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## MEMORANDUM

**To:** Mr. Rich LaBombard, Douglas City Manager  
**Date:** February 3, 2023  
**From:** Tricia Anderson, AICP  
**RE:** **Forest Gate Duplex Condominium Project**

A revised plan was submitted for review, dated 1/26/2023, intended to be reviewed by the Planning Commission on 2/9/2023. As you may know, the applicant has modified the plan significantly to propose two-unit attached condominiums, as opposed to the initial proposed 5-unit multifamily townhome buildings, due to several of the multifamily design guidelines that were unable to be met by the applicant.

My initial suggestion to the applicant, when this significant change was proposed, was that the plan should be brought back to the Site Plan Review Committee for review by all City departments (fire, police, engineering, DPW and planning/zoning) prior to being placed on the Planning Commission agenda. In an effort to help move the project along, I opted to forego the SPRC meeting and simply allow the applicant to resubmit. I reviewed the first rendition of the duplex plan dated 12/28/2022 and pointed out areas that must be addressed.

This memorandum is intended to provide comments on the revised submittal dated 1/26/2023 and to identify areas where additional information is required or where compliance with applicable ordinances is needed, along with my final thoughts. The following ordinance sections were applied in our review of the revised submittal:

1. Article 8, R-5, Multiple Family District
2. Article 16, General Provisions
3. Article 18, Access Control and Private Roads
4. Article 19, Offstreet Parking and Loading
5. Article 21, Landscaping, Buffering and Fencing
6. Article 24, Site Plan Review

Standard	Met/Not Met	Comments
8.03.D. <i>The distance between residential buildings shall be a minimum of thirty (30) feet unless waived by the Planning Commission as part of a Planned Unit Development approval</i>	Not met.	Plan provides dimensions between some buildings but not all.
16.24(4)(b)(i) <i>The information required for site plan review by Article 24 of this Ordinance</i>	Not met.	See Article 24 standards below.
16.24(4)(b)(ii) <i>Layout and dimensions of each condominium building, and the building envelope for such building. The condominium project plan for all types of condominium developments, whether containing detached or attached units, shall depict a building envelope around each building so as to demonstrate compliance with the minimum lot area requirement, the minimum lot width requirement, and the minimum building setback requirement of the zone district in which the building is located, and where</i>	Met	

<i>applicable, the building placement and separation requirements of the zone district in which the building is located;</i>		
<i>16.24(4)(b)(iii) Written approval of the proposed design and location of the entrance to the condominium development from the Allegan County Road Commission as applicable</i>	Not applicable	
<i>16.24(4)(b)(iv) The use and occupancy restrictions and maintenance provisions for all general and limited common elements that will be included in the master deed including a copy of the draft master deed and by-laws</i>	Not met.	The applicant has not submitted a revised master deed for our review that would reflect the new style of development.
<i>16.24(4)(b)(v) A storm drainage and a storm water management plan, including all lines, swales, drains, basins, and other facilities and easements granted to the appropriate municipality for installation, repair, and maintenance of all drainage facilities.</i>	Not met.	Proposed easements do not identify who they are granted to, nor has a draft master deed been reviewed for any maintenance agreement language.
<i>16.24(4)(b)(vi) A utility plan showing all water and sewer lines and easements to be granted to the appropriate municipality or public utility for installation, repair and maintenance of all utilities</i>	Not met.	No private lines shown. No easements shown.
<i>16.24(4)(b)(vii) A narrative describing the overall objectives of the proposed condominium project.</i>	Not met.	A written narrative or project description has not been provided.
<i>16.24(4)(b)(viii) A narrative describing the proposed method of providing potable water supply, and sanitary sewage disposal facilities and other utilities</i>	Met	Shown in <i>General Notes</i> on Sheet C-101.
<i>16.24(4)(b)(ix) Private streets, if any, within the proposed condominium project.</i>	Not applicable	
<i>16.24(7)(a) The plan shall satisfy the standards and requirements for site plan approval in Article 24 of this Ordinance, except that if the condominium project is proposed as a Planned Unit Development, subparagraph (b) shall apply, rather than this subparagraph (a)</i>	Not met	See Article 24 standards below
<i>16.24(7)(b) If the condominium project is proposed as a Planned Unit Development, the plan shall satisfy the standards and requirements for approval in Article 27 of this Ordinance.</i>	Not applicable	
<i>16.24(7)(c) The proposed common elements and maintenance provisions, use and occupancy restrictions, utility systems and streets, project layouts and design, or other aspects of the proposed project, shall comply with all requirements of the Condominium Act or other applicable laws, ordinances or regulations. The Zoning Administrator, City Planner, City Attorney, City Engineer, City Fire Chief, Kalamazoo Lake Sewer and Water Authority, Allegan County Drain Commission or other appropriate persons shall be consulted as necessary to make this determination.</i>	Not met	We have not reviewed a revised master deed to ensure that the requirements of the Condo Act have been met.
<i>16.24(7)(d) Each condominium building shall comply with all applicable provisions of this Ordinance, including, but not limited to, minimum lot area, minimum lot width, required front, side and rear yards, and maximum building height and other minimum provisions of the applicable zone district; provided, however, that if a condominium building is located in a planned unit development under Article 27, the City Council, upon recommendation of the Planning Commission, may approve departures or modifications in the requirements stated in this subparagraph (d), under the terms of Section 27.4 of this Ordinance.</i>	Met	
<i>16.24(7)(e) If a condominium project is proposed to have public streets, the streets shall be paved and developed to the minimum design, construction, inspection, approval, and maintenance requirements for platted public streets as required by the Allegan County Road Commission</i>	May be met	Construction and design has not been reviewed.
<i>(f) Private streets may be permitted to provide access to and throughout a condominium project, subject to the following requirements:                  (i) All private streets shall comply with Section 18.02 of this Ordinance.                  (ii) Provisions in the Master Deed and Bylaws shall obligate the developer and/or owner's association to assure that all the private streets are regularly maintained, repaired and snowplowed so as to assure that they</i>	Not applicable	

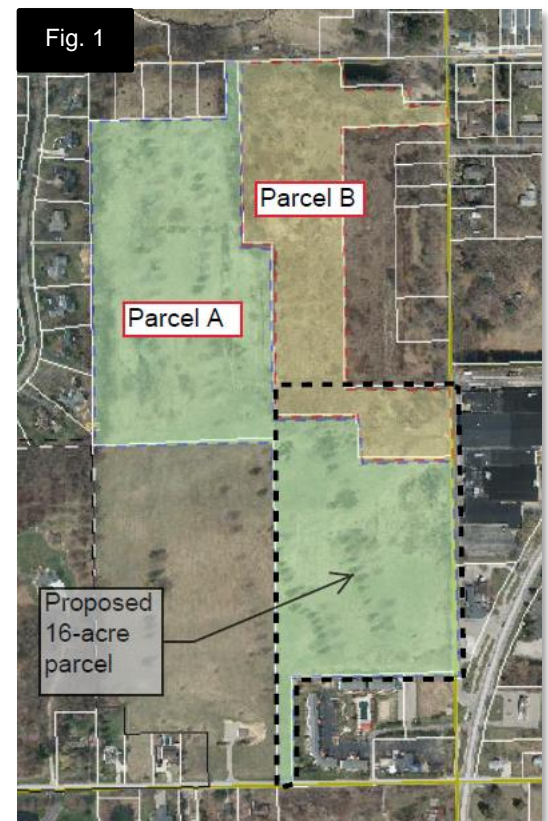
are safe for travel at all times. The Master Deed and/or Bylaws shall also include a provision indemnifying and holding the City harmless from any and all claims for personal injury and for property damage arising out of the failure to properly construct, maintain, repair and replace the private streets.		
18.01(1)(a)4. Residential driveways shall be a minimum of forty (40) feet from the nearest right-of-way line of an intersecting road or street except on platted lots existing as of September 15, 2007.	Met	
19.03(1) One and Two Family Dwellings: Two (2) spaces for each dwelling unit.	Met	
21.01(2)(a) Location, spacing, size, and root type [bare root (BIR) or balled and burlaped (BB)] and descriptions for each plant type proposed for use within the required landscape area	Not met	Spacing not provided.
21.01(2)(b) A scale of at least: 1" = 20'	Not met	Scale not provided
21.01(2)(c) Existing and proposed contours at intervals not to exceed two (2) feet and, where requested by the Zoning Administrator, one-hundred (150) feet beyond the site.	Not met	Contours not shown
21.01(2)(d) Typical straight cross-section including slope, height, and width of berms and type of ground cover, or height and type of construction of wall or fence, including footings.	Met	
21.01(2)(e) Significant construction details to resolve specific site conditions, such as tree wells to preserve existing trees or culverts to maintain natural drainage patterns.	Met	
21.01(2)(f) Planting and staking details in either text or drawing form to ensure proper installation and establishment of proposed plant materials.	Met	
21.01(2)(g) Identification of existing trees and vegetative cover to be preserved as well as that to be removed.	May be met	The plan shows "existing trees" along the Ferry Street frontage, however, individual existing trees should be shown. Existing trees must also be labeled "to be preserved".
21.01(2)(h) Identification of grass and other ground cover and method of planting.	Met	
21.01(2)(i) Identification of landscape maintenance program including statement that all diseased, damaged, or dead materials shall be replaced in accordance with standards of this Ordinance	Not met	No statement of this type has been provided.
21.01(5)(c) Landscaping along public rights of way shall include a minimum of one (1) tree at least fifteen feet in height or a minimum caliper of three (3) inches (whichever is greater at the time of planting) for each thirty (30) lineal feet, or major portion thereof, of frontage abutting said right of way. Tree species shall be selected from the City of Douglas recommended species list. The remainder of the landscaping within the right of way shall comply with the recommendation of the Blue Star Corridor plan or other streetscape plans on file at the time of application and may include grass, ground cover, shrubs, and/or other natural, living, landscape material.	Met	
21.01(10)(a)(2) [Screening for Mechanical Equipment, not applicable to single-family residential uses] Equipment at Grade: When located on the ground adjacent to a building, mechanical equipment is to be screened by landscaping, a solid wall or fencing from the view of the street or surrounding properties.	Not met.	
24.02(1)The applicant's name, address, email and phone number in full.	Met	
24.02(2) Proof of property ownership, and whether there are any options on the property, or any liens against it.	May be met	It is unknown if any liens exist against the property
24.02(3) Written statement regarding the proposed project's impact on existing infrastructure (including traffic capacity of streets, schools, and existing utilities) and on the natural environment of the site and adjoining lands. If deemed necessary by the Zoning Administrator or Planning Commission, a phase 1 environmental review may be requested. As appropriate, the Zoning Administrator or Planning Commission may also	May be met	The applicant provided traffic study and environmental studies. Planning Commission has the discretion to request a Phase 2 Environmental Review.

<i>request a phase 2 environmental review. Also see Section 24.02.21 of this Section</i>		
<i>24.02(4) Property dimensions and legal description, including angles, lot area, and an arrow pointing north. If the parcel in question is less than one (1) acre in area and is a land division from an existing parcel, then a certificate of survey is required</i>	Not met	No legal descriptions have been provided. Property dimensions are not provided on site plans. The subject property will need to undergo a
<i>24.02(5) Project description, including the total number of structures, units, bedrooms, offices, square feet, total and usable floor area, carports or garages, employees by shift, amount of recreational and open space, type of recreation facilities to be provided, and pertinent information or information otherwise required by this Ordinance.</i>	Not met	Number of buildings, floor areas and number of bedrooms not shown on site plan.
<i>24.02(6) Natural features such as woodlots, streams, drains, lakes or ponds, topography (at two-foot intervals) and man-made features such as existing roads and structures, with indication as to which are to be retained and which removed or altered.</i>	Not met	Existing trees must be labeled "to remain" if they truly are planned to be remained.
<i>24.02(7) Existing or proposed public right-of-way and private easements.</i>	Met.	
<i>24.02(8) Proposed streets, driveways, parking spaces and sidewalks, with indication of direction of travel, the inside radii of all curves including driveway curb returns, the width of streets, driveways and sidewalks, the total number of parking spaces, and dimensions of a typical individual parking space and associated aisles. This will also include a free and open general public pedestrian access in a form approved by the City Attorney to adjacent property or development unless waived by the Planning Commission as being unpractical or unreasonable due to topographical, natural barrier or similar type of reason.</i>	Not met	Curve radii of driveways are not provided as discussed with the applicant.
<i>24.02(9) A vicinity sketch showing the location of the site in relation to the surrounding street system and other land uses within three hundred (300) feet in every direction of the proposed use including land uses on the opposite side of any public street.</i>	Not met	Existing driveways on Ferry Street are not shown on the site plan.
<i>24.02(10) Location of utilities including natural gas, cable, electric, telephone, fire hydrants; and the location and design of water supply, storm water management facilities, and waste water systems.</i>	Met	
<i>24.02(11) Proposed location of accessory structures, buildings and uses, including but not limited to all flagpoles, light poles, bulkheads, docks, storage sheds, carports, transformers, air conditioners, trash receptacles, and signs, and the method of screening where applicable.</i>	Not met	Mechanical equipment must be screened and shown on site plan. Screening detail must be provided.
<i>24.02(12) A landscaping plan indicating the locations of planting and screening, fencing, and lighting in compliance with the requirements of Article 21. Also, proposed locations of common open spaces, if applicable.</i>	Partially met	See landscaping comments from Article 21 above.
<i>24.02(13) Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salts, flammable materials, or hazardous substances as well as any containment structures or clear zones required by government authorities</i>	Met	To our knowledge, none exist.
<i>24.02(14) Location of exterior drains, dry wells, catch basins, retention and/or detention areas, sumps and other facilities designed to collect, store or transport storm water or wastewater. The point of discharge for all drains and pipes shall also be specified on the site plan.</i>	Not met.	Location of private sewer connections have not been provided.
<i>24.02(15) The location, type, style and intensity of all proposed site lighting, including building, sign, or any other proposed site lighting.</i>	Not met	Lighting locations not shown on plan and photometric plan which would demonstrate intensity, has not been provided.
<i>24.02(16) A statement from the applicant identifying all other federal, state and local permits required, if any.</i>	Partially met	The applicant lists "EGLE Floodplain Permit" under Regulatory Approvals on Sheet C-101, and also notes that the property is not within a floodplain.
<i>24.02(17) Project completion schedule</i>	Not met	Not provided

<p>24.02(18) Compliance with the recommendations of the Tri-Community Plan</p>	<p>Not met</p>	<p>The Planning Commission expressed a strong desire to see sidewalks or some type of pedestrian path along Ferry. This is absent from the latest plan. Taking advantage of opportunities to connect pedestrian pathways is a goal outlined in the City's Plan. Not placing pedestrian pathways here would be a lost opportunity to see this goal come to fruition. This is also a policy statement found in the Tri-Community Master Plan related to connecting pedestrian pathways.</p>
<p>24.02(19) Such other information as is necessary to enable the Planning Commission to determine whether the proposed site plan will conform to the provisions of this Ordinance.</p>	<p>May be met?</p>	
<p>24.02(20) Seal of the State of Michigan registered engineer, architect, landscape architect, surveyor or planner who prepared the plan.</p>	<p>Met</p>	
<p>24.02(20) Seal of the State of Michigan registered engineer, architect, landscape architect, surveyor or planner who prepared the plan.</p>	<p>Met</p>	
<p>24.02(21) Special Studies or Research. For complex site plans and/or for land uses that may generate significant impacts on surrounding land uses or public facilities, the Zoning Administrator or Planning Commission may require any or all of the following reports or studies as a part of a complete site plan.</p>	<p>Met</p>	<p>The Planning Commission can still require a Phase 2 Environmental assessment at their discretion.</p>

**Final Thoughts.** This application has been in process for quite some time now. Each time a revision is made by the applicant, the plan is reviewed against the same ordinance standards (with the exception of the Design Guidelines for Multiple Family Developments with the most recent submittal). There are a few items that have been discussed since early on in the process that are not being addressed in the most recent submittal:

- In all previous reports written to the Planning Commission and communication directly with the applicant, the topic of the applicant's responsibility to communicate with representatives from the City regarding the acquisition or easement on property to the south that is owned by the City has been brought up. The plan still shows this access road connecting south to Wiley Rd., which is what the City would prefer, however, without the due diligence to ensure that the City is willing to allow a portion of their property for right of way for the proposed development, the Planning Commission does not have the authority to approve a portion of a development that encroaches on a neighboring parcel.



- The Planning Commission expressed a strong desire to see sidewalks or some type of pedestrian path along Ferry. This is absent from the latest plan. Taking advantage of opportunities to connect pedestrian pathways is a goal outlined in the City's Plan. Not placing pedestrian pathways here would be a lost opportunity to see this goal come to fruition. This is also a policy statement found in the Tri-Community Master Plan related to connecting pedestrian pathways.
- Sidewalks were shown on the proposed connection road Wiley in the plan dated 12/28/2022, and are not shown on the revised plan dated 1/26/2023.
- Figure 1 shows the proposed 16-acre parcel proposed for the condominium development. The submittal has never contained a drawing like this that would give the Planning Commission a better feel for the proposed boundary change that will be required. The survey and legal descriptions are required as part of site plan approval.
- The applicant was asked to provide a statement from the Kalamazoo Lake Sewer & Water Authority in September that speaks to the impact on the capacity if existing and future water and sewer utilities.
- The street layout from the previous design (5-unit townhomes) addressed the request to design one of the driveways onto Ferry Street so that it would allow for suitable access in the event that Ferry Street is realigned for Ferry St./Blue Star Highway intersection improvement and safety. This is not shown on the 1/26/23 plan.



- Several of the items I commented on in the plan dated 12/28/2022 appear to have transferred over to the latest revision and do not appear to be addressed in the plan dated 1/26/2023. (See exhibit A).
- The project summary data shown below shows an additional 2.07 acres being added to the project. It would appear also that the lot coverage is 25.3% for both projects, though the coverage has changed with the different building footprint types. The revised plan also shows the wetland areas as being less than the amount of wetland areas that were calculated in the 11/23/22 plan. And last, the R.O.W. areas are vastly different from the last plan to the current one, even though the street layout is largely the same.

1/26/23			11/23/22		
<b>PROJECT SUMMARY</b>			<b>PROJECT SUMMARY</b>		
<u>1. PARCEL INFORMATION</u>			<u>1. PARCEL INFORMATION</u>		
CURRENT ZONING:	R-5 MULTIPLE FAMILY RESIDENTIAL		CURRENT ZONING:	R-5 MULTIPLE FAMILY RESIDENTIAL	
SITE ADDRESS:	485 FERRY ST, DOUGLAS, MI		SITE ADDRESS:	485 FERRY ST, DOUGLAS, MI	
PARCEL NUMBER:	59-017-089-95		PARCEL NUMBER:	59-017-089-95	
<u>2. BUILDING</u>			<u>2. BUILDING</u>		
	REQUIRED	PROVIDED		REQUIRED	PROVIDED
MAX. BUILDING HEIGHT:	28 FT	22.75 FT	MAX. BUILDING HEIGHT:	28 FT	22.75 FT
MAX. BUILDING LENGTH:	120 FT	49 FT	MAX. BUILDING LENGTH:	120 FT	120 FT
MIN. FLOOR AREA :	900 SFT	1730 SFT	MIN. FLOOR AREA 5-UNIT:	1,100 SFT	1200 SFT
MAX. LOT COVERAGE:	35%	25.3%	MAX. LOT COVERAGE:	35%	25.3%
<u>3. SETBACKS FOR PROJECT LIMITS</u>			<u>3. SETBACKS</u>		
	REQUIRED	PROVIDED		REQUIRED	PROVIDED
FRONT (MIN.)	25 FT	25 FT	FRONT (MIN.)	25 FT	25 FT
SIDE (MIN.)	7 FT	15 FT	SIDE (MIN.)	20 FT	20 FT
REAR (MIN.)	35 FT	35 FT	REAR (MIN.)	35 FT	51 FT
BLDG SEPARATION (MIN.)	30 FT	31 FT	BLDG SEPARATION (MIN.)	30 FT	30 FT
<u>4. SUMMARY OF LAND / DENSITY</u>			<u>4. SUMMARY OF LAND / DENSITY</u>		
PARCEL AREA:	18.31 AC		PARCEL AREA:	16.24 AC	
WETLAND AREA:	0.21 AC		WETLAND AREA:	0.39 AC	
R.O.W. AREA:	2.93 AC		R.O.W. AREA:	0.81 AC	
NET BUILDABLE AREA:	15.17 AC		NET BUILDABLE AREA:	15.04 AC	
MAXIMUM DENSITY:	6 UNITS PER BUILDABLE AREA		MAXIMUM DENSITY:	6 UNITS PER BUILDABLE AREA	
PROPOSED UNITS:	90 UNITS		PROPOSED UNITS:	90 UNITS	
PROPOSED DENSITY:	5.93 UNITS PER BUILDABLE ACRE PER NET BUILDABLE AREA (15.17)		PROPOSED DENSITY:	5.98 UNITS PER BUILDABLE ACRE	

- The wetland area shown above for the 1/26/23 plan is shown as .21 acres. The general notes section of Sheet C-101 indicates that there are approximately .60 acres of wetlands. This discrepancy must be cleared up.

**Recommendation.** It is our recommendation that the applicant thoughtfully address these issues in a revised plan prior to being placed on the Planning Commission’s agenda. It is also our recommendation that the applicant attend the Site Plan Review Committee to obtain input from other City departments and incorporate that input into the required revisions.

The Planning Commission should take the opportunity to hold the public hearing and listen carefully to the public’s, fellow Planning Commissioners and the applicant’s comments. It is not recommended that the Planning Commission take any action on this item, and instead postpone the item to a subsequent meeting, based on the findings listed in this report. The public hearing can be adjourned, if needed, to re-open it at a future meeting.

Please reach out with any questions.

ISSUED FOR:

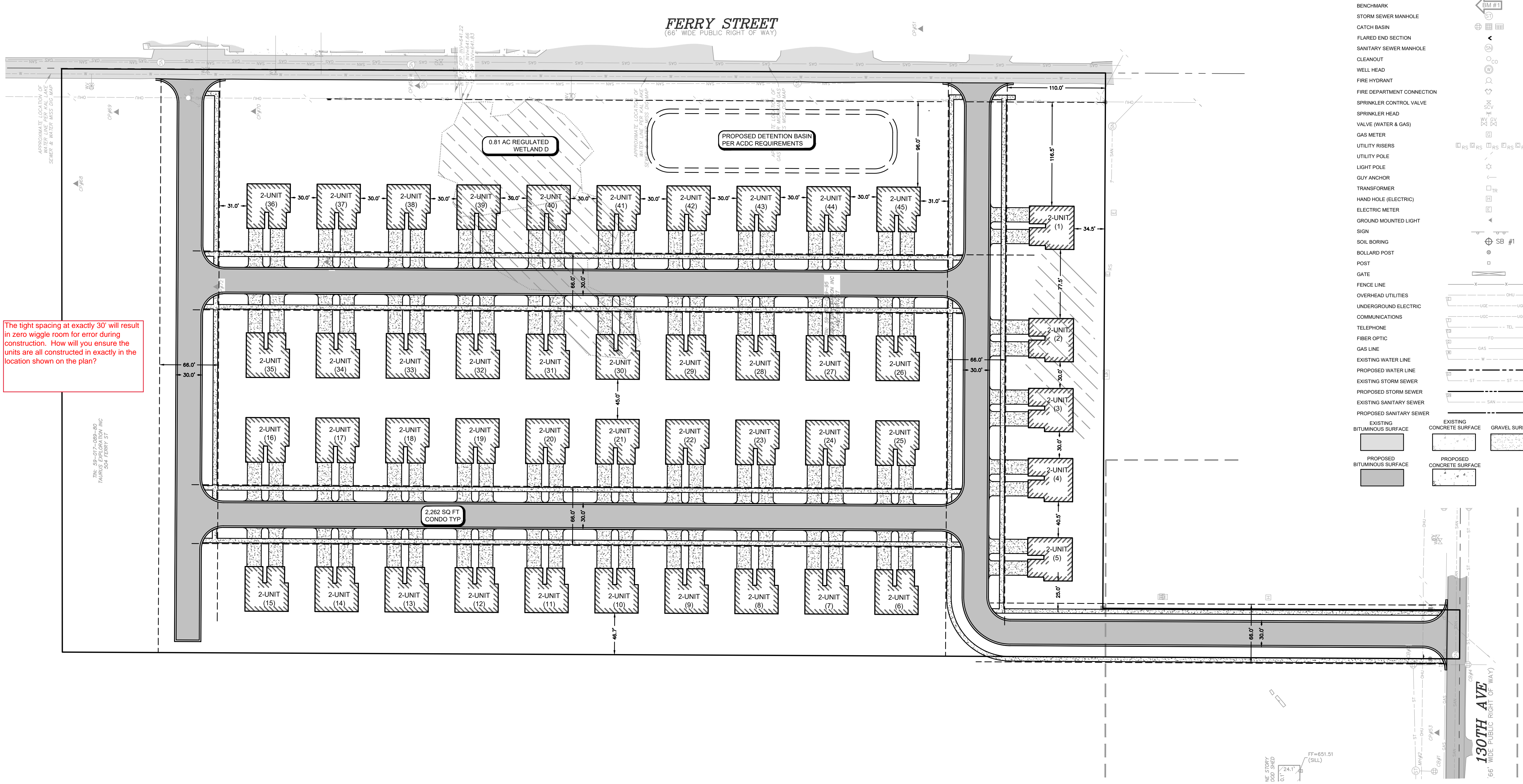
1	PRELIMINARY REVIEW	05-06-2022
2	PRELIMINARY REVIEW	06-09-2022
3	PRELIMINARY REVIEW	06-20-2022
4	CITY REVIEW	07-15-2022
5	CITY REVIEW	07-27-2022
6	CITY REVIEW	08-18-2022
7	CITY REVIEW	08-24-2022
8	CITY REVIEW	10-20-2022
9	CITY REVIEW	11-29-2022
10	CITY REVIEW	12-28-2022

Project Manager:  
**JOHN TENPAS**  
Project #  
2210328.1A  
Sheet Title:

**LEGEND**

EXISTING	PROPOSED
BENCHMARK	STORM SEWER MANHOLE
CATCH BASIN	FLARED END SECTION
SANITARY SEWER MANHOLE	CLEANOUT
WELL HEAD	FIRE HYDRANT
FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
SPRINKLER CONTROL VALVE	SPRINKLER HEAD
VALVE (WATER & GAS)	GAS METER
UTILITY RISERS	UTILITY POLE
LIGHT POLE	GUY ANCHOR
TRANSFORMER	HAND HOLE (ELECTRIC)
ELECTRIC METER	GROUND MOUNTED LIGHT
SIGN	SOIL BORING
BOLLARD POST	POST
GATE	FENCE LINE
OVERHEAD UTILITIES	UNDERGROUND ELECTRIC COMMUNICATIONS
TELEPHONE	FIBER OPTIC
GAS LINE	EXISTING WATER LINE
PROPOSED WATER LINE	EXISTING STORM SEWER
PROPOSED STORM SEWER	EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER	EXISTING BITUMINOUS SURFACE
EXISTING CONCRETE SURFACE	GRAVEL SURFACE
PROPOSED BITUMINOUS SURFACE	PROPOSED CONCRETE SURFACE

The light spacing at exactly 30' will result in zero wiggle room for error during construction. How will you ensure the units are all constructed in exactly in the location shown on the plan?



**PROJECT SUMMARY**

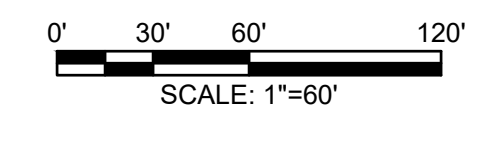
- PARCEL INFORMATION**  
CURRENT ZONING: R-5 MULTIPLE FAMILY RESIDENTIAL  
SITE ADDRESS: 485 FERRY ST, DOUGLAS, MI  
PARCEL NUMBER: 59-017-089-95
- BUILDING**  
REQUIRED: 28 FT MAX. BUILDING HEIGHT, 120 FT MAX. BUILDING LENGTH, 900 SFT MIN. FLOOR AREA, 35% MAX. LOT COVERAGE  
PROVIDED: 22.75 FT MAX. BUILDING HEIGHT, 49 FT MAX. BUILDING LENGTH, 1730 SFT MIN. FLOOR AREA, 35% MAX. LOT COVERAGE
- SETRACKS to project limits**  
REQUIRED: 25 FT FRONT (MIN.), 7 FT SIDE (MIN.), 35 FT REAR (MIN.)  
PROVIDED: 25 FT FRONT (MIN.), 15 FT SIDE (MIN.), 34.5 FT REAR (MIN.)  
**BLDG SEPARATION (MIN.) 15 FT 30'**
- SUMMARY OF LAND / DENSITY**  
PARCEL AREA: 18.04 AC  
WETLAND AREA: 0.39 AC  
R.O.W. AREA: 2.19 AC  
NET BUILDABLE AREA: 15.46 AC  
MAXIMUM DENSITY: 6 UNITS PER BUILDABLE AREA  
PROPOSED UNITS: 90 UNITS  
PROPOSED DENSITY: 5.82 UNITS PER BUILDABLE ACRE  
**For net buildable area (15.46 acres)**
- REGULATORY APPROVALS**  
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS, AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED)  
• CITY OF THE VILLAGE OF DOUGLAS SITE-PLAN  
• CITY OF THE VILLAGE OF DOUGLAS FIRE DEPARTMENT  
• ALLEGAN COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT  
• ALLEGAN COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT  
• ALLEGAN COUNTY ROAD COMMISSION  
• EGLE NPDES CONSTRUCTION SITE STORM WATER DISCHARGE  
• EGLE PUBLIC WATER SYSTEM PERMIT  
• EGLE PUBLIC WASTEWATER SYSTEM PERMIT  
• EGLE WETLAND PERMIT  
• **EGLE FLOODPLAIN PERMIT Is this property in a floodplain?**
- IMPACT ON PUBLIC SERVICES**  
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS. **Include traffic study recommendations here.**
- IMPACT TO SURROUNDING PROPERTIES**  
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SMOKE, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- PARKING**  
PARKING TO BE PROVIDED PER CITY STANDARDS. TWO PARKING SPACES WILL BE PROVIDED INSIDE EACH 416.5 SQ-FT GARAGE FOR RESIDENTS. TWO GUEST PARKING SPOTS ARE AVAILABLE IN THE DRIVEWAY TO EACH GARAGE. **for each dwelling unit.**
- SIGNAGE**  
SIGNAGE TO BE PROVIDED PER CITY STANDARDS
- STORM WATER MANAGEMENT**  
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS, PIPES, AND DITCHES AND ROUTED TO AN EXISTING LAKE ON THE EAST SIDE OF THE PROPERTY PER ALLEGAN COUNTY DRAIN COMMISSIONER REQUIREMENTS. **Existing lake? This section should indicate detention or retention and any structures associated with the pond that will need to be maintained.**
- WATER/SEWER SERVICE**  
SITE WILL BE SERVED BY NEW PRIVATE WATER AND SEWER SERVICES AND MAINS CONNECTED TO EXISTING MAINS ADJACENT TO THE SITE. **Each unit will be connected to the public system.**
- WETLANDS**  
THERE ARE WETLANDS ON THE SUBJECT PROPERTY. **We need the acreage here and what portion of that acreage will be impacted or filled.**
- FLOODPLAINS**  
THERE ARE NO REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY. PER FEMA FIRM MAP CN: 2605490001A. **agency permitting section says you will apply for a floodplain permit**
- LANDSCAPING**  
LANDSCAPING TO BE PROVIDED PER CITY STANDARDS. **You will need to add a separate landscaping page - it should be referenced here. The landscape page must show all the landscaping calcs in accordance with ord. plus show size and qty.**
- SITE LIGHTING**  
PROPOSED LIGHTING WILL CONSIST OF SHIELDED LIGHT POLES AND WALL PACKS. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS. **where will you have wall packs? We need a photometric plan and lighting fixture specs. Proposed lighting must be shown on plan.**
- RESIDENTIAL UNITS WILL HAVE INDIVIDUAL WASTE BINS AND CURBSIDE WASTE COLLECTION.**
- CONSTRUCTION SCHEDULE**  
CONSTRUCTION IS ANTICIPATED TO START IN SPRING, 2023. **Please provide phasing for grading/earthwork, stormwater infrastructure, utilities, roads. Please also provide phasing schedule for buildings.**
- DRIVING SURFACES AND CLEARANCES**  
MINIMUM CLEAR HEIGHT OF 13'6" WILL BE MET PROVIDED OVERHEAD ELECTRICAL AT ENTRANCE FROM FERRY ST IS AT MINIMUM CLEARANCE. NO FURTHER OVERHEAD CONSTRUCTION IS TO OCCUR. ALL DRIVING SURFACES SHALL MEET THE 80,000 LB LOAD BEARING CAPACITY AND ALL ACCESS ROADS WILL BE COMPLETED PRIOR TO PHASED BUILDING CONSTRUCTION. ROAD GRADES SHALL NOT EXCEED 10% SLOPE AT ANY GIVEN INTERVAL. ON STREET PARKING WILL BE ON THE NORTH AND SOUTH ROADS ON THE OPPOSITE SIDE OF THE DRIVEWAYS. NO PARKING WILL BE PERMITTED ON ROADS THAT TRAVEL NORTH TO SOUTH. THIS IS DUE TO EMERGENCY ACCESS AND ALLOWING PLOWING OF SNOW AND ICE. **Is this still accurate? OWNER SHALL PROVIDE SNOW AND ICE REMOVAL UNTIL THE CITY TAKES OVER TO MAINTAIN ALL WEATHER DRIVING CAPABILITIES. Not sure this statement is necessary.**
- NO PARKING FIRE LANE' SIGNAGE TO BE INSTALLED AT DEAD END.**

**GENERAL NOTES:**

- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
- CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

**LAYOUT NOTES:**

- CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
- ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.



**ISSUED FOR APPROVAL**



January 27, 2023  
2221098

Ms. Tricia Anderson  
Williams&Works  
549 Ottawa Ave., NW Ste. 310  
Grand Rapids, MI 49503

RE: Forest Gate Condominium Development (#485 Ferry Street)  
Preliminary Engineering Review Comments – *REVISED SUBMITTAL*

Dear Traci:

On behalf of the City of Douglas, our office has reviewed the *revised* preliminary condominium drawings dated January 26, 2023 and received January 26, 2023 for the above referenced project. Our comments regarding the project are as follows: (A previous review was completed on September 1, 2022, October 24, 2022, and November 29, 2022.)

I. GENERAL

1. The proposed condominium development sits on a 30-acre parcel located between Center Street and Wiley Road and includes construction of 90 residential units in 45 duplex buildings as well as public water main, public sanitary sewer, storm sewer, and roadways/sidewalks to accommodate those units. Construction is proposed to take place over 2 phases.
2. The survey map included in the drawings seems to be from a previous development plan. This should be revised to show the current project and parcels involved. Survey dimensions need to be provided on the overall plan (C-100) for this development.
3. The proposed development would include entrance drives onto Wiley Road and Ferry Street. Curbs should be set back to 24 feet off centerline at all intersections and have tapers.
4. The drawings seem to indicate that a 66' ROW would be established with 30' wide public roads with the exception of the proposed access to Wiley Road. This strip of parcel is only about 55' wide. If the City wants to maintain uniform 66' ROWs, the development will need to acquire additional property along this access strip. The stub to the west on the north end does not allow access to the northerly parcels without crossing the City parcel; this should be verified if this is what the City wants.
5. The City may desire to review the future goals for the Ferry Street/200 Blue Star Highway property with the developer in order to coordinate the location of the proposed road intersections. Based on our understanding, the south road access onto Ferry Street may need to be removed or significantly revised.
6. It is noted on the drawings that (C-101) that two parking spaces will be provided for each dwelling unit. It is our understanding from the City ordinances that this is to begin 5 feet

- from the right-of-way line; it does not appear there is sufficient space to provide two parking spaces for each unit.
7. Proposed HMA pavement cross section is shown on C-501. The leveling course shall be revised to 220 lbs/syd versus 165 lbs/syd for 2 inches. Please show a minimum of 15” sand subbase.
  8. Pedestrian sidewalk is proposed to run along the streets internal to the development. Proposed concrete pavement cross sections is shown on C-501 – these should be consistent with City standards as noted in the Code of Ordinances section 93.003. We note that 6” thick sidewalks shall be constructed through all driveways. If two driveways are to remain on Ferry Street, we recommend that sidewalk be included between these driveways.
  9. It appears that the development plan includes some proposed exterior lighting. All exterior lighting shall be in accordance with City Zoning Ordinances Section 19.05 and 24.03. This is noted on C-101.
  10. The developer should distribute drawings to the KLSWA and the STFD for their respective reviews and comments.
  11. The developer will be responsible for all City fees for the project.

## II. SANITARY SEWER

1. The proposed utility plan includes construction of sanitary sewer from Ferry through the development and to Wiley Road. This shall be a 12” diameter sewer. Submittal of information on the invert elevation at Summer Grove pump station will need to be submitted with the final drawings. Also a master plan for serving the balance of the parcel to the north needs to be provided. Once constructed, this main would be owned by the City of Douglas and operated and maintained by the KLSWA.
2. Wastewater from this site would flow north along Ferry Street and would be pumped under the Kalamazoo River via force main. This waste would pass through Lift Stations #6 and #1 before the treatment facility. Per discussions with KLSWA there are no know capacity issues with these pump stations.
3. The proposed 90 units would contribute on average approximately 24,300 gallons per day to the sanitary system. Based on the 2021 meter data, Douglas has the available plant capacity.
4. Individual lateral connections are not shown on these preliminary drawings. Each unit shall have one sanitary lateral connection to the main; lateral connections directly into manholes will not be allowed.

## III. WATER MAIN

1. The proposed utility plan includes construction of water main throughout the development looped back to Ferry Street and Wiley Street. The water main on Wiley Street needs to be shown on the drawings. Once constructed, this main would be owned by the City of Douglas and operated and maintained by the KLSWA.

2. Individual water service connections are not shown on these preliminary drawings. Each unit shall have one water service connection to the main. The meters and accounts per each unit should be coordinated with the KLSWA.
3. Per the water main record drawings, an abandoned 6” and 4” water likely exists along the west side of Ferry Street. This is not noted clearly on the drawings and may be an impediment to any utility work.

#### IV. DRAINAGE & GRADING

1. The City of Douglas uses the Allegan County Drain Commission standards for new development review & construction. Proposed site drainage measures and calculations shall meet the ACDC standards as well as the additional City of Douglas zoning requirements.
2. This site is largely not within an ACDC drainage district (a small section lies within the Jager-Crane Drain district). Existing surface water onsite generally flows north and east and crosses Ferry Street in a culvert to the east.
3. The proposed drainage plan includes storm sewer and catch basins along the roads, some rear yard catch basins, and grading for a retention basin offsite of the property. Easements will need to be granted for the pond and connection stormwater collection system. Proposed concrete curb and gutter along the road edges collect road runoff water to the catch basins.
4. The developer should provide soil borings with infiltration tests to verify if the existing soils can dissipate the expected volumes.
5. An overflow route should be incorporated into the basin design to provide for flood planning.
6. A homeowner’s association or a 433 Agreement with the ACDC should be set up to be responsible for the maintenance and liability of the drainage infrastructure.
7. The developer’s drawings indicate that wetlands are present onsite. EGLE permits will be required for wetland impacts – it will be the developer’s responsibility to secure all necessary environmental permitting.

#### Additional Comments:

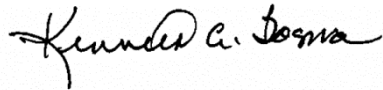
1. We recommend the City review its requirements for trees in the right-of-way. There will be many trees planted over the new water main that will be an issue for maintaining the water main and likely other utilities.
2. The issue with the contamination plume from the former Haworth site needs to be adequately addressed, if not completed.

Ms. Tricia Anderson  
January 27, 2023  
Page 4

If you have any questions or comments regarding the above, please feel free to call me.

Sincerely,

**Prein&Newhof**

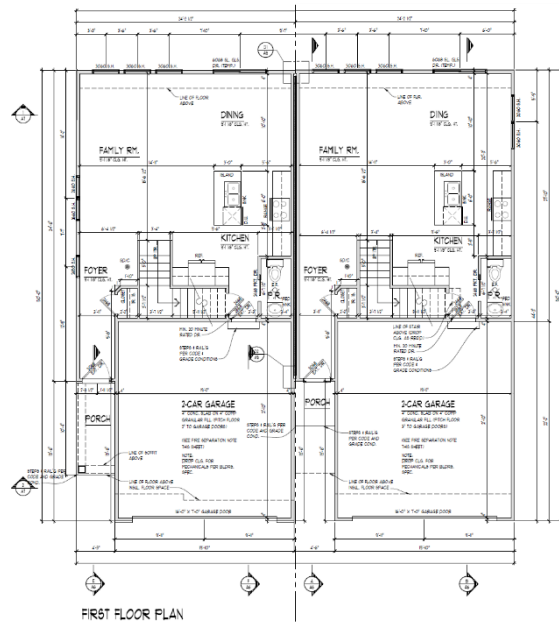
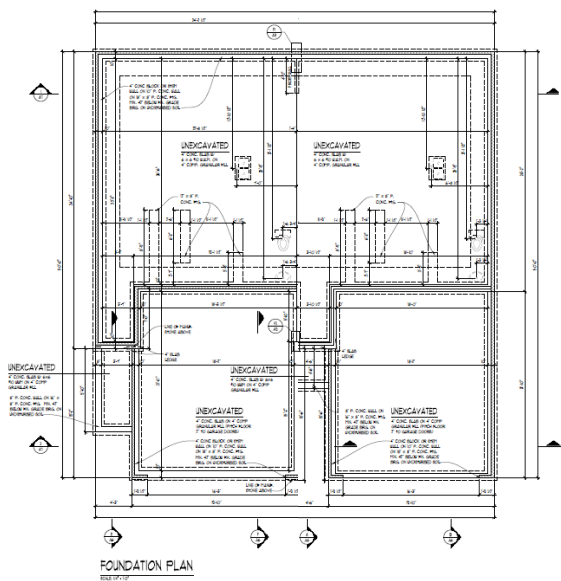
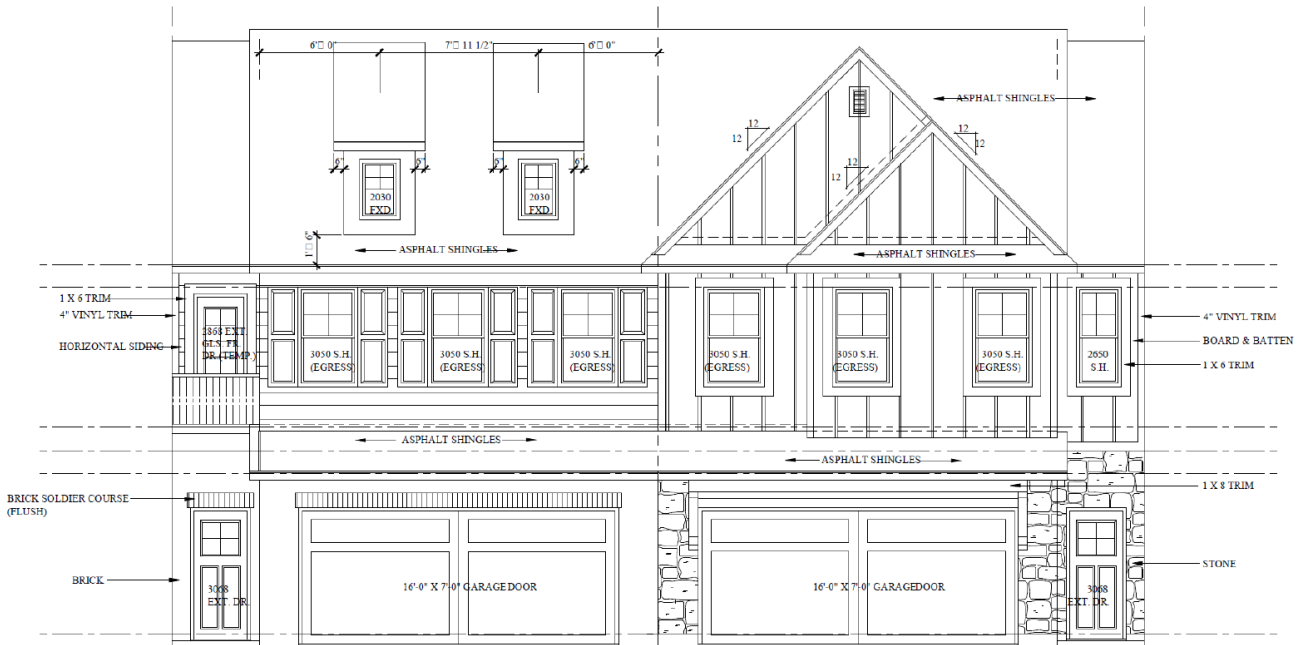
A handwritten signature in black ink that reads "Kenneth A. Bosma". The signature is written in a cursive style with a large initial 'K' and a long, sweeping underline.

Kenneth A Bosma, P.E.  
KAB/kab

cc: Ms. Jenny Pearson, City of Douglas  
Mr. Daryl VanDyk, KLSWA  
Mr. Jim Giese, Driesenga & Associates

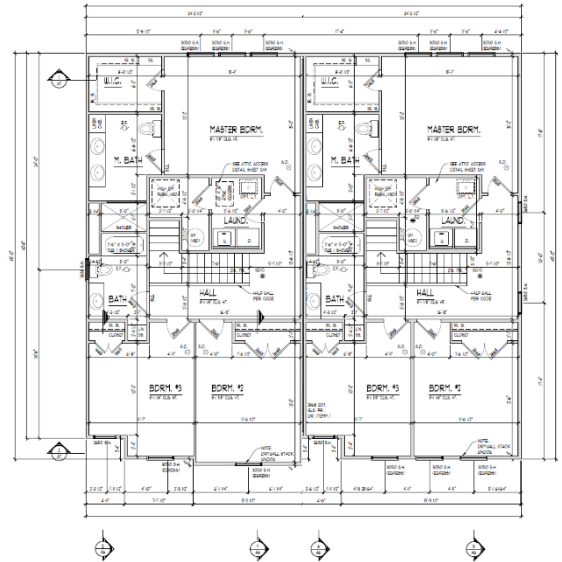
# Forest Gate Douglas, MI

## 2-family duplex condominiums Samples Elevations & Floor Plans

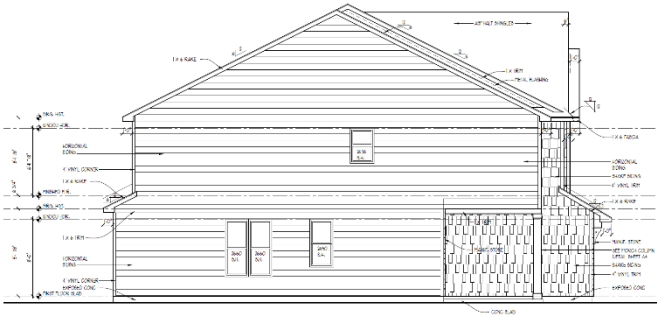


Main Level - 700 Square Feet

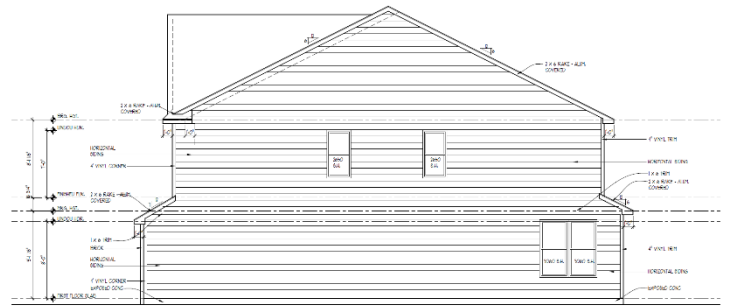
Second Floor - 1030 Square Feet



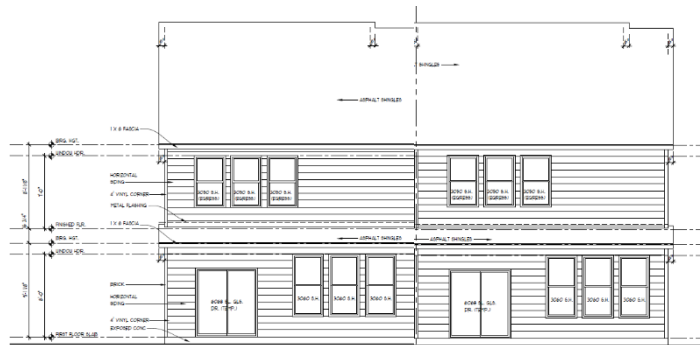
SECOND FLOOR PLAN



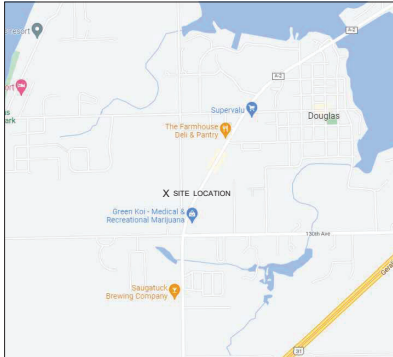
LEFT ELEVATION



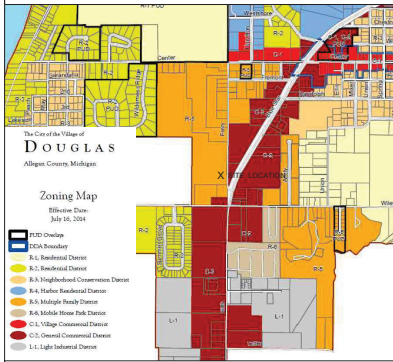
RIGHT ELEVATION



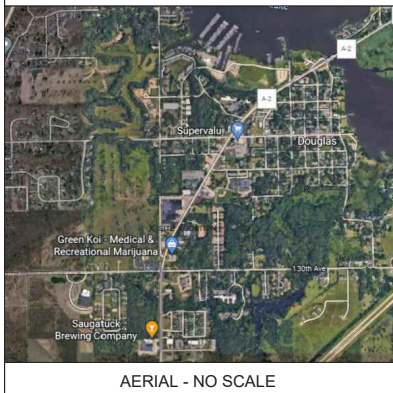
REAR ELEVATION



LOCATION MAP - NO SCALE



ZONING MAP - NO SCALE



AERIAL - NO SCALE



Know what's below.  
Call before you dig.

# ARGENT MANAGEMENT GROUP, INC FOREST GATE CONDOMINIUMS

485 FERRY ST.  
SECTION 17, T03N, R16W  
DOUGLAS, MICHIGAN 49406

## SHEET INDEX

G-001	TITLE SHEET
V-102	TOPOGRAPHIC PLAN
V-103	TOPOGRAPHIC PLAN
V-104	TOPOGRAPHIC PLAN
C-100	OVERALL PLAN
C-101	OVERALL SITE PLAN
C-102	SITE PLAN
C-103	UTILITY PLAN
C-104	GRADING & STORMWATER PLAN
C-105	GRADING & STORMWATER PLAN
C-106	SOIL EROSION CONTROL PLAN
C-501	DETAILS
C-502	DETAILS
L-101	LANDSCAPE PLAN

<b>SITE ADDRESS</b>
485 FERRY STREET - MIL TI FAMILY 485 FERRY ST DOUGLAS, MI 49406
<b>OWNER</b>
ARGENT MANAGEMENT GROUP, INC PO BOX 571 DOUGLAS, MI 49406 (650) 400-7975 DAVID BAKER dj@888@comcast.net
<b>CIVIL ENGINEER</b>
DRIESENGA & ASSOCIATES, INC. 12330 JAMES STREET, SUITE 180 HOLLAND, MICHIGAN 49424 (616) 396-4255 JOHN TENPAS, P.E. john@drisenga.com



**DRIESENGA & ASSOCIATES, INC.**  
Engineering  
Surveying  
Testing

Holland, MI  
616-396-0255  
Grand Rapids, MI  
616-243-3800  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-489-6210  
Ypsilanti, MI  
734-368-9483

FOREST GATE CONDOMINIUMS  
485 FERRY ST.  
SECTION 17, T03N, R16W, CITY OF DOUGLAS, ALLEGAN CO.  
-FOR-  
ARGENT MANAGEMENT GROUP, INC.  
PO BOX 571, DOUGLAS, MI 49406

ISSUED FOR:	
1	PRELIMINARY REVIEW 05-08-2022
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3	PRELIMINARY REVIEW 06-29-2022
4	CITY REVIEW 07-15-2022
5	CITY REVIEW 07-27-2022
6	CITY REVIEW 08-18-2022
7	CITY REVIEW 08-24-2022
8	CITY REVIEW 09-29-2022
9	CITY REVIEW 10-23-2022
10	CITY REVIEW 12-28-2022
11	CITY REVIEW 01-26-2023

Project Manager:  
JOHN TENPAS  
Project #  
2210328.1A  
Sheet Title:



**ISSUED FOR APPROVAL**

TITLE SHEET

Sheet #  
**G-001**  
1 of 14

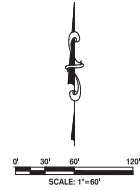
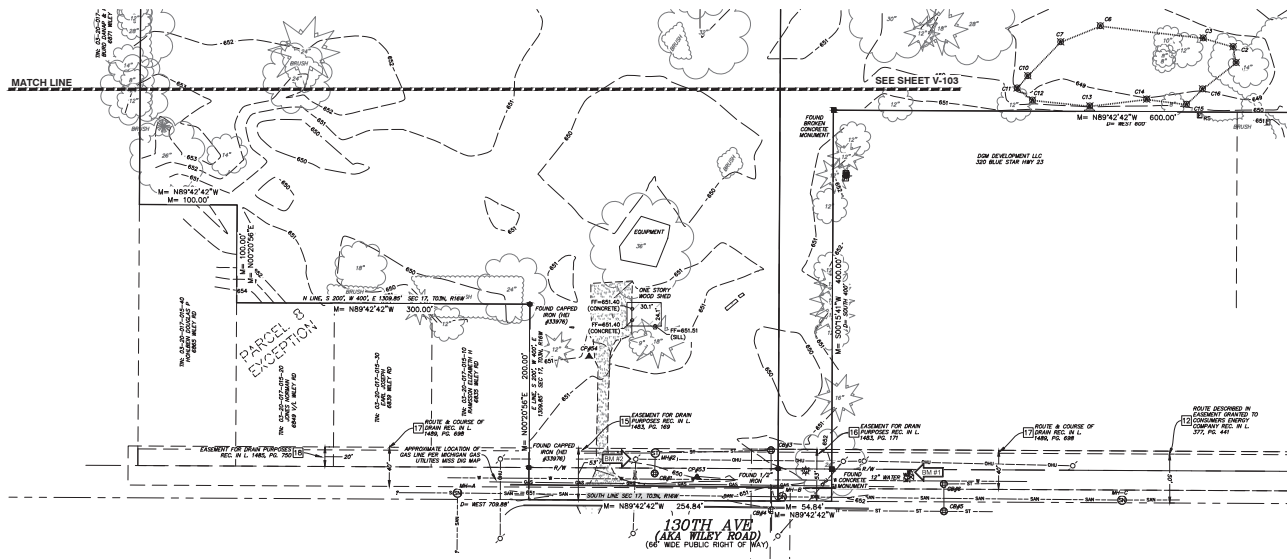




TOPOGRAPHIC / BOUNDARY SURVEY



**ORSENDA ASSOCIATES, INC.**  
**Engineering Surveying Testing**  
 www.orsenda.com  
 Holland, MI 616-396-0255  
 Grand Rapids, MI 616-245-3600  
 Kalamazoo, MI 269-544-1455  
 Lansing, MI 517-385-5210  
 Ypsilanti, MI 734-368-9483



**LEGEND**

BENCHMARK	EXISTING
SET CONCRETE MONUMENT	←
MONUMENT FOUND	○
SET CAPPED IRON PEGS	●
FOUND IRON	○
CONTROL POINT	▲
RECHIBED	△
REMARKED	M
STORM SEWER MANHOLE	⊙
CATCH BASIN	⊙
SANITARY SEWER MANHOLE	⊙
UTILITY POLE	⊙
VALVE (WATER & GAS)	⊙
UTILITY RISERS	⊙
UTILITY POLE	⊙
LIGHT POLE	⊙
GUY ANCHOR	⊙
TRANSFORMER	⊙
WIDE WIDE ELECTRIC	⊙
ELECTRIC METER	⊙
SIGN	⊙
MONITORING WELL	⊙
PIST	⊙
GATE	⊙
FENCE LINE	⊙
OVERHEAD UTILITIES	⊙
COMMUNICATIONS	⊙
FIBER OPTIC	⊙
GAS LINE	⊙
EXISTING WATER LINE	⊙
EXISTING STORM SEWER	⊙
EXISTING SANITARY SEWER	⊙
STIMULOUS SURFACE	⊙
CONCRETE SURFACE	⊙
GRAVEL SURFACE	⊙
CONIFEROUS TREE	⊙
DECIDUOUS TREE	⊙
ORNAMENTAL BUSH	⊙

485 FERRY STREET  
 SECTION 17, T03N, R16W, CITY OF DOUGLAS, ALLEGAN CO.  
 -FOR-  
**ARGENT MANAGEMENT GROUP, INC**  
 PO BOX 871 DOUGLAS, MI 49406

**REVISIONS**

ADDED WATER LINE ALONG 130TH	11/21/2022	MJD
UPDATED WETLAND D FLAGS	11/22/2022	MJD



Know what's below.  
 Call before you dig.

Tax Parcel No.: 03-59-017-089-00, 03-59-017-089-10, 03-59-017-089-20,  
 03-59-017-089-30, 03-59-017-089-40, 03-59-017-089-40,  
 03-59-017-089-70, 03-59-017-089-80, 03-59-017-089-85,



Marc Elwood Lohela II  
 P.S. No. 400762695

THE DESCRIPTION WAS GIVEN TO US BY THE PERSON CERTIFIED TO US OR WAS PROVIDED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY THE PERSON CERTIFIED TO US AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, CLARIFICATION OR CORRECTION.

Drawn By: MJD  
 Scale: 1"=60'  
 Date: 09-07-2022  
 Project #: 2210328.SA  
 Sheet Title:

**TOPOGRAPHIC / BOUNDARY SURVEY**

Sheet #

**V-104**  
 5 of 5

C-2

R-5

R-1



**LEGEND**

**BENCHMARK**

STORM SEWER MANHOLE

CATCH BASIN

FLARED END SECTION

SANITARY SEWER MANHOLE

CLEAREOUT

WELL HEAD

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

SPRINKLER CONTROL VALVE

SPRINKLER HEAD

VALVE (WATER & GAS)

GAS METER

UTILITY RISERS

UTILITY POLE

LIGHT POLE

GYL ANCHOR

TRANSFORMER

HAND HOLE (ELECTRIC)

ELECTRIC METER

MOUNTED LIGHT

SIEM

SOIL BORING

ROLLARD POST

POST

GATE

FENCE LINE

OVERHEAD UTILITIES

UNDERGROUND ELECTRIC COMMUNICATIONS

TELEPHONE

FIBER OPTIC

GAS LINE

EXISTING WATER LINE

PROPOSED WATER LINE

EXISTING STORM SEWER

PROPOSED STORM SEWER

EXISTING SANITARY SEWER

PROPOSED SANITARY SEWER

EXISTING BITUMINOUS SURFACE

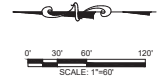
PROPOSED BITUMINOUS SURFACE

EXISTING CONCRETE SURFACE

PROPOSED CONCRETE SURFACE

EXISTING GRAVEL SURFACE

PROPOSED GRAVEL SURFACE



**ISSUED FOR APPROVAL**

**DRISSENZA ASSOCIATES, INC.**  
**Engineering Surveying Testing**  
 www.drissenza.com  
 Holland, MI 616-396-0255  
 Grand Rapids, MI 616-249-3800  
 Kalamazoo, MI 269-544-1455  
 Lansing, MI 517-499-6210  
 Ypsilanti, MI 734-368-9483

**FOREST GATE CONDOMINIUMS**  
 485 FERRY ST.  
 SECTION 17, TOWN, R18W, CITY OF DOUGLAS, ALLEGAN CO.  
 -FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
 PO BOX 571, DOUGLAS, MI 49406

**ISSUED FOR:**

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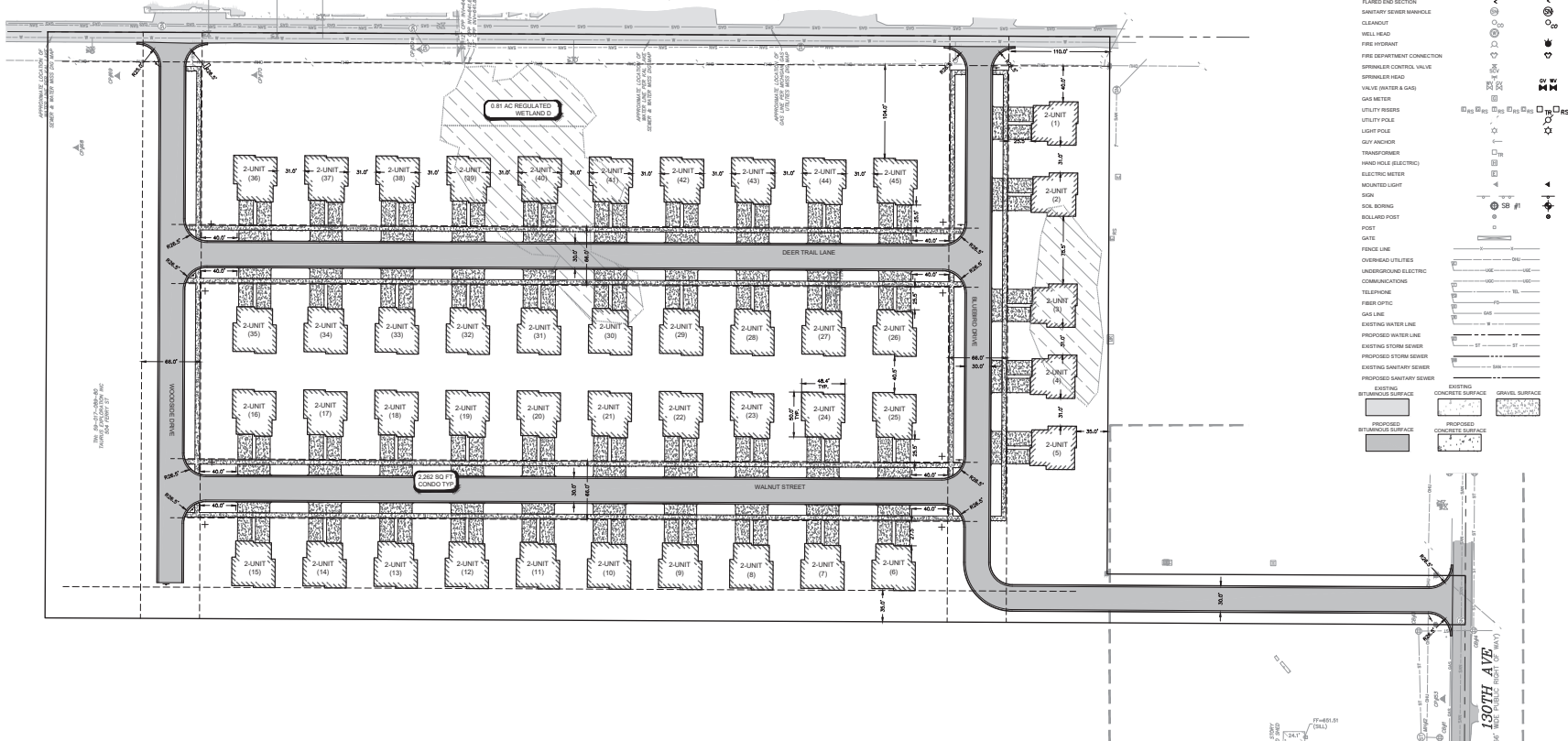
Project Manager:  
**JOHN TENPAS**  
 Project #  
 2210328.1A  
 Sheet Title:

**OVERALL PLAN**

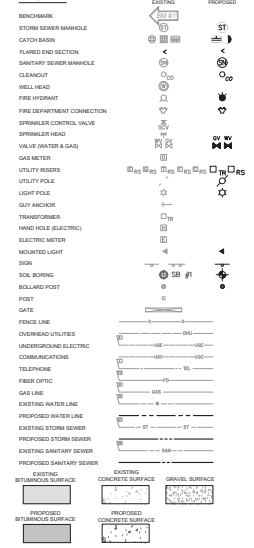
Sheet #  
**C-100**  
 5 of 14



**FERRY STREET**  
(60' WIDE PUBLIC RIGHT OF WAY)



**LEGEND**



**LAYOUT NOTES:**

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- PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEVILY PAVED AREAS.

**PROJECT SUMMARY**

- PARCEL INFORMATION**  
CURRENT ZONING: R-6 MULTIPLE FAMILY RESIDENTIAL  
SITE ADDRESS: 485 FERRY ST., DOUGLAS, MI  
PARCEL NUMBER: 59-617-08-95
- BUILDING**  
REQUIRED: 28 FT MAX. BUILDING HEIGHT, 120 FT MAX. BUILDING LENGTH, 900 SFT MIN. FLOOR AREA, 35% MAX. LOT COVERAGE  
PROVIDED: 27 FT 8 IN, 49 FT, 1731 SFT, 35%
- SETBACKS FOR PROJECT LIMITS**  
REQUIRED: 25 FT FRONT (MIN.), 7 FT SIDE (MIN.), 35 FT REAR (MIN.), 30 FT BLOSS SEPARATION (MIN.)  
PROVIDED: 25 FT, 15 FT, 35 FT, 31 FT
- SUMMARY OF LAND DENSITY**  
PARCEL AREA: 18.31 AC  
WETLAND AREA: 0.21 AC  
R.O.W. AREA: 2.83 AC  
NET BUILDABLE AREA: 15.17 AC  
MAXIMUM DENSITY: 6 UNITS PER BUILDABLE AREA  
PROPOSED UNITS: 50 UNITS  
PROPOSED DENSITY: 5.93 UNITS PER BUILDABLE ACRE (PER NET BUILDABLE AREA) (15:17)
- REGULATORY APPROVALS**  
THE PROJECT WILL REQUIRE THE FOLLOWING APPROVALS AT A MINIMUM (OTHER PERMITS/APPROVAL MAY ALSO BE REQUIRED):  
• CITY OF THE VILLAGE OF DOUGLAS SITE PLAN  
• CITY OF THE VILLAGE OF DOUGLAS FIRE DEPARTMENT  
• ALLEGAN COUNTY DRAIN COMMISSIONER STORM WATER MANAGEMENT  
• ALLEGAN COUNTY SOIL EROSION & SEDIMENTATION CONTROL PERMIT  
• ALLEGAN COUNTY ROAD COMMISSION  
• EDGE IMPACT CONSTRUCTION SITE STORM WATER DISCHARGE  
• SOLE PUBLIC WATER SYSTEM PERMIT  
• SOLE PUBLIC WASTEWATER SYSTEM PERMIT  
• SOLE WETLAND PERMIT  
• SOLE FLOODPLAIN PERMIT
- IMPACT ON PUBLIC SERVICES**  
PROJECT WILL NOT RESULT IN ADVERSE IMPACT TO PUBLIC SERVICES, INCLUDING POLICE & FIRE PROTECTION, UTILITIES, TRAFFIC OR ROADWAYS. A TRAFFIC IMPACT STUDY WAS COMPLETED BY PROGRESSIVE AE DATED NOVEMBER 2022. THIS REPORT INDICATED THERE WOULD HAVE LITTLE TO NO IMPACT ON THE SURROUNDING ROADWAY NETWORK.
- IMPACT TO SURROUNDING PROPERTIES**  
USE OF PROPERTY WILL BE CONSISTENT WITH OTHER USES IN THIS ZONING DISTRICT AND IN THE SURROUNDING AREA. USE OF PROPERTY WILL NOT GENERATE ADVERSE LEVELS OF NOISE, VIBRATION, SHOCK, LIGHT, GLARE, OR OTHER PROBLEMATIC CONDITIONS.
- PARKING**  
PARKING TO BE PROVIDED PER CITY STANDARDS. TWO PARKING SPACES WILL BE PROVIDED FOR EACH DWELLING.
- SIGNAGE**  
SIGNAGE TO BE PROVIDED PER CITY STANDARDS
- STORM WATER MANAGEMENT**  
STORM WATER WILL BE COLLECTED IN A SERIES OF CATCH BASINS, PIPES, AND ROUTED TO A RETENTION POND THAT IS NOT ON THE PROPERTY PER ALLEGAN COUNTY DRAIN COMMISSIONER REQUIREMENTS.
- WASTEWATER SERVICE**  
SITE WILL BE SERVED BY NEW WATER AND SEWER SERVICES AND MAINS CONNECTED TO EXISTING PUBLIC SYSTEMS ADJACENT TO THE SITE.
- WETLANDS**  
THERE ARE WETLANDS ON THE SUBJECT PROPERTY. 0.80 AC OF REGULATED WETLAND D TO BE FILLED, 0.30 AC OF UNREGULATED WETLAND C TO BE FILLED
- FLOODPLAINS**  
THERE ARE NO REGULATORY FLOODPLAINS ON THE SUBJECT PROPERTY. PER FEMA FIRM MAP CN 240540001A.
- LANDSCAPING**  
LANDSCAPING TO BE PROVIDED PER CITY STANDARDS.
- SITE LIGHTING**  
PROPOSED LIGHTING WILL CONSIST OF SHIELDED LIGHT POLES AND WALL PACKS. LIGHTING WILL BE CONSISTENT WITH OTHER USES IN THE AREA AND WILL COMPLY WITH ORDINANCE REQUIREMENTS.
- REFUSE MANAGEMENT**  
RESIDENTIAL UNITS WILL HAVE INDIVIDUAL WASTE BINS AND CURBSIDE WASTE COLLECTION
- CONSTRUCTION SCHEDULE**  
CONSTRUCTION IS ANTICIPATED TO START IN SPRING, 2023
- DRIVING SURFACES AND CLEARANCES**  
MINIMUM CLEAR HEIGHT OF 13'6" WILL BE MET PROVIDED OVERHEAD ELECTRICAL AT ENTRANCE FROM FERRY ST IS AT MINIMUM CLEARANCE. NO FURTHER OVERHEAD CONSTRUCTION IS TO OCCUR.  
ALL DRIVING SURFACES SHALL MEET THE 80,000 LB LOAD BEARING CAPACITY AND ALL ACCESS ROADS WILL BE COMPLETED PRIOR TO PHASED BUILDING CONSTRUCTION.  
ROAD GRADES SHALL NOT EXCEED 10% SLOPE AT ANY GIVEN INTERVAL.  
NO ON STREET PARKING WILL BE PERMITTED. THIS IS DUE TO EMERGENCY ACCESS AND ALLOWING PLOWING OF SNOW AND ICE.  
NO PARKING 'FIRE LANE' SIGNAGE TO BE INSTALLED AT DEAD END.



**ISSUED FOR APPROVAL**



**Engineering Surveying Tasting**  
Holland, MI 616-396-0255  
Grand Rapids, MI 616-245-3800  
Kalamazoo, MI 269-544-1455  
Lansing, MI 517-499-6210  
Ypsilanti, MI 734-358-9483

**FOREST GATE CONDOMINIUMS**  
SECTION 17, TOWN, R18W, CITY OF DOUGLAS, ALLEGAN CO.  
-FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
PO BOX 571, DOUGLAS, MI 49406

**ISSUED FOR:**

1	PRELIMINARY REVIEW	05-08-2022
2	PRELIMINARY REVIEW	06-09-2022
3	PRELIMINARY REVIEW	08-29-2022
4	CITY REVIEW	07-15-2022
5	CITY REVIEW	07-27-2022
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8	CITY REVIEW	09-29-2022
9	CITY REVIEW	10-20-2022
10	CITY REVIEW	12-28-2022
11	CITY REVIEW	01-26-2023

Project Manager: JOHN TENPAS  
Project #: 2210328.1A  
Sheet Title:

**OVERALL SITE PLAN**

Sheet # **C-101**  
6 of 14



Know what's below.  
Call before you dig.



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Holland, MI  
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734-358-9483

FOREST GATE CONDOMINIUMS  
SECTION 17, TOWN, R18W, CITY OF DOUGLAS, ALLEGAN CO.  
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PO BOX 571, DOUGLAS, MI 49406

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9	CITY REVIEW 10-23-2022
10	CITY REVIEW 12-28-2022
11	CITY REVIEW 01-26-2023

Project Manager:  
JOHN TENPAS  
Project #  
2210328.1A  
Sheet Title:

SITE  
PLAN

Sheet #  
C-102  
7 of 14

### LEGEND

BENCHMARK		EASTING		PROPOSED	
STORM SEWER MANHOLE		ST			
CATCH BASIN					
FLARED END SECTION					
SANITARY SEWER MANHOLE					
CLEANOUT					
WELL HEAD					
FIRE HYDRANT					
FIRE DEPARTMENT CONNECTION					
SPRINKLER CONTROL VALVE					
SPRINKLER HEAD					
VALVE (WATER & GAS)					
GAS METER					
UTILITY RISERS					
UTILITY POLE					
LIGHT POLE					
GUY ANCHOR					
TRANSFORMER					
HAND HOLD (ELECTRIC)					
ELECTRIC METER					
MOUNTED LIGHT					
SIGN					
BOLLARD POST					
POST					
GAZE					
FENCE LINE					
OVERHEAD UTILITIES					
UNDERGROUND ELECTRIC					
COMMUNICATION					
TELEPHONE					
FIBER OPTIC					
GAS LINE					
EXISTING WATER LINE					
PROPOSED WATER LINE					
EXISTING STORM SEWER					
PROPOSED STORM SEWER					
EXISTING SANITARY SEWER					
PROPOSED SANITARY SEWER					
EXISTING BITUMINOUS SURFACE					
PROPOSED BITUMINOUS SURFACE					
EXISTING CONCRETE SURFACE					
PROPOSED CONCRETE SURFACE					
GRAVEL SURFACE					

### KEY NOTES:

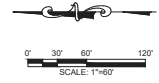
- (A) ASPHALT PAVEMENT-STANDARD DUTY (SEE DETAIL)
- (B) 4" CONC. SIDEWALK (SEE DETAIL)
- (C) 24" CURB & GUTTER - MDOT F4 MODIFIED (SEE DETAIL)

### GENERAL NOTES:

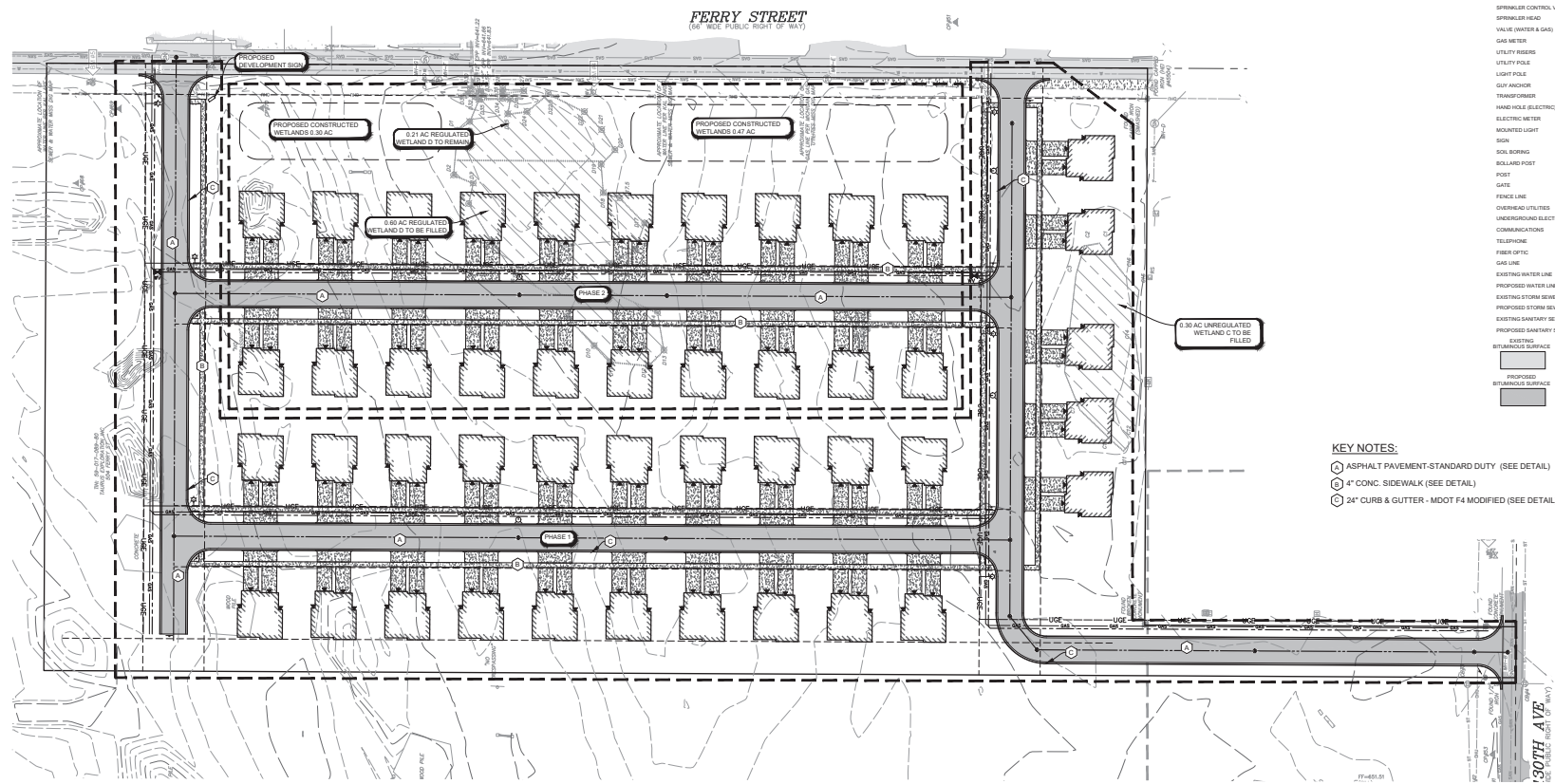
1. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS REQUIRED.
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AUTHORITIES HAVING JURISDICTION.
3. CALL "MISS DIG", 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION.
4. EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORDS AND/OR TOPOGRAPHIC SURVEY DATA. THIS PLAN MAY NOT SHOW UTILITIES IN THEIR EXACT LOCATION AND MAY NOT SHOW ALL UTILITIES IN THE AREA.
5. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES AT ALL TIMES. ANY INTERRUPTION IN SERVICES TO THIS SITE OR ADJACENT SITES MUST BE SCHEDULED WITH THE OWNER, UTILITY PROVIDER, AND AFFECTED PROPERTIES 48 HOURS PRIOR TO THE INTERRUPTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
7. IF ANY DISCREPANCIES OR CONFLICTS ARE FOUND, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY PRIOR TO CONSTRUCTION OF AFFECTED WORK TO DETERMINE COURSE OF ACTION.
8. CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON OR ADJACENT TO THE PROJECT SITE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING THEIR WORK WITH ALL UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
10. PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS.

### LAYOUT NOTES:

1. CONTRACTOR SHALL REVIEW AND VERIFY SITE LAYOUT PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ENGAGE A LICENSED SURVEYOR TO PERFORM ALL CONSTRUCTION LAYOUT AND STAKING AS NECESSARY.
3. ALL COORDINATE POINTS AND DIMENSIONS GIVEN, UNLESS OTHERWISE NOTED, ARE TO BACK OF CURB AND FACE OF BUILDING WALL.
4. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS.
5. INSTALL EXPANSION JOINTS AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.

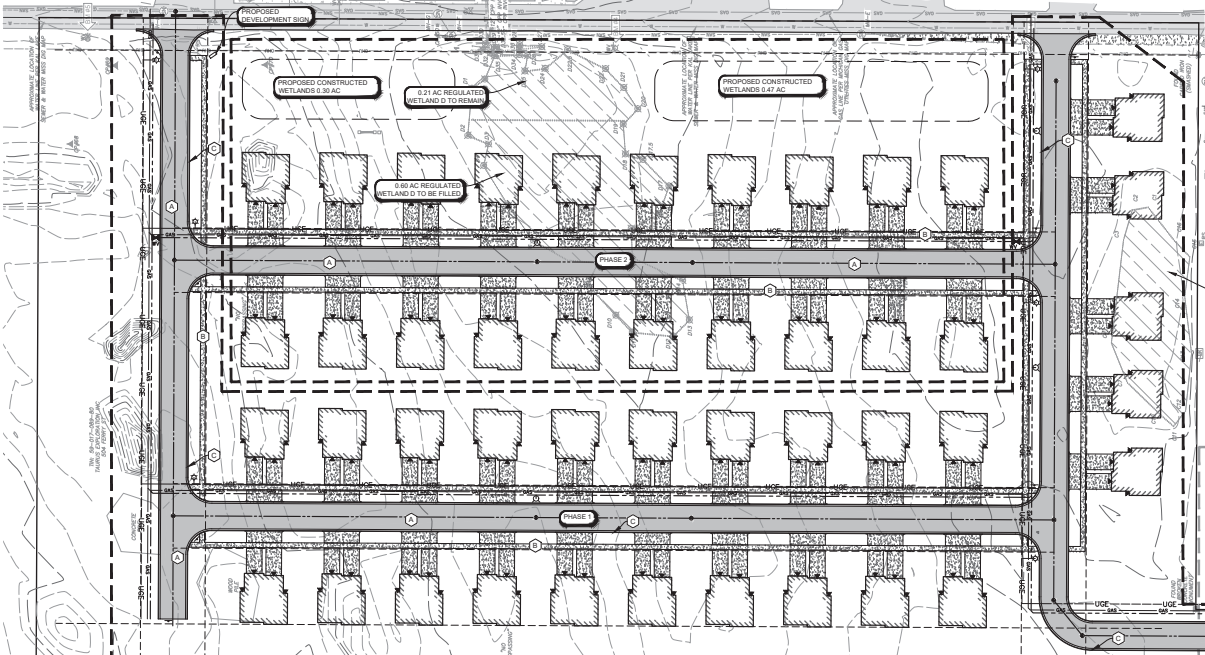


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APPROVAL



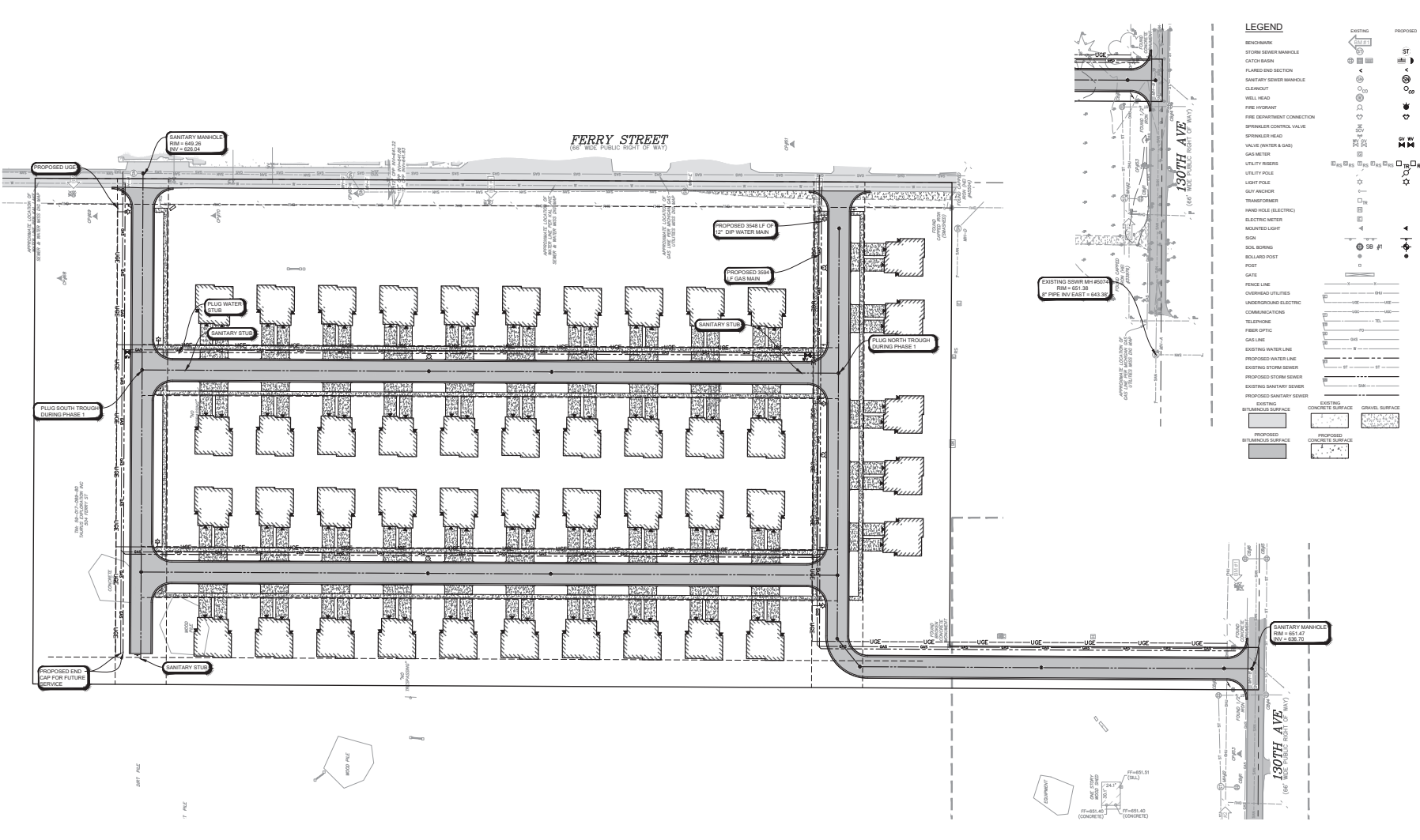
FERRY STREET  
(OR NEXT PUBLIC RIGHT OF WAY)

SOUTH AVE  
(OR NEXT PUBLIC RIGHT OF WAY)



Know what's below.  
Call before you dig.

File Name: C:\Users\jwagner\OneDrive - DBA\Documents\Projects\2022\2210328.1A\2210328.1A.dwg Date: 1/26/2023 11:58:07 AM  
 User: jwagner  
 Plot Scale: 1"=60'  
 Plot Date: 1/26/2023 11:58:07 AM



**LEGEND**

BENCHMARK	EXISTING	PROPOSED
STORM SEWER MANHOLE	ST	ST
CATCH BASIN	CS	CS
FLARED END SECTION	ES	ES
SANITARY SEWER MANHOLE	SS	SS
BLENDOUT	BL	BL
WELL HEAD	WH	WH
FIRE HYDRANT	FH	FH
FIRE DEPARTMENT CONNECTION	FD	FD
SPRINKLER CONTROL VALVE	SCV	SCV
SPRINKLER HEAD	SH	SH
VALVE (WATER & GAS)	V	V
GAS METER	G	G
UTILITY RISER	UR	UR
UTILITY POLE	UP	UP
LIGHT POLE	LP	LP
GUY ANCHOR	GA	GA
TRANSFORMER	T	T
HAND HOLE (ELECTRIC)	HH	HH
ELECTRIC METER	EM	EM
MOUNTED LIGHT	ML	ML
SIK	SIK	SIK
SOIL BORING	SB	SB
BOLLARD POST	BP	BP
POST	P	P
GATE	G	G
FENCE LINE	FL	FL
OVERHEAD UTILITIES	OU	OU
UNDERGROUND ELECTRIC	UE	UE
COMMUNICATIONS	CO	CO
TELEPHONE	TE	TE
FIBER OPTIC	FO	FO
GAS LINE	GL	GL
EXISTING WATER LINE	EWL	EWL
PROPOSED WATER LINE	PWL	PWL
EXISTING STORM SEWER	ESW	ESW
PROPOSED STORM SEWER	PSTW	PSTW
EXISTING SANITARY SEWER	ESS	ESS
PROPOSED SANITARY SEWER	PSS	PSS
EXISTING BITUMINOUS SURFACE	BS	BS
PROPOSED BITUMINOUS SURFACE	PBS	PBS
EXISTING CONCRETE SURFACE	CS	CS
PROPOSED CONCRETE SURFACE	PCS	PCS
EXISTING GRAVEL SURFACE	GS	GS
PROPOSED GRAVEL SURFACE	PGS	PGS

**ORISENSA ASSOCIATES, INC.**  
**Engineering Surveying Tasting**  
 Holland, MI 616-396-0255  
 Grand Rapids, MI 616-243-3800  
 Kalamazoo, MI 269-544-1455  
 Lansing, MI 517-486-6210  
 Ypsilanti, MI 734-368-9483

**FOREST GATE CONDOMINIUMS**  
 485 FERRY ST.  
 SECTION 17, TOWN, R18W, CITY OF DOUGLAS, ALLEGAN CO.  
 -FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
 PO BOX 571, DOUGLAS, MI 49606

**ISSUED FOR:**

1	PRELIMINARY REVIEW	05-08-2022
2	PRELIMINARY REVIEW	06-09-2022
3	PRELIMINARY REVIEW	08-20-2022
4	CITY REVIEW	05-16-2023
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9	CITY REVIEW	10-13-2023
10	CITY REVIEW	12-28-2023
11	CITY REVIEW	01-26-2024

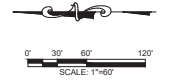
Project Manager:  
**JOHN TENPAS**  
 Project #  
 2210328.1A  
 Sheet Title:

**UTILITY PLAN**

Sheet #

**C-103**  
 8 of 14

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN CONNECTION PERMIT PRIOR TO INSTALLATION OF ANY PRIVATE WATER, SANITARY, OR STORM CONNECTIONS TO PUBLIC MAIN.
  - CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETINGS AND TO ENSURE COMPLIANCE WITH INSPECTION TESTING REQUIREMENTS.
  - REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
  - ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL DOCUMENT AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
  - ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.
  - FIRE HYDRANTS SHALL HAVE A 5" STORZ CONNECTION AND DUAL 2.5" NHT CONNECTIONS PER CITY REQUEST.



**ISSUED FOR APPROVAL**



**DRISSENCA ASSOCIATES, INC.**  
Engineering  
Surveying  
Testing

Holland, MI  
616-396-0255  
Grand Rapids, MI  
616-243-3800  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-499-6210  
Ypsilanti, MI  
734-358-9483

**FOREST GATE CONDOMINIUMS**  
485 FERRY ST.  
SECTION 17, TOWN, R 18W, CITY OF DOUGLAS, ALLEGAN CO.  
-FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
PO BOX 571, DOUGLAS, MI 49406

ISSUED FOR:	
1	PRELIMINARY REVIEW 05-08-2022
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10	CITY REVIEW 12-28-2022
11	CITY REVIEW 01-26-2023

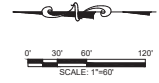
Project Manager:  
**JOHN TENPAS**  
Project #  
2210328.1A

Sheet Title:  
**GRADING  
AND  
STORMWATER  
PLAN**

Sheet #  
**C-104**  
9 of 14

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISER
- UTILITY POLE
- LIGHT POLE
- GOV ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLM/POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- PROPOSED BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- GRAVEL SURFACE



**ISSUED FOR APPROVAL**

**FERRY STREET**  
(66' WIDE PUBLIC RIGHT OF WAY)

**130TH AVE**  
(66' WIDE PUBLIC RIGHT OF WAY)

**LEGEND**

- XXXXXX FINISH GRADE ELEVATION
- NO XXXXXX MATCH EXISTING GRADE ELEVATION
- NO XXXXXX FINISH GRADE ELEVATION AT BACK OF CURB
- FL XXXXXX FINISH GRADE ELEVATION AT FLOW LINE
- NO XXXXXX FINISH GRADE ELEVATION AT TOP OF HILL
- NO XXXXXX FINISH GRADE ELEVATION AT BOTTOM OF HILL AT GRADE
- PROPOSED SHALE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- Ø22.00 MINIMUM OPENING ELEV. (M.O.E.)
- Ø21.60 MINIMUM BASEMENT ELEV. (M.B.E.)

**UTILITY NOTES:**

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- CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED FOR ANY PROPOSED PUBLIC WATER MAIN, SANITARY SEWER, OR STORM SEWER. CONTRACTOR SHALL COORDINATE WITH MUNICIPALITY PRIOR TO CONSTRUCTION TO SCHEDULE PRE-CONSTRUCTION MEETING AND TO ENSURE COMPLIANCE WITH INSPECTION/TESTING REQUIREMENTS.
- REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL DOCUMENT, AND FURNISH TO OWNER AND ENGINEER, WITNESS DIMENSIONS FOR ALL UTILITY STUBS AND CONDUITS INSTALLED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF AGGREGATE BASE.

MATCH LINE

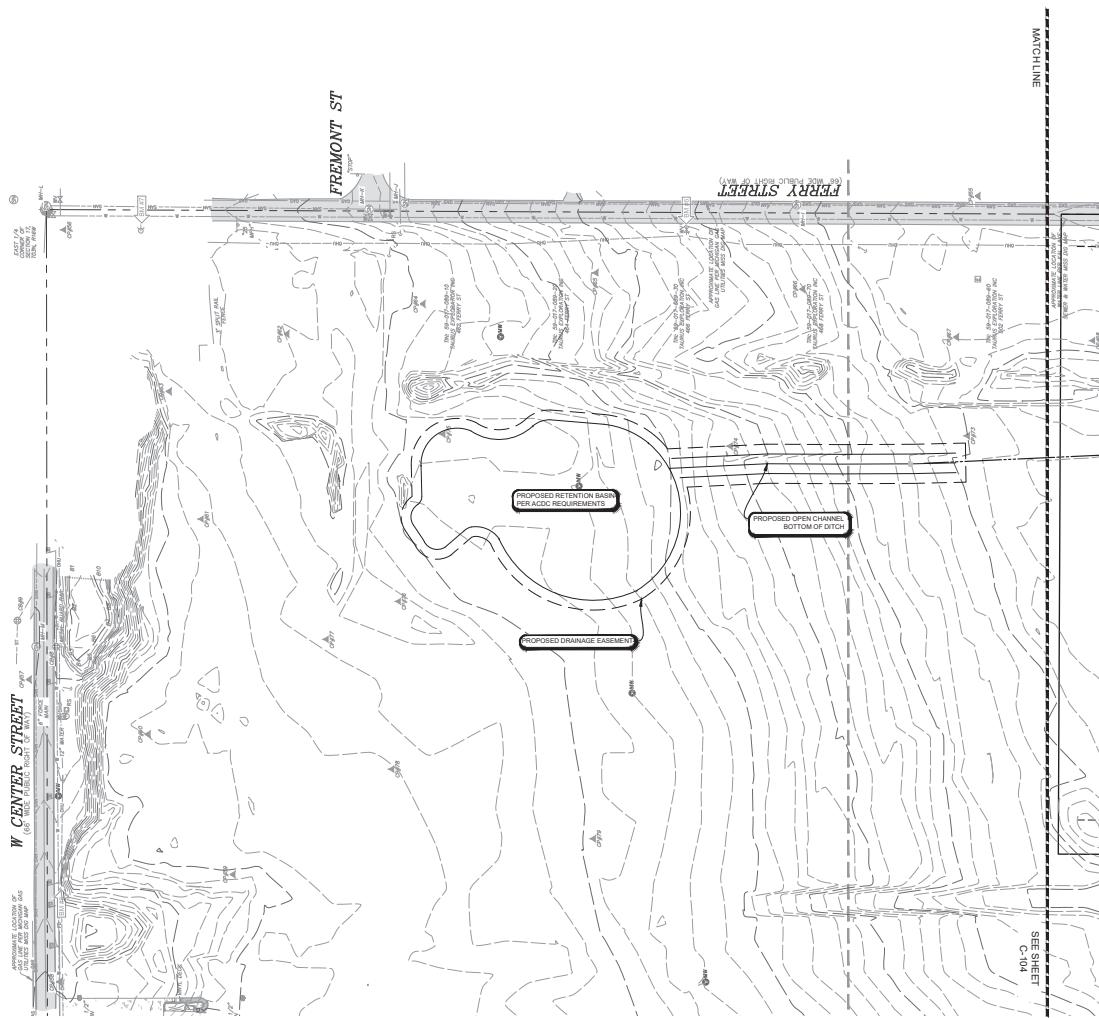
SEE SHEET C-103



Know what's below.  
Call before you dig.



Know what's below.  
Call before you dig.



**UTILITY NOTES:**

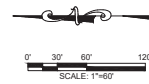
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**LEGEND**

- FINISH GRADE ELEVATION
- MATCH EXISTING GRADE ELEVATION
- FINISH GRADE ELEVATION AT BACK OF CURB
- FINISH GRADE ELEVATION AT FLOW LINE
- FINISH GRADE ELEVATION AT TOP OF WALL
- FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
- PROPOSED SHALE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- MINIMUM OPENING ELEV. (M.O.E.)
- MINIMUM BASEMENT ELEV. (M.B.E.)

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- CATCH BASIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISER
- UTILITY POLE
- LIGHT POLE
- GUY ANCHOR
- TRANSFORMER
- HAND HOLE (ELECTRIC)
- ELECTRIC METER
- MOUNTED LIGHT
- SIGN
- SOIL BORING
- BOLLARD/POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- PROPOSED BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- GRAVEL SURFACE



**ISSUED FOR APPROVAL**



**DRISTENGA ASSOCIATES, INC.**  
Engineering  
Surveying  
Testing

Holland, MI 616-396-0255  
Grand Rapids, MI 616-243-3800  
Kalamazoo, MI 269-544-1455  
Lansing, MI 517-499-6210  
Ypsilanti, MI 734-368-9483

**FOREST GATE CONDOMINIUMS**  
485 FERRY ST.  
SECTION 17, TOWN, R 16W, CITY OF DOUGLAS, ALLEGAN CO.  
-FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
PO BOX 571, DOUGLAS, MI 49406

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11	CITY REVIEW	01-26-2023

Project Manager:  
**JOHN TENPAS**  
Project #  
2210328\_1A  
Sheet Title:  
**GRADING AND STORMWATER PLAN**  
Sheet #

**C-105**  
10 of 14



**DIVERSIFIED SURVEYING AND CONSULTING, INC.**  
Engineering  
Surveying  
Testing

Holland, MI  
616-396-0255  
Grand Rapids, MI  
616-243-3602  
Kalamazoo, MI  
269-544-1455  
Lansing, MI  
517-499-6210  
Ypsilanti, MI  
734-369-9483

**FOREST GATE CONDOMINIUMS**  
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**ARGENT MANAGEMENT GROUP, INC.**  
PO BOX 571, DOUGLAS, MI 49406

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9	CITY REVIEW	10-13-2022
10	CITY REVIEW	12-28-2022
11	CITY REVIEW	01-26-2023

Project Manager:  
**JOHN TENPAS**  
Project #:  
210328.1A  
Sheet Title:  
**SOIL EROSION  
SEDIMENT CONTROL  
PLAN**  
Sheet #

**C-106**  
11 of 14

**SOIL EROSION & SEDIMENTATION CONTROL (SESC) NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SESC PERMIT.
- PLACE TEMPORARY SESC MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
- CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
- INSPECT AND MAINTAIN ALL TEMPORARY SESC MEASURES AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
- ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 7 DAYS SHALL HAVE PERIMETER SILT FENCE. ALL SOIL STOCKPILES LEFT UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED WITHIN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
- TEMPORARY SEEDING SHALL CONSIST OF GRASS AND/OR BARLEY AT AN APPLICATION RATE OF 2.0 LBS/1000 SFT MINIMUM APRIL 1 THROUGH AUGUST 31, OR ANNUAL RYEGRASS AT AN APPLICATION RATE OF NOT LESS THAN 2.0 LBS/1000 SFT AUGUST 1 THROUGH NOVEMBER 15. IRRIGATE IF NECESSARY TO ESTABLISH TEMPORARY COVER.
- TEMPORARY SESC MEASURES SHALL REMAIN IN PLACE UNTIL ALL PERMANENT SESC MEASURES ARE INSTALLED, AND VEGETATION IS LINEARLY ESTABLISHED. RE-GRADE, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
- CONSTRUCTION OF SEDIMENT BASINS AND DIVERSION DITCHES SHALL BE COMPLETED PRIOR TO SITE CLEARING AND GRADING.
- INSTALL INLET SEDIMENT TRAPS (SILT "CATCH" OR EQUAL) IN ALL PROPOSED CATCHBASINS AS INDICATED ON THIS DRAWING. CLEAN INLET SEDIMENT TRAPS ON A WEEKLY BASIS AND AFTER RAIN EVENTS AS REQUIRED.
- CONTRACTOR SHALL INSPECT AND CLEAN OUT ALL EXISTING AND PROPOSED STORM SEWER CATCHBASINS AND MANHOLES WITHIN THE PROJECT LIMITS, OR OUTSIDE THE PROJECT LIMITS IF SUBJECT TO CONSTRUCTION SITE RUNOFF, AS NECESSARY DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
- PLACE SILT FENCE ALONG DISTURBED AREAS WHERE SURFACE WATER WILL FLOW INTO EXISTING SWALES, DITCHES AND ADJACENT PROPERTIES. ANCHOR SILT FENCE TO PREVENT UNCONTROLLED RELEASE OF SILT Laden WATER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SWEEPING OF TRACKED MATERIALS FROM ALL ROADWAYS.
- THE SESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM MEASURES REQUIRED. DUE TO SITE ACTIVITIES AND SCHEDULES, ADDITIONAL MEASURES WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
- ONCE SITE IS STABILIZED, ALL TEMPORARY SESC MEASURES SHALL BE REMOVED.

**SESC SITE SUMMARY:**

- NATIVE SITE SOIL IS CLASSIFIED AS SANDY LOAM PER USDA WEB SOIL SURVEY OR SOIL BORINGS.
- WETLANDS THERE ARE KNOWN REGULATED FLOODPLAINS ON THE SUBJECT PROPERTY.
- FLOODPLAINS THERE ARE KNOWN REGULATED FLOODPLAINS ON THE SUBJECT PROPERTY. PER FEMA FIRM MAP NO. 26049D0010A.
- AREA OF DISTURBANCE: 16.25 ACRES

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - FILL DATE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
SITE CLEARING AND INSTALL CONTROLS												
ROUGH GRADE SITE												
INSTALL UTILITIES												
BUILDING CONSTRUCTION												
FINAL GRADING												
SEEDING & STABILIZATION												

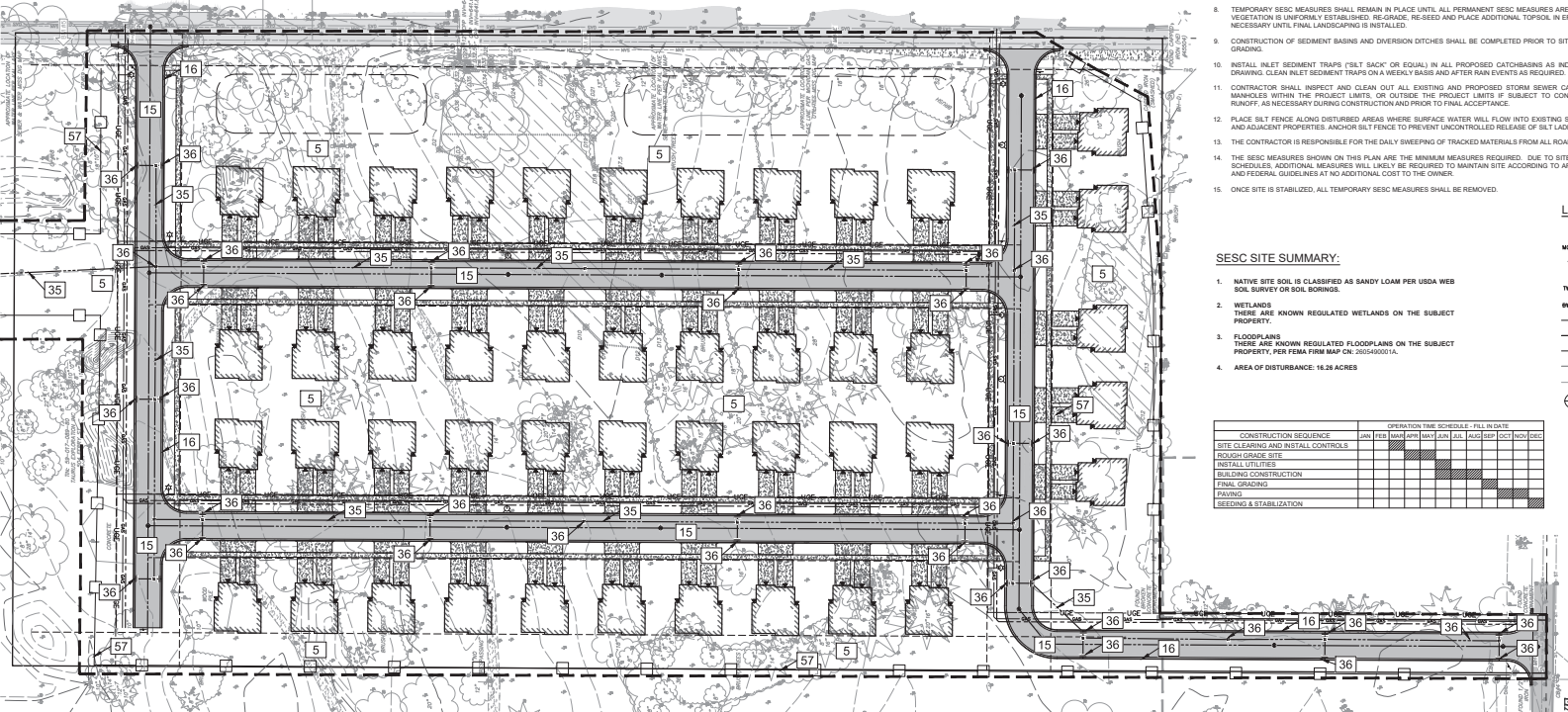
**LEGEND**

- XXXXX FINISH GRADE ELEVATION
- W XXXXX MATCH EXISTING GRADE ELEVATION
- FL XXXXX FINISH GRADE ELEVATION AT BACK OF CURBS
- FL XXXXX FINISH GRADE ELEVATION AT FLOW LINE
- TR XXXXX FINISH GRADE ELEVATION AT TOP OF WALL
- BB XXXXX FINISH GRADE ELEVATION AT BOTTOM OF WALL AT GROUND
- PROPOSED SWALE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- MINIMUM OPENING ELEV. (M.O.E.)
- MINIMUM BASEMENT ELEV. (M.B.E.)

**LEGEND**

- BENCHMARK
- STORM SEWER MANHOLE
- GAS MAIN
- FLARED END SECTION
- SANITARY SEWER MANHOLE
- CLEANOUT
- WELL HEAD
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SPRINKLER CONTROL VALVE
- SPRINKLER HEAD
- VALVE (WATER & GAS)
- GAS METER
- UTILITY RISERS
- UTILITY POLE
- LIGHT POLE
- TRANSFORMER
- GVY ANCHOR
- TRANSFORMER
- ELECTRIC METER
- HAND HOLE (ELECTRIC)
- MOUNTED LIGHT
- SOB
- SOIL BORING
- BOLLARD POST
- POST
- GATE
- FENCE LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- COMMUNICATIONS
- TELEPHONE
- FIBER OPTIC
- CO LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BITUMINOUS SURFACE
- PROPOSED BITUMINOUS SURFACE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED GRAVEL SURFACE

**FERRY STREET**  
(66" WIDE PUBLIC RIGHT OF WAY)



**GRADING NOTES:**

- ALL SURFACES SHALL BE GRADED TO PROVIDE SMOOTH CONTOURING AND POSITIVE SLOPE AWAY FROM BUILDINGS, WITH NO PONDING OF WATER.
- IN ALL AREAS OF NEW CONSTRUCTION, GRADING, OR MATERIAL STOCKPILE AREAS, STRIP AND STOCKPILE EXISTING TOPSOIL PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE INDICATED, GRADES AND CONTOURS SHOWN REPRESENT FINISHED GRADE, AFTER PLACEMENT OF PAVEMENT, TOPSOIL, AND OTHER SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES, AND CLEANOUTS TO MEET FINISHED GRADE.

**CONTINUED MAINTENANCE OF PERMANENT SESC MEASURES:**

PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN PERMANENT SESC MEASURES.

PAVING:  
REPAIR CRACKED OR DAMAGE PAVEMENT AS NEEDED.

SEEDING:  
RESPECT NEWLY SEEDED AREAS SUBSEQUENT TO ANTICIPATED GERMINATION DATE AND AFTER EACH SIGNIFICANT RAINFALL EVENT THAT PRODUCES RUNOFF UNTIL AREAS ARE STABILIZED.

REPAIR ERODED AREAS, APPLYING SUPPLEMENTAL SEED, MULCH AND WATER AS NEEDED.

IF SEED DOES NOT ESTABLISH, CONDUCT SOIL TESTS, AMEND SOILS AS NEEDED, AND REAPPLY SEED AND/OR MULCH DURING THE RECOMMENDED GROWING SEASON.

TO ASSIST IN THE ESTABLISHMENT OF NATIVE SPECIES REMOVE UNWANTED COMPETING VEGETATION IN THE FIRST YEAR. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.

5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE STABILIZES SOIL. THIS MINIMIZES EROSION PERMITS RUNOFF TO INFILTRATE SOIL. REDUCING RUNOFF VOLUME. PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED. BUT INCREASES RUNOFF VOLUME AND VELOCITY. REGULAR SURFACE WILL HELP SLOW VELOCITY.
15	PAVING	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
35	STRIP & STOCKPILE	REMOVES COLLECTED RUNOFF FROM SITE. INTENTIONALLY FROM PAVED AREAS CAN ACCEPT LARGE CONCENTRATIONS OF SANDY CONCRETE RUNOFF TO MANHOLES, SEWER SYSTEM OR STABILIZED OUTLET LOCATION. USE CATCH BAGS TO COLLECT SEDIMENT.
36	STRIP & STOCKPILE	COLLECTS HIGH VELOCITY CONCENTRATION RUNOFF MAY USE FILTER CLOTH OVER INLET.
57	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

**RESTORATION NOTES:**

- EXISTING DITCHES TOPSOIL MAY BE USED IF APPROVED BY ENGINEER. IF NOT APPROVED, IMPORTED TOPSOIL MEETING PROJECT SPECIFICATIONS SHALL BE USED.
- RETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 3" OF LOOSE SANDY TOPSOIL, SEED, FERTILIZER, AND MULCH ON BASIN BOTTOM. RETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL. SEED MIX SHALL BE .5PFW STORMWATER SEED MIX OR EQUAL ON BASIN BOTTOM AND 2 FEET VERTICALLY UP SIDESLOPE, AND SUITABLE GRASS SEED MIX ABOVE 2 FOOT LEVEL.
- DETENTION BASIN, IF PRESENT, SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH ON BASIN BOTTOM. DETENTION BASIN SIDESLOPES SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER SLOPES STEEPER THAN 1 ON 4 SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND EROSION CONTROL BLANKET, NORTH AMERICAN GREEN DS150 OR EQUAL.
- ALL OTHER DISTURBED AREAS SHALL BE RESTORED WITH 4" (MIN) TOPSOIL, SUITABLE GRASS SEED MIX, FERTILIZER, AND MULCH.



0' 30' 60' 120'  
SCALE: 1"=60'

**ISSUED FOR APPROVAL**



Know what's below.  
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**DIVERSE | FLUSH MOUNT**

57612 / 57613 / 57614 / 57631 / 57633 / 57636 / 57640 / 57641 / 57644  
 57647 / 57651 / 57652 / 57654

Job Name : \_\_\_\_\_  
 Job Type : \_\_\_\_\_  
 Quantity : \_\_\_\_\_  
 Comments : \_\_\_\_\_

- Die Cast Aluminum
- Fully dimmable with CL Triac Dimmers
- High powered LEDs create a brighter shine
- Approved for use in closets and storage spaces
- Reduces energy consumption and operating costs by up to 80% over incandescent downlights
- Easy to install: fits all standard 3" or 4" J-box
- Suitable for wet locations
- Innovative design runs cooler to maximize energy efficiency
- High-powered LED output creates brighter shine
- Energy Star Certified, CRI 90+
- ETL/cETL IP45



MSC030



RFK57652  
 Diverse Retro Fit W/O Bracket  
 for 57652, 57613



**SILT SACK**  
 NO SCALE

**PRODUCT DESCRIPTION**

This very compact LED flush mount easily installs on any 3.25" octagon box and gives the look of a recessed trim. Constructed of Die Cast Aluminum, the Diverse luminaire is dimmable and also approved for wet locations so it can be used in virtually any ceiling application, including showers.

**MEASUREMENTS**

MODEL	DIMENSION	MODEL	DIMENSION
57612	7.5"W x 1.25"H x 7.5"L	57640	13"W x 0.75"H x 13"L
57613	7.5"W x 1.25"H x 7.5"L	57641	7.5"W x 1.25"H x 7.5"L
57614	7.5"W x 1.25"H x 7.5"L	57644	7.5"W x 1.25"H x 7.5"L
57631	6.25"W x 1.25"H x 6.25"L	57647	7.5"W x 1.25"H x 7.5"L
57633	6.25"W x 1.25"H x 6.25"L	57651	7.5"W x 1.25"H x 7.5"L
57636	6.25"W x 1.25"H x 6.25"L	57652	7.5"W x 1.25"H x 7.5"L
		57654	7.5"W x 1.25"H x 7.5"L



WIRE LENGTH 8'L

**LAMPING**

MODEL	BULB TYPE	CRI	COL TEMP.	LUMENS RATED	DEL	DIMMABLE	INPUT
57612	13.5W AC Integrated LED	90+	2700	1200	950	Triac	120V
57613	13.5W AC Integrated LED	90+	3000K	1200	950	Triac	120V
57614	13.5W AC Integrated LED	90+	4000K	1200	950	Triac	120V
57631	12W AC Integrated LED	90+	2700K	1350	1100	Triac	120V
57633	12W AC Integrated LED	90+	3000K	1080	850	Triac	120V
57636	12W AC Integrated LED	90+	4000K	1080	850	Triac	120V
57640	28W AC Integrated LED	90+	3000K	1080	850	Triac	120V
57641	15W AC Integrated LED	90+	2700K	1350	1050	Triac	120V
57644	15W AC Integrated LED	90+	4000K	1350	1050	Triac	120V
57647	15W AC Integrated LED	90+	3000K	1350	1050	Triac	120V
57651	12.5W AC Integrated LED	90+	3000K	1100	950	Triac	120V
57652	12.5W AC Integrated LED	90+	4000K	1100	950	Triac	120V
57654	12.5W AC Integrated LED	90+	4000K	1100	950	Triac	120V

**FINISHES OPTION**

- Bronze
- Satin Nickel
- White
- Black

Available in White (WT) finish only. Contact our Representative for special requests (MOQ may apply).

**GLASS**

White WT

**MATERIAL**

Polycarbonate, Die Cast Aluminum

**RATINGS**

- cETLus
- Wet Location
- Energy Star

**ADDITIONAL**

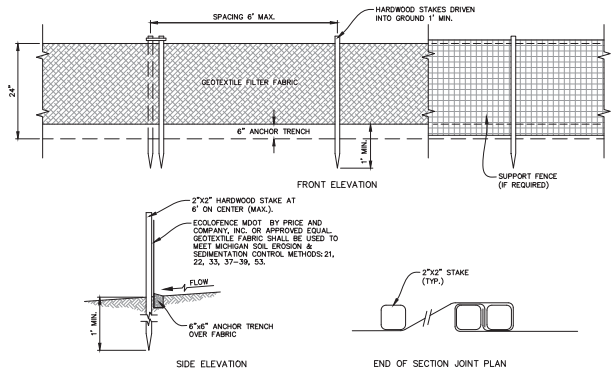
RATED LIFE 50000 Hours  
 OPERATING TEMPERATURE:  
 -20°C (-4°F), 42°C (104°F)

Always consult a qualified electrician before installing any lighting product.



**WESTERN DISTRIBUTION CENTER (HEADQUARTER)**  
 253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746  
**EASTERN DISTRIBUTION CENTER**  
 4200 SHIRLEY DR. | ATLANTA, GA 30336  
 P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

**LIGHT PHOTOMETRICS**  
 NO SCALE



**SILT FENCE**  
 NO SCALE



**DRIVENSA ASSOCIATES, INC.**  
**Engineering**  
**Surveying**  
**Tasting**

Holland, MI 616-396-0255  
 Grand Rapids, MI 616-245-3800  
 Kalamazoo, MI 269-544-1455  
 Lansing, MI 517-499-6210  
 Ypsilanti, MI 734-368-9483

**FOREST GATE CONDOMINIUMS**  
 485 FERRY ST.  
 SECTION 17, TOWN OF DOUGLAS, ALLEGAN CO.  
 -FOR-  
**ARGENT MANAGEMENT GROUP, INC.**  
 PO BOX 571, DOUGLAS, MI 49606

ISSUED FOR:

1	PRELIMINARY REVIEW	05-08-2022
2	PRELIMINARY REVIEW	06-09-2022
3	PRELIMINARY REVIEW	06-29-2022
4	CITY REVIEW	07-15-2022
5	CITY REVIEW	07-27-2022
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Project Manager:  
**JOHN TENPAS**  
 Project:  
 2210328.1A  
 Sheet Title:

**DETAILS**

Sheet #

**C-502**  
 13 of 14

**ISSUED FOR APPROVAL**



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