

ALTA/ACSM LAND TITLE SURVEY FOR:
DWARKESH GROUP, LLC

LOCATED IN LAND LOT 240 - 12TH DISTRICT - 3RD SECTION OF WHITFIELD COUNTY, GEORGIA

PLAT DATE: OCTOBER 15, 2019



THIS BLOCK RESERVES FOR THE CLERK OF THE SUPERIOR COURT

NOTES

- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH AN ABSTRACT OF TITLE BY FIDELITY NATIONAL TITLE DATED SEPTEMBER 18, 2018, COMPARISON NUMBER 77128. THERE MAY BE OTHER DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL. THE SURVEYOR HAS MADE NO INVESTIGATION OR RECONSTRUCTION SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, DISPOSITIONS, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY REVEAL.
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE LOCAL CLERK OF SUPERIOR COUNTY OFFICE.
- SUBJECT AND ADJACENT PROPERTY OWNERS HAVE BEEN REFERENCED BY BLOCK, BY RECORD NUMBER, DEED REFERENCE AND NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- PROPERTIES OF ANY KIND UPON APPROXIMATE BOUNDARIES AND CENTERLINE, AND DEEDS FOR SAME FOUND UNLESS NOTED OTHERWISE, ARE DEEDS FOR SAME FOUND UNLESS NOTED OTHERWISE.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- THE CERTIFICATION AS SHOWN HEREON IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON PROFESSIONAL INFORMATION AND BELIEFS AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSION OF OPINION OR GUARANTEE OF ACCURACY.
- THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A.) 13-6-2 AS AMENDED BY HOUSE BILL 2019-017, WHICH PROVIDES A COMPLETE EXISTENCE BETWEEN THESE TWO SETS OF REGULATIONS.
- THE PROPERTY HAS SURVIVED RELIANCE. THIS PLAT MAKES NO CERTIFICATION CONCERNING THE EXISTENCE OR NON-EXISTENCE OF RELIANCE. THE SURVEYOR HAS REVIEWED THE SURVEY OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA SURVEY OF NATURAL RESOURCES, BUT IS NOT SUBJECT TO PENALTY BY LAW FOR OBTAINING TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NUMBER 13183-0333D WITH AN EFFECTIVE DATE OF SEPTEMBER 18, 2007.

SCHEDULE B, PART II

9. EASEMENT FOR RIGHT OF WAY TO GEORGIA POWER COMPANY DATED AUGUST 9, 1986 AND RECORDED IN DEED BOOK 707, PAGE 1333, WHITFIELD COUNTY, GEORGIA RECORDS.

10. GENERAL UTILITY EASEMENT TO CITY OF DALTON DATED NOVEMBER 15, 1985 AND RECORDED IN DEED BOOK 210, PAGE 80, WHITFIELD COUNTY, GEORGIA RECORDS.

11. GENERAL UTILITY EASEMENT TO CITY OF DALTON DATED NOVEMBER 15, 1985 AND RECORDED IN DEED BOOK 210, PAGE 80, WHITFIELD COUNTY, GEORGIA RECORDS.

ZONING REQUIREMENTS/RESTRICTIONS

PARCEL: 12-240-07-033
ZONING: C-2 GENERAL COMMERCIAL (FOR WHITFIELD COUNTY, GEORGIA) (SEE CITY OF DALTON ZONING ORDINANCES)

MINIMUM SETBACKS:
FRONT (MAJOR STREET): 25 FEET
SIDE (OTHER STREET): 10 FEET
REAR: 20 FEET

- LEGEND**
- IRON PIN
 - ▲ CONCRETE MARKER
 - CALCULATED POINT
 - RIGHT OF WAY
 - LAND LOT LINE
 - LOT LINE
 - ORIGINAL LOT LINE
 - X- FENCE
 - E- EASEMENT
 - B- BUILDING SETBACK
 - C- CREEK OR DITCH
 - G- GAS LINE
 - O- OVERHEAD CABLE
 - P- POWER POLE
 - L- LIGHT POLE
 - S- SANITARY SEWER
 - M- SANITARY SEWER MANHOLE
 - D- STORM DRAIN
 - C- STORM DRAIN STRUCTURES
 - M- CORRUGATED METAL PIPE
 - R- REINFORCED CONCRETE PIPE
 - W- WATER LINE
 - H- FIRE HYDRANT
 - R- REBAR SET WITH CAP
 - F- REBAR FOUND
 - C- COMPACT TOP PIPE
 - O- OPEN TOP PIPE
 - P.O.B. POINT OF BEGINNING
 - P.O.C. POINT OF COMMENCEMENT
 - D- DEED BOOK
 - P- PLAT BOOK
 - C- CONCRETE POLE
 - M- MANHOLE
 - T- TREE

ALTA/ACSP CERTIFICATION

TO: DWARKESH GROUP, LLC
CLIENT: DWARKESH GROUP, LLC
PROPERTY: 0.914 ACRES, 1301 EAST WALNUT AVENUE, DALTON, GEORGIA 30701
U.S. SMALL BUSINESS ADMINISTRATION

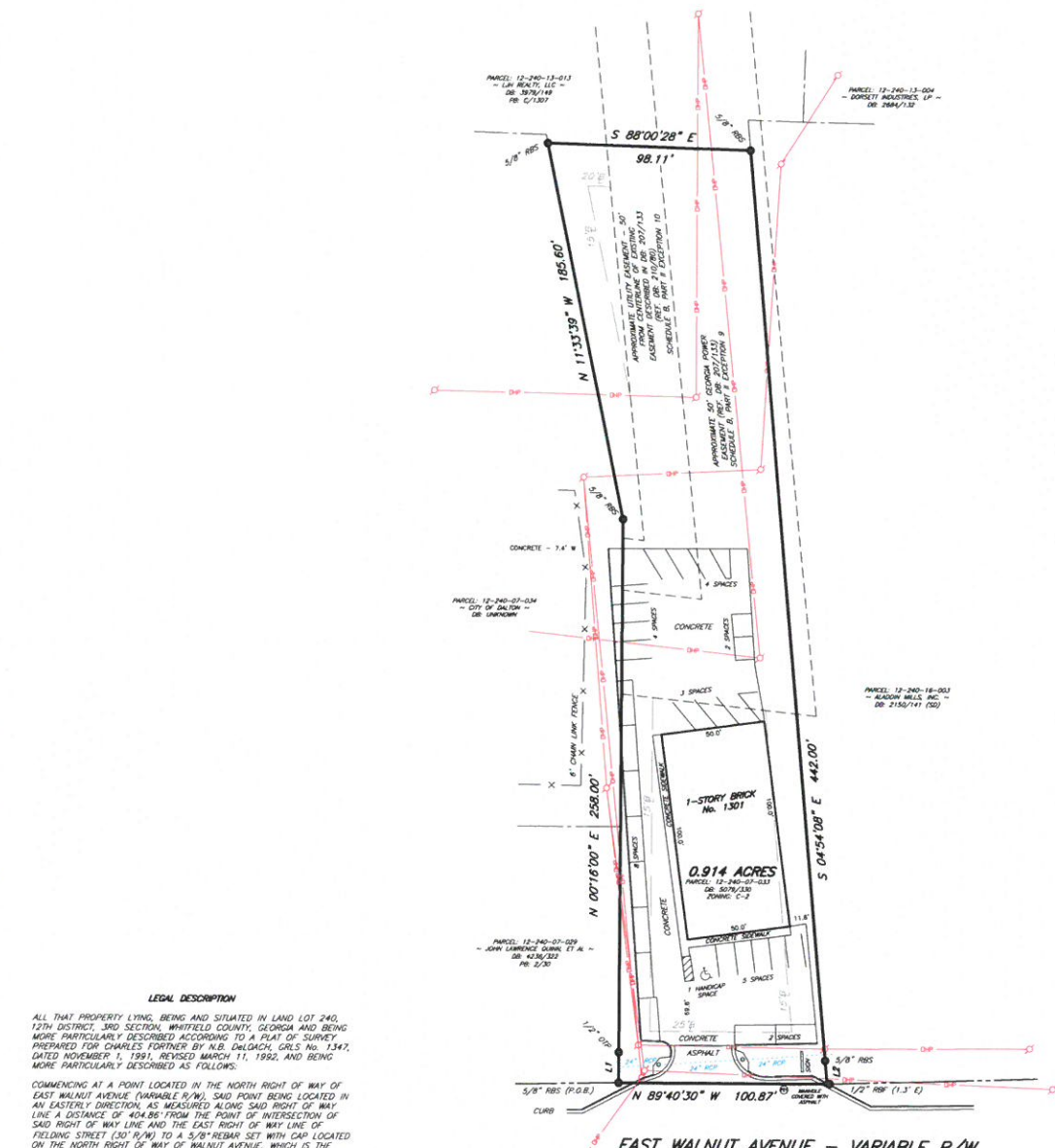
THIS IS TO CERTIFY THAT THIS MAP OF PLAT AND THE SURVEY ON WHICH IT BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD SETBACK REQUIREMENTS FOR ALTA/ACSP LAND TITLE SURVEYS, AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, AND AS SET FORTH IN O.C.G.A. SECTION 13-6-2.

NOTICE

THIS PLAT OF SURVEY IS MADE FOR THE SOLE USE AND BENEFIT OF THE PERSON(S) OR ENTITIES WHOSE NAMES THE SURVEY ASSURES AND LIABILITY TO PERSONS OR ENTITIES NOT NAMED HEREON AND ANY USE OF THIS PLAT BY UNAUTHORIZED PERSONS DONE AT THEIR OWN RISK. THE SURVEYOR MAKES NO CLAIM AS TO THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAT WITHOUT AN ORIGINAL SURVEYING INSTRUMENT AND BELOW THE SURVEYOR'S CERTIFICATION ARE NOT VALID.

SURVEYOR'S CERTIFICATION

I, FLOYD L. HORNE, REGISTERED LAND SURVEYOR #3078, DO HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE MINIMUM STANDARD SETBACK REQUIREMENTS FOR ALTA/ACSP LAND TITLE SURVEYS, AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 13-6-2.



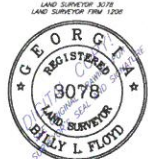
LEGAL DESCRIPTION

ALL THAT PROPERTY LYING, BEING AND SITUATED IN LAND LOT 240, 12TH DISTRICT, 3RD SECTION, WHITFIELD COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED ACCORDING TO A PLAT OF SURVEY PREPARED FOR CHARLES FORTNER BY N.E. DALOACH, C.R.L.S. NO. 1347, DATED NOVEMBER 1, 1991, REVERSED MARCH 11, 1992, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

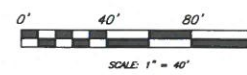
COMMENCING AT A POINT LOCATED IN THE NORTH RIGHT OF WAY OF EAST WALNUT AVENUE (VARIABLE R/W), SAID POINT BEING LOCATED IN AN EASTERLY DIRECTION, AS MEASURED ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 404.86' FROM THE POINT OF INTERSECTION OF SAID RIGHT OF WAY LINE AND THE EAST RIGHT OF WAY LINE OF FREEDING STREET (307.9' W) TO A 5/8" REBAR SET WITH CAP LOCATED ON THE NORTH RIGHT OF WAY OF WALNUT AVENUE, WHICH IS THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING, THENCE NORTH 00°16'00" EAST A DISTANCE OF 14.74' TO A 1/2" OPEN TOP PIPE, THENCE NORTH 00°16'00" EAST A DISTANCE OF 258.00' TO A 5/8" REBAR SET WITH CAP, THENCE NORTH 11°33'39" WEST A DISTANCE OF 185.80' TO A 5/8" REBAR SET WITH CAP, THENCE SOUTH 88°00'28" EAST A DISTANCE OF 98.11' TO A 5/8" REBAR SET WITH CAP, THENCE SOUTH 04°54'08" EAST A DISTANCE OF 11.39' TO A 1/2" REBAR FOUND LOCATED ON THE NORTH RIGHT OF WAY OF WALNUT AVENUE, THENCE ALONG THE NORTH RIGHT OF WAY OF WALNUT AVENUE, NORTH 89°40'30" WEST, A DISTANCE OF 100.87' TO A 5/8" REBAR SET WITH CAP, WHICH IS THE POINT OF BEGINNING.

SAID PROPERTY CONTAINS AN AREA OF 0.914 ACRES.



LINE	BEARING	DISTANCE
L1	N 00°16'00" E	14.74'
L2	S 04°54'08" E	11.39'



FLOYD-HORNE
LAND SURVEYORS
2510 SHORTER AVENUE
ROME, GEORGIA
(706) 234-5852