

Consumers Douglas

312 S Ferry Street, Douglas, MI 49406

SITE INFORMATION

1. PARCEL ADDRESS: 312 S. FERRY STREET
DOUGLAS, MI 49406
PN: 54-016-064-00
2. OWNER: CONSUMERS CREDIT UNION
1200 ELM VALLEY DRIVE
KALAMAZOO, MI 49004
3. ARCHITECT: BOSCH ARCHITECTURE
8065 VINEYARD PKWY
KALAMAZOO, MI 49004
(269) 321-5151
4. SURVEY: DRIESENGA
5. ZONING: C2 ZONING
4. PROPOSED LAND USE: CREDIT UNION
5. TOTAL SITE AREA: 35,131 SF
40,541 SF INSIDE ROW
6. LAND USE PERCENT (%): OPEN: 66.6%
BUILD: 2.4%
PAVEMENT: 30.5%
7. BUILDING TYPE(S): 1/42 SF CREDIT UNION
+ STANDALONE ITM
8. MAXIMUM BUILDING HEIGHT: 28' MAXIMUM
18' ACTUAL
4. REQUIRED PARKING:
BANK: (1) STALL REQUIRED PER 400 SF USABLE
FLOOR AREA + 1 STALL PER EMPLOYEE IN THE
LARGEST SHIFT PLUS (5) VEHICLE STACKING SPACES
AT ATM AND EACH DRIVE UP WINDOW.
1192 SF / 400 + 1/EMPLOYEE = 3 SPACES + 3
EMPLOYEES = 6 REQUIRED SPACES.
8 SPACES PROVIDED + 5 STACKING SPACES AT
EACH DRIVE THRU LANE
10. LANDSCAPING: SEE LOOI
11. LEGAL DESCRIPTION: SEE THIS SHEET
12. OCC. CLASSIFICATION: B - BUSINESS
13. CONSTRUCTION TYPE: 5B
15. ALL SITE PARKING STRIPING, ARROWS, CROSSWALKS
AND LINES TO BE YELLOW PAINT. ALL BARRIER
FREE MARKINGS, LINES AND SYMBOLS TO BE BLUE.

GENERAL NOTES (SITE WORK)

1. SITE PREPARATION:
 - a. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PERFORMED BY THE CONTRACTOR IN COMPLIANCE WITH INDIANA REGULATIONS.
 - b. ORGANIC TOPSOIL SHALL BE STRIPPED FROM THE CONSTRUCTION AREA AND STOCKPILED AS INSTRUCTED BY THE G.C. FOR LATER USE.
2. EARTHWORK:
 - a. CALL MISS DIG AT 1-800-482-7171 BEFORE BEGINNING EXCAVATION.
 - b. EXCAVATION SHALL BE LEVEL TO EXACT DEPTHS AND DIMENSIONS INDICATED ON DRAWINGS.
 - c. CONSTRUCTION OF FOUNDATIONS AND SLABS-ON-GRADE WILL BE ON COMPACTED FILL IN MOST AREAS. LAYERED COMPACTION SHALL BE PERFORMED TO A MINIMUM DENSITY OF 95 MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1551 VALUES.
 - d. PLACE A MIN. 6 INCHES OF BANK RUN SAND COMPACTED TO 95% OF MAXIMUM DENSITY UNDER ALL FLOOR SLABS ON GRADE.
 - e. SOIL TESTING WILL BE CONTRACTED AND PAID FOR BY THE GENERAL CONTRACTOR.
 - f. SITE SHALL BE FINE GRADED BEFORE PLACING TOP SOIL OR GRANULAR BASE MATERIAL.
 - g. EXTERIOR SURFACE DRAINAGE SHALL BE AWAY FROM BUILDINGS, 5% 10'-0" OUT FROM BLDG.
 - h. ALL TOPOGRAPHICAL INFORMATION WAS FURNISHED BY DRIESENGA AND ASSUMED CORRECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW GRADES PRIOR TO COMMENCEMENT OF ANY WORK. THIS OFFICE SHALL NOT BE HELD RESPONSIBLE FOR ANY MISSING OR ERRONEOUS INFORMATION.

GEN CONTR WILL PROVIDE NECESSARY SOIL BORINGS AS DIRECTED BY THE CITY OF DOUGLAS.

GEN CONTR WILL ALSO PROVIDE PERMEABILITY TESTS IF REQUIRED, WHICH WILL INCLUDE GROUNDWATER INFORMATION.

ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS MUST CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

REQUIRED LANDSCAPE IS SHOWN ON LANDSCAPE PLAN. SEE LOOI FOR PLANTING DETAILS.

APPROPRIATE PERMITS TO BE OBTAINED FROM THE CITY OF DOUGLAS.

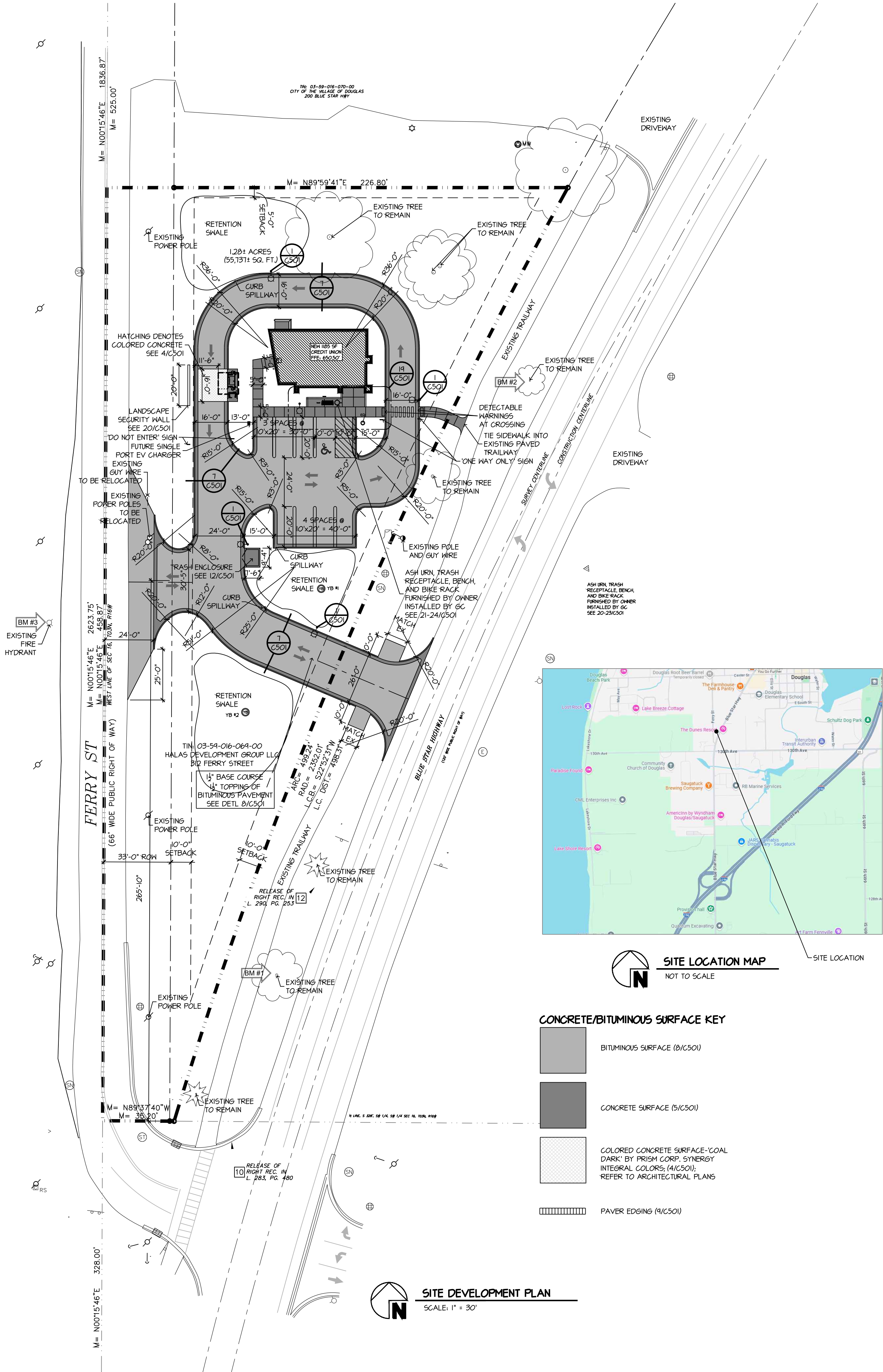
AN EMERGENCY KNOX BOX FOR FIRE DEPARTMENT ACCESS WILL BE PROVIDED IF REQUIRED. KNOX BOX LOCATION TO BE DETERMINED UPON SUBMITTAL OF BUILDING PLANS, IF REQUIRED.

A FIREFIGHTER RIGHT-TO-KNOW AND HAZARDOUS MATERIALS RIGHT TO KNOW FORMS TO BE SUBMITTED PRIOR TO ISSUANCE OF A BUILDING PERMIT, IF REQUIRED.

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN:

ALL THAT PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 LYING WEST OF US-31 EXCEPT THE NORTH 300 FEET THEREOF, ALSO EXCEPT COMMENCING AT A POINT 300 FEET SOUTH OF THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, VILLAGE (NOW CITY) OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN, THENCE SOUTH 225 FEET ALONG THE CENTER OF CHASE ROAD; THENCE EAST TO THE WEST SIDE OF BLUE STAR HIGHWAY; THENCE NORTHEASTERLY ALONG SAID RIGHT OF WAY TO A POINT DUE EAST OF BEGINNING; THENCE WEST TO POINT OF BEGINNING, SECTION 16, TOWN 3 NORTH, RANGE 16 WEST, ALSO EXCEPT THE SOUTH 328 FEET THEREOF.



2025-05-08 SITE PLAN REVIEW
2025-07-10 FOR ALLEGAN COUNTY DRAIN REVIEW
ISSUED

bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

PN: 25007
File Name: 55007C001.dwg
8065 Vineyard Parkway
Kalamazoo, MI 49009
(269) 351-5151
Boscharch.com

Cool
CONCEPTUAL SITE PLAN

[illegible]

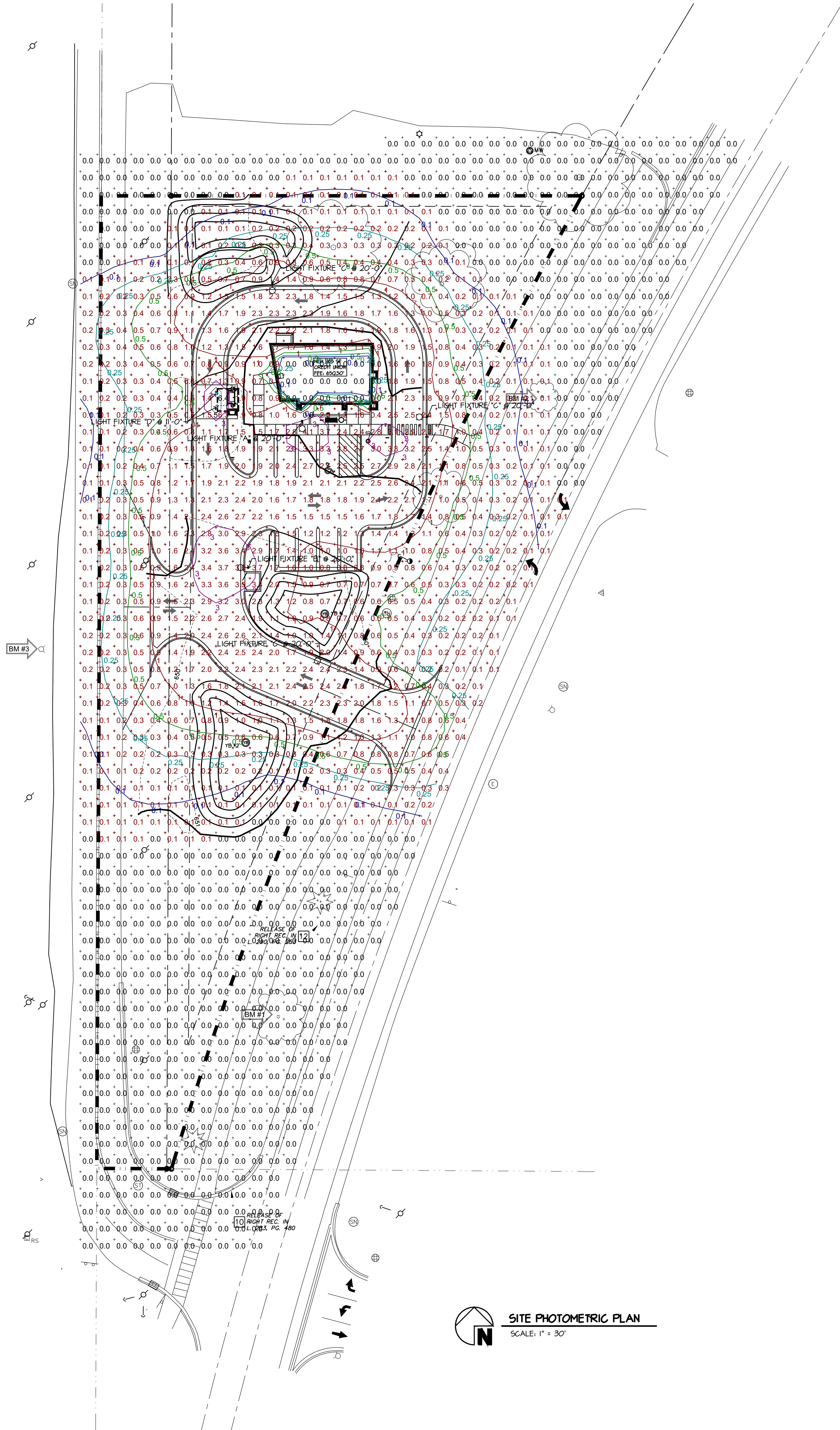
bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

CO02

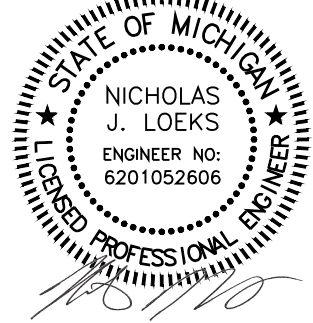
SCALE: 1" = 30'

3. REFER TO MICHIGAN DEPARTMENT OF
TRANSPORTATION STANDARD SPECIFICATIONS FOR
CONSTRUCTION, SECTION 816, FOR TURF
ESTABLISHMENT.

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A		1	Lithonia Lighting	DSX1 LED P4 40K 70CRI T4M	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 4 Medium	1	16272	1	123.94
	B		1	Lithonia Lighting	DSX1 LED P3 40K 70CRI T3M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 70 CRI Type 3 Medium	1	13763	1	102.17
	C		3	Lithonia Lighting	DSX1 LED P2 40K 70CRI T2M	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 70 CRI Type 2 Medium	1	9651	1	67.79
	D		2	Lithonia Lighting	LBR6 ALO1 (500LM) SIWW1 (3000K) AR LSS MWD 80CRI	6IN LBR Retrofit 500LM 3000K Clear Semi-Specular Medium Wide 80CRI	1	560	1	5.76



SITE PHOTOMETRIC PLAN
SCALE: 1" = 30'



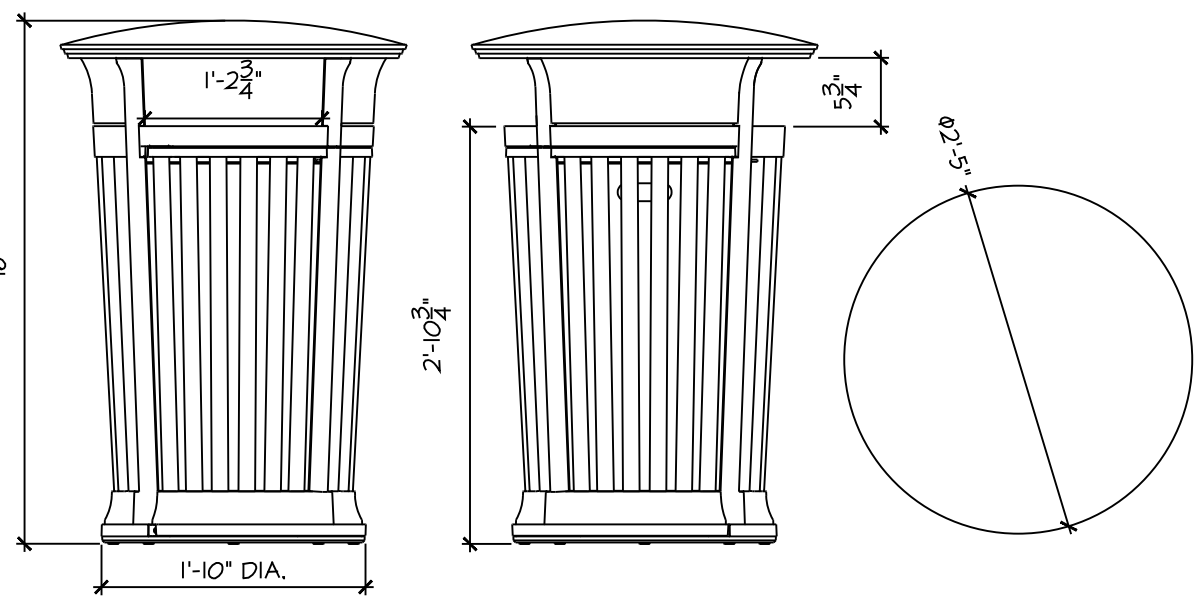
Consumers Douglas
312 S Ferry Street, Douglas, MI 49406

2025-05-08 SITE PLAN REVIEW
2025-07-30 FOR ALLEGAN COUNTY DEAN REVIEW

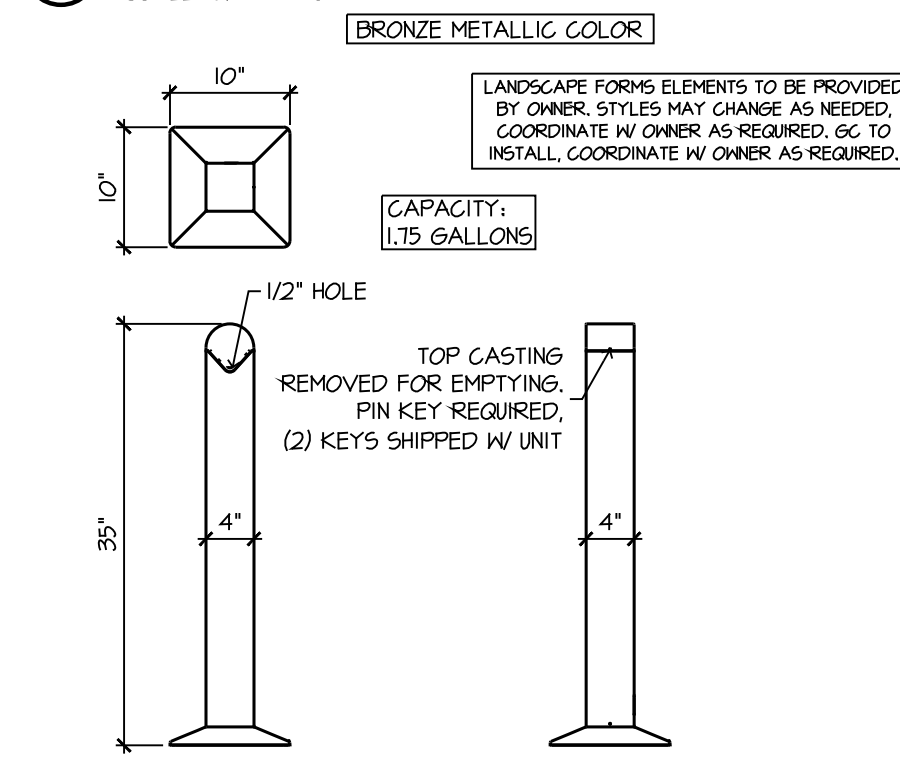
ISSUED



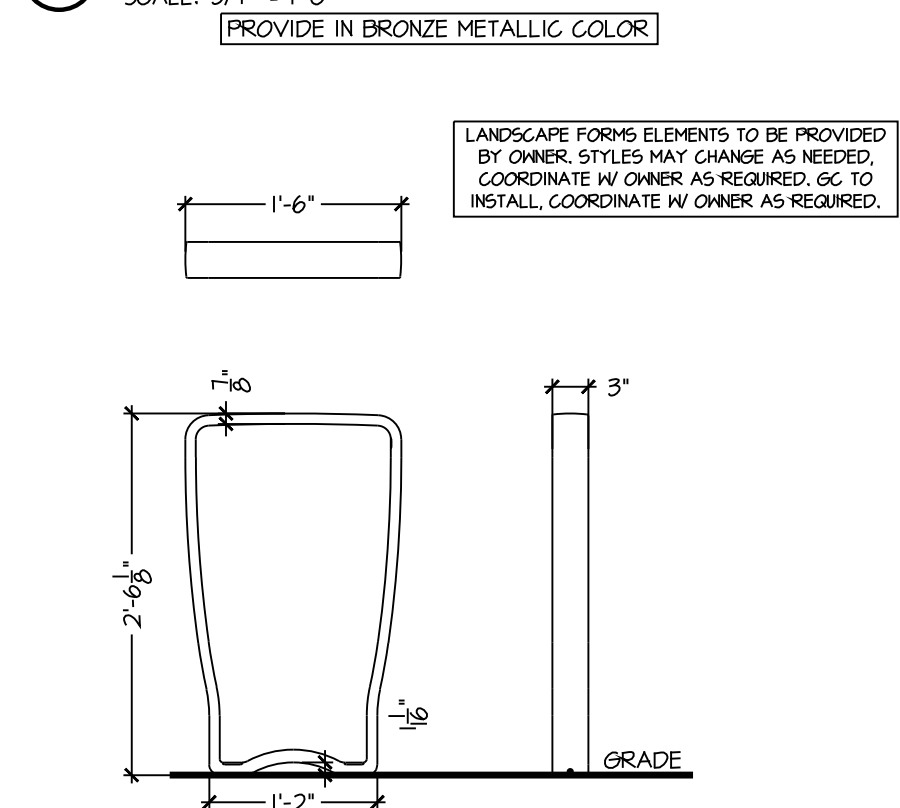
PW 25007
EWA New York
250072003.dwg
8205, Ingrand Parkway
Douglas, MI 49406
(269) 361-5651
Boscharch.com



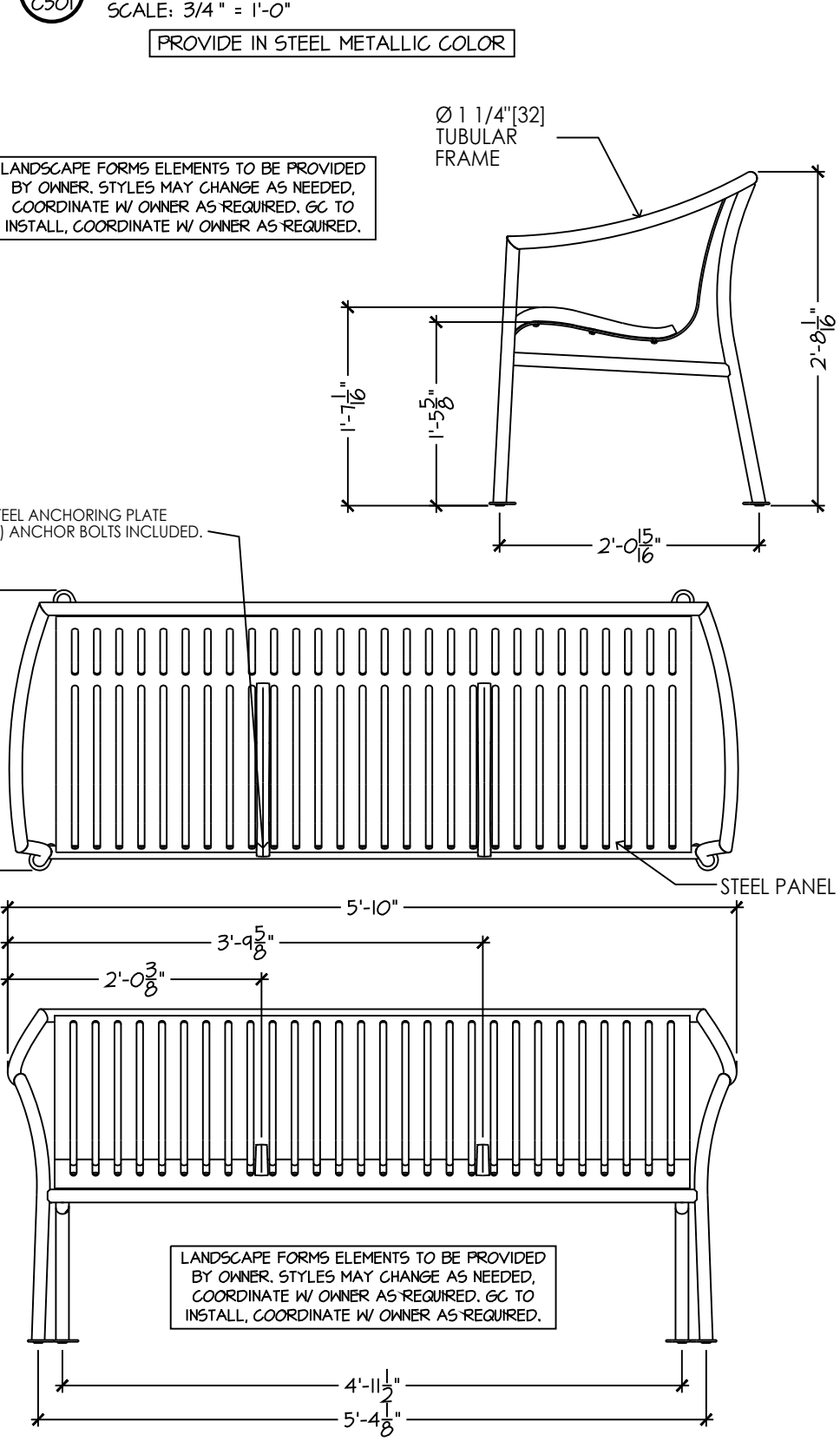
21 LANDSCAPE FORMS POE LITTER RECEPTACLE
SCALE: 3/4" = 1'-0"



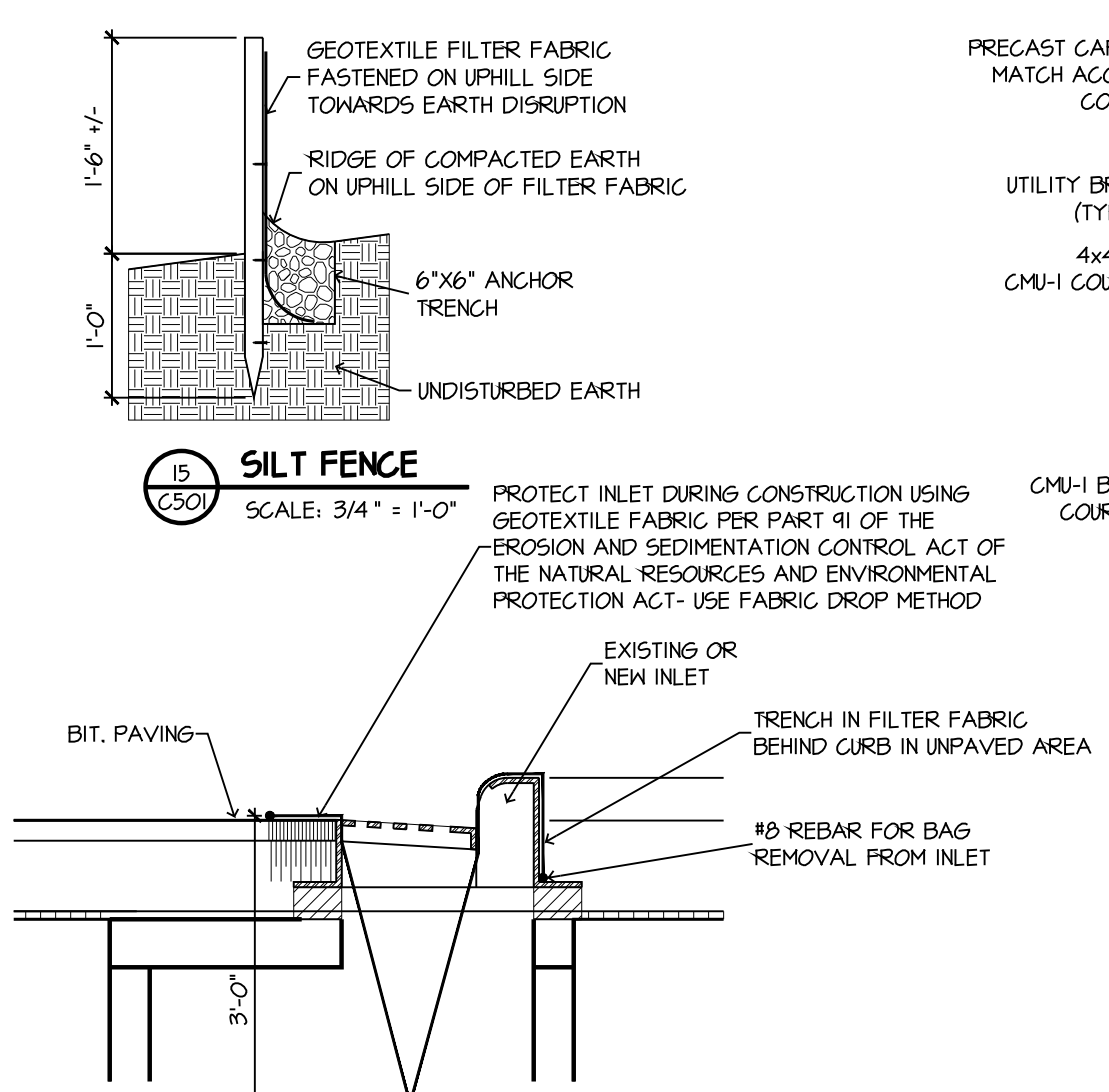
22 LANDSCAPE FORMS GRENADEIR ASH URN
SCALE: 3/4" = 1'-0"



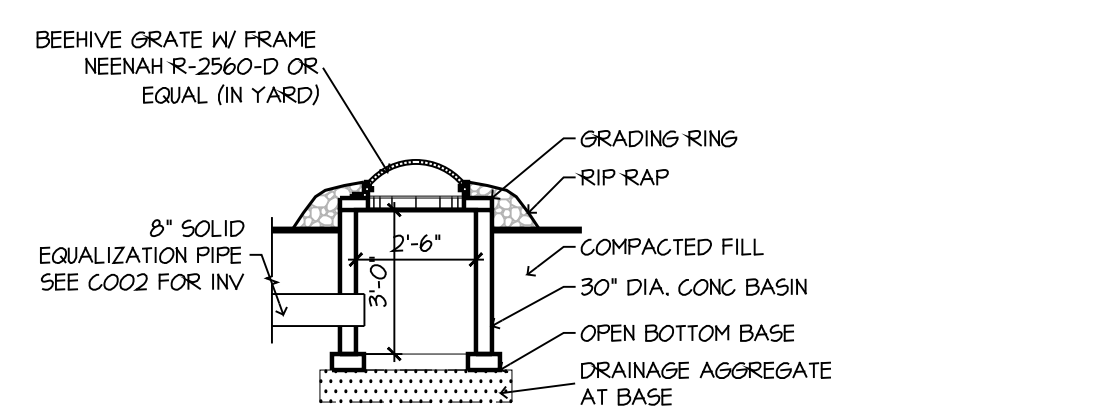
23 LANDSCAPE FORMS NORTHPORT BIKE RACK
SCALE: 3/4" = 1'-0"



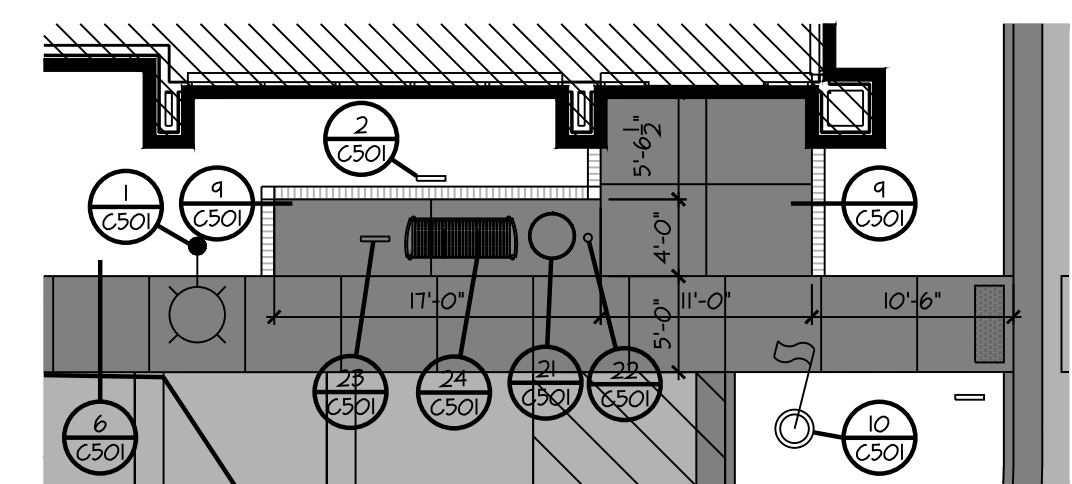
24 LANDSCAPE FORMS TOWNE SQUARE BENCH
SCALE: 3/4" = 1'-0"



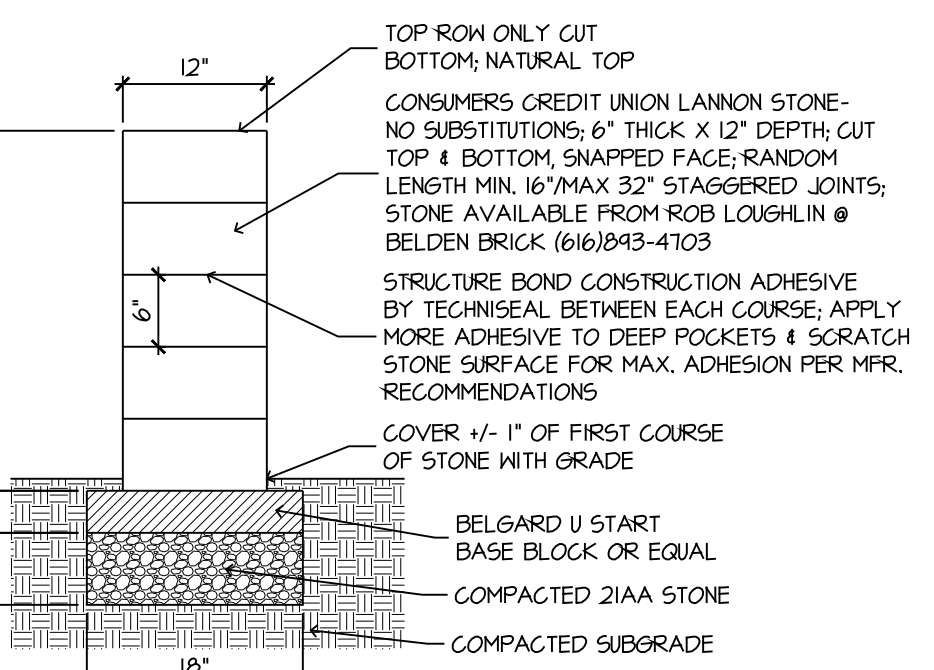
16 TYPICAL INLET PROTECTION - FABRIC DROP
SCALE: 1/2" = 1'-0"



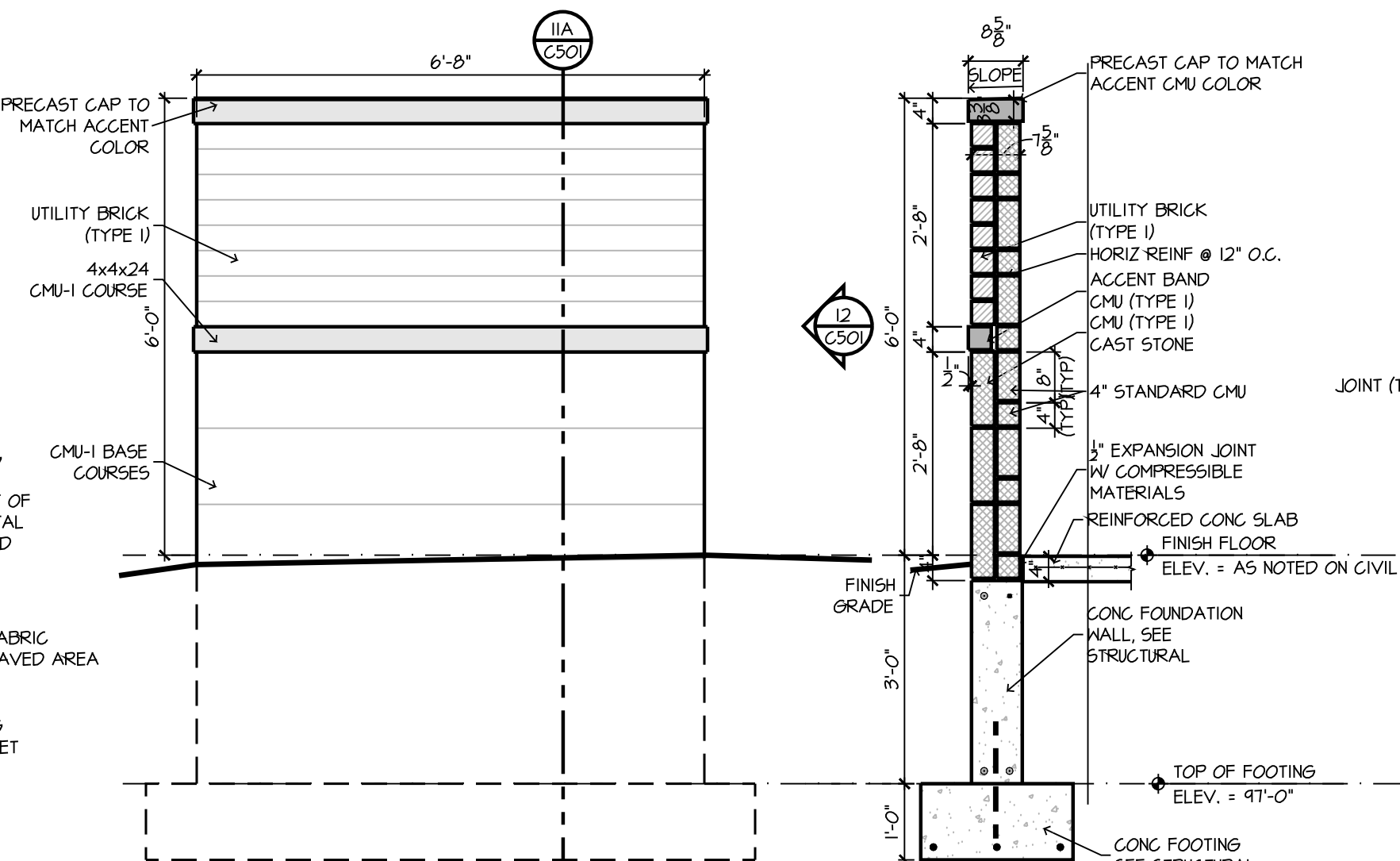
17 LEECHING/YARD BASIN
SCALE: 1/4" = 1'-0"



18 ENTRY ENLARGEMENT
SCALE: 1" = 10'

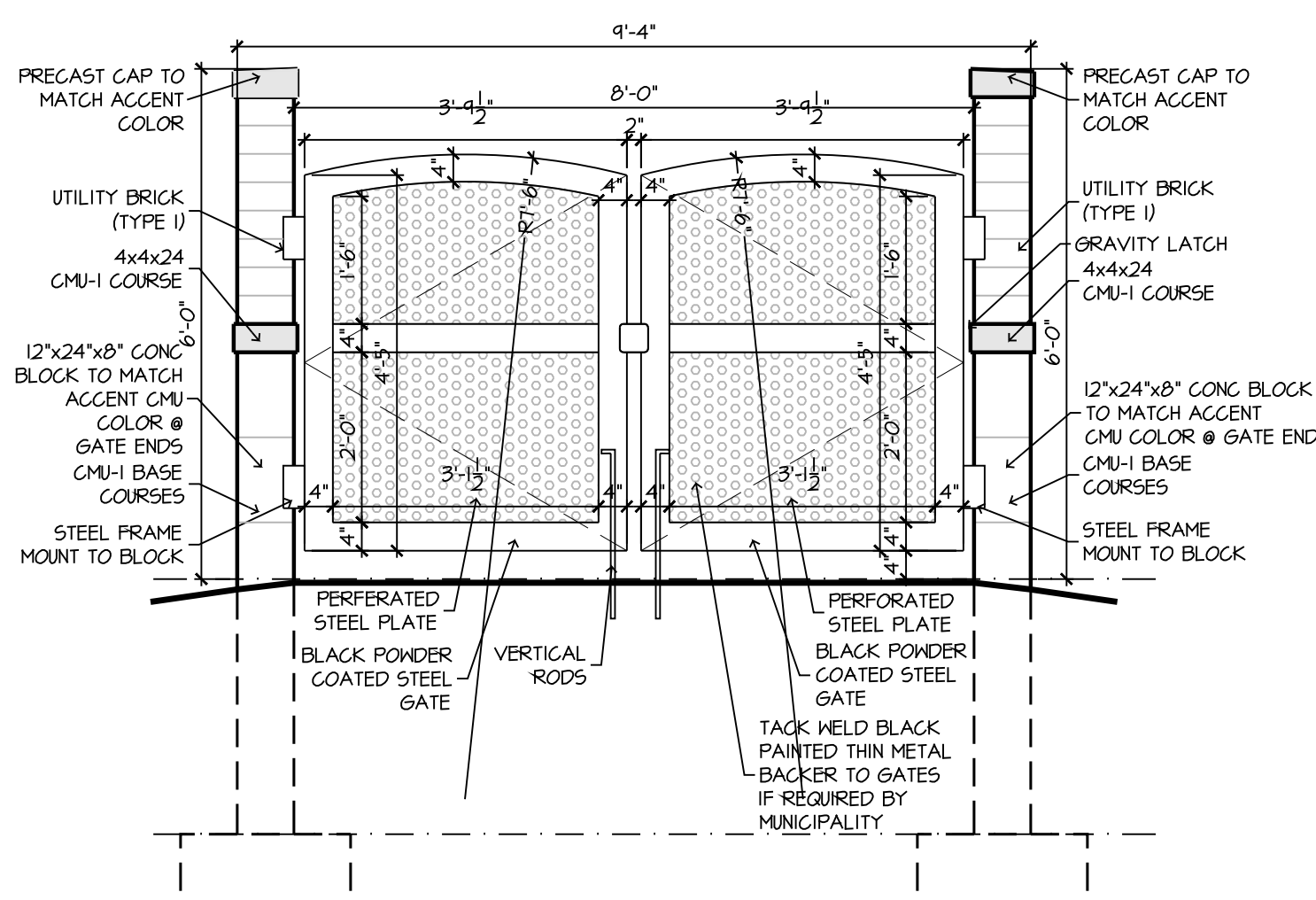


20 STONE WALL DETAIL
SCALE: 3/4" = 1'-0"

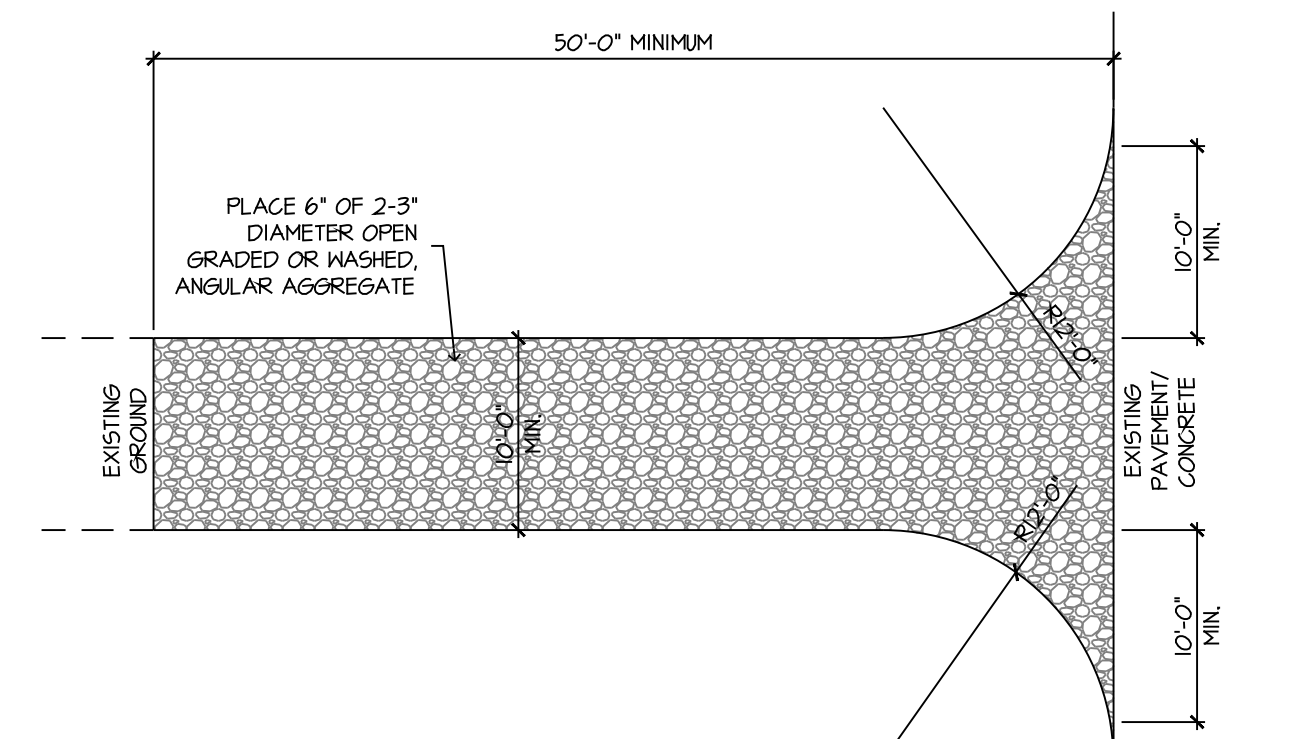


11B DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"

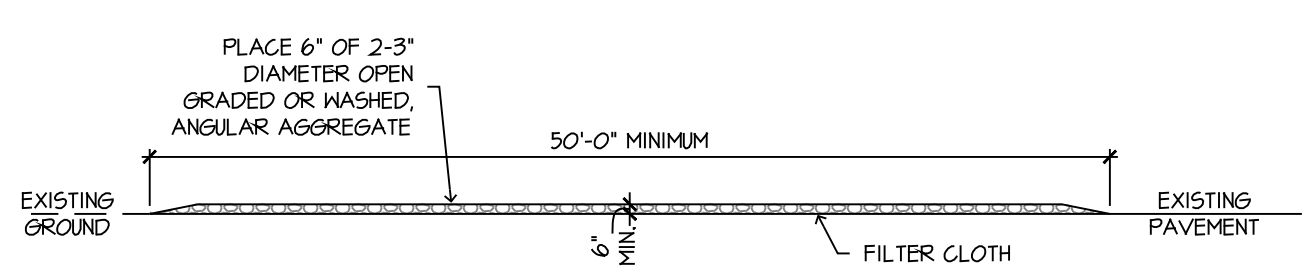
11A DUMPSTER WALL DETAIL
SCALE: 1/2" = 1'-0"



12 DUMPSTER GATE ELEVATION
SCALE: 1/2" = 1'-0"

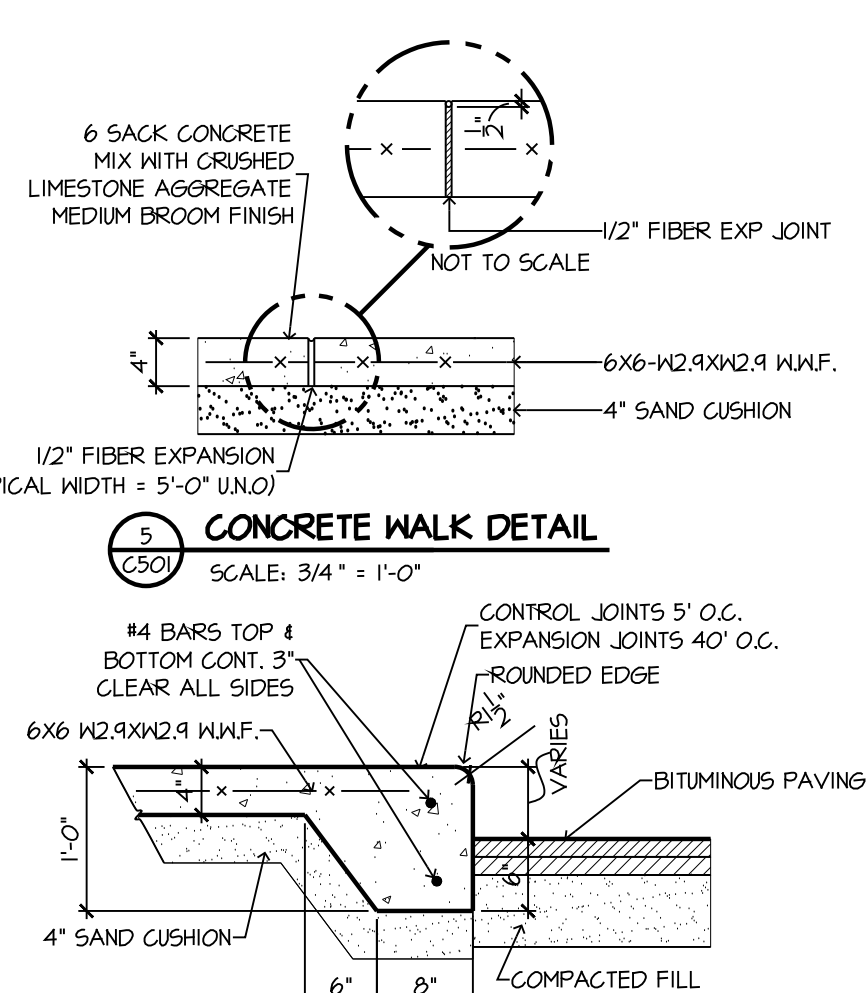


19 STANDARD PLAN VIEW CONSTRUCTION ACCESS ROAD
SCALE: 1" = 10'

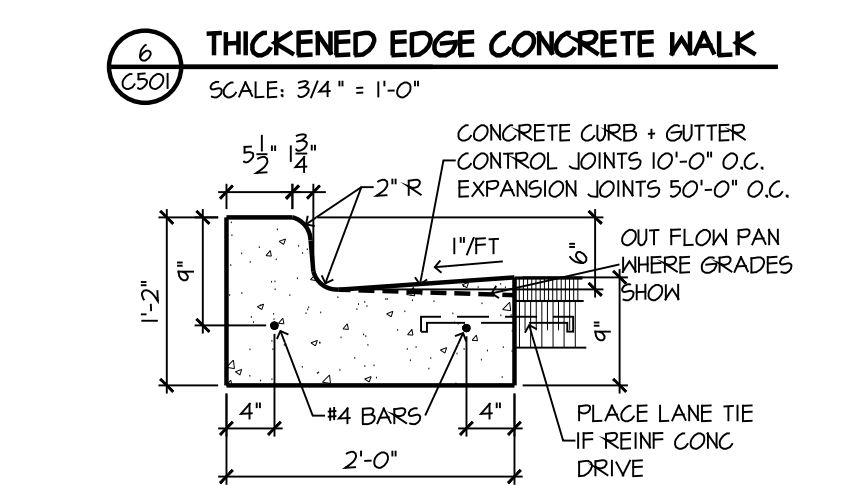


14 STANDARD PROFILE VIEW CONSTRUCTION ACCESS ROAD
SCALE: 1" = 10'

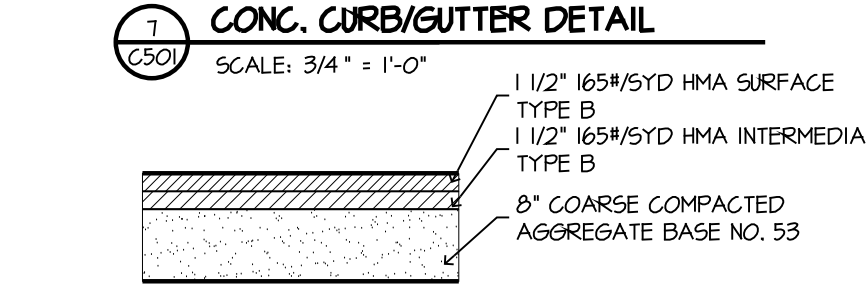
CONSTRUCTION ACCESS ROAD NOTES
SIDE SLOPES TO BE NO STEEPER THAN 2H:1V
UNDERLAY ACCESS ROAD WITH NONWOVEN GEOTEXTILE FABRIC



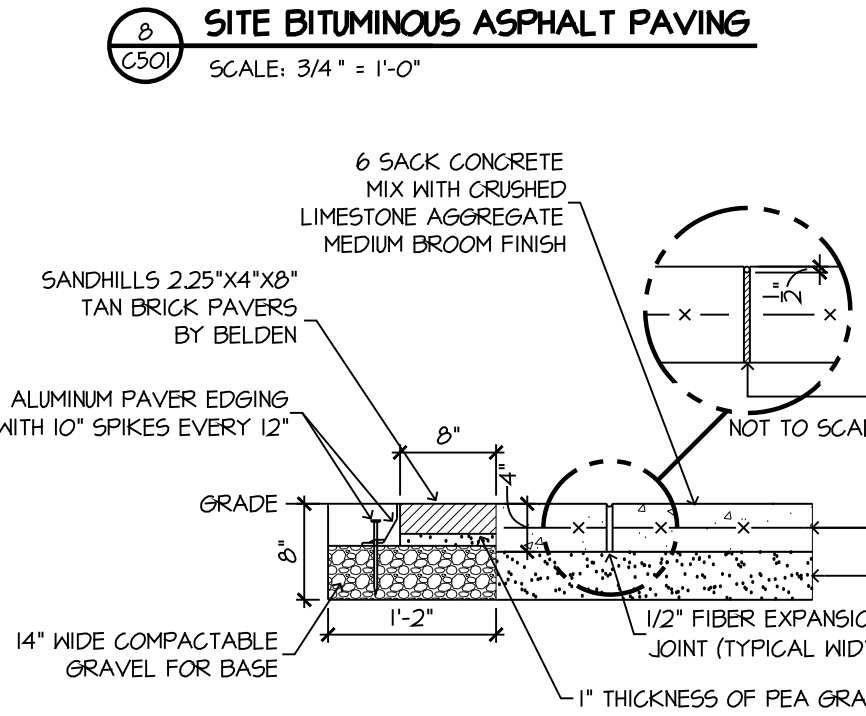
5 CONCRETE WALK DETAIL
SCALE: 3/4" = 1'-0"



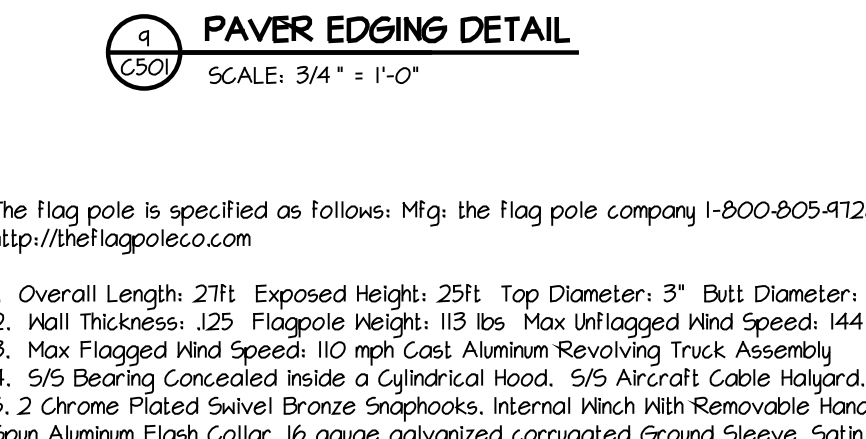
6 THICKENED EDGE CONCRETE WALK
SCALE: 3/4" = 1'-0"



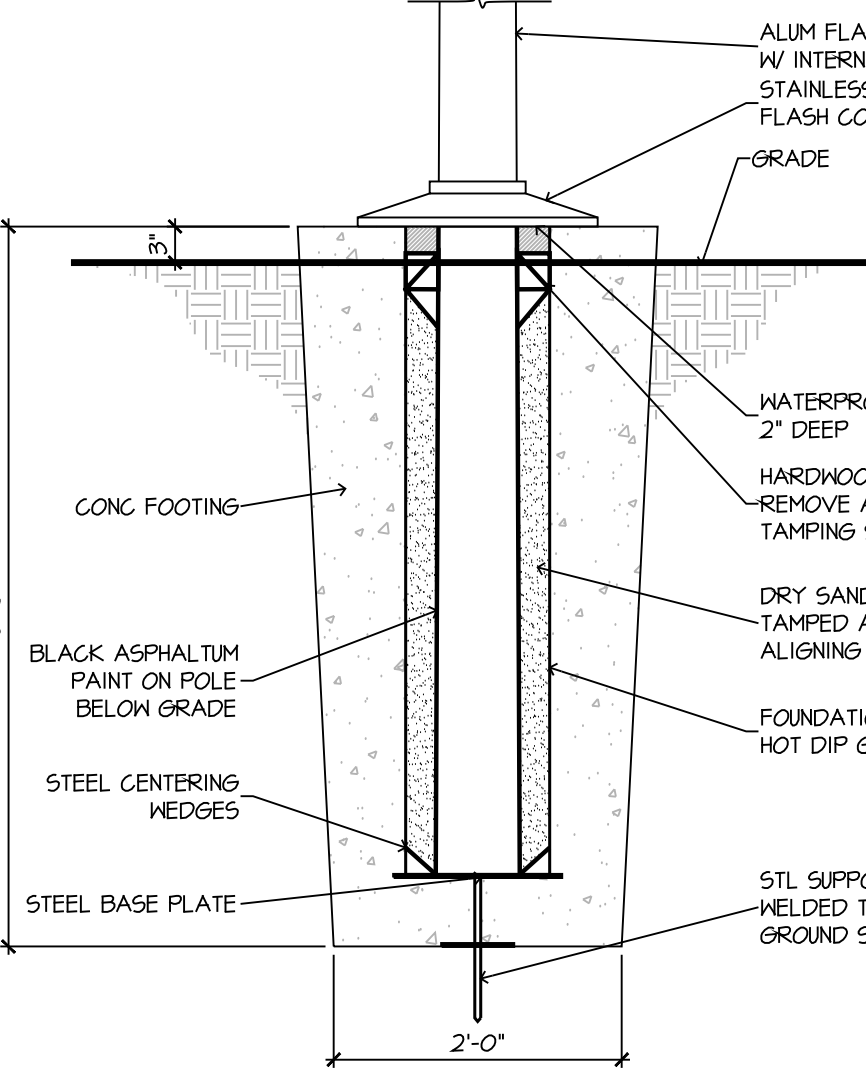
7 CONG. CURB/GUTTER DETAIL
SCALE: 3/4" = 1'-0"



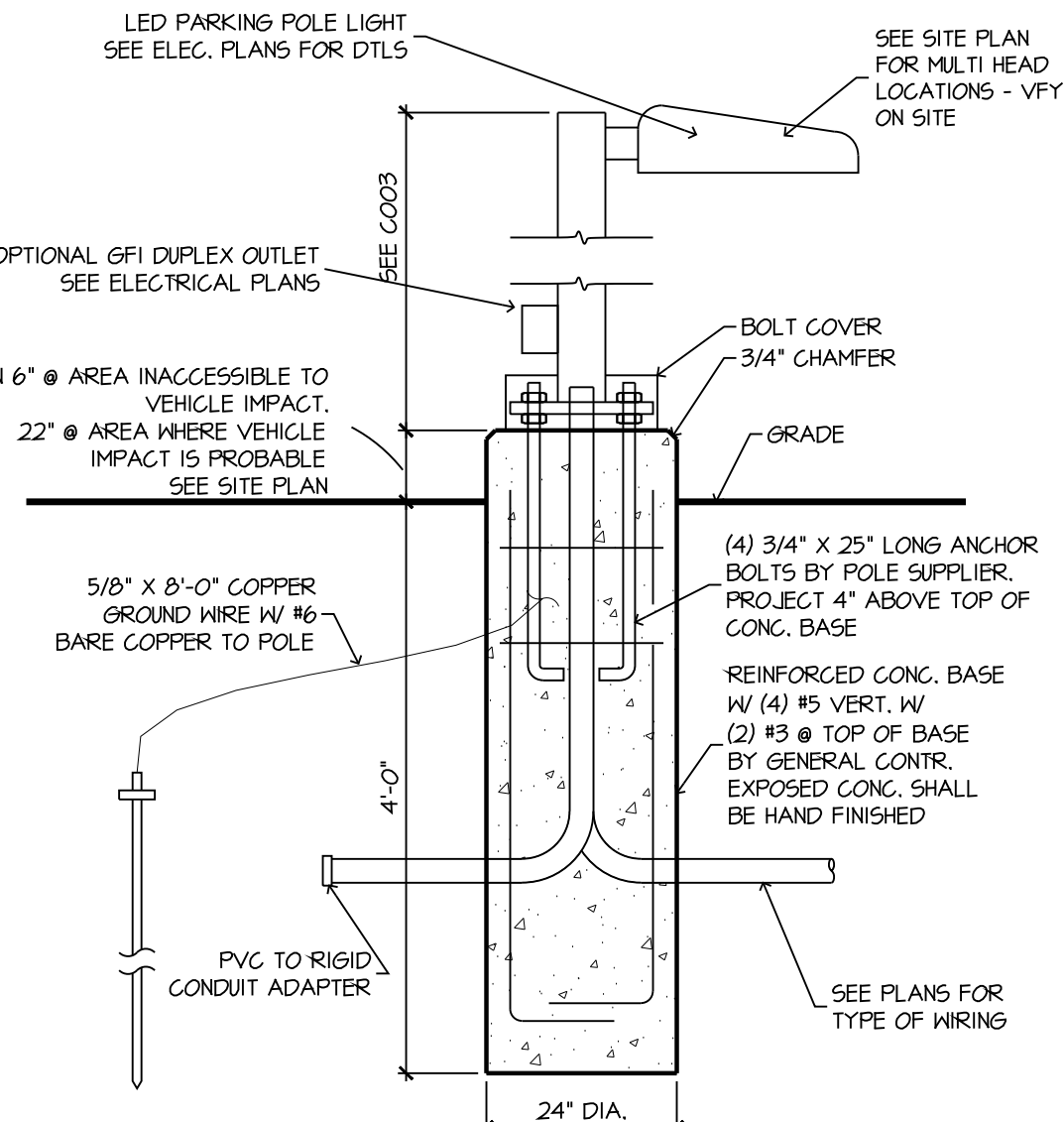
8 SITE BITUMINOUS ASPHALT PAVING
SCALE: 3/4" = 1'-0"



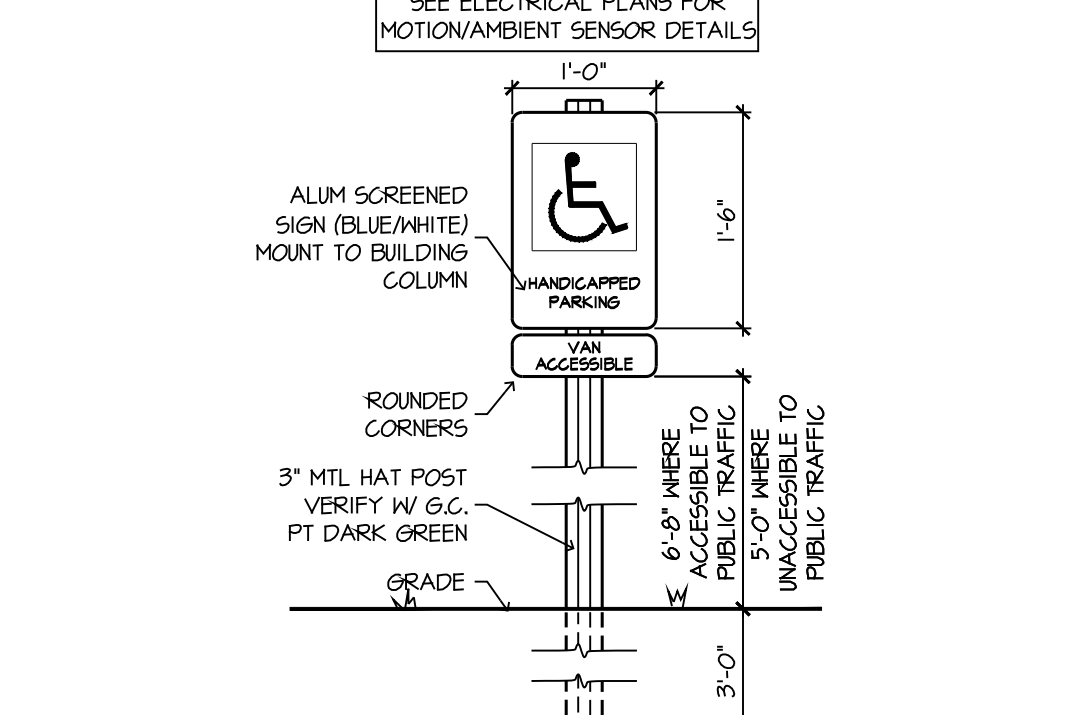
9 PAVER EDGING DETAIL
SCALE: 3/4" = 1'-0"



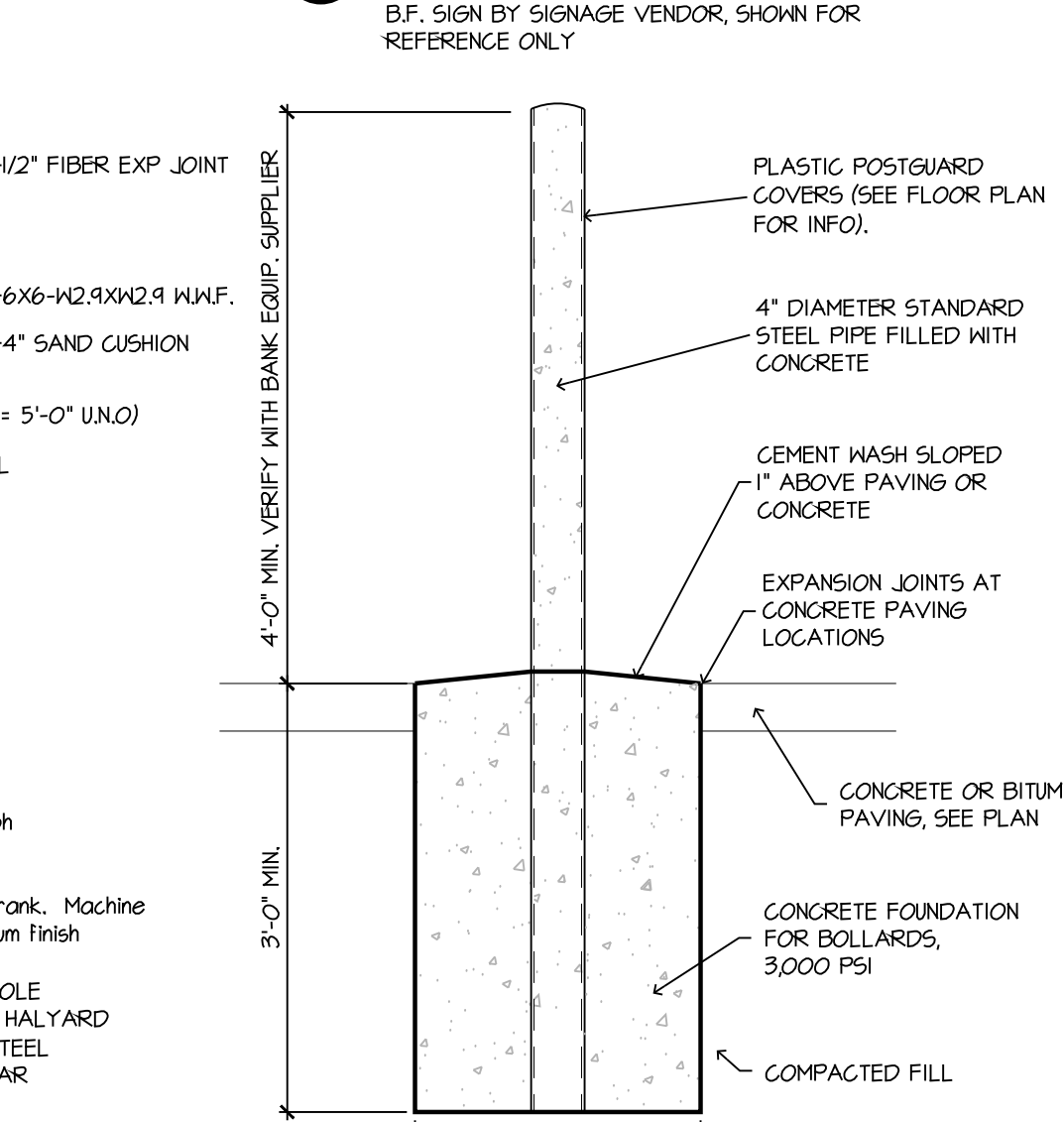
10 FLAG POLE BASE DETAIL
SCALE: 3/4" = 1'-0"



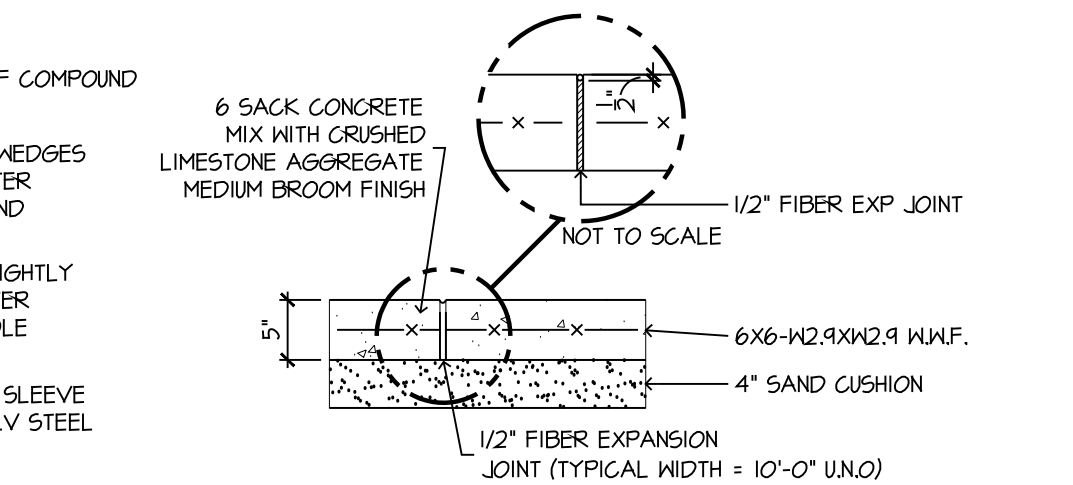
1 POLE BASE DETAIL AT GRADE
SCALE: 3/4" = 1'-0"



2 TYPICAL B.F. PARKING SIGN
SCALE: 3/4" = 1'-0"

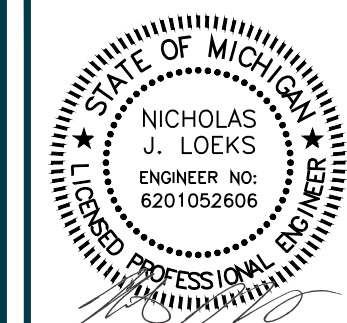


3 PIPE BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



4 5' CONCRETE APRON DETAIL
SCALE: 3/4" = 1'-0"

CONCRETE SLAB FOR CANOPIES TO BE PRISM CORP. STRENGTH INTEGRAL COLORS: COAL DARK. ALLOW TO CURE FOR 30 DAYS, THEN AGED AND POWER WASH AND SEAL. CONCRETE ISLANDS & CURBS: TO BE NATURAL CONCRETE COLOR.



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2024-05-08 SITE PLAN REVIEW
2024-07-30 FINAL EPLAN COUNTY DRAIN REVIEW
ISSUED

bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

FIN 25007
REV 2500705.dwg
8005 Vineyard Parkway
Atlanta, GA 30328
404.991.8811
Boscharch.com

C501
SITE DETAILS

KEY	BOTANIC NAME	COMMON NAME	SIZE	QTY.
<u>CANOPY TREES:</u>				
Ar	Acer rubrum 'Bowhall'	Bowhall Red Maple	2 ½' cal. min.	5
Gb	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2 ½' cal. min.	5
Ns	Nyssa sylvatica	Black Gum	2 ½' cal. min.	6
Ov	Ostrya virginiana	Hophornbeam	2 ½' cal. min.	6
<u>ORNAMENTAL TREES:</u>				
Ac	Amelanchier canadensis 'Shadblow'	Shadblow Serviceberry	6-8' ht. min.	3
Cc	Cercis canadensis	Eastern Redbud	6-8' ht. min.	1
Cf	Cornus florida	Flowering Dogwood	6-8' ht. min.	4
<u>EVERGREEN SHRUBS:</u>				
Bg	Buxus 'Green Velvet'	Green Velvet Boxwood	3 gallon	15
lv	Ilex verticillata 'Red Sprite'	Red Sprite Holly	5 gallon	4
ld	Ilex verticillata 'Jim Dandy'	Jim Dandy Holly	5 gallon	1
<u>DECIDUOUS SHRUBS:</u>				
Hb	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	24" ht. min.	10
Hm	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	5 gallon	5
Rm	Rosa 'Novarosop'	Popcorn Drift Rose	3 gallon	6
Sj	Spiraea japonica 'Goldflame'	Goldflame Spiraea	3 gallon	20
Wf	Weigela florida 'Wine and Roses'	Wine and Roses Weigela	5 gallon	4
<u>PERENNIALS/ORNAMENTAL GRASSES</u>				
Aa	Allium Summer Peek-A-Boo	Summer Peek-A-Boo Ornamental Onion	1 gallon	14
As	Asilbe x arendsii 'Ice Cream'	Ice Cream Asilbe	1 gallon	19
Hh	Heemerocallis 'Happy Returns'	Happy Returns Daylily	1 gallon	57
Hp	Hosta 'Patriot'	Patriot Hosta	1 gallon	15
Pa	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	1 gallon	18
Ss	Schizachrium scoparium Free Spirit Band of Gold	Band of Gold Little Bluestem	1 gallon	11

LANDSCAPING NOTES

1. COMPLY WITH ALL CITY OF DOUGLAS STANDARDS.
2. ALL LANDSCAPING TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR
3. ALL PLANTINGS, INCLUDING TREES IN LAWN AREAS, SHALL BE MILCROD WITH 3" DEPTH SHREKED HARDWOOD MULCH, INCLUDING ALUMINUM EDGING.
4. INSTALL 4" TREE RING AROUND ALL TREES IN LAWN AREAS.
5. 6" PERMANENT MULCH, DEPTH IN ALL SECTIONS SHALL BE 3" DEPTH IN PLANTING BEDS.
6. 6" PERMANENT MULCH, DEPTH IN ALL SECTIONS SHALL BE 3" DEPTH IN PLANTING BEDS.
7. 6" PERMANENT MULCH, DEPTH IN ALL SECTIONS SHALL BE 3" DEPTH IN PLANTING BEDS.
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10. 6" PERMANENT MULCH, DEPTH IN ALL SECTIONS SHALL BE 3" DEPTH IN PLANTING BEDS.

1. **PARKING LOT LANDSCAPING:**
PARKING LOTS WITH A CAPACITY OF FOUR OR MORE VEHICLES SHALL HAVE (1) TREE FOR EVERY 9 PARKING SPACES WITH A MINIMUM LANDSCAPED SPACE OF 50 SF.
a. PARKING SPACES PROPOSED : (1) TREE + 50 SF LANDSCAPE SPACE REQUIRED/ (1) TREE + 603 SF OF LANDSCAPED SPACE WITH 214 SF OF DEEP ROOTED PERENNIAL LANDSCAPE AREA PROVIDED

PARKING LOT SCREENING REQUIRED WHEN ABUTTING A RESIDENTIALLY ZONED PARCEL - NOT APPLICABLE, PROPERTY ABUTS LIKE ZONED PARCEL.

PARKING LOT SCREENINGS REQUIRED WHEN ADJACENT TO A PUBLIC RIGHT OF WAY - PROPOSED PARKING IS NOT ADJACENT TO PUBLIC ROW

2. **SITE LANDSCAPING**
BOUNDARY SCREENING REQUIRED WHEN A NONRESIDENTIAL USE ABUTS A RESIDENTIALLY ZONED/USED PROPERTY - NOT APPLICABLE, PROPERTY ABUTS LIKE ZONED PARCEL

LANDSCAPING ALONG PUBLIC RIGHTS OF WAY TO INCLUDE (1) TREE 15' IN HT. OR 3" CALIFER (WHICHEVER IS GREATER) FOR EACH 50 LF OF FRONTAGE
FERRY STREET RIGHT OF WAY:
450 LF FRONTAGE / 30 = (15) TREES REQUIRED, **(DUE TO PROXIMITY TO OVERHEAD POWER LINES AND EASEMENT, (1) CANOPY TREES AND (1) ORNAMENTAL TREES USED TO SATISFY REQUIREMENTS)** (REDUCTION OF 1 REQUIRED TREES)
BLUE STAR HIGHWAY RIGHT OF WAY:
500 LF / 50 = (10) TREES REQUIRED / (4) EXISTING TREES, + 4 NEW TREES PROVIDED **(REDUCTION OF 9 REQUIRED TREES)** ADDITIONAL SHRUB AREAS PROPOSED IN LIEU OF TREES AS SHOWN

ALUMINUM EDGING- SEE NOTES ABOVE FOR INSTALLATION

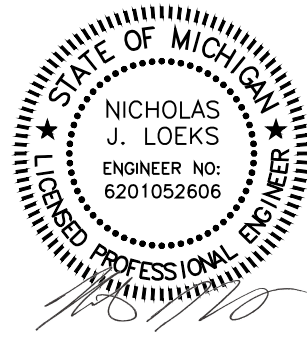
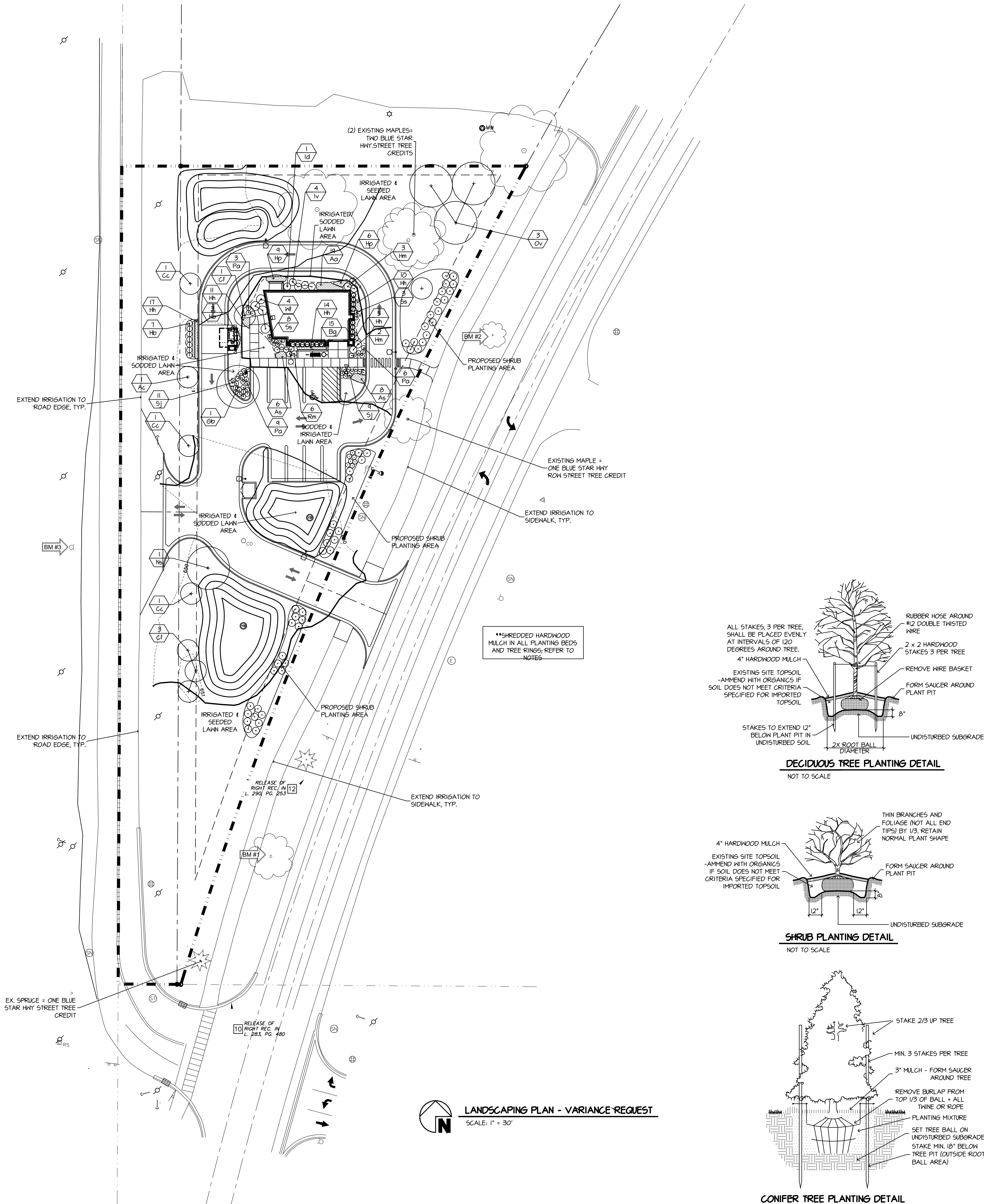
CANOPY TREE - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION

ORNAMENTAL TREE - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION

DECIDUOUS SHRUB - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION

EVERGREEN SHRUB - REFER TO NOTES ABOVE & DETAIL FOR INSTALLATION

PERENNIAL/ORNAMENTAL GRASS REFER TO NOTES ABOVE



Consumers Douglas

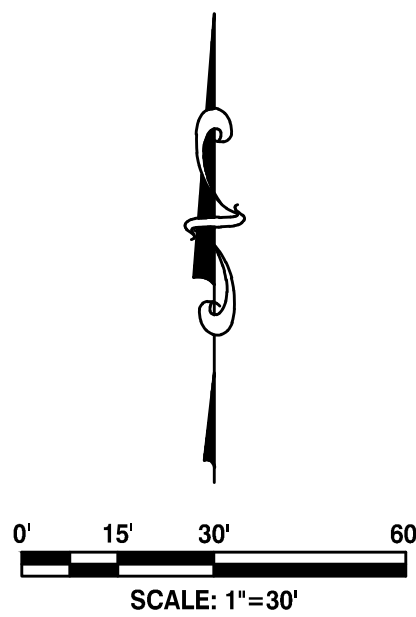
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bosch
ARCHITECTURE
ENGINEERING & INTERIOR DESIGN

PN: 25007
File Name:
25007L001-Variance.dwg

8065 Vineyard Parkway
Kalamazoo, MI 49009
(269) 351-5151
jposcharch.com

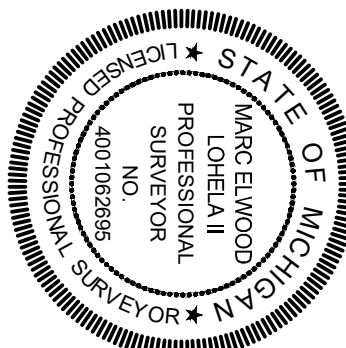
Loop



BENCHMARK
SET CONCRETE MONUMENT
MONUMENT FOUND
SET CAPPED REBAR #62695
FOUND IRON
SET CHISELED 'X'
FOUND CHISELED 'X'
CONTROL POINT
PLATTED
DESCRIBED
MEASURED
RECORD
STORM SEWER MANHOLE
CATCH BASIN
ROOF DRAIN
SANITARY SEWER MANHOLE
CLEANOUT
WELL HEAD
FIRE HYDRANT
FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE
SPRINKLER HEAD
VALVE (WATER & GAS)
GAS METER
UTILITY RISERS
UTILITY POLE
LIGHT POLE
GUY ANCHOR
TRANSFORMER
HAND HOLE (ELECTRIC)
ELECTRIC METER
GROUND MOUNTED LIGHT
SIGN
SOIL BORING
BOLLARD POST
POST
UNDERGROUND COMMUNICATIONS
UNDERGROUND ELECTRIC LINE
UNDERGROUND GAS LINE MARK
GATE
FENCE LINE
OVERHEAD UTILITIES
UNDERGROUND ELECTRIC
COMMUNICATIONS
TELEPHONE
FIBER OPTIC
GAS LINE
EXISTING WATER LINE
EXISTING STORM SEWER
EXISTING SANITARY SEWER
BITUMINOUS SURFACE
CONFERROUS TREE

<u>POINT NUMBER</u>	<u>NORTHING (GROUND)</u>	<u>EASTING (GROUND)</u>	<u>ELEVATION (NAVD 88)</u>
50	420345.6644'	12626946.1060'	649.04'
51	419879.0375'	12626944.6843'	650.21'
52	420092.0866'	12626920.0095'	650.31'

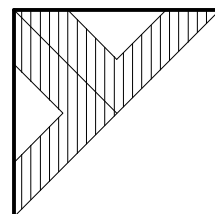
MARC ELWOOD LOHEIA, PROFESSIONAL SURVEYOR #4001062695



- MICHIGAN GAS UTILITIES - 02/24/2025 (MAPS PROVIDED)
- COMCAST 02/22/2025 (MAPS PROVIDED)
- FRONTIER / VERIZON FIBER OPTIC - 02/20/2025 (MAPS PROVIDED)
- KALAMAZOO LAKE SEWER & WATER AUTHORITY - 02/19/2025 (MAPS PROVIDED)
- CONSUMERS ENERGY UNDERGROUND ELECTRIC - 03/06/2025 (MAPS PROVIDED)

[illegible]

BOSCH ARCHITECTURE
8065 VINEYARD PARKWAY KALAMAZOO, MI 49009



**DRIESENKA &
ASSOCIATES, INC.**

Engineering Surveying Testing

www.driesenga.com

616-396-0255
Grand Rapids, MI
616-249-3800
Kalamazoo, MI
269-544-1455
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