

**ORDINANCE OF
THE MAYOR AND COUNCIL OF THE CITY OF DALTON
AMENDING THE *UNIFIED ZONING ORDINANCE***

Ordinance 24-02 Urban PUD

WHEREAS, the Mayor and Council of the City of Dalton adopted the *Unified Zoning Ordinance* on or about July 20, 2015; and

WHEREAS, the Mayor and Council of the City of Dalton has, from time to time, amended said ordinance in order to protect the health, welfare, and safety of the public; and

WHEREAS, the Mayor and Council of the City of Dalton finds such amendments to be useful, necessary, and proper, and protective of the health, welfare, and safety of the public; and

WHEREAS, it is the desire of the Mayor and Council of the City of Dalton to promote the goals, objectives, and policies of the *Joint Comprehensive Plan for Whitfield County and the Cities of Cohutta, Dalton, Tunnel Hill and Varnell*; and

WHEREAS, it is the belief of the Mayor and Council of the City of Dalton that in so doing, it protects the health, welfare, and safety of the public;

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Council of the City of Dalton that the *Unified Zoning Ordinance*, otherwise known as **Appendix A**, be amended by adding a new Section 4-1-19 titled “Urban Planned Unit Development (U-PUD), by adding a new Article V titled “Urban Planned Unit Development District (U-PUD) along with new Sections 5-1 through 5-5-12 describing the district requirements; by adding Appendix 5A titled “Urban PUD Design Standards, by adding Exhibit F as a map of the U-PUD District boundary, by renumbering original Articles V through XI and their respective Sections to be numbered as Articles VI through XII, by amending the Permitted Use Table to add the U-PUD zoning district and its allowable uses; and for other purposes.

BE IT ORDAINED by the Mayor and Council of the City of Dalton and by the authority of same, **IT IS HEREBY ORDAINED** as follows:

1. Insert new Section 4-1-19 to read as follows:

***4-1-19 Urban Planned Unit Development (U-PUD.)** This district is established to provide a fully designed residential and limited commercial community of no more than eight (8) acres. The U-PUD district is intended to maintain a high quality, walkable, safe environment, in keeping with traditional patterns of neighborhood development. Preliminary and specific land use development plans and site plats shall be submitted and approved by regulatory staff prior to filing a rezoning application. Once approved by the applicable Governing Authority, the development plan shall not be altered without repeating the process for initial approval. The parcels intended for this zoning district must be solely contained within the boundaries of the Dalton Urbanized Area as defined by the United States Census Bureau using the most recent decennial Census data. The parcels may also be outside the Dalton Urbanized Area but within the interior boundary formed by I-75 and the portion of Georgia State Route 3 sometimes known as the North/South Bypass.*

2. Insert a new Article V to read as follows: (See Attachment #1: Article V)
3. Insert a new Appendix 5A immediately following Article V to read as follows: (See Attachment #2: Appendix 5A)
4. Insert a new Exhibit F as a map copy of the Urban Planned Unit Development District Boundary (See Attachment #3: U-PUD boundary map).
5. Renumber original Article V through Article XI along with their respective Sections to be numbered as Article VI through Article XII with the related renumbered Sections.
6. In the Permitted Use Table, insert a new column titled U-PUD Urban Planned Unit Development with an “X” noted for the following uses: (See Attachment #4: Permitted Use Table)
7. These amendments shall become fully effective five (5) days following enactment by the Mayor and Council of the City of Dalton as a second reading hereof, the public health, safety, and welfare requiring it.
8. All ordinances or parts of ordinances in conflict herewith are hereby repealed.
9. It is hereby declared to be the intention of the Mayor and Council of the City of Dalton that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable and if any section, paragraph, sentence, clause, or phrase shall be declared unconstitutional or otherwise invalid by a court of competent jurisdiction, such unconstitutionality or invalidity shall not affect any of the remaining sections, paragraphs, sentences, clauses, or phrases herein.

SO ORDAINED this ____ day of _____, 2024.

The foregoing Ordinance received its first reading on _____ and a second reading on _____. Upon second reading a motion for passage of the ordinance was made by Councilmember _____, second by Councilmember _____ and upon the question the vote is ____ ayes, ____ nays and the Ordinance is adopted.

ATTEST:

CITY CLERK

MAYOR

A true copy of the foregoing Ordinance has been published in two public places within the City of Dalton for five (5) consecutive days following passage of the above-referenced Ordinance as of _____.

CITY CLERK, CITY OF DALTON

ATTACHMENT # 1: ARTICLE V

Article V – Urban Planned Unit Development District (U-PUD)

5-1 Definition: Urban Planned Unit Development District (U-PUD). The purpose of this district is to create an area within which a planned development may be established under specified conditions designed to minimize impacts upon surrounding land uses, preserve the carrying capacities of surrounding roadways, and maximize the visual compatibility of such development with its surroundings. Such development may include a mixture of uses under certain circumstances; however, at least 50% of the land area within the development shall be residential in character. Commercial uses shall be permitted only when the proposed development shall be adjacent to and primarily accessed by collector streets and roads. This district has a maximum acreage of eight (8) acres.

5-2 Plans Required. Prior to the initial public hearing to rezone the property, preliminary and specific land use development plans and a plat of the site shall be submitted to and shall have been approved by the regulatory staff representing the applicable Governing Authority. The preliminary land use development plan shall show the traffic and pedestrian circulation plan, use-specific parking plan, the location and dimension of buffer areas, the arrangement of uses, including the square footage (total gross floor area) of the proposed uses, e.g., retail, business, offices, net residential dwelling unit density, number of hotel/motel rooms, easements and dedications, and such other information as is required for planned districts. Once approved by the applicable Governing Authority, it shall not be altered without repeating the process for initial approval.

The plans shall meet the minimum requirements for a larger Common plan of Development, and the project shall not be exempt from such requirements.

5-3 Plat Content. The plat shall show the location and dimensions of buffers, easements, fire hydrants, dedication and reservation of lands, setbacks and other conditions for development as approved by the planning commission. Such plat shall be signed by all owners of real property shown upon the approved land use development plan and be duly recorded prior to the issuance of building or development permits.

5-4 Permitted Uses. When commercial uses shall be allowed, the following uses shall be permitted within a U-PUD zoning district:

5-4-1 Retail Business – Service and Office Uses.

- i. Lodging facilities: hotels/motels.
- ii. Cultural facilities: art galleries; museums; theaters; libraries; churches; public and private schools; teaching of music, voice, and dance; and child care facilities.

- iii. Offices of health services/practitioners physicians, surgeons, dentists and dental surgeons, osteopathic physicians, chiropractors and other licensed practitioners similar to those listed; laboratories serving professional requirements for dentists, physicians, and environmental assessments.
- iv. Physical fitness and health service clinics: including a pharmacy and incidental sales as an accessory use.
- v. General office uses: including but not limited to administrative, sales representatives, legal service, engineering and architectural, accountants, auditing, bookkeeping, finance, real estate, insurance and personal services.
- vi. Retail sales and service: including but not limited to coffee shops, bakeries, food stores, pet grooming facilities, nail salons, beauty salons, barber shops, drugstores, clothing stores, home furnishings and hardware, specialty shops, craft shops, photography studios, art studios, antique shops, gift and floral shops, print or letter shops, bookstores, office supplies and equipment, and outdoor sales incidental to permitted principal uses. These establishments shall not exceed 1800 square feet.
- vii. Eating and drinking establishments: Restaurants with table service and/or takeout/drive-thru service. These establishments shall not exceed 3000 square feet.
- viii. Cocktail lounges. Must have a valid alcohol license from the applicable jurisdiction. These establishments shall not exceed 800 square feet.
- ix. Off-street parking lots/garages.
- x. Prohibited:
 - Automated or Non-Automated Car Washes,
 - Coin-Laundry Facilities,
 - Community Donation Boxes,
 - Dollar-Type Stores or Thrift Stores,
 - Firing Ranges,
 - Gas Stations (if the facility will be located on a parcel less than 2 acres),
 - Group Homes, Homeless Shelters, Rooming House or Crisis Center,
 - Hookah, E-Cigarette, and/or Vapor Lounges
 - Industrial Facilities,

- Junkyards,
- Kennels,
- Liquor Stores,
- Marine Sales and/or Repair,
- Mini-Warehouses and Self-Service Storage Facilities,
- Night Clubs (any place alcohol sold and people encouraged to dance or with amplified music provided),
- Pawn Shops,
- Psychics, Fortune Tellers, Clairvoyants and the Like,
- Retail Sales of Alternative Nicotine Products,
- Salvage Yards/Recycling Centers/Flea Markets/Yard Sales,
- Sawmill,
- Sexually-Oriented Adult Uses,
- Shipping/Packaging/Mail Centers,
- Tattoo Parlors,
- Taxi-Cab or Limousine Services,
- Tobacco or Vaping Stores,
- Truck Stops,
- Vehicle Repair or Service Stations,
- Veterinarian or Animal Hospitals with Outdoor Kennels,
- Wireless Telecommunication Facility or Cell Towers
- Wrecked Motor Vehicle Compound

5-4-2 Residential Uses.

- i. Multifamily dwellings, including triplexes, quadplexes, townhouses, flats, apartments, or condominiums.
- ii. Single-family row houses.
- iii. Single-family detached and semidetached dwellings with each dwelling unit located on a separate lot.
- iv. Two-family dwellings.

5-5 Specific land use development plan design standards for all designated development.

5-5-1 Urbanized Area Location. The parcels intended for this rezoning must be solely contained within the boundaries of the Dalton Urbanized Area as defined by the United States Census Bureau using the most recent decennial Census data. The parcels may also be outside the Dalton Urbanized Area but within the interior boundary formed by I-75

and the portion of Georgia State Route 3 sometimes known as the North/South Bypass. These areas are depicted in the map attached as Exhibit F.

5-5-2 Architectural Design. All structures shall conform with the architectural design standards included in Appendix 5-A of this zoning district description.

5-5-3 Green Space Requirement. Green space shall be not less than twenty (20) percent of the total designated residential area not counting public or private streets, driveways, alleys or parking areas.

5-5-4 Density.

- i. The net dwelling unit density for the designated residential area shall be submitted as part of the Unified Rezoning Application and shall be clearly depicted on the site plan. Once approved by the applicable Governing Authority, it shall not be altered without repeating the process for initial approval.
- ii. The approved dwelling unit density shall be placed upon the official Zoning Map along with the Urban PUD district.

5-5-5 Buffer. All buffers and screening shall be as approved by the Planning Commission and shall be shown upon the approved site plan. A 10-foot minimum natural or landscaped buffer, of which at least 5 feet shall be a vegetative buffer, shall be provided along the property line where a designated residential development abuts and exterior boundary of the U-PUD adjacent to a residential zoning district, including portions of streets (opened or unopened), unless an alternate buffer of equal or better protection is provided by the developer and approved by the applicable Governing Authority.

A 10-foot minimum natural or landscaped buffer, of which at least 5 feet shall be a vegetative buffer, shall be provided between designated residential development and nonresidential uses within the U-PUD, excluding portions abutting a street right-of-way. Such buffer is to be maintained as part of the common open area for the development.

5-5-6 Driveways. The proposed driveway layout shall be depicted on the site plan and must be approved by the applicable Governing Authority. Absent extraordinary circumstances, one driveway per habitable structure shall be provided.

5-5-7 Road or Streets, public or private. Roads or streets shall be built to a standard approved by the applicable Governing Authority.

5-5-8 Minimum Building Setbacks. Minimum building setbacks shall conform with minimum requirements as set forth in the adopted International Building/Residential Codes.

5-5-9 Spacing of Buildings. The minimum spacing between multifamily buildings (defined as triplex or greater) shall be not less than 10 feet; provided, however, where the front of a building faces the rear of a building the space between the front and rear of such building shall be not less than 30 feet.

5-5-10 Parking. A site-specific parking plan shall be included as part of the submittal for review by the applicable Governing Authority. Parking requirements may be met with a combination of on- and off-street parking. On-street parking shall not count toward minimum public road, street or alley width.

5-5-11 Preservation of Common Area. The developer or homeowner's association established by the developer, by recorded deeds, plats, covenants and restrictions running with the land, shall preserve and maintain for the owners and occupants of the units all infrastructure of the development; in addition to the land set aside for open space, parks or recreational use, and common off-street parking spaces established for the development unless such responsibility shall be legally assumed by a unit of government.

5-5-12 Utilities. All utilities serving the development shall be located underground. Access to water/sewer mains shall be determined jointly by Dalton Utilities and the applicable Public Works department.

ATTACHMENT # 2: APPENDIX 5A

APPENDIX 5A - Urban PUD Design Standards

5A-1 Purpose. The purpose of these standards is to maintain a high quality, walkable, safe environment, in keeping with traditional patterns of neighborhood development.

5A-2 Applicability. These standards apply to new house-scaled residential buildings with street frontage of 80 feet or less. Any existing property wherein 60 percent or greater of the principal building is removed or destroyed by any means shall be redeveloped in accordance with these requirements.

5A-3 RELATIONSHIP OF BUILDING TO STREET

5A-3-1. Primary Building Placement & Massing:

- a. The primary building on each parcel shall be placed as close to the street as possible when facing a public right of way, within the applicable setbacks.
- b. All buildings shall be a maximum of 2.5 stories or 35', whichever is greater.
- c. All buildings shall have a maximum width of 40' at the street and a maximum depth of 70'.
- d. All buildings shall provide an average 9-foot ceiling height for the first floor.
- e. All buildings shall provide a minimum finish floor elevation of 1' and a maximum finish floor elevation of 5' above grade at the front of the building.
 1. Relief from finished floor elevation requirements may be permitted upon presenting topographic hardship for the lot.

5A-3-2. Accessory Building Placement & Massing:

- a. Accessory buildings on each parcel shall be located to the side or rear of the primary building, and shall be located no closer to the primary street-facing property line than the primary building.
- b. All accessory buildings shall be a maximum of 2 stories or 24' high, whichever is greater.
- c. Accessory buildings shall have a maximum footprint of 900 SF and a maximum total size of 1,400 SF for both conditioned and unconditioned square footage.

5A-3-3. Front Porches & Stoops:

- a. Front porches and/or stoops on the façade of the primary building shall be required when established by a majority of the residential dwellings on the block face.
- b. Front porches, when required, shall:
 1. Be a minimum of 12 feet wide or one-third the width of the front façade, whichever is less, and a minimum of six feet deep.
 2. Contain roofs.

3. Provide steps accessible from the sidewalk and/or public right of way.
4. Be raised at least 12 inches above the adjacent grade for a primary street facing residence.
 - a) Stoops, when required, shall:
 1. Be covered or un-covered and stairs may run to the front or to the side.
 2. Have a minimum size of 4 feet by 6 feet. Stoops must have a 4 foot width minimum from the principal façade to the inside of the column face for stoops with a covered landing.
 - c. For parcels fronting on more than one (1) street, the front porch and stoop requirements shall be required only for the building façade located in the primary front yard of the parcel.
 - d. Porches shall be permitted to extend into the front setback a maximum of 10 feet. Stoops shall be permitted to extend into the front setback a maximum of 5 feet. No conditioned space is permitted above any porches that project into front setbacks.

5A-3-4. Front doors:

- a. Front doors shall face and be visible from the adjacent street for primary buildings facing a public right of way. Primary buildings should be oriented so that the front or primary facade should be parallel to its adjacent street.
- b. Secondary units shall have a front door clearly visible from a sidewalk or walkway extending onto the lot.
- c. A street address number shall be located directly above or adjacent to the primary building entrance, should be clearly visible from the sidewalk and should be a minimum of six inches in height.

5A-3-5. Façade fenestration:

- a. Façade fenestration (windows and may include doors) shall be a minimum of 25% of the length of the façade along the ground floor of primary street facing facades, and shall be a minimum of 20% for secondary street facing facades.
- b. Window fenestration for upper stories shall be a minimum of 15% of the length of the façade for all street facing facades.
- c. No more than 10 feet in length of any street facing façade may be blank without fenestration provided.

5A-3-6. Garages:

- a. When side or rear vehicle access is feasible, front-facing garages are not permitted.
- b. If front-facing garages are permitted:
 1. Front-facing garage doors shall be recessed and located a minimum distance of ten feet behind the front façade of the principal structure. For

parcels with more than one street frontage, front-facing garage doors shall be defined as those facing the front yard of the parcel, and not side yard, or rear yard.

2. The garage door opening shall be less than fifty percent (50%) of the principal façade length.

5A-3-7. Exterior Prohibited Materials.

a. The following shall be prohibited:

1. Undersized Shutters. Shutters shall be sized so as to equal the width required to cover the window opening.
2. Shutters made of plastic.
3. Glass with reflective coatings other than clear glass with Low-E coatings. (See opacity and façade section).
4. Plastic or PVC roof tiles.
5. Aluminum siding.
6. Vinyl siding.
7. Wood fiber board.
8. Unfinished pressure-treated wood.
9. EIFS (Exterior Insulation Finish System) located on the first or ground floor.

5A-4. SITE STANDARDS

5A-4-1. Parking:

- a. Parking off-street shall not be located between a building and the street.

5A-4-2. Streetscapes:

- a. Public sidewalks shall be located along all public streets and shall consist of two zones: an amenity zone and a walk zone.
 1. Amenity zone requirements: The amenity zone shall be located immediately adjacent to the curb. Width shall be measured from back (building side) of curb to the walk zone. Amenity zone shall be five feet wide where feasible; Minimum width shall be three feet. This zone is reserved for the placement of street trees in a manner that does not obstruct pedestrian access or motorist visibility.
 2. Walk zone requirements: The walk zone shall be located immediately contiguous to the amenity zone and shall be a continuous hardscape for a minimum width of five feet. Said zone shall contain a consistent cross-slope not exceeding two percent.
- b. Street tree planting requirements: Street trees are required and shall be planted in the ground within the amenity zone and spaced a maximum of 30 feet apart

from other amenity zone street trees. All newly planted trees shall be single-stemmed at a minimum of two inches in caliper (measured 36 inches above ground). Add sentence “Nothing in these standards shall supersede the City of Dalton’s vegetation ordinance.”

- c. Adjustments to the sidewalk requirements may be permitted upon a finding that one or more of the site conditions set forth in subsections (a) through (g) below are present on the site. The applicant requesting the adjustment must provide documentation establishing the presence of the site condition(s) relied upon. If the adjustment results in the waiver of the sidewalk requirement on the site, the applicant shall construct sidewalks of equal or greater length along adjoining streets in a specific location approved by the director.
 - 1. Sidewalks exist that are not in need of repair;
 - 2. Trees exist within the proposed sidewalk zone having a diameter at breast height (DBH) of six inches or more;
 - 3. Topographic conditions exist that would locate the proposed sidewalk walk zone 12 or more inches above or below the top surface of the finished curb;
 - 4. Topographic conditions exist that would prevent driveway access to the property upon completion of the proposed sidewalk;
 - 5. Physical conditions exist such as existing structures, existing utility devices, or rock outcroppings that obstruct the installation of the proposed sidewalk;
 - 6. Sidewalks exist on either side of the parcel block face or the opposing block face that are of a dimension different than these requirements. In this case, the new sidewalk dimensions may match the dimensions of the sidewalks found on the block;
 - 7. Sidewalk improvements are planned, approved, and publicly-funded by the City of Dalton.

5A-4-3. Fences and Walls:

- a. Fences or walls at the side or rear property line shall not exceed 72 inches in height.
- b. Fences or walls placed in the front yard or along a right-of-way should not exceed 48 inches in height.
- c. Barbed wire, plastic slats, plastic vinyl screening fabric, and chain link fences are not permitted.
- d. Fencing in the front yard shall not extend past the front façade of the structure.
- e. Retaining walls.
 - 1. Maximum height. Retaining walls in the front yard are limited to four (4) feet in height. A retaining wall located adjacent to a sidewalk along a public

street shall not exceed two (2) feet in height. Retaining walls shall be limited to eight (8) feet in height within interior side and rear yards.

2. Administrative variations from these wall height requirements shall be permissible if topographic hardship can be demonstrated.

5A-4-4. Equipment Limitations:

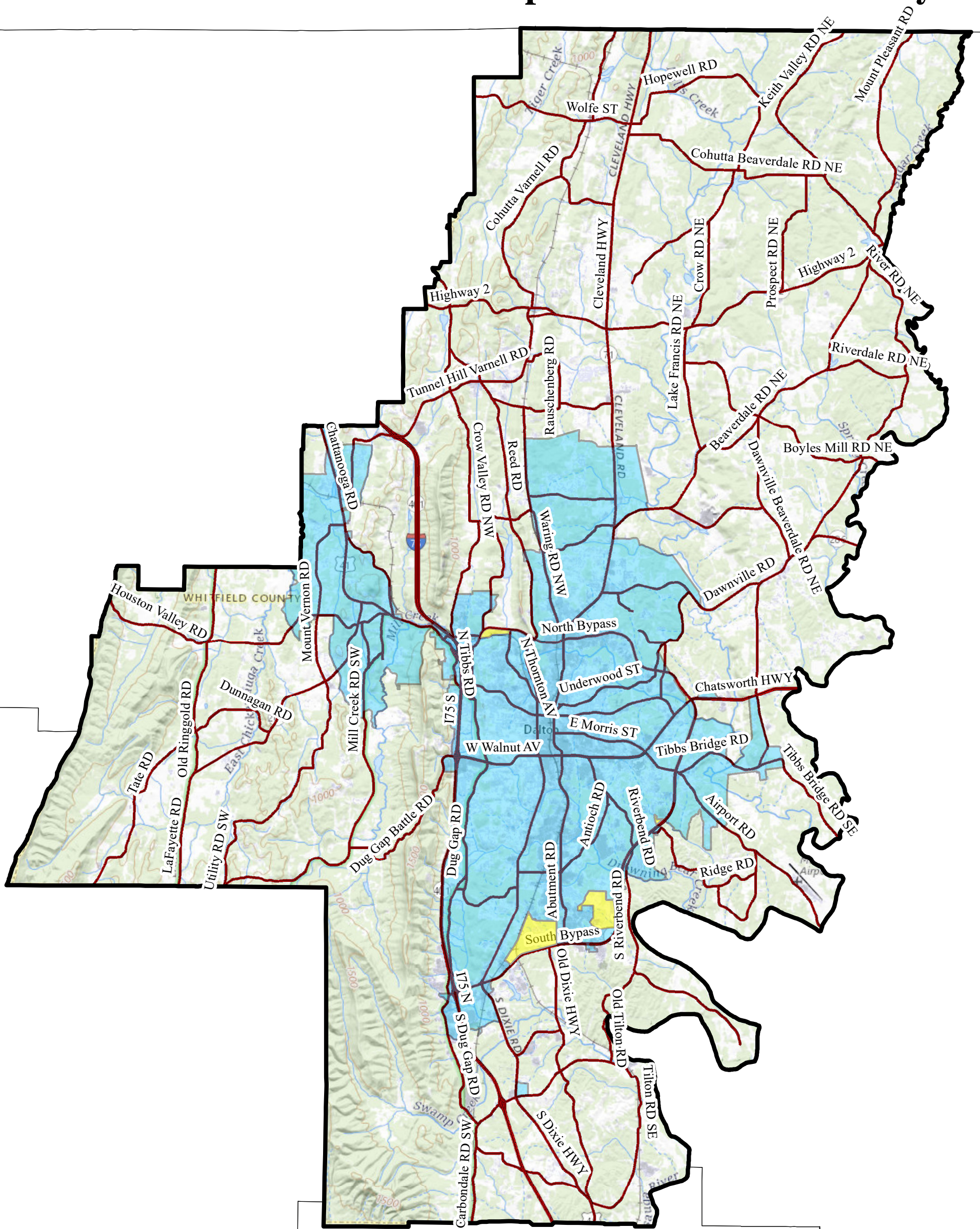
- a. Utility meters, air conditioning equipment, permanent grills, permanent swimming pools, recreation and play equipment, doghouses and dog runs, hot tubs and spas and wood decks (except for boardwalks from the front gate to the front porch which may be up to five feet wide) shall not be installed between a building and the street.
- b. Antenna and satellite dishes shall not be installed between a building and the street when a sufficient signal is available elsewhere. Antennas or satellite dishes more than one meter in diameter should not be installed.

5A-5. ADMINISTRATIVE RELIEF

- A. When requested by an applicant, Administrative Relief may be granted by the Unified Board of Zoning Appeals upon such procedures as set forth in the by-laws of the Whitfield County Unified Board of Zoning Appeals. Administrative Relief is a modification of 10% or less of any numeric standard.
- B. In approving an application for Administrative Relief, the Administrator must determine:
 1. The application is consistent with the intent of the applicable standards for which relief is requested;
 2. That there are practical difficulties that prevent strict adherence to the code requirement for which relief is requested; and
 3. The request for relief is the minimum amount necessary to eliminate the practical difficulty.

ATTACHMENT #3: U-PUD BOUNDARY MAP

Urban Planned Unit Development District Boundary



Map Description

The U-PUD boundary is defined by the most recent urbanized area designation from the United States Census Bureau (blue). Additionally, areas found between the bounds of SR 3/US 41 (Bypass) and I-75 have been included (yellow).

This map is made available for reference only and should not be substituted for a survey product. Whitfield County Board of Commissioners will not accept liability of any kind in conjunction with its use.

Source: United States Census Bureau
Date: 2020 Decennial Census Data



1 in = 2 miles



Planning & Zoning

ATTACHMENT # 4: PERMITTED USE TABLE

UNIFIED ZONING ORDINANCE TABLE OF PERMITTED USES

X = Indicates use allowed in this zoning district S = Special Use Permit required

COMMERCIAL/INDUSTRIAL/MIXED ZONING										AGRICULTURE/RESIDENTIAL ZONING											
C-1A Limited Commercial	C-1 Neighborhood Commercial	C-2 General Commercial	C-3 Central Business District	C-4 Transitional Commercial	MU Mixed Use	PUD Planned Unit Development	U-PUD Urban Planned Unit Development	M-1 Light Mfg	M-2 Heavy Mfg	PERMITTED USES	ADDIT. REQ'MT Section	GA General Agriculture	SA Suburban Agriculture	R-1 Estate Residential	R-2 Low Density Residential	R-3 Medium Density Residential	R-4 Zero Lot Line Residential	R-5 Rural Residential	R-6 Transitional Residential	R-7 High Density Residential	
										ACCESSORY USES	4-6										
									S	Acid Manufacturer											
	S	X				S				Adult Day Center											S
		X								Adult Entertainment/Business											
								X	X	Advertising Display, Sales and Manufacturing											
								X	X	Agriculture Equip Sales, Supply & Storage											
										Agritourism	4-6-29	S	S						S		
		S						S	S	Airports, Public & Private		S									
		X		X				X	X	Ambulance Services											
		X	X							Amusements, Commercial	4-6-1										
										Animal Breeding		X									
										Animal Husbandry	4-6-2	X									
X	X	X	X	X	X	X	X			Antique Shop	4-6-18										
X	X	X	X	X	X	X	X			Apparel & Accessory Store	4-6-18										
										Appliance Sales and Repair											
X	X	X	X	X	X	X	X			Art Gallery/Music Conservatory	4-6-18										
								X		Assisted Living Facility/Community											
	X	X	X	X	X	X	X			Athletic/Health Club & Facilities	4-6-18										
										Auditorium, Assembly Hall, Civic Center											
								X	X	Auto & Truck Sales, Service	4-6-8										
								X	X	Automobile Repair & Body Shop	4-6-8										
	X	X								Bait/Tackle Shop	4-6-18										
X	X	X	X	X	X	X	X			Bakery, Pastry Shop	4-6-18										
X	X	X	X	X	X	X	X	X	X	Bank Automatic Teller Machine (ATM)	4-6-18										
X	X	X	X	X	X	X	X			Bank or Financial Institution, Full Service	4-6-18										
										Bar, Cocktail Lounge, Tavern	4-6-18										
X	X	X	X	X	X	X	X			Barber Shop, Beauty Salon	4-6-18										
										Baseball Batting Cages											
X	X	X			X	X	X			Bed & Breakfast Home	4-6-3	X	X							X	X
X	X	X	X	X	X	X	X			Bed & Breakfast Inn	4-6-3	X	X							X	X
										Boat Sales, Service & Repair											
								X	X	Boat Storage											
X	X	X	X	X	X	X	X			Books, Cards and Stationery Store	4-6-18										
										Bottle Gas, Storage & Distribution											
										Bottling Plant											
			S	S	X		X			Boutique Hotel											
										Bowling Alley											
									X- Dalton Varnell only	Brewery/Distillery/Winery											
		X- Dalton Varnell only	X- Dalton Varnell only	X- Dalton Varnell only	X- Dalton Varnell only		X	X	X	Brewpubs, Microbrewery, Micro-winery	4-6-31										
								X	X	Building Materials Sales, Supplies, Storage											
								S	S	Bus Station		S									S
			X	X						Cafeteria (See also Restaurant)	4-6-21										
										Camp, Private	4-6-26	S			S				S		
										Carpet and Rug Sales, Floor Covering & Storage											
										Carpet Cleaning Store											
										Cement, Lime, Gypsum Manufacture		S									
										Cemetery, Mausoleum, Columbarium (Not Church related)	4-6-5	X	S	S	S	S			S	S	S
						S	S	X		Child Care Learning Center											
						S	S	X		Child Caring Institution			S	S	S				S	X	X
X	X	X	X	X	X	X	X	X		Churches		S	S	S	S	S			S	S	
										Cinema, Movie Theatre											
S	S	X	S	S	S					Clinic, Medical											
X	X	X	X	X	X	X	X			Clubs and Lodges, private											
										College, University or Technical School		S									S
										Community Living Arrangement					X	X			X	X	X
										Concrete/Stone Cutting, Fabrication											
	X	X								Conference/Convention Center		S									S
										Contractor Equipment - Material Storage											
										Convenience Center											
										Convenience Stores with or without fuel service	4-6-7 4-6-8 Article V										
										Convent and Monastery		S	S							S	S
										Correctional Facility		S									
										Country Club, Private Club		S	S	S	S				S		
										Crematorium		S									
										Crop Production		X	X						X		

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X	X	X	X	X	X		X			Curio & Souvenir Shop	4-6-18									
X				X	X	X	X			Day Care Home, Family		X	X	X	X		X		X	X
	X	X		X	S	S	X			Day Care Home , Group										
		X						X	X	Dormitory for worker employed on premise		S								
		X		X				X		Drug Rehab/Treatment Facility	4-6-28	S							S	S
	X	X	X	X	X	X	X			Drug Store, Pharmacy	4-6-18									
			X		X	X	X			Dwelling, Loft										
			X		X	X	X			Dwelling(s), Urban										
X						X	X			Dwelling, Multi Family (Duplex)								X	X	X
X						X	X			Dwelling, Multi Family (Triplex, Fourplex)									X	X
X					X	X	X			Dwelling, Multi-Family										X
X						X	X			Dwelling, Single Family		X	X	X	X	X	X	X	X	X
						X				Dwelling, Single Family Zero Lot Line	4-6-25						X			
						X	X			Dwelling, Townhouse, Condominium	3-8								X	X
		S						S	S	Electrical Generation Facility		S								
		X						X	X	Equipment Rental, Industrial										
		X						X	X	Equipment Supplies (Business/Industrial)										
		X								Equipment Supplies (Medical, Arts, etc)										
	X	X			X	X				Event Center	4-6-27	S	S							
	S	X							S	Explosive Manufacture or Storage										
		X				X	X	X	X	Farmer's Market	4-6-11	S	S							
	X	X			X	X	X	X	X	Fast Food, Dine-in with Drive-thru										
	X	X	X	X	X	X	X	X	X	Fast Food, Dine-in without Drive-thru										
								X	X	Fast Food, Drive-thru only										
		X								Feed Mill, Seed Mill Production & Packing		X								
										Flea Market	4-6-11	S								
X	X	X	X	X	X	X	X	X	X	Florist Shop	4-6-18									
					X	X				Fraternity, Sorority, Residence Hall										X
								X	X	Freight Terminals										
		X		X		X				Funeral Home, Mortuary										
		X		X		X	X	X	X	Furniture, Home Furnishing and Equipment Store										
	X	X	X	X	X					Game Room, Arcade	4-6-18									
X	X	X	X	X	X	X	X	X	X	Garage Sales	4-6-12	X	X	X	X	X	X	X	X	X
		X				X	X			Garden, Landscaping Supplies										
								X	X	Gardening/Horticulture (non-commercial)		X	X							
		X		X						Gas Station w/repair services	4-6-8									
X	X	X	X	X	X	X	X			Gift Shop	4-6-18									
		X				X				Golf Courses and Club Houses, Public or Private		S	S	S	S			S		
X	X	X	X	X		X		X	X	Government Buildings, Public		S	S	S	S	S		S	S	S
		X	X	X	X	X	X			Grocery/General Merchandise Store	4-6-18									
					S	S				Group Home			S	S	S			S	X	X
				X						Halfway House	4-6-28								S	S
	X	X	X	X		X	X	X		Hardware, Paint & Wallpaper Store	4-6-18									
								S	S	Hazardous Wastes Handling & Processing	4-6-13									
		S						S	S	Helicopter Landing Area		S								
	X	X	X	X	X		X			Hobby, Toy & Game Store	4-6-18									
										Holiday Tree Farm	4-6-22	X	X							
	X	X		X			X			Holiday Tree Lot (Temporary)	4-6-23	X	X							
							X			Home Occupations, Customary				X	X	X	X	X	X	
		X	S	S						Homeless Facility	4-6-33									
		X				X		X	X	Hospital, Health and Medical Institution									S	S
		X		X		X	X	X		Hotel										
		X	S	S	X		X			Hotel, Boutique										
		X						X	X	Ice, Sales & Manufacture										
	X	X		X	X	X	X	X	X	Ice, Self Serve Kiosk										
								X	X	Industrial Park, Planned										
								S	S	Junk Yard, Salvage Yard	4-6-14									
		X		X						Kennel, Boarding & Breeding	4-6-30	X	X							
		X						X	X	Laboratory, Research Facilities										
										Landfill, Inert	4-6-24	S								
										Landfill, Solid Waste	4-6-24	S								
	X	X		X	X	X	X			Laundromat, Coin Operated	4-6-18									
		X						X	X	Laundry, Commercial Services										
X	X	X	X	X		X	X	X	X	Laundry, Pick up and Dry Clean Services	4-6-16									
		X				X				Liquor-beer, Package Store										
										Livestock Raising -Personal Pleasure	4-6-17	X	X	X	X			X		
		X								Livestock Sales, Auction Facilities		S								
		X						X	X	Machine Shop, Fabrication, Welding, Sales										
		X						X	X	Machinery Sales, Service & Repair										
	X	X	X	X	X	X				Mailbox Services	4-6-18									
										Manufactured Home		X	X					X	X	X
		X						X		Manufactured Homes, Sales & Service										

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COMMERCIAL/INDUSTRIAL/MIXED ZONING										AGRICULTURE/RESIDENTIAL ZONING											
C-1A Limited Commercial	C-1 Neighborhood Commercial	C-2 General Commercial	C-3 Central Business District	C-4 Transitional Commercial	MU Mixed Use	PUD Planned Unit Development	U-PUD Urban Planned Unit Development	M-1 Light Mfg	M-2 Heavy Mfg	PERMITTED USES	ADDIT. REQ'MT Section	GA General Agriculture	SA Suburban Agriculture	R-1 Estate Residential	R-2 Low Density Residential	R-3 Medium Density Residential	R-4 Zero Lot Line Residential	R-5 Rural Residential	R-6 Transitional Residential	R-7 High Density Residential	
									X	Manufacturing Establishment, General/Heavy											
								X	X	Manufacturing, Light (no smoke, fumes, noise, odors)											
X	X	X	X	X	X	x	X			Massage/Day Spa	4-6-18										
								S	S	Meat Processing/Packing		S									
							X	X	X	Micro-Brewery, Micro-distillery/winery	4-6-31										
		X				X				Miniature Golf Course											
									S	Mining/Quarry Operations		S									
		X		X				X	X	Mini-Warehouse											
		X						X	X	Motel, Motor Lodge											
		X						X	X	Motor Vehicle Sales/Repair/Dealerships											
	X	X		X		X		X	X	Motor Vehicle Wash - Manual or Automatic											
X	X	X	X	X	X	X	X			Museum, Cultural Facility	4-6-18	S									
X		X	X	X				X		Newspaper Office/Production											
	X	X	X	X	X	X				Nightclub	4-6-18										
	X	X								Nursery, Greenhouse (Retail)	4-6-18										
	X	X						X		Nursery, Greenhouse (Wholesale)		X									
	X	X						X		Nursing Home											S
	X	X	X	X	X	X	X			Office Supplies	4-6-18										
X	X	X	X	X	X	X	X	X	X	Office, Business & Professional	4-6-4										
										Organic Farming	4-6-29	S	S						S		
									S	Paper or Paper Pulp Manufacturing											
X		X	X	X				X	X	Parking Lot or Garage, Commercial											
		X				X		X	X	Parks and Recreation Facilities (including playfields)	4-6-15	S	S	S	S	S		S	S	S	
									S	Paving, Concrete and Asphalt Plant											
					S	S				Personal Care, Family		X	X	X	X			X	X	X	
					S	S				Personal Care, Group			S	S	S			S	X	X	X
					S	S				Personal Care, Congregate								S	S	X	X
		X								Pet Cemetery		S									X
	X	X	X	X	X	X	X			Pet Shop & Pet Grooming Shop	4-6-18										
								S	S	Petroleum Products, Bulk Storage Tank											
									S	Petroleum/ Petroleum Products, Refining											
X	X	X	X	X	X	X	X			Print Shop (Quick Print & Copy Service)	4-6-18										
		X						X	X	Printing, Publishing and Sampling											
	X	X								Produce Stand (Permanent Structures)	4-6-11	S									
	X	X								Produce Stand (Temporary Structures)	4-6-11	X	X								
		S								Race Tracks, Motor Vehicle	4-6-1	S									
		X						X	X	Recycling Center (w/processing facilities)	4-6-20										
		X						X	X	Recycling Collection Station	4-6-20										
									S	Refining of Petroleum/Petroleum Products											
		X	X	X				X	X	Repair Service, Motor Vehicle	4-6-8										
		X	X	X				X	X	Repair Service, General Merchandise											
		X						X	X	Repair Services (Heavy Equipment)											
	X	X			X	X		X	X	Restaurant, Cafeteria (Dine-in and Drive-thru)	4-6-21										
	X	X	X	X	X	X		X	X	Restaurant, Cafeteria (Dine-in, no Drive-thru)	4-6-21										
	X	X	X	X	X	X	X			Retail Stores, General Merchandise	4-6-18										
										Rooming & Boardinghouse		S							X	X	
		X								RV Park, Campground	4-6-19	X									
		X						X	X	Saw Mill, Lumber Yard		X									
		X						X	X	Saw Mill, Temporary or Portable		X									
	S	X					X			School, Public, Private or Parochial(with or without campus lodging)		S	S	S	S	S		S	S	S	
		X	S					X	X	Self-Service Storage Warehouse or Climate-Controlled	4-6-32										
		X	X	X			X	X	X	Service Businesses (not otherwise defined)											
		X	X	X				X	X	Service Station, (gas station w/repair services)	4-6-8										
S	S	S	S	S	S	S		S	S	Sewage/Wastewater Treatment Facilities, Public or Private		S	S	S	S	S	S	S	S	S	S
	X	X	X	X	X	X	X			Shoe Repair	4-6-18										
		X	X							Shooting Gallery/Range, Indoor											
										Shooting Range, Outdoor		S	S								
	X	X		X						Shopping Center, Planned	4-6-6										
								S	S	Slaughter Yards		S									
	X	X	X	X	X		X			Specialty Food Store	4-6-18										
										Stock Yards		X									
		X						X	X	Storage Warehouse											
		X						X	X	Storage Yard, Equipment											
X	X	X	X	X	X	X	X			Studio for Art, Photography & Similar Uses	4-6-18										
	X	X				X				Swimming Pool, Commercial											
	X	X	X	X	X	X	X			Tanning Salon	4-6-18										
X	X	X	X	X	X	X				Tattoo Parlors; Body Art											
		X								Taxidermy		X	S								
		X	X		X	X	X			Theater with stage for live performance											
		X	X	X			X	X	X	Tire Sales & Service											

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	X	X						X	X	Towers, Radio, TV & Communication	Article 6	S	S	S	S	S	S	S	S	S	S
					S	S		S	S	Transfer Station, Solid Waste	4-6-24	S									
										Transitional Housing		S	S	S	S	S			S	S	S
		X						X	X	Truck Terminal, Freight Handling											
X	X	X	X	X	X	X		X	X	Utility Facilities (electric/telephone substations, lift/pump stations, water tanks)		X	X	X	X	X	X	X	X	X	X
	X	X	X	X						Vendor Stands	4-6-18										
		X					X			Veterinary Clinic/Animal Hospital/Grooming House											
X	X	X	X	X			X			Vocational School (trade, secretarial, art, professional, music, dance, drama)											
		S		S	S	S		S	S	Water Treatment Facilities		S	S	S	S	S	S	S	S	S	S
		X						X	X	Water/Storage Tank 1000-5999 gallon											
		S						X	X	Water/Storage Tank 6000 gallon and over											
X	X	X	X	X	X	X	X	X	X	Water/Storage Tank under 1000 gallon		X	X	X	X	X	X	X	X	X	X
		X		X				X	X	Wholesale Trade/Warehouse/Distribution Facilities	4-6-34										
		X		X			X	X	X	Woodworking, Cabinet-making											
		X						X	X	Wreckage Services, Temporary Storage	4-6-14										