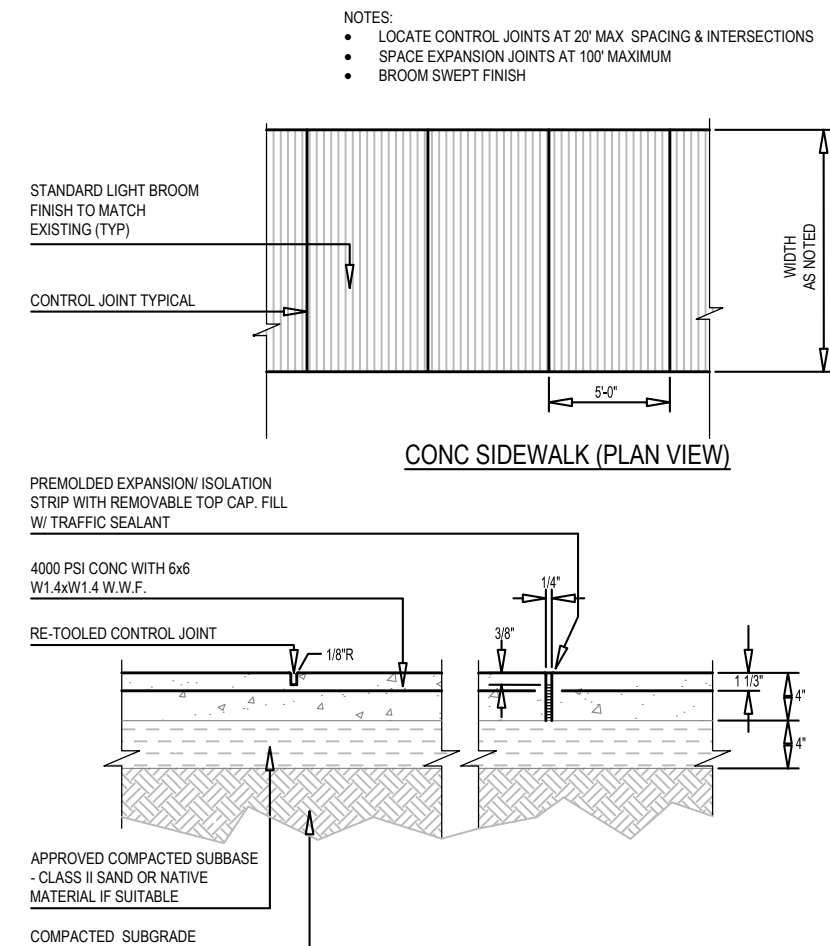
Drawn by
AARON VENEMA

Checked by	Date
Survey	.
Civil	.
Struc.	.
L. A.	.

HEI Project Number
25-04-050

Sheet Title
**CIVIL
DEMOLITION**

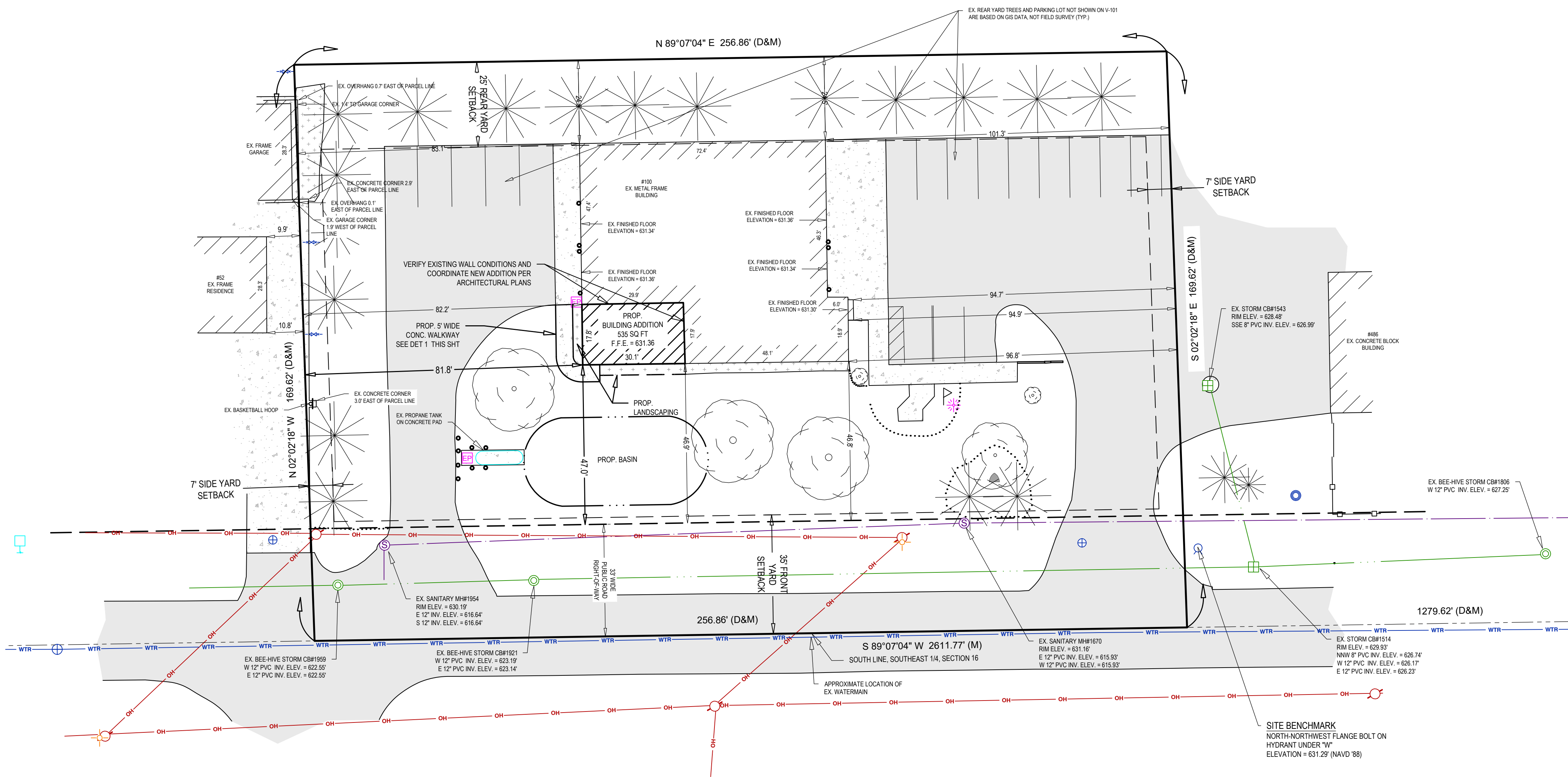
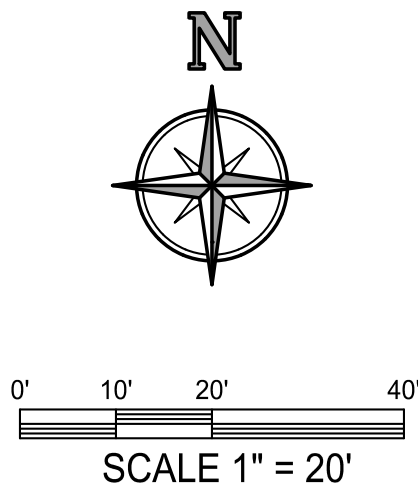
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CD-101



1 4" CONCRETE SIDEWALK

NOTE:

THE INTERURBAN TRANSIT AUTHORITY IS OPERATED BY THE CITY OF THE VILLAGE OF DOUGLAS, THE CITY OF SAUGATUCK AND SAUGATUCK TOWNSHIP. INTERURBAN PROVIDES PUBLIC TRANSPORTATION SERVICES WITHIN THE PREVIOUSLY LISTED JURISDICTIONS, AND THE PROPOSED BUILDING ADDITION CONFORMS TO THE SPECIAL LAND USES FOR R-1 ZONING, AS THE BUILDING IS ASSOCIATED WITH PUBLIC FACILITIES.



LAYOUT & UTILITY NOTES:

- SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
- CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- CONTRACTOR SHALL CONTACT ENGINEER IF ANY DISCREPANCIES ARE DETERMINED BETWEEN SITE LAYOUT DIMENSIONS AND ACTUAL SITE CONDITIONS.
- COORDINATE ALL UTILITY CONSTRUCTION WITH UTILITY PROVIDER, AS REQUIRED.
- CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KALAMAZOO LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
- ALL WATERMAIN, WATER SERVICES, AND FIRE PROTECTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE KALAMAZOO LAKE SEWER AND WATER AUTHORITY STANDARDS & SPECIFICATIONS.
- ALL WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM THE ALLEGAN COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
- COORDINATE ALL SIGNAGE, REMOVAL AND RELOCATION WITHIN THE RIGHT-OF-WAY WITH ALLEGAN COUNTY ROAD COMMISSION.
- SITE CONTRACTOR RESPONSIBLE TO CONNECT EXISTING AND PROPOSED BUILDING TO WATER SERVICE AND SANITARY SEWER LATERAL, REFER TO PLUMBING PLANS FOR CONNECTION LOCATION AND DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDING SHALL BE STAKED BASED ON FOUNDATION PLAN. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE DISCREPANCIES BETWEEN THE BUILDING AND SITE DRAWINGS.
- ONSITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE.
- SITE SIGNAGE SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE CITY OF THE VILLAGE OF DOUGLAS ZONING ORDINANCE. A SIGN PERMIT SHALL BE ACQUIRED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MEETING THE STANDARDS AND REQUIREMENTS OF THE LOCAL NOISE ORDINANCE FOR ALL CONSTRUCTION PRACTICES.
- SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

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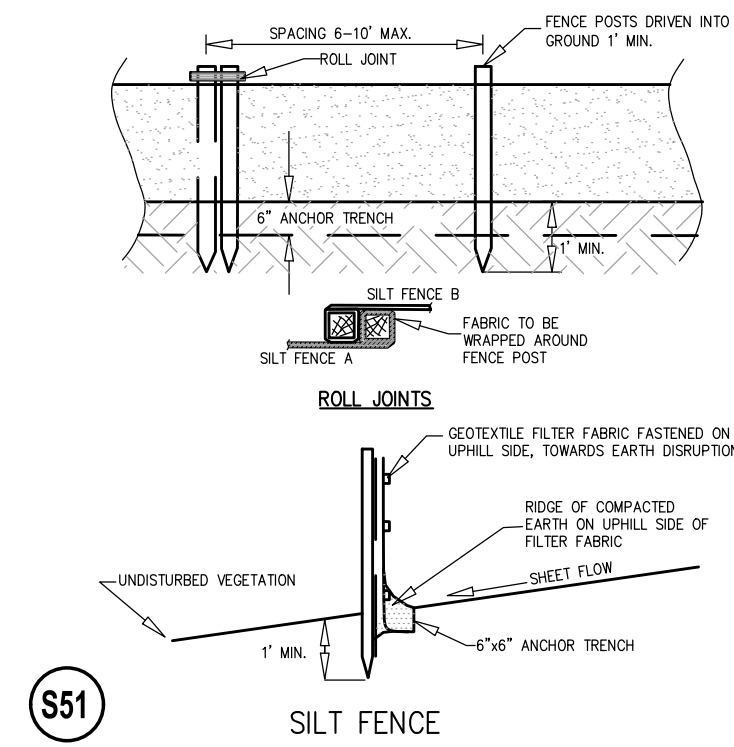
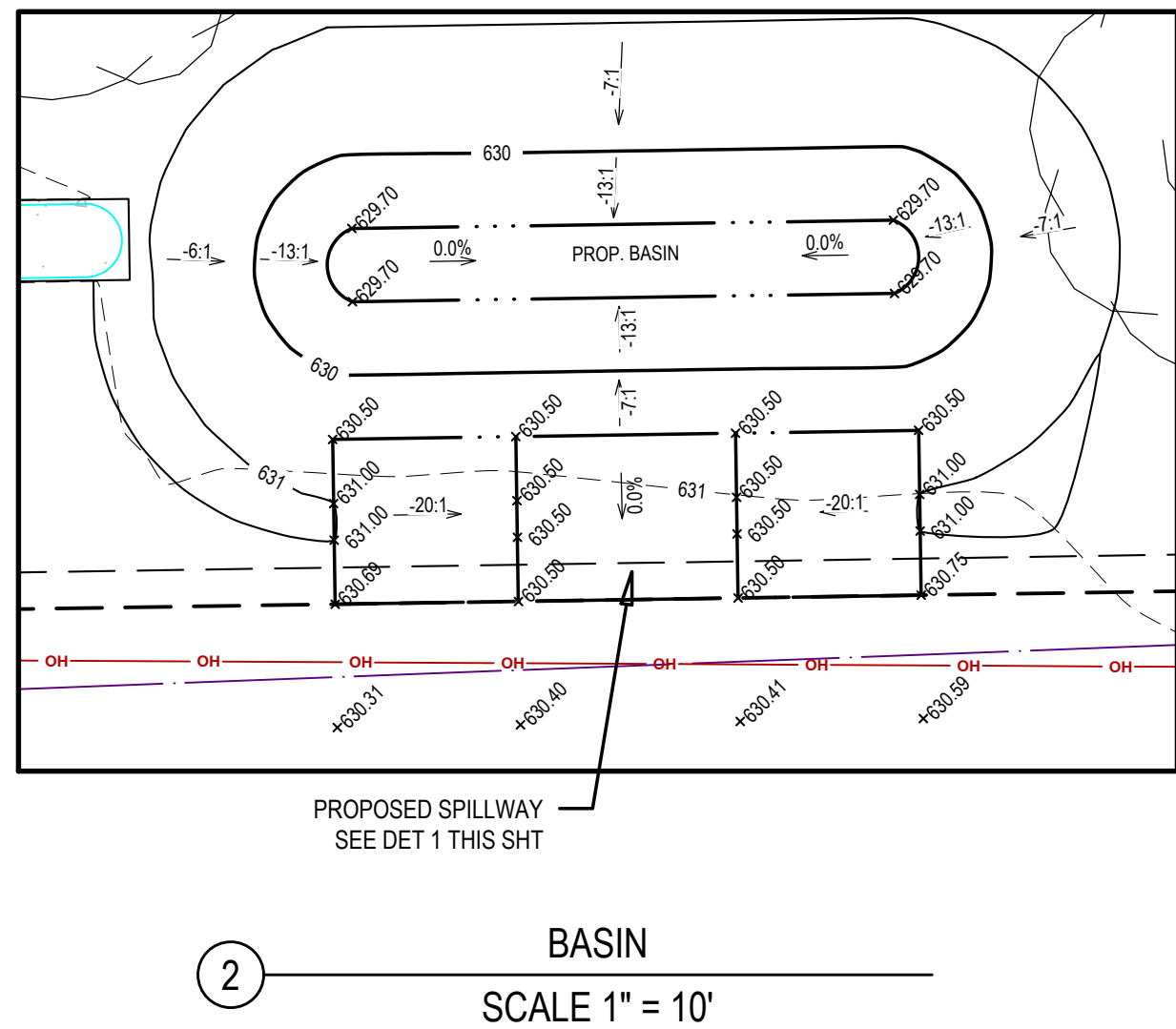
Issued for:		No.	Date
Description	EXISTING CONDITIONS TOPOGRAPHIC MAP	A	06/03/2025
	SITE LAYOUT PLAN	B	06/04/2025
	REVISED PER CITY REVIEW	B	10/21/2025

Project Manager		RYAN T. YSSELDYKE, P.E.	
Vertical Datum	Horz. Datum	NAVD 88 LOCAL	
Drawn by			
AARON VENEMA			
Checked by	Date		
Survey	.	.	
Civil	.	.	
Struc.	.	.	
L. A.	.	.	
HEI Project Number			
25-04-050			
Sheet Title			
SITE LAYOUT PLAN			
Sheet No.			
C-101			

DISTURBANCE AREA: 0.08 ACRES

PROPOSED CONSTRUCTION SCHEDULE

*NOTE : CONSTRUCTION SCHEDULE MAY VARY BASED ON CONTRACTOR'S SCHEDULE. CONTRACTOR SHALL UPDATE THE OCWRC IF CONSTRUCTION SCHEDULE VARIES FROM ABOVE.



GRADING & STORM SEWER NOTES:

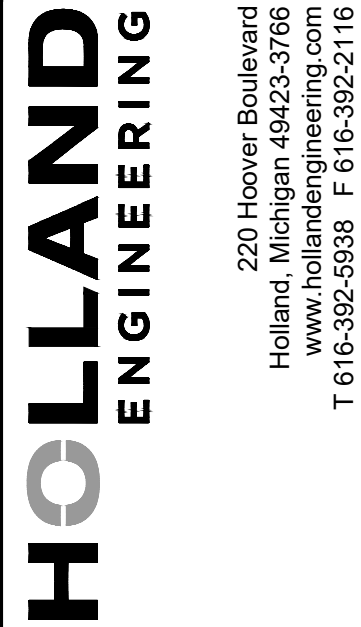
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
- SITE DETAILS ARE DEVELOPED IN ACCORDANCE WITH THE EROSION EVIDENCE CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL EROSION MONITORING PLAN. THE GEOTECHNICAL CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL EROSION MONITORING PLAN. THE CONTRACTOR SHALL VERIFY THAT THE MONITORING PLAN CONTAINS ALL NECESSARY INFORMATION WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL VERIFY THAT THE MONITORING PLAN CONTAINS ALL NECESSARY INFORMATION THAT VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
- CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL WORK WITHIN THE RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM ALLEGAN COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ALLEGAN COUNTY ROAD COMMISSION STANDARD SPECIFICATIONS.
- STORM WATER MANAGEMENT SYSTEM AND GRADING SHALL BE IN ACCORDANCE WITH THE ALLEGAN COUNTY DRAIN COMMISSION STORM WATER ORDINANCE.
- SITE CONTRACTOR RESPONSIBLE TO CONNECT STORM / ROOF WATER TO STORM DRAIN AS SHOWN. REFER TO PLUMBING PLANS FOR CONNECTION TO THE BUILDING AND DETAILS.
- SITE SHALL BE GRADED WITH SMOOTH CONTOURS IN ALL AREAS OF DISTURBANCE AND GRADED TO SLOPE AWAY FROM THE EXISTING AND PROPOSED BUILDINGS AND SITES.
- ALL STORM SEWER PIPING SHALL BE ADS #12, HANCOR H10-0 OR APPROVED EQUIVALENT POLYETHYLENE (PE) PLASTIC PIPE AND FITTINGS, UNLESS OTHERWISE NOTED. WHERE SHOWN IN THE PLANS, CONCRETE CLASS IV PIPE WITH RUBBER GASKETS IS REQUIRED.
- SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

STORM WATER INFILTRATION BASIN NOTES

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY FEDERAL, STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
3. THIS PROJECT RELIES ON THE INFILTRATION OF RUNOFF TO PROVIDE STORMWATER MANAGEMENT FOR THE SITE IMPROVEMENTS. THEREFORE, ALL APPROPRIATE MEASURES SHALL BE TAKEN TO MINIMIZE COMPACTION OF ONSITE SOILS AT THE POINT OF INFILTRATION BASIN AND/OR INFILTRATION TRENCHES.
4. CONTRACTOR SHALL CONSTRUCT SIDE SLOPES OF THE STORM WATER INFILTRATION BASIN UTILIZING A BOBCAT OR SMALL MECHANIZED EQUIPMENT IN AN EFFORT TO MAINTAIN THE INFILTRATION PROPERTIES OF THE SIDE SLOPES.
5. IF THE WATER TABLE IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER TO DETERMINE WHAT THE WATER TABLE ELEVATION UTILIZED IN THE DESIGN MATCHES THE WATER TABLE ELEVATION WITNESSED ONSITE DURING CONSTRUCTION.
6. ONSITE SOILS WITHIN THE LIMITS OF THE INFILTRATION BASIN WERE DETERMINED TO BE TYPE III. THE MINIMUM FIELD TEST REQUIRED ON USDA SOIL SURVEY DATA, SHOULD CONTRACTOR ENCOUNTER OTHER SOILS WITHIN THE LIMITS OF THE STORM WATER INFILTRATION BASIN AND/OR INFILTRATION TRENCHES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. IF THE DESIGN CHANGES CAN BE MADE, IT IS THE ENGINEER'S RESPONSIBILITY TO DETERMINE IF THE CHANGES ARE NECESSARY.
7. STORM WATER MANAGEMENT BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ALLEGAN COUNTY DRAIN COMMISSION MOST CURRENT STANDARDS AND REQUIREMENTS.
8. EXISTING ONSITE INFILTRATIVE SOILS SHALL BE LEFT IN PLACE WITHIN THE INFILTRATION BASIN AREA.
9. NO FILL OR ORGANIC MATERIAL SHALL BE PLACED WITHIN THE INFILTRATION BASIN, WITH THE EXCEPTION OF THE TOPSOIL AND SEED.
10. FOLLOWING CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL REMOVE ANY SILT OR SEDIMENT THAT HAS ACCUMULATED IN THE STORM WATER INFILTRATION BASIN AND/OR INFILTRATION TRENCHES.
11. THE STORM WATER MANAGEMENT BASIN WAS DESIGNED TO PROVIDE CAPACITY FOR 241 CUBIC FEET OF STORAGE. CONTRACTOR SHALL CONSTRUCT BASIN PER THE DESIGN DRAWINGS TO ACHIEVE THIS STORAGE VOLUME.
12. STORM SEWER AND STORMWATER BASIN AS-BUILTS AND CERTIFICATION, IS REQUIRED BY ALLEGAN COUNTY. THE CONTRACTOR SHALL NOTIFY ENGINEER WHEN CERTIFICATION IS COMPLETED. PRIOR TO FINAL RESTORATION, TO PERFORM THE AS-BUILT SURVEY, CONTRACTOR IS RESPONSIBLE TO CORRECT ANY DEFICIENCIES' NOTED BY THE ENGINEER.
13. AFTER FINAL RESTORATION AND PROJECT COMPLETION, PROPERTY OWNER SHALL COMPLETE MAINTENANCE AND CLEANING PER THE SIGNED MAINTENANCE AGREEMENT.
14. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

SESC NOTES:

1. CONTRACTOR SHALL OBTAIN ALL FEDERAL, STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE PROJECT'S TECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEO TECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEO TECHNICAL INFORMATION WHICH MAY AFFECT THE SITE DESIGN. EARTHWORK QUANTITIES, USABLE SOIL, SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEO TECHNICAL ENGINEER IF SITE CONDITIONS DIFFER FROM INFORMATION CONTAINED IN THE GEO TECHNICAL INFORMATION.
3. CONTRACTOR IS RESPONSIBLE TO ACQUIRE THE ALLEGAN COUNTY HEALTH DEPARTMENT SOIL EROSION AND SEDIMENTATION CONTROL PERMIT AND THE NPDES NOTICE OF COVERAGE AND COMPLY WITH ALL PERMIT REQUIREMENTS AND WITH ALL ALLEGAN COUNTY ORDINANCES RELATIVE TO EROSION AND SEDIMENTATION CONTROL.
4. BEST MANAGEMENT PRACTICES SHALL BE UTILIZED DURING AND AFTER CONSTRUCTION FOR TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
5. CONTRACTOR SHALL PROVIDE A CERTIFIED STORM WATER OPERATOR FROM CONSTRUCTION COMMENCEMENT THROUGH FINAL SITE STABILIZATION.
6. THE TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH THE ALLEGAN COUNTY ORDINANCES.
7. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF THE VILLAGE OF DOUGLAS AND THE ALLEGAN COUNTY ROAD COMMISSION STANDARDS AND SPECIFICATIONS.
9. SOIL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO EARTH MOVING OR GRADING TO PREVENT EROSION AND REMAIN IN PLACE UNTIL FINAL RESTORATION HAS BEEN ESTABLISHED.
10. THE STORM WATER MANAGEMENT BASIN SHALL BE CONSTRUCTED FIRST. CONTRACTOR IS RESPONSIBLE TO REMOVE SEDIMENT FROM BOTTOM OF DETENTION BASIN TO THE SITE.
11. ALL FOREIGN MATERIAL OR DEBRIS FROM JOB SITE WHICH IS DEPOSITED ON PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.
12. THE PAVED ROADWAY SHALL BE SWEEP CLEAN AS NEEDED, BUT AT LEAST ONCE A WEEK.
13. SOIL EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE OWNER UPON COMPLETION.
14. CONTRACTOR SHALL PHASE THE PLACEMENT OF THE SOIL EROSION CONTROL MEASURES AS NECESSARY FOR THE SITE IMPROVEMENTS WITHIN THE LIMITATIONS OF THE PROJECT'S SITE SPECIFICATIONS.
15. STOCKPILE AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEDIMENTATION CONTROL MEASURES AS NECESSARY TO PREVENT SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS. ALL EXCESS SPOILS SHALL BE REMOVED FROM THE SITE.
16. ALL EXCESS SPOILS SHALL BE HAULED OFFSITE AND LEGALLY PLACED IN AN UPLAND AREA NOT ENCUMBERED BY WETLANDS OR FLOODPLAIN.
17. THERE SHALL BE NO EARTH MOVEMENT OR DISTURBANCE OUTSIDE THE LIMITS OF DISTURBANCE WITHOUT PRIOR AUTHORIZATION FROM THE ALLEGAN COUNTY HEALTH DEPARTMENT.
18. THE MINIMUM AMOUNT OF SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL MEASURES FOR MAINTENANCE, AND/OR STABILIZATION MEASURES AS NECESSARY FOR CONSTRUCTION ACTIVATION.
19. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.



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06/24/2025	SITE LAYOUT PLAN	B
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Notes: see conditions B in separate schedule for construction

Project Manager
RYAN T. YSSELDYKE, P.E.

Vertical Datum	Horz. Datum
NAVD '88	LOCAL

Drawn by
AARON VENEMA

Checked by Survey .	Date .
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Civil	.	.
Struc		

Struc.	.	.
L. A.	.	.

HEI Project Number
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Sheet Title
GRADING

DRAINAGE &

SESC PLAN

Sheet No. C-201

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