

AMK PROPERTIES - DOUGLAS BUILDING

13 South Union Street, Douglas, MI 49406



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE

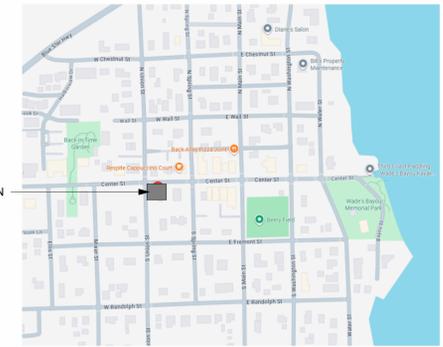


NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE

PROJECT LOCATION



LOCATION MAP



DRAWING INDEX			
DWG NO.	Drawing Title	Issuance	Date
GENERAL			
G-1	Title Sheet	Revision	02-26-26
GENERAL: 1			
CIVIL			
C-1	Survey	Survey Issue	03-24-24
C101	Grading Plan	Revision	01-22-26
C202	Utility and Stormwater Management Plan	Revision	02-05-26
CIVIL: 3			
LANDSCAPE			
L-1	Landscape Plan	Revision	01-22-26
L-2	Landscape Details	PC Review	10-03-25
LANDSCAPE: 2			
DEMOLITION			
D-1	Site Demolition Plan	Revision	01-22-26
DEMOLITION: 1			
ARCHITECTURAL			
A-1	Site Plan	Revision	01-27-26
A-1.1	Site Details	Revision	01-27-26
A-2	First Floor Plan	Revision	01-22-26
A-3	Second Floor Plan	Revision	01-22-26
A-4	Exterior Elevations	Revision	01-22-26
A-5	Exterior Elevations	Revision	01-22-26
ARCHITECTURAL: 6			
ELECTRICAL			
PH-1	Site Photometric Plan	Revision	01-27-26
ELECTRICAL: 1			
TOTAL DRAWINGS: 14			

DANIEL BOGGS ARCHITECT

ARCHITECTURE & PLANNING

8538 ISLAND BLVD.
GROSSE ILE, MI 48138
248.882.3642

PROJECT:
Douglas Building
13 South Union Street
Douglas, MI 49406

PROFESSIONAL SEAL:



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED:
09-04-25 Client Review
09-12-25 Revision
10-03-25 PC Review
10-31-25 Revision
11-05-25 Revision
01-20-26 Client Review
01-22-26 Revision
02-26-26 Revision

PROJECT NO:
2025.12

DRAWN BY:
DWB

These drawings have been specifically prepared for AMK Properties for use at 13 South Union Street Douglas, MI 49406. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.

SHEET TITLE:
Title Sheet

SHEET NO:
G-1

PREPARED FOR:

Lakewood Construction Inc.
 Max Nykerk
 11253 James Street
 Holland, MI 49424

CREATED:

Drawn: DS Date: 3/24/2024

REVISIONS:

Rev: _____ Date: _____
 Drawn: _____

Lakewood Construction

Topographic Survey

13 Union St
 PART OF THE SOUTHEAST 1/4 OF SECTION 16, T3N, R16W,
 CITY OF THE VILLAGE OF DOUGLAS, ALLEGAN COUNTY, MICHIGAN

STAMP:



PROJECT NO:
 24200315

SHEET NO:
C-1

SHEET: 1 OF 1



LOCATION MAP

NOT TO SCALE

TITLE INFORMATION

The Title Description and Schedule B items herein are from Chicago Title Insurance Company, Commitment No. 031217902RTA Revision 1, Dated October 18, 2023

TITLE DESCRIPTION

Land Situated in the State of Michigan, County of Allegan, City of the Village of Douglas.

Lots 1 and 2 of Dudleyville Plat, except the East half of said Lot 2, according to the Plat thereof recorded in Liber 21 of Deeds on Page 289, Allegan County Records.

SCHEDULE B - SECTION II NOTES

9 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document. Granted to: City of the Village of Douglas Recording No: Liber 2945, Page 59. Supporting documents were not provided at time of survey.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260549, Panel Number 0164G, with an Effective Date of 6/21/2023, shows this parcel to be located in Zone X (subject to map scale uncertainty).
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

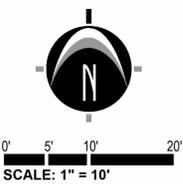
BENCHMARKS

BENCHMARK #336 ELEV. = 620.94 (NAVD88)
 Flange bolt under "E" to Hydrant located in southwest corner of Center Street and Union Street, 56'± West of the Easterly asphalt edge of Union Street

BENCHMARK #368 ELEV. = 621.99 (NAVD88)
 Set spindle in East side of power pole located 150'± South of the Centerline of Center Street and 14'± West of the Centerline of Union Street

LEGEND

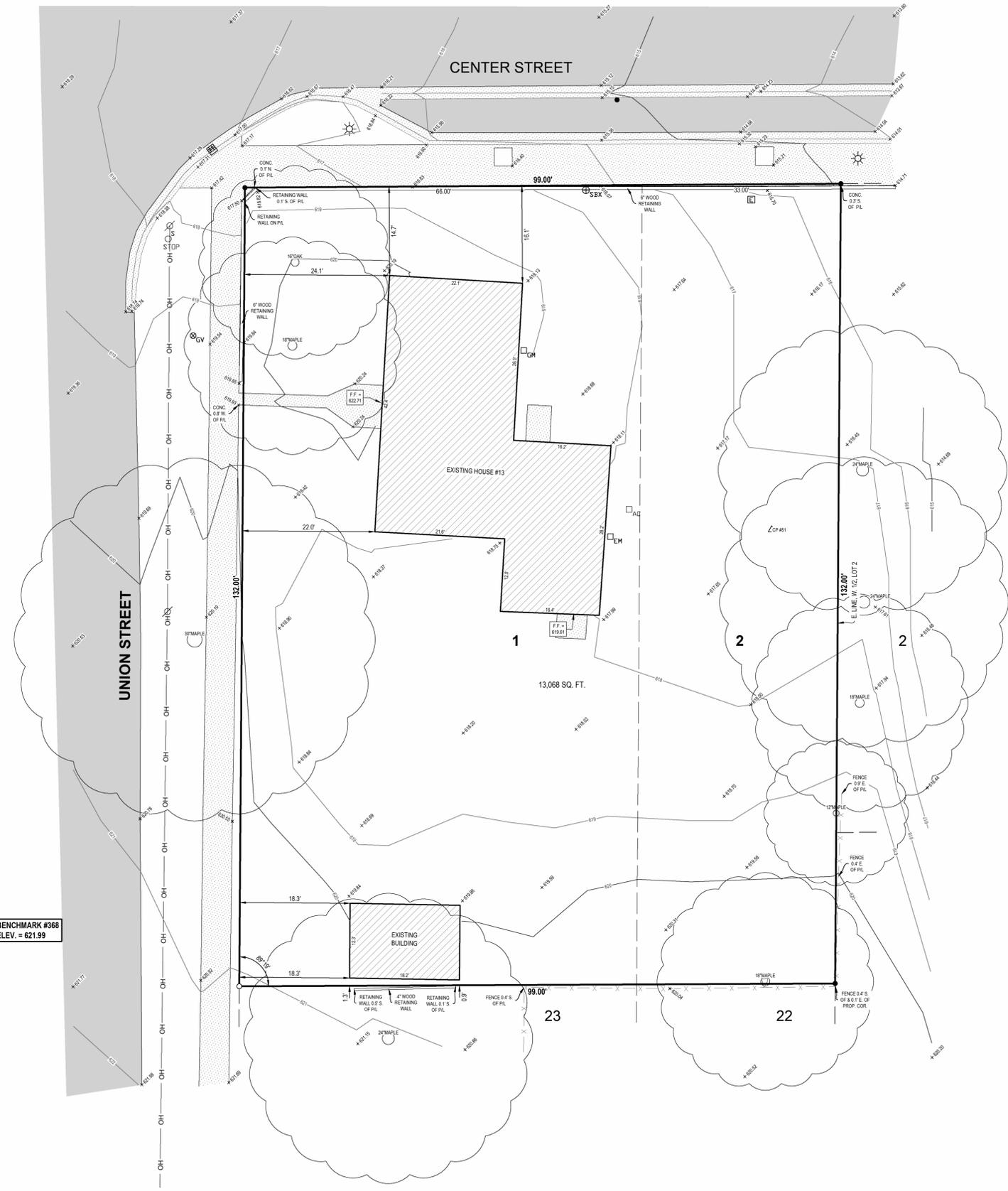
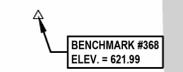
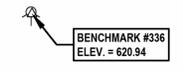
AC	Air Conditioning	Light Pole
CB	Catch Basin - Square	Utility Pole
CP	Control Point Benchmark	Stop Box
DT	Deciduous Tree	Stop Sign
EM	Electric Meter	Fence
ER	Electric Riser	Overhead Utility
GM	Gas Meter	Asphalt
GV	Gas Valve	Existing Building
H	Hydrant	Concrete
IF	Iron-Found	PL
IS	Iron-Set	Property Line



811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANNED" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



BENCH MARKS

BENCH MARK 336 ELEVATION: 620.94
 FLANGE BOLT UNDER "E" TO HYDRANT LOCATED IN CORNER OF CENTER STREET AND UNION STREET, 56'+/- WEST OF THE EASTERLY ASPHALT EDGE OF UNION STREET.

BENCH MARK 368 ELEVATION: 621.99
 SET SPINDLE IN EAST SIDE OF POWER POLE LOCATED 150'+/- SOUTH OF THE CENTERLINE OF CENTER STREET AND 14'+/- WEST OF THE CENTERLINE OF UNION STREET.

SURVEY NOTES

- TOPOGRAPHIC SURVEY WAS COMPLETED BY NEDERVELD IN MARCH 2024 AND REFLECTS CONDITIONS AT THAT TIME. THE SURVEY HAS BEEN SUPPLEMENTED WITH RECORD AND GIS INFORMATION FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING TO CONFIRM EXISTING CONDITIONS AS SHOWN ON THE PLANS. REPORT ALL DISCREPANCIES TO THE ENGINEER.
- THE HORIZONTAL AND VERTICAL INFORMATION PROVIDED IS BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE INTERNATIONAL FEET) WITH NAVD88 DATUM, RESPECTIVELY.
- UNDERGROUND UTILITIES ARE SHOWN BASED ON SURFACE MANHOLE AND VALVE LOCATIONS, RECORD DRAWINGS, AND GIS MAPS AND MAY NOT BE ACCURATE. CONTRACTOR SHALL CONTACT MISS DIG PRIOR TO ANY DIGGING. CONTACT ENGINEER IF UTILITIES ARE FOUND IN DIFFERENT CONDITIONS THAN SHOWN ON THESE PLANS.

SYMBOL LEGEND

- 725- EXISTING MAJOR CONTOUR
- 724- EXISTING MINOR CONTOUR
- 725-** PROPOSED MAJOR CONTOUR
- 724-** PROPOSED MINOR CONTOUR
- (L) LANDING (2% MAX. SLOPE ALL DIRECTIONS)
- (R) RAMP
- 724.50 XX** SPOT ELEVATION
- EM EDGE OF METAL
- EW EDGE OF WALK
- FF FINISH FLOOR
- GP GUTTER PAN
- GR GRADE ELEVATION
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- TW TOP OF WALL

NOTES

- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO MATCH EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- ADA PARKING AREAS NOT TO EXCEED 2.0% SLOPE IN ALL DIRECTIONS.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.

REVISIONS

NOT FOR CONSTRUCTION

DATE	REVISION
1/21/2026	PC REVIEW
10/3/2025	PC REVIEW

Drawn By: SNETZ
 Designer: BAMCDOWELL
 Reviewer: DRRHOTON
 Manager: BAMCDOWELL

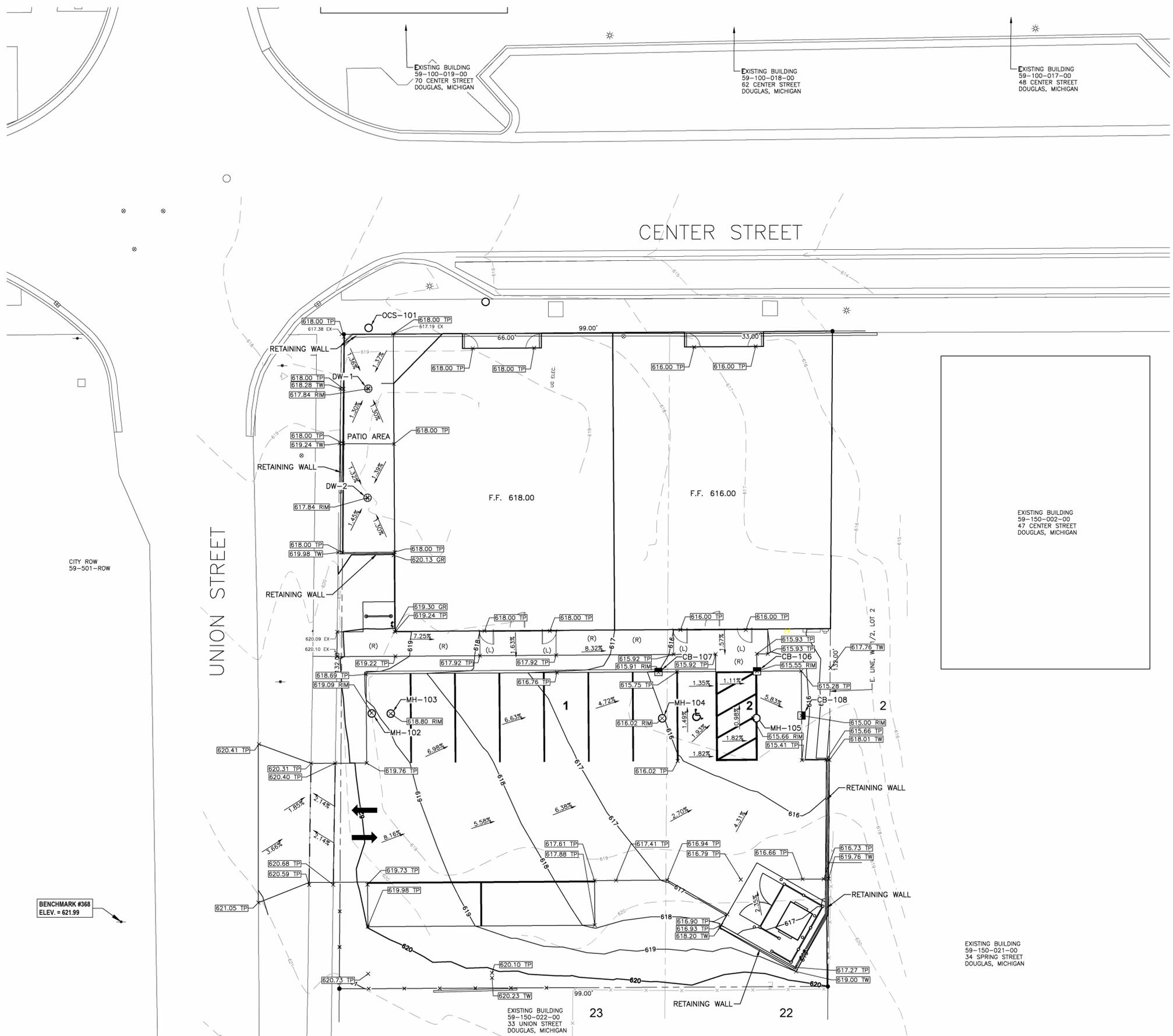
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PROJECT NO.
2501288

SHEET NO.
C101



01/21/2026



GRADING PLAN
 SCALE: 1" = 10'
 NORTH

PLOT INFO: Z:\2025\2501288\CADD\C101_2501288.DWG LAYOUT: C101 DATE: 1/22/2026 TIME: 3:01:14 PM USER: BAMCDOWELL

BENCHMARK #368
 ELEV. = 621.99

REVISIONS		
1/27/2026	R1	REVISION 1
2/2/2026	R2	REVISION 2
2/5/2026	R3	REVISION 3

NOT FOR CONSTRUCTION

DATE	REVISION
1/21/2026	REVISION 1
10/3/2025	PC REVIEW

Drawn By: SNETZ
Designer: BAMCDOWELL
Reviewer: DRRHOTON
Manager: BAMCDOWELL

Hard copy is intended to be 24"x36" when plotted. Scale(s) indicated and graphic quality may not be accurate for any other size.

PROJECT NO.
2501288

SHEET NO.
C201

BENCH MARKS

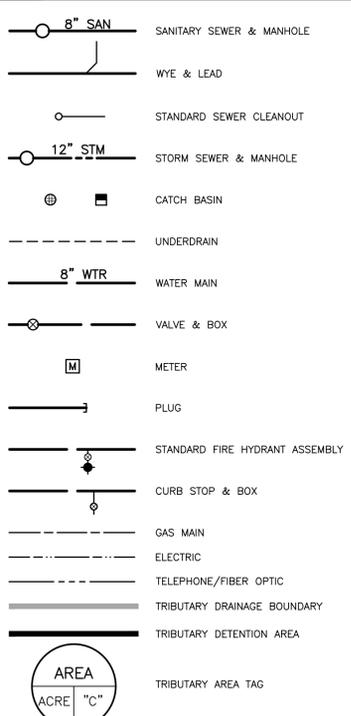
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SURVEY NOTES

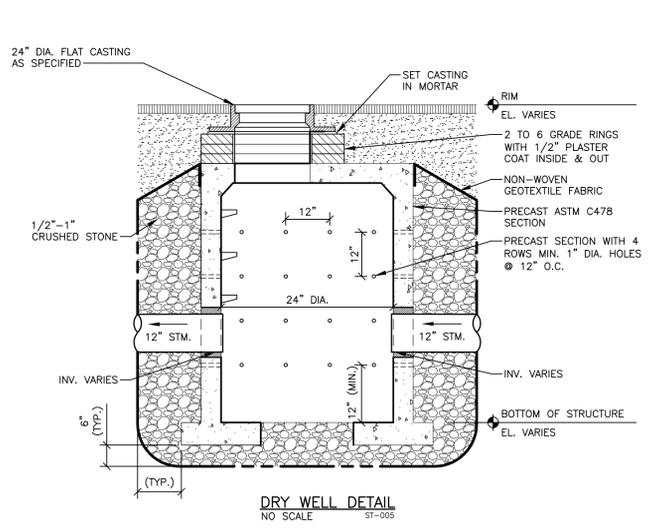
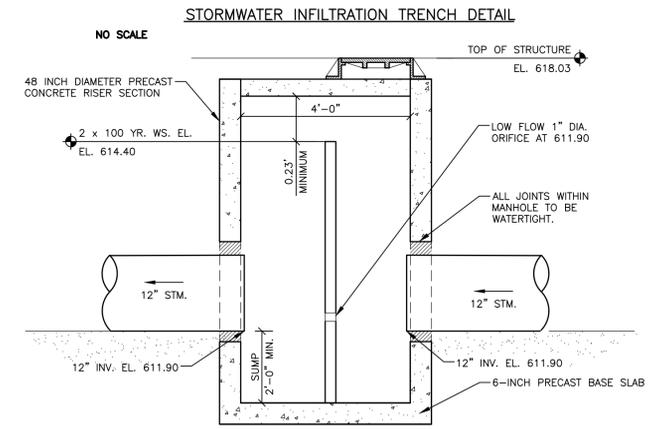
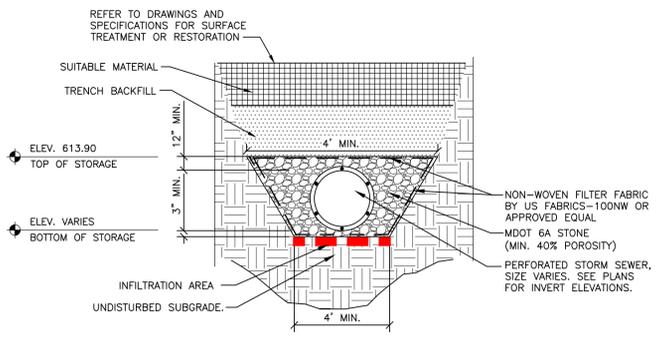
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SYMBOL LEGEND



NOTES

- EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
- PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
- DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
- PROVIDE AND MAINTAIN INLET FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
- WATER MAIN TO HAVE A MINIMUM OF 5.5 FEET OF COVER.
- FIRE HYDRANTS LOCATED IN CURB ISLAND OR GREEN SPACE SHALL BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT (TYP.).
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
- FACE NOZZLES OF SITE FIRE HYDRANTS TOWARD BUILDING.
- ADJUST ALL CASTINGS TO FINISH GRADES.
- PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
- UTILITY ELEVATIONS INDICATED REPRESENT INVERT ELEVATIONS UNLESS OTHERWISE NOTED.



STORMWATER MANAGEMENT SUMMARY

THE DESIGN CRITERIA FOR THE DETENTION SYSTEM IS TO DETAIN AT MINIMUM THE 100-YEAR, 24-HOUR STORM EVENT. THE STORM WATER CONVEYANCE SYSTEM UPON EXITING THE SITE IS TRANSMITTED TO THE EXISTING STORM SEWER, OWNERSHIP BY PROPERTY OWNER ON PARCEL. CITY TO OWN STORM IN ROW.

POST-DEVELOPED CONDITIONS
DRAINAGE AREA: 13,099 SF = 0.37 AC
RUNOFF COEFFICIENT: 0.72
REQUIRED 100-YEAR DETENTION = 4,360 CFT
NO OVERLAND FLOW ROUTE AVAILABLE, DOUBLE DETENTION REQUIRED DETENTION FOR SITE = 8,720 CFT
PROVIDED DETENTION = 9,134 CFT

GEOTECHNICAL NOTES

- SOIL CLASSIFICATION: PRIMARILY LOAMY FINE SAND (27B) AND FINE SAND (72B) PER WEB SOIL SURVEY
- GROUNDWATER ELEVATION: 611.40 @ B-6, OTHERS <600.00

FLOODPLAIN NOTES

- SITE IS NOT LOCATED IN A FLOODPLAIN PER FEMA FLOODPLAIN MAPS.

WETLAND NOTES

- SITE IS NOT LOCATED IN A WETLAND PER EGLE WETLANDS MAPPER.

ENVIRONMENTAL NOTES

- NO KNOWN AREAS OF CONTAMINATION.

DETENTION STORAGE CAPACITY

UNDERGROUND DETENTION SYSTEM
ADS AQUA BOX DIMENSIONS: 29.5"x29.5"x31.5" = 1 UNIT
1 UNIT = 15.86 CFT; 96% VOID RATIO = 15.24 CFT VOLUME
55' X 17.5' GIVES 22 X 7 UNITS
62.5' X 37.5' GIVES 25 X 15 UNITS
15.24 CFT * 529 UNITS = 8,062 CFT

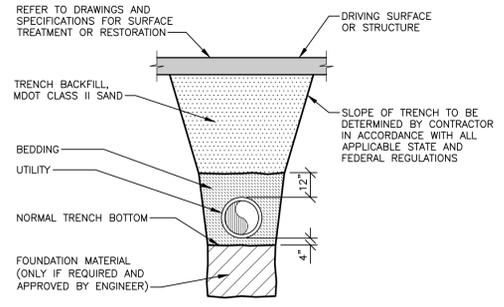
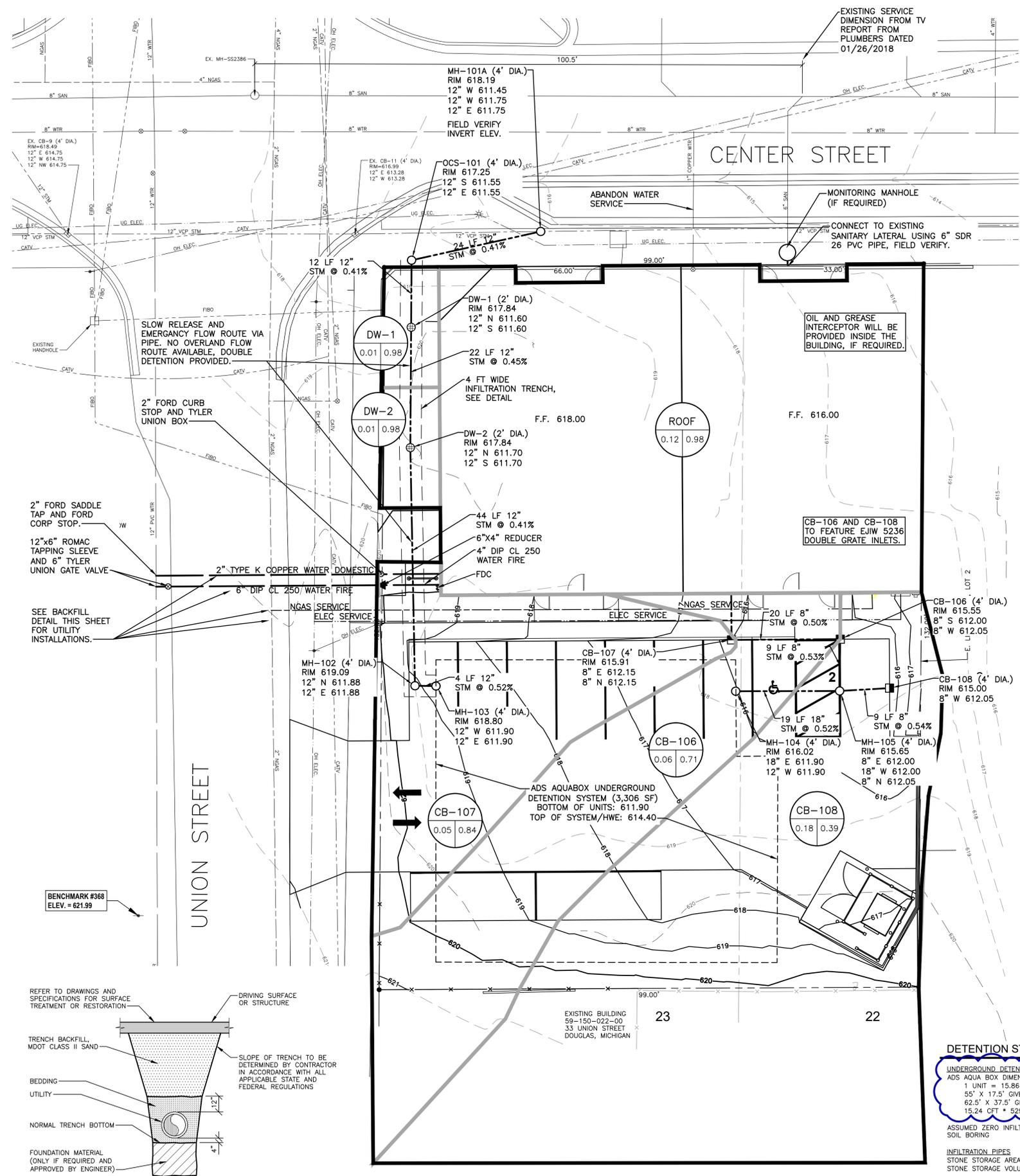
ASSUMED ZERO INFILTRATION FOR DETENTION SYSTEM DUE TO FIELD SOIL BORING

INFILTRATION PIPES
STONE STORAGE AREA = [4'x2' - PI*5'²] *4.0 = 2.886 SF (12'x)
STONE STORAGE VOLUME = 2.886 SF * 70 LF = 136 CFT (12'x)

PIPE STORAGE VOLUME = PI*5'² * 70 LF = 220 CF (12'x)
INFILTRATION FOOTPRINT = 4 LF PER LF OF PIPE
INFILTRATION AREA = L X W = 4 X 70 LF = 560 SF (12'x)

ASSUME 3.6 IN/HR INFILTRATION FOR INFILTRATION PIPES ALONG WEST SIDE OF PROPERTY = 1072 CFT STORAGE WITH INFILTRATION

TOTAL DETENTION PROVIDED = 9,134 CFT





Planting Schedule						
Type	Common Name	Minimum Caliper	Minimum Height	Minimum Spread	Root Type	Count
Small Evergreen Shrubs						
DAS	Dwarf Alberta Spruce	-----	36 inches	----	BB	3
JY	Japanese Yew	-----	24 inches	----	BB	16
Small Deciduous Shrubs						
DMQ	Dwarf Japanese Quince	-----	24 inches	----	BB	11
DWE	Dwarf Winged Euonymus	-----	24 inches	----	BB	12
Perennials						
HO	Hosta	-----	-----	15 inches	BB	12
Large Evergreen Shrubs						
HY	Hicks Yew	-----	24 inches	----	BB	12
Large Deciduous Trees						
PO	Pin Oak	2-1/2 inches	-----	----	BB	4
SM	Sugar Maple	2-1/2 inches	-----	----	BB	5

LANDSCAPE GENERAL NOTES

- ALL LANDSCAPE AREAS, ESPECIALLY PARKING LOT ISLANDS AND SHRUB BEDS NEXT TO BUILDING, SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOIL TO A DEPTH OF 12"-18" AND BACK FILLED W/ A GOOD MEDIUM TEXTURED SOIL (LOAM OR LIGHT YELLOW CLAY). ALL LANDSCAPE AREAS TO HAVE 4"-6" OF TOP SOIL AND ARE TO BE CROWNED A MINIMUM OF 6" HIGHER THAN ADJACENT CURBS OR WALKS AFTER EARTH SETTLING.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES APART:
 - SHADE TREES: 20' O.C.
 - SHRUBS LESS THAN 1'-0" HT & WIDTH AT MATURITY: 5' O.C.
 - ORNAMENTAL & EVERGREEN TREES (CRAB, PINE, SPRUCE): 10' O.C.
- DIG SHRUB PITS 1'-0" LARGER THAN THE SHRUB ROOT BALLS. TREE PITS 2'-0" LARGER THAN ROOT BALLS. BACK FILL W/1 PART TOPSOIL - 1 PART SOIL FROM EXCAVATED PLANT HOLE.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM TOP OF ALL SHRUB EARTH BALLS AND TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2'-0" WIDE BY 3" DEEP MINIMUM SHREDDED BARK RING OR APPROVED ALTERNATE DESIGN FOR TRUNK PROTECTION.
- ALL LANDSCAPE AREAS TO BE MULCHED WITH 3" OF SHREDDED WOOD MULCH ON CONTINUOUS WEED-CONTROL BARRIER WITH PLASTIC EDGING AROUND PERIMETER.
- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- ALL TREES TO STAKED, WRAPPED, AND MULCHED ACCORDING TO THE CITY STANDARDS.
- ALL ERICACIOUS PLANT MATERIAL AND OTHER ACID LOVING PLANTS SHALL BE PLANTED IN PLANTING MIX OF 1 PART TOPSOIL - 1 PART PEAT.
- ALL LAWN AREAS TO BE FINE GRADED AND TOP DRESSED WITH 3" OF TOPSOIL BEFORE SODDING.
- ALL QUANTITIES ON PLANS HAVE BEEN FIGURED AS CLOSELY AS POSSIBLE. IT REMAINS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COMPLETE THE PROJECT AS INDICATED ON THE DRAWINGS.
- ALL GROUND COVER BEDS SHALL RECEIVE 3" OF PLANT MIX (1/3 TOPSOIL, 1/3 SAND, 1/3 PEAT) ROTOTILLED INTO THE UPPER 6" OF SOIL, MULCH WITH 2" OF MICHIGAN PEAT MULCH.
- ALL NEW PLANT BEDS AND LAWN AREAS TO BE IRRIGATED UNLESS INDICATED OTHERWISE. EXISTING PLANT BEDS AND LAWN AREAS TO BE IRRIGATED IF INDICATED. CONTRACTOR TO PROVIDE A DESIGN/BUILD IN-GROUND AUTOMATIC IRRIGATION SYSTEM.
- IF EXISTING TREES ARE LABELED "EXISTING TREE TO REMAIN" SHALL PROVIDE AND MAINTAIN PROTECTIVE FENCING OR BARRIERS AT THE DRIP LINE OF ALL EXISTING PLANT MATERIAL LABELED "TO REMAIN" ON THE APPROVED SITE PLAN. NO CONSTRUCTION EQUIPMENT OR MATERIALS SHALL BE STORED WITHIN THESE PROTECTED AREAS. ALTERNATIVE PROTECTIVE MEASURES MAY BE USED ONLY UPON APPROVAL BY THE CITY.

CITY LANDSCAPE REQUIREMENTS
CITY OF DOUGLAS ZONING ORDINANCE

SECTION 19.05 SITE DEVELOPMENT REQUIREMENTS

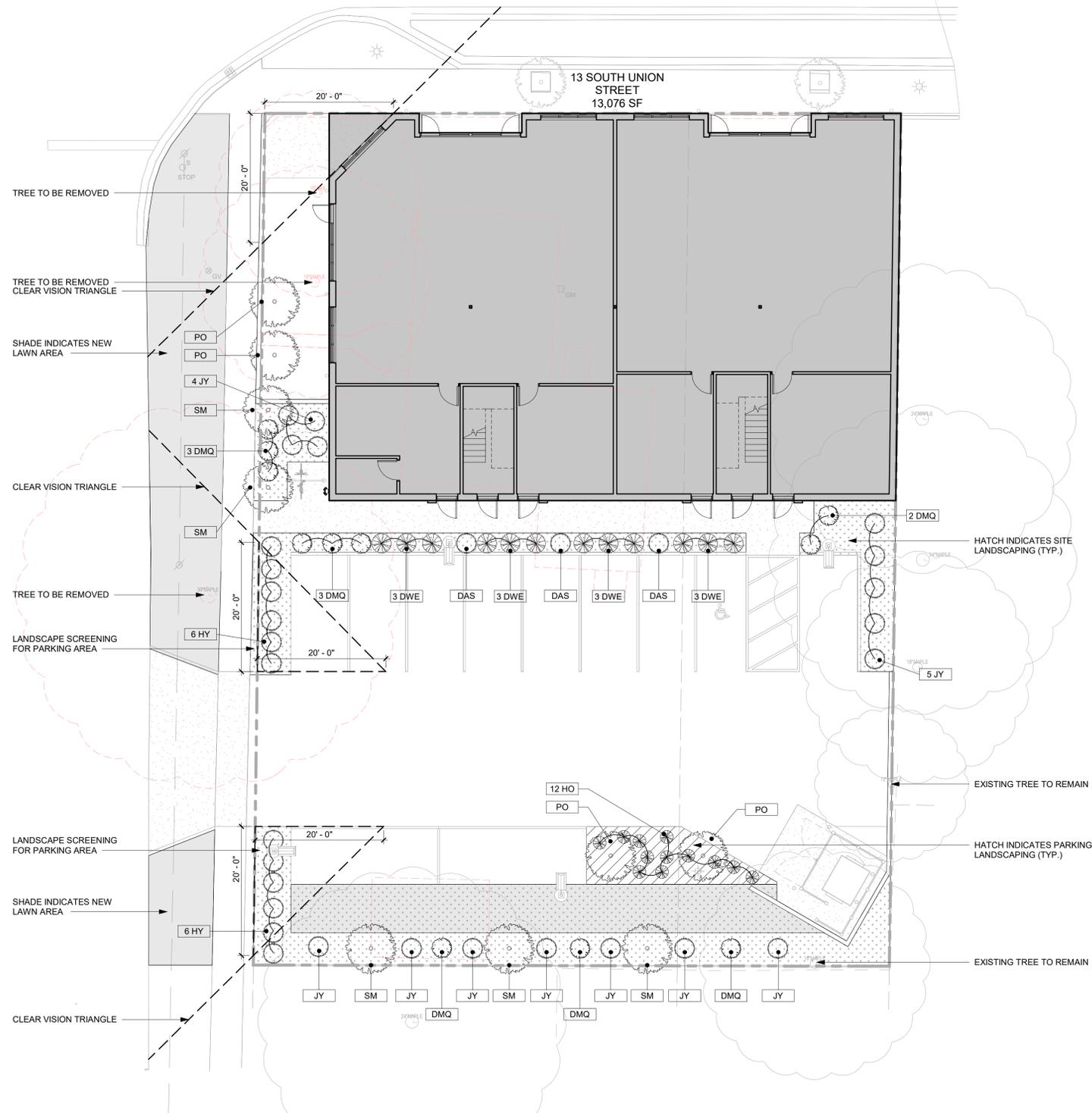
- SCREENING: 1 TREE PER 20 FEET OF PARKING AREA
99 FEET OF PARKING / 20 = 4 TREES
- 5 FOOT LANDSCAPE STRIP WITH EVERGREEN HEDGE PLANTINGS AND STREET TREES.

SECTION 21.01 LANDSCAPING, FENCING, WALLS, AND SCREENING

- PARKING LOT LANDSCAPING:
 - 1 TREE FOR EVERY 8 PARKING SPACES WITH 50 SQUARE FEET OF LANDSCAPED SPACE
 - 51% OF LANDSCAPED AREAS SHALL BE DEEP-ROOTED PERENNIALS AS OPPOSE TO SOD.
 - PROVIDE CLEARLY MARKED PEDESTRIAN AISLEWAY FROM PARKING.

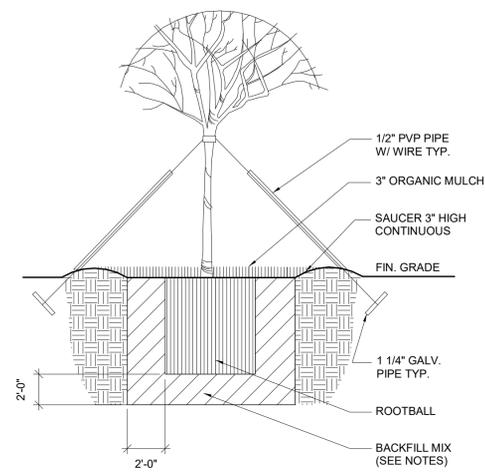
11 SPACES/8 = 1.375 x 8 = 1 TREES
11 SPACES/8 = 1.375 x 50 = 69 SF SPACE
0.51 x 69 = 35 SF PERENNIALS
- SITE LANDSCAPING:
 - 10% OF SITE AREA SHALL BE LANDSCAPED.
13,076 x 10% = 1,307.6 SF REQ'D. (15% ACTUAL)
 - LANDSCAPING ALONG PUBLIC RIGHT OF WAY SHALL INCLUDE 1 TREE EVERY 30 FEET.
CENTER STREET 99' / 30 = 3.3 = 3 TREES
UNION STREET 132' / 30 = 4.4 = 4 TREES

Landscaping Area	
Type	Area
Parking Lot Landscaping	203 SF
Site Landscaping	1,924 SF
Total:	2,127 SF

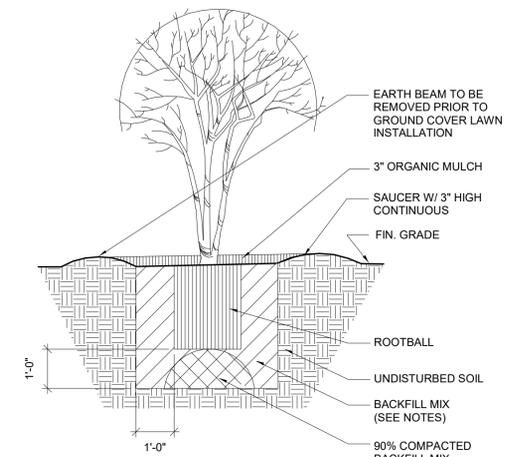


1 LANDSCAPE PLAN
L-1 SCALE: 1" = 10'-0"

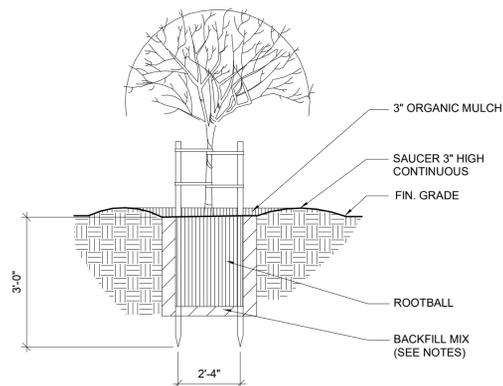
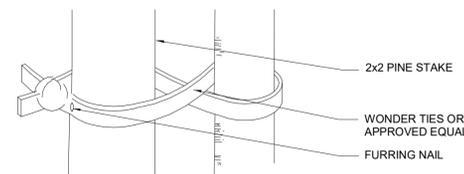




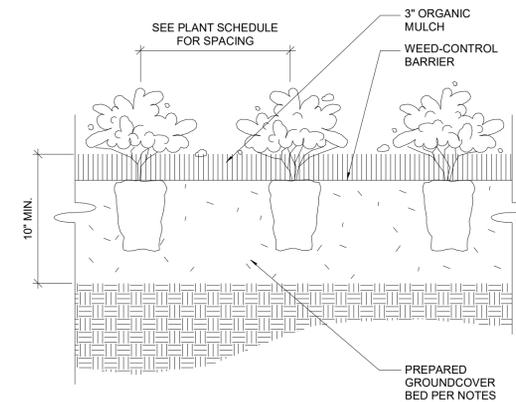
TREES - STAKING



SHRUBS

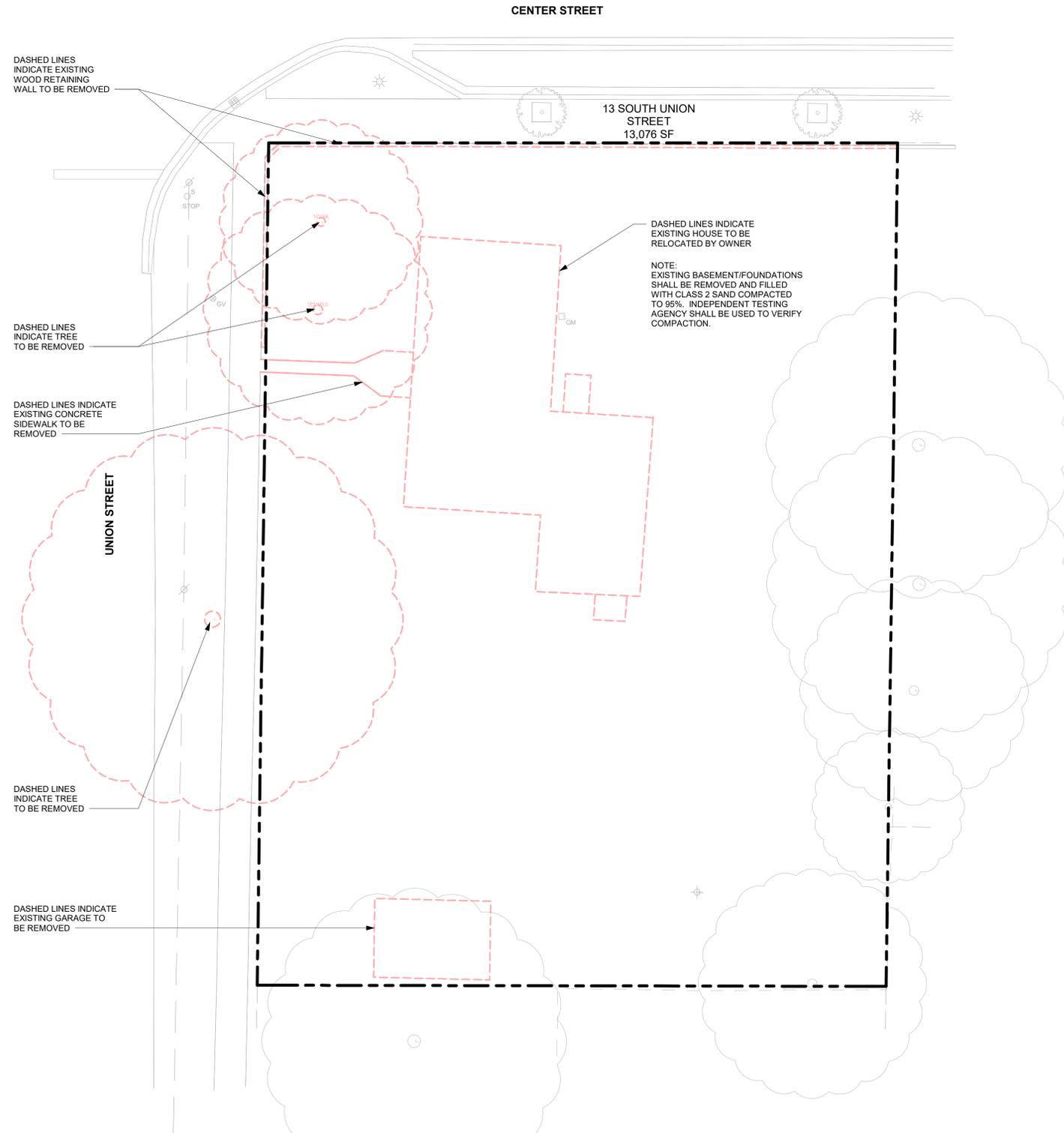


TREES - GUYING



GROUND COVER PLANTING

1
L-2 **PLANTING DETAILS**
SCALE: 1/2" = 1'-0"



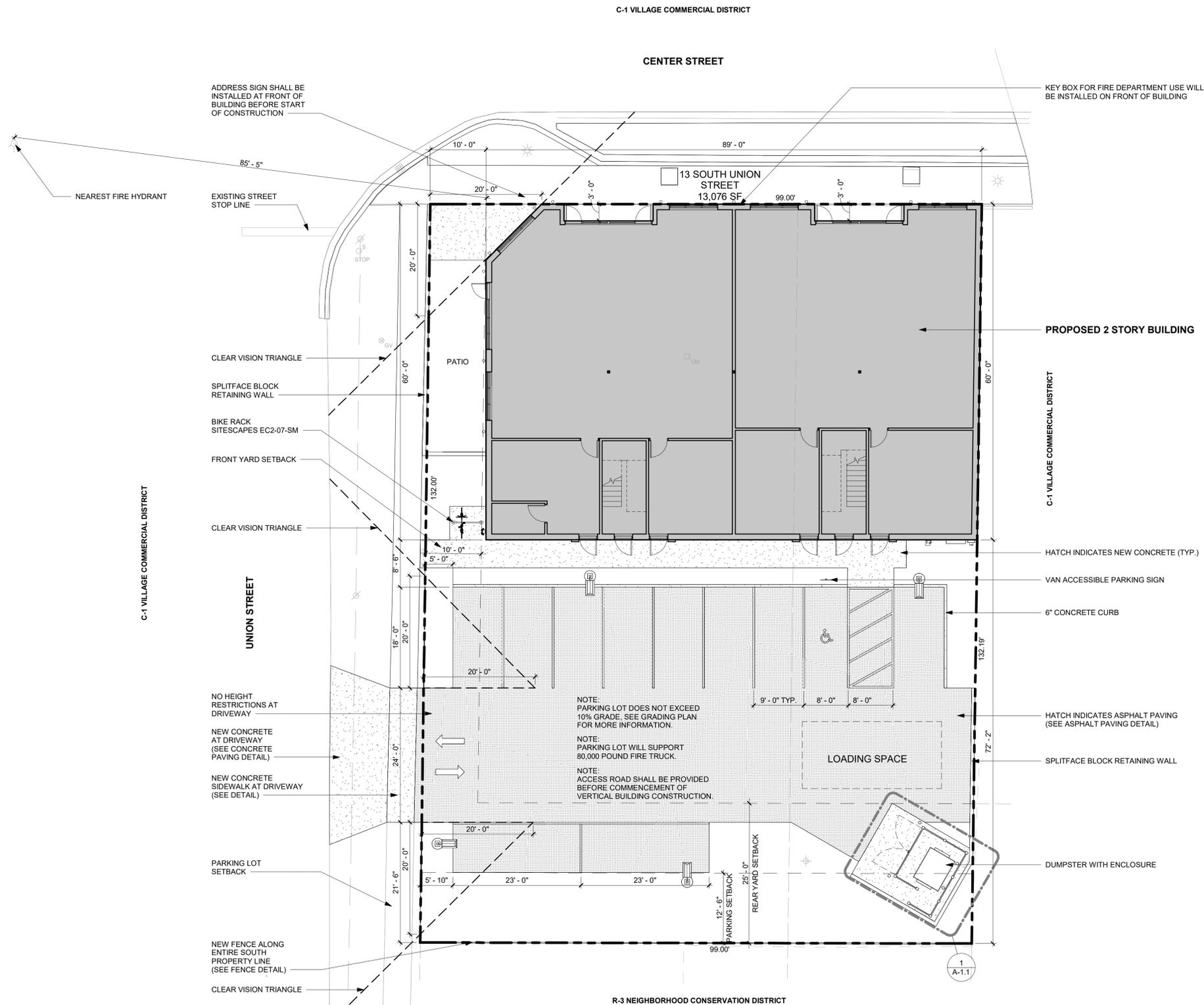
1 SITE DEMOTION PLAN
D-1 SCALE: 1" = 10'-0"





ISSUED:

07-15-25	Client Review
07-22-25	City Preliminary Review
09-04-25	Client Review
10-03-25	PC Review
10-31-25	Revision
11-05-25	Revision
01-08-26	Revision
01-20-26	Client Review
01-22-26	Revision



CITY ORDINANCE REVIEW

CITY OF DOUGLAS ZONING ORDINANCE

FLOOR AREA RATIO: 9,417/13,076 = 72%

PROJECT COMPLETION DATE: CONSTRUCTION IS ESTIMATED TO BE COMPLETED WITHIN ONE YEAR OF PLANNING COMMISSION APPROVAL.

ARTICLE 10: C-1 VILLAGE CENTER DISTRICT SECTION 10.02 - DISTRICT SUMMARY

A. PERMITTED USES

RESIDENTIAL ABOVE RETAIL OR OFFICE
 RETAIL BUSINESS OR RETAIL SALES

C. SITE AND BUILDING PLACEMENT STANDARDS

- MINIMUM LOT AREA: 4,000 SF (13,076 ACTUAL)
- MINIMUM LOT FRONTAGE: 20 FT (99 FT CENTER STREET) (132 FT UNION STREET)
- MAXIMUM LOT COVERAGE: 80% (40% ACTUAL)
- MINIMUM SETBACKS:
 - FRONT: 0 FT (0 FT ACTUAL)
 - EAST SIDE: 5 FT OR ON LOT LINE (0 FT ACTUAL)
 - WEST SIDE: 10 FT CORNER LOT (10 FT ACTUAL)
 - REAR: 25 FT ABUTS RESIDENTIAL (72 FT ACTUAL)

D. BUILDING FORM STANDARDS

- MAXIMUM PRINCIPAL BUILDING HEIGHT: 28 FT (28 FT ACTUAL)
- MAXIMUM NUMBER OF STORIES: 2 STORIES (2 ACTUAL)
- ROOF PITCH: FLAT WITH PARAPET OR 6:12 TO 12:12 (FLAT WITH PARAPET)
- MINIMUM TRANSPARENCY:
 - GROUND FLOOR: 60% (100% ACTUAL)
 - UPPER STORIES: 30% (100% ACTUAL)
- FIRST FLOOR USE: NON-RESIDENTIAL
- RESIDENTIAL ACCESS: SEPARATE FROM COMMERCIAL ENTRY
- RECESS ENTRY: 3 FEET TO 5 FEET (3 FT ACTUAL)

BUILDING MATERIALS PROVIDED

- STRUCTURAL COMPONENTS: STEEL, MASONRY, WOOD
- BUILDING FACADES: BRICK, STONE, FIBER CEMENT SIDING

SECTION 10.03 - PERFORMANCE STANDARDS

(D) SCREENING AT LEAST 6 FEET IN HEIGHT SHALL BE PROVIDED TO PREVENT HEADLIGHT GLARE FROM SHINING ONTO ADJACENT RESIDENTIAL PROPERTY.

SECTION 10.04 - OFF STREET PARKING AND LOADING

(B) C-1 DISTRICT PARKING REQUIREMENTS
 (1) SHALL BE 50% OF PARKING REQUIRED BY SECTION 19.03.

ARTICLE 19: OFF STREET PARKING AND LOADING SECTION 19.03 PARKING SPACE REQUIREMENTS

- (2) MULTIPLE DWELLINGS: 2 SPACES FOR EACH DWELLING UNIT AND 1 SPACE FOR EACH 3 DWELLING UNITS FOR GUEST PARKING. 1 PARKING SPACE FOR DWELLING UNITS LESS THAN 900 SF.
- 3 DWELLING UNITS x 2 SPACES = 6 SPACES
- 1 GUEST SPACE PER 3 DWELLING UNITS = 1 SPACE
- TOTAL SPACES REQUIRED = 7 SPACES
- (38) RETAIL STORES: 1 SPACE FOR EVERY 300 SQUARE FEET OF USABLE FLOOR AREA.

USABLE FLOOR AREA = 3,347 SF / 300 = 11

TOTAL PARKING SPACES REQ'D: 7 + 11 x 50% = 9

SECTION 19.06 LOADING AND UNLOADING SPACE REQUIREMENTS

(3) SPACE REQUIREMENTS: 12x25' LOADING SPACE.

Parking Schedule

Type	Count
8' x 18' Van Accessible	1
9' x 18' - 90 deg	8
9' x 23' Parallel	2
Total Provided:	11

1 SITE PLAN
 SCALE: 1" = 10'-0"

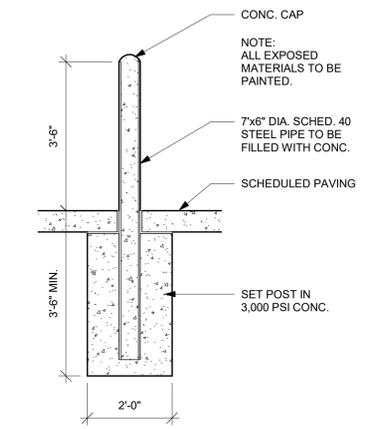




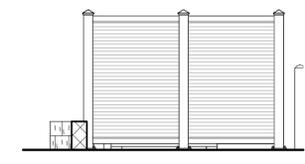
ISSUED:

10-03-25	PC Review
10-31-25	Revision
11-05-25	Revision
01-22-26	Revision
01-27-26	Revision

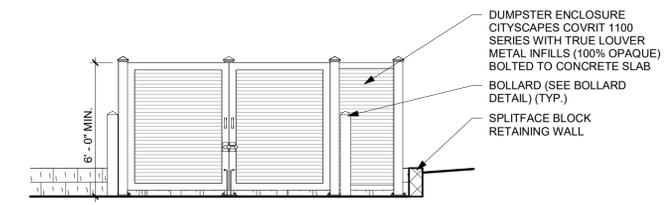
These drawings have been specifically prepared for AMK Properties for use at 13 South Union Street Douglas, MI 49406. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.



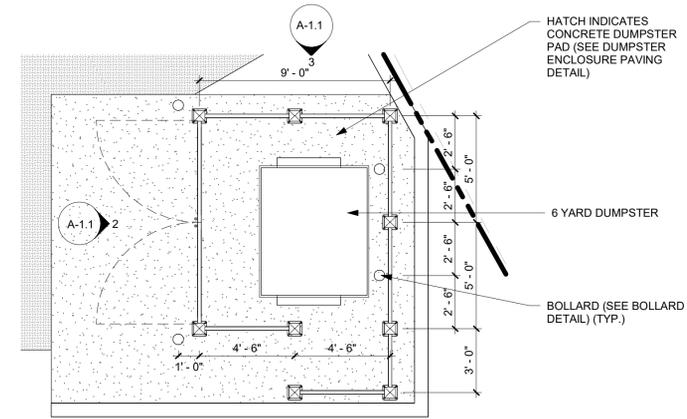
4 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



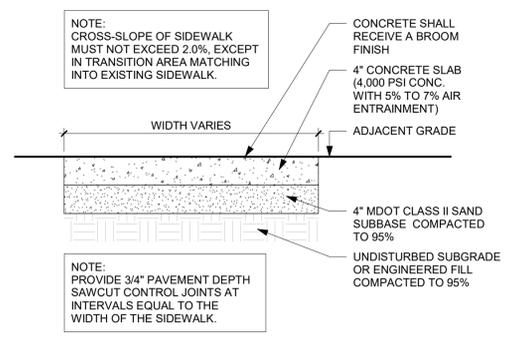
3 DUMPSTER ENCLOSURE - SIDE
SCALE: 1/4" = 1'-0"



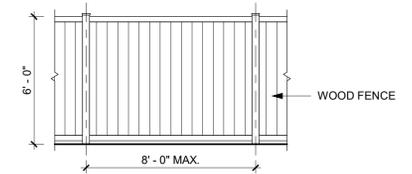
2 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



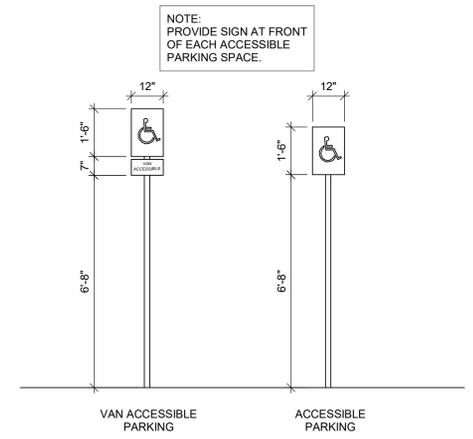
1 ENLARGED DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



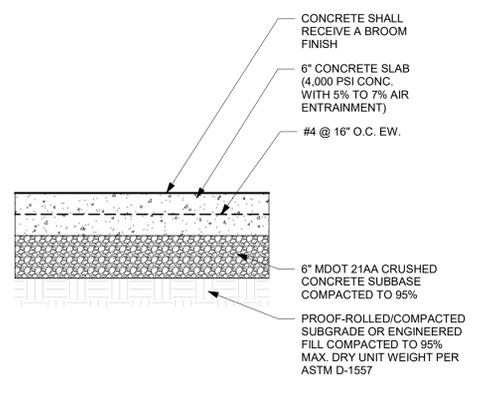
9 CONCRETE SIDEWALK DETAIL
SCALE: 1" = 1'-0"



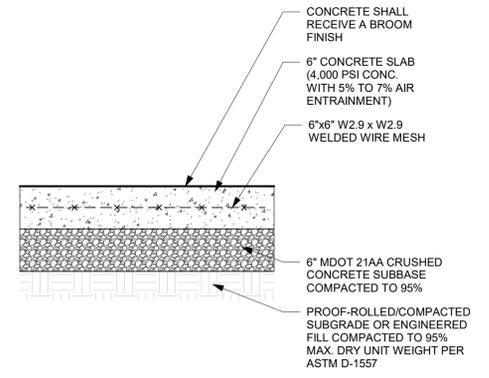
6 FENCE DETAIL
SCALE: 1/4" = 1'-0"



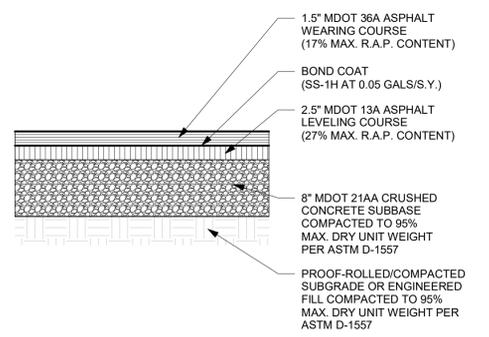
5 ACCESSIBLE PARKING SIGNAGE
SCALE: 3/8" = 1'-0"



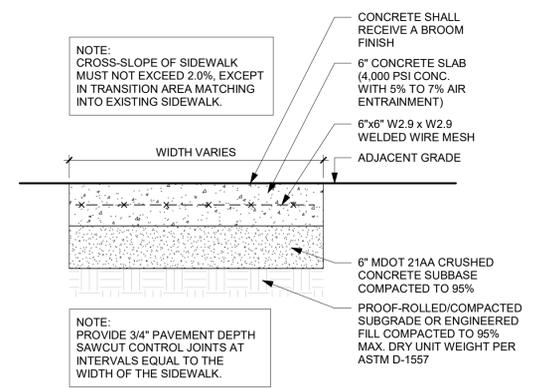
8 DUMPSTER ENCLOSURE PAVING DETAIL
SCALE: 1" = 1'-0"



11 CONCRETE PAVING DETAIL
SCALE: 1" = 1'-0"



7 ASPHALT PAVING DETAIL
SCALE: 1" = 1'-0"



10 CONCRETE SIDEWALK DETAIL AT DRIVEWAY
SCALE: 1" = 1'-0"





PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED:
09-04-25 Client Review
09-12-25 Revision
10-03-25 PC Review
11-05-25 Revision
01-20-26 Client Review
01-22-26 Revision

PROJECT NO:
2025.12

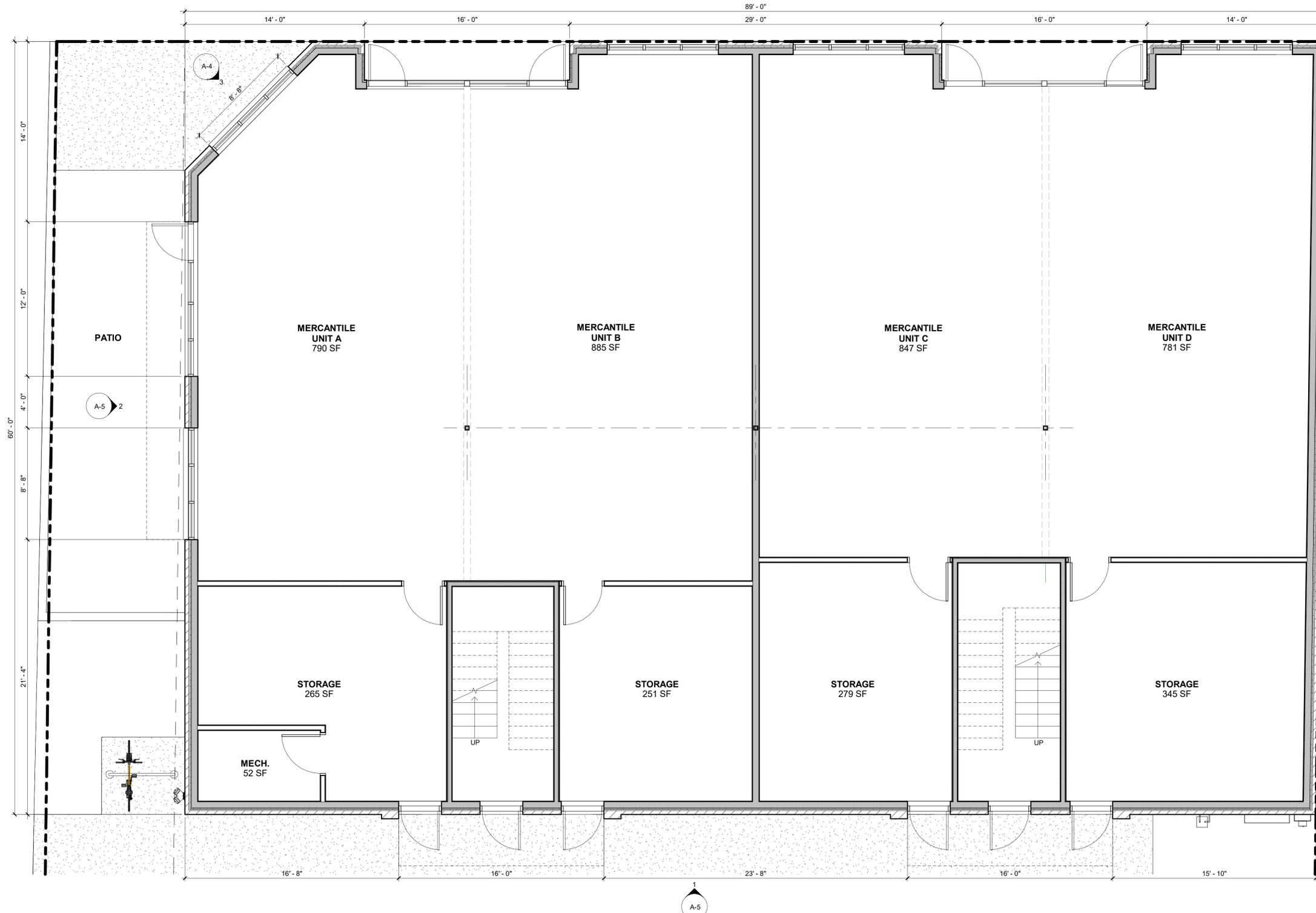
DRAWN BY:
DWB

These drawings have been specifically prepared for AMK Properties for use at 13 South Union Street Douglas, MI 49406. These drawings shall not be used at other locations without the consent and participation of Daniel Boggs Architect.

SHEET TITLE:
First Floor Plan

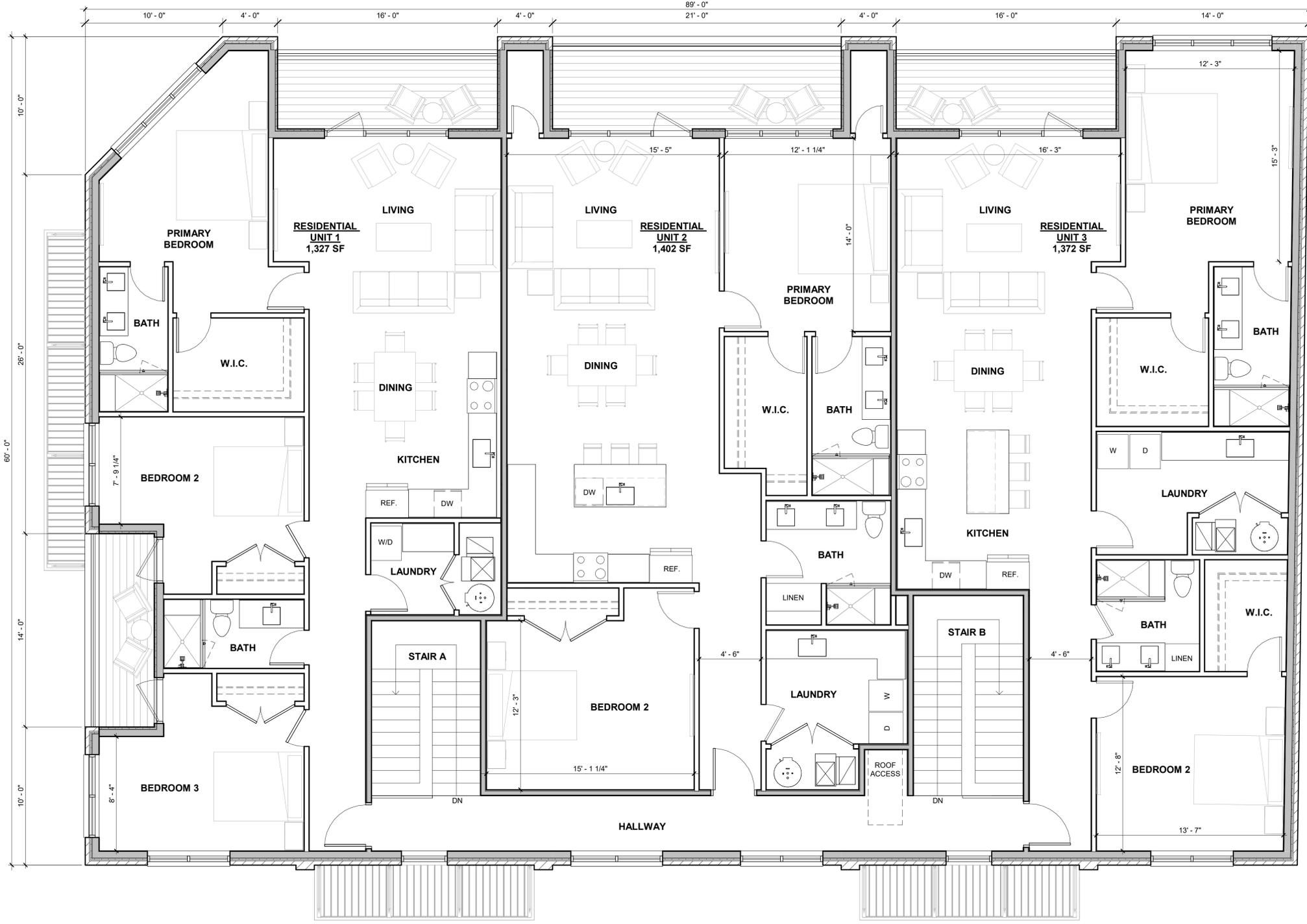
SHEET NO:

A-2



1 FIRST FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"



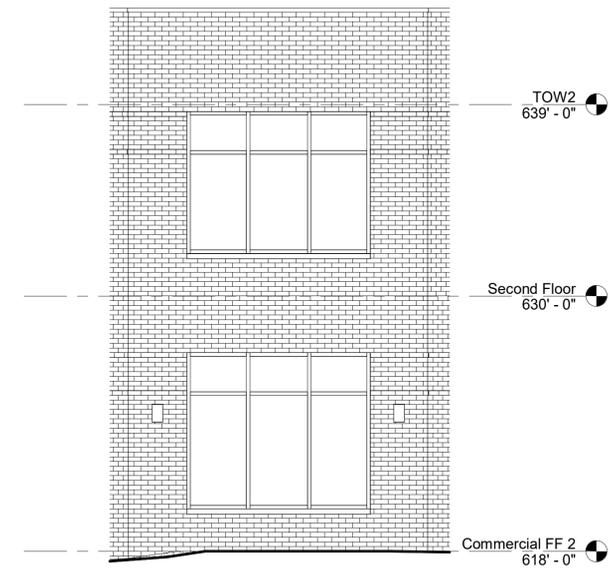


1 SECOND FLOOR PLAN
A-3 SCALE: 1/4" = 1'-0"





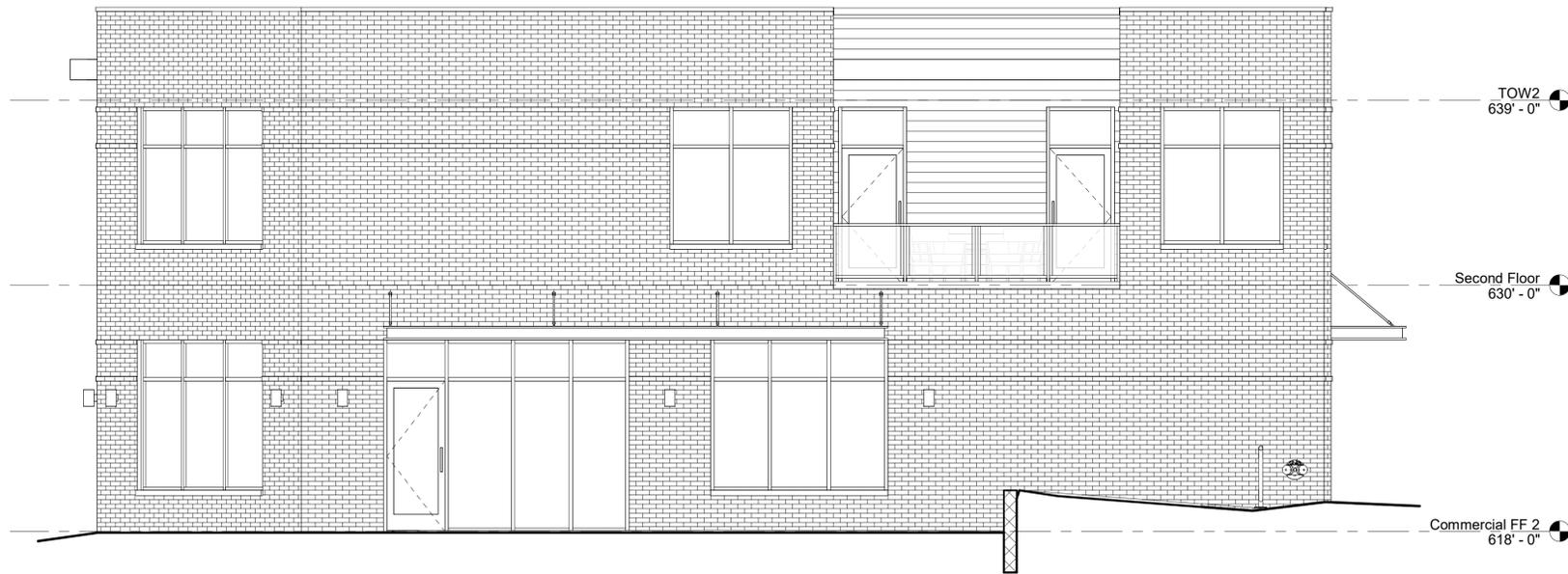
1 EAST ELEVATION
A-4 SCALE: 1/4" = 1'-0"



3 NORTHWEST ELEVATION
A-4 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A-4 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A-5 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
A-5 SCALE: 1/4" = 1'-0"

D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.44 Ft² (0.04m²)

Length: 26.18" (665mm)

Width: 14.06" (357mm)

Height H1: 2.26" (57mm)

Height H2: 7.46" (190mm)

Weight: 23 lbs (10.4kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
DSX0 LED	Forward optics (this section 70CRI only)	30K 3000K	70CRI	AFL Automotive front	MVOLT (120V-277V)	SPA Square pole mounting (6" drilling, 1/2" min. 5/2 pole)
	Rotated optics (this section 80CRI only, extended lead times apply)	27K 2700K	80CRI	T1S Type I short	MVOLT (147V-480V)	RPA Round pole mounting (6" drilling, 3/4" min. 8/0 pole)
		30K 3000K	80CRI	T3M Type III medium	120V-480V	SPAS Square pole mounting (6" drilling, 3/4" min. 8/0 pole)
		35K 3500K	80CRI	T4LG Type IV low glare	120V-480V	RPAS Round pole mounting (6" drilling, 3/4" min. 8/0 pole)
		40K 4000K	80CRI	T4LS Type IV low glare	120V-480V	SPASN Square narrow pole mounting (6" drilling, 3/4" min. 5/2 pole)
		50K 5000K	80CRI	T3TM Type III medium	120V-480V	WBA Wall bracket

Control options	Other options	Finish
SHIPPED INSTALLED	PER7 Seven-pin receptacle only (controls ordered separately)	DDBK Dark Bronze
NEMAZ PIRHN	FAO Field adjustable output 1-10	BLK Black
PIR	BL30 Bi-level switched dimming, 30%+/-	NAL Natural Aluminum
PER	BL50 Bi-level switched dimming, 50%+/-	DMWZ White
PER5	DMG 0-10v dimming wire pulled outside fixture for use with an external control, ordered separately	DRBK Textured dark bronze
	DF Double face (200, 240, 480V)	DNATD Textured natural aluminum
	ESCR External Glare Shield (inverted, field install required, matches housing finish)	DNWZD Textured white

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-5678 • www.lithonia.com

DSX0 LED Rev. 11/15/24 Page 1 of 9

6" ROUND DIRECT / INDIRECT WET LOCATION GAMMA SERIES



SERIES	LUMENS ¹	CCT	OPTICS ²	DRIVER / DIMMING ³	LENS ⁴	MOUNTING ⁵	FINISH ⁶
CW06XUDPC 6" x 6"	10L 1400 Lm	80 CRI	UPLIGHT	EK Electronic Driver, 120V/277V	CL Clear Lens	WM Wall Mount	MWP Matte White
	25L 2900 Lm	27K 2700K	ND 54°	DDMX 1% 0-10V, 120V/277V	SO Micro Prism	EMEN 7W Remote EM with Enclosure	MFB Matte Black
	30L 4150 Lm	30K 3000K	MD 52°	DDMX ELUMINEX, 120V	Substr+Lens		PFT Polished Silver
	40L 5550 Lm	35K 3500K	WD 52°				CC Custom Color
		40K 4000K	XW 75°				

EXAMPLE: CW06XUDPC10L35KMDXCL/WM/MW

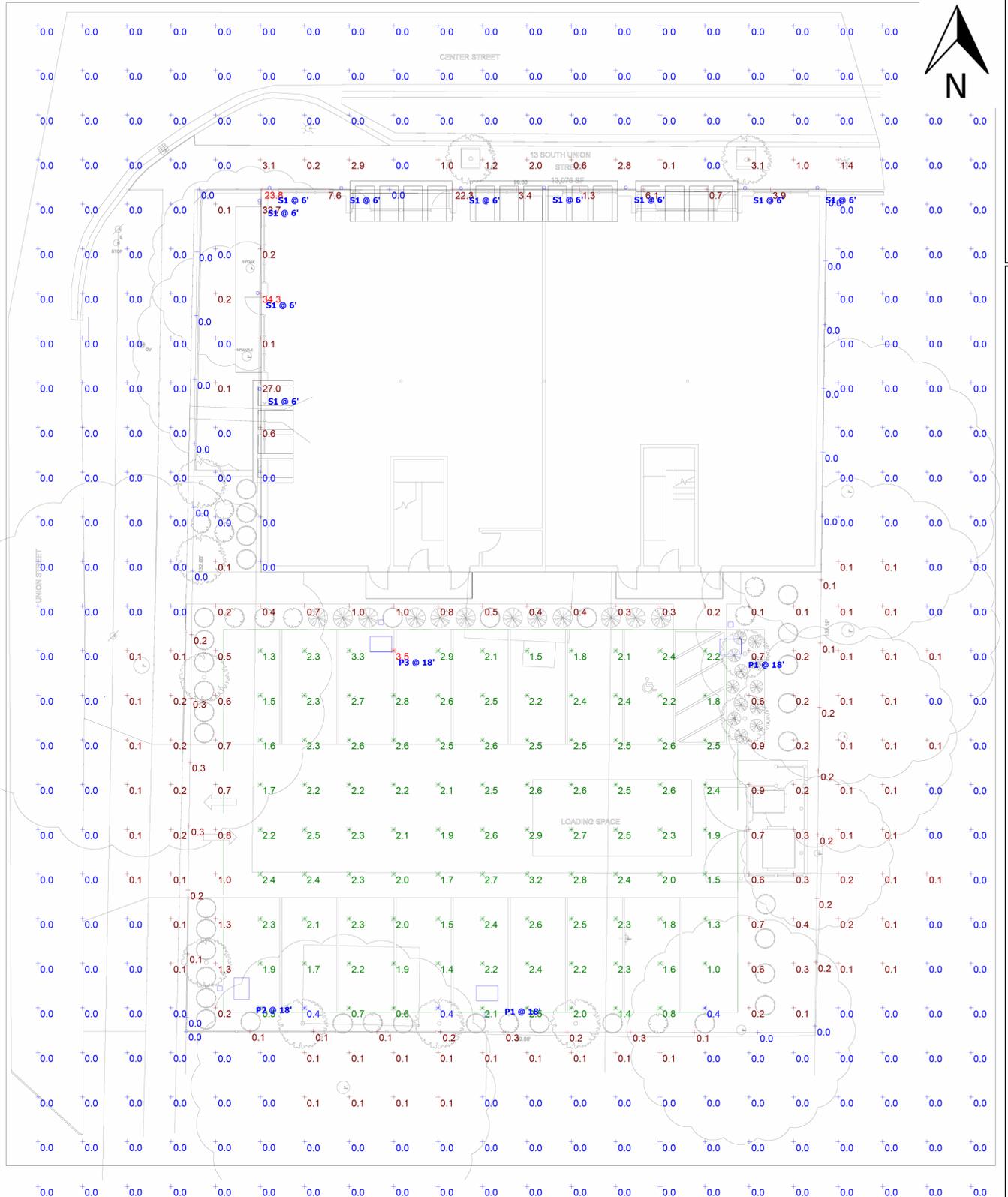
NOTES:
 1. Normal Full-cutoff Light Output Luminaire at 3000K. 2. Light & Downlight Use The Same Luminaire. 3. See EEP File for Details. 4. Consult Factory for Additional Options.
 5. Mounting & Enclosure Use The Same Lens. 6. See Mounting Page for Details on Components and Finishes. 7. Reference Color Chart Located on Product Packaging for Full List of Available Colors. 8. Standard Finishes.

SPECTRUM LIGHTING • 994 JEFFERSON ST. FALL RIVER, MA 02721 • 508.678.2303

ILLUMINATING WHAT'S POSSIBLE.

Plan View

Scale - 1" = 10ft



LIGHTING GENERAL NOTES

- ALL EXTERIOR LIGHTS SHALL BE CONTROLLED BY A TIMER, SO THEY ARE AUTOMATICALLY TURNED OFF AFTER USE CLOSES, OR THE LAST EMPLOYEE LEAVES, OR WHERE A SECURITY CONCERN REQUIRES A LONGER LIGHTING PERIOD. PHOTOMETRIC SENSOR SHALL ALSO BE USED TO PREVENT LIGHTS FROM TURNING ON DURING DAYLIGHT PERIODS.

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2019. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	P1	2	Lithonia Lighting	DSX0 LED P1 40K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	3199	0.9	33.21
	P2	1	Lithonia Lighting	DSX0 LED P1 40K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	3199	0.9	33.21
	P3	1	Lithonia Lighting	DSX0 LED P1 40K 80CRI T4LG EGS	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Low G Rating External Glare Shield	3836	0.9	33.21
	S1	10	Spectrum Lighting	CW06XXUDPC 10L 35K ND MD XX CL WM XX	Nom 6" diam Gamma Cylinder (wet location), clear glass lens	1413	0.45	6.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall/Grade	+	0.7 fc	34.3 fc	0.0 fc	N/A	N/A
Parking & Drive Lanes	X	2.1 fc	3.5 fc	0.4 fc	8.8:1	5.3:1
Property Line	+	1.6 fc	23.8 fc	0.0 fc	N/A	N/A



DOUGLAS BUILDING (13 S. UNION ST.)
 EXTERIOR PHOTOMETRIC PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 BK
 Date
 10/01/2025
 REV 01/27/26
 Scale
 Not to Scale
 Drawing No.
 PH-1