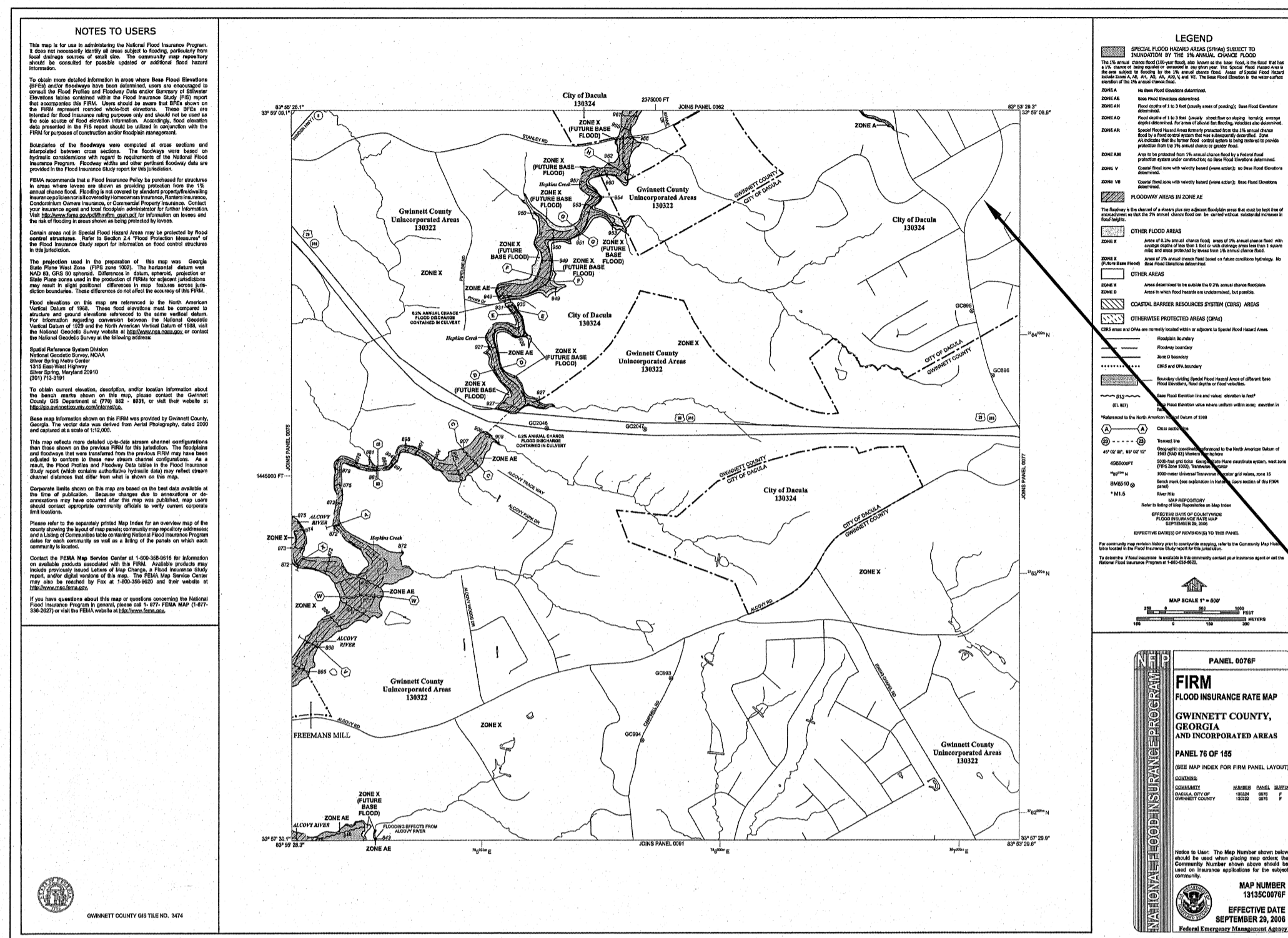


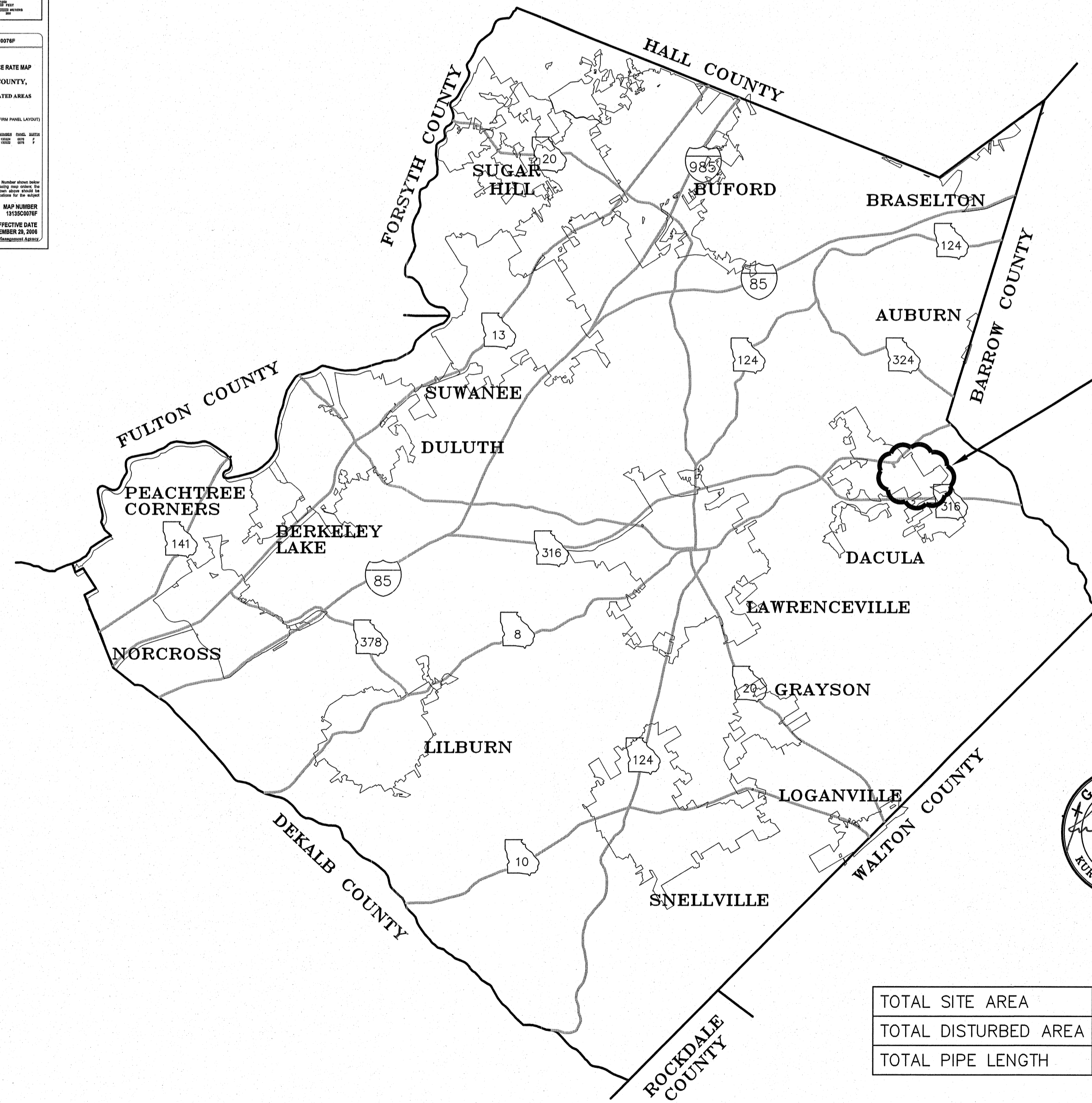
DACULA CITY HALL SEWER CONNECTION

FOR THE
CITY OF DACULA
PPI PROJECT NUMBER E22057
LAND LOT 5 - DISTRICT 301
COMMISSION DISTRICT 3
BEGINNING OF PROJECT PARCEL #5031-032
GWINNETT CASE #EPN2022-01698



FLOODPLAIN ACREAGE WITHIN PROJECT LIMITS: 0 ACRES
FIRM PANEL 13135C0076F
N.T.S.

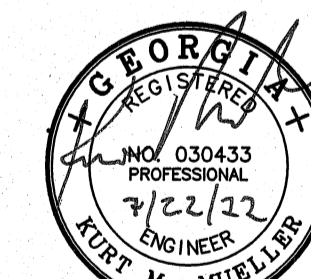
PROJECT AREA



PROJECT AREA

GWINNETT COUNTY
PROJECT LOCATION
N.T.S.

TOTAL SITE AREA	0.1 A.C.
TOTAL DISTURBED AREA	0.1 A.C.
TOTAL PIPE LENGTH	170 LF 6" PVC



Gwinnett
DEPARTMENT OF WATER RESOURCES
442 Harbins Road
Dacula, GA 30019
www.gwinnettcourty.com | www.gwinnettga.gov

June 23, 2022
Brittini Nix
City of Dacula
442 Harbins Road
Dacula, GA 30019

RE: Sewer Availability for Proposed Development - Dacula City Hall Sewer Connections
Parcel ID District 3 Land Lot 503, Parcels 031 & 032

Dear Brittini Nix:
At present time Gwinnett County Department of Water Resources (DWR) can serve the referenced development for sanitary sewer. The existing system has adequate capacity to serve the proposed development consisting of 2,100 square foot office with 12 employees on the above parcel(s). This confirmation is based on your anticipated peak flow of 2.8 gpm discharging to the sewer line manhole at Facility ID 3412012.

The requested capacity is valid for 12 months from the date of this letter. This certification is not valid if there are any development changes (e.g. land use density, sewer line manhole, and/or restoration) that could impact downstream sewer capacity. In this case the development must resubmit for a new certification with updated information.

Capacity is available on a first-come-first-serve basis. The County is currently making every effort feasible to ensure that there is sufficient sewer capacity to serve its developmental needs. Every proposed project is reviewed and considered for its impact on the individual basins, as well as its overall system impact. At present there are no sewer moratoriums within the basin in Gwinnett County. However, regulatory or court-imposed restrictions, unanticipated new development, or delays in County infrastructure projects could result in a moratorium, which may limit development in a specific or countywide basin. Assuming the Sewer Capacity Certification is current, capacity is obligated to the proposed development only upon issuance of the Development Permit.

Please let me know if you have any questions.

Sincerely,
GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES
Tali Yi Su, PE
Division Director, Infrastructure Support, Water Resources, Engineering and Technical Services
678.376.2104
Gwinnett County DWR - Loraine Campagna, Section Manager; Ralph Vannoy, Engineer V; Andrew Liu, Engineer IV
Gwinnett County PWD - Chadi Young, Planning Manager; Mike Driskens, Engineer E; Dennis Taylor, Engineer IV

Gwinnett
DEPARTMENT OF WATER RESOURCES
442 Harbins Road
Dacula, GA 30019
www.gwinnettcourty.com | www.gwinnettga.gov

SEWER CAPACITY CERTIFICATION REQUEST

Gwinnett County Planning and Development Permit No. _____

Development Status: Denied Not Reopened Permitted Awaiting Ownership Change

Check if Development Project Requires Private Pump Station:

DEVELOPMENT PROJECT NAME: Dacula City Hall Sewer Connection
DEVELOPMENT ADDRESS: 442 Harbins Rd (City) Dacula (Zip) 30019
PARCEL NUMBER(S): 5031-032
PROPERTY OWNER NAME: City of Dacula PHONE: 770-953-7451
PROPERTY OWNER EMAIL: brittini.nix@daculaga.gov

DEVELOPER NAME: City of Dacula (City/State) GA (Zip) 30019
ADDRESS: 442 Harbins Road PHONE: 770-953-7451
CONTACT NAME: Brittini Nix (City/State) Lawrenceville GA (Zip) 30046
DEVELOPER EMAIL: brittini.nix@daculaga.gov PHONE: 770-953-7451
ENGINEER NAME: Precision Planning, Inc (City/State) Lawrenceville GA (Zip) 30046
ADDRESS: 400 Pike Blvd PHONE: 770-338-8000
CONTACT NAME: Austin Stone (City/State) Lawrenceville GA (Zip) 30046
ENGINEER EMAIL: astone@ppi.us

Total Requested Flow for Development (gpm): 3.3
Flow (gpm) 3.3 to Tie-In Manhole Facility ID: 3412012
Flow (gpm) to Tie-In Manhole Facility ID:
Flow (gpm) to Tie-In Manhole Facility ID:

Includes the following in the submittal package:
 GIS map showing proposed development, surrounding utilities, and location of tie-in manhole.
 Detailed flow calculations for proposed development project.
 Flow from GPM to all connections, manholes, and restoration projects.
 Proposed utility plan.
 Name of sewer line and manhole at tie-in manhole.

DWR Received
MAY 23 2022

DESIGN PROFESSIONAL SEAL: DATE: 05/23/22

REV: 05/23/22

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER
2	GENERAL NOTES AND LEGEND
3	SANITARY SEWER PLAN AND PROFILE
4	CONSTRUCTION DETAILS
5	EROSION CONTROL NOTES, LEGEND, AND DETAILS



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400 Pike Boulevard, Lawrenceville, Ga 30046
770.338.8000 • www.ppi.us

CERTIFICATE OF DEVELOPMENT PLANS APPROVAL

ALL REQUIREMENTS OF THE GWINNETT COUNTY UNIFIED DEVELOPMENT ORDINANCE (UDO) RELATIVE TO THE PREPARATION AND SUBMISSION OF A DEVELOPMENT PERMIT APPLICATION HAVING BEEN FULFILLED, AND SAID APPLICATION AND ALL SUPPORTING PLANS AND DATA HAVING BEEN REVIEWED AND APPROVED BY ALL AFFECTED COUNTY DEPARTMENTS AS REQUIRED UNDER THEIR RESPECTIVE AND APPLICABLE REGULATIONS, APPROVAL OF THIS SITE PLAN IS HEREBY GRANTED AND ALL OTHER DEVELOPMENT PLANS WITH THIS PROJECT SHALL BE SUBJECT TO ALL FURTHER PROVISIONS OF SAID UDO.

DIRECTOR, DEPT. PLANNING & DEVELOPMENT DATE

THIS CERTIFICATE EXPIRES TWELVE MONTHS FROM THE DATE OF APPROVAL UNLESS A DEVELOPMENT PERMIT IS ISSUED.

NO.	REVISION DESCRIPTION	DATE
A	ISSUED FOR BID	07/22/22

NOTIFICATION REQUIREMENTS/CONTACTS

- 24-HOUR EMERGENCY CONTACT: GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES (GCDWR)
 - OFFICE HOURS (8-5, M-F): (678) 376-8700
 - AFTER HOURS: (678) 376-7000
- OWNER: CITY OF DACULA
 - 442 HARBINS RD
 - DACULA, GA 30019
 - CONTACT: BRITTI NIX
 - PHONE: 770-963-7451
- ENGINEER: PRECISION PLANNING
 - 400 PIKE BLVD
 - LAWRENCEVILLE, GA 30046
 - CONTACT: KURT MUELLER, P.E.
 - PHONE: 770-338-8000
- NOTIFY GCDWR INSPECTIONS OF THE FOLLOWING AT THE INDICATED TIME INTERVAL. INSPECTION POINT OF CONTACT WILL BE PROVIDED AT PRE-CONSTRUCTION MEETING.
 - 24 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
 - 24 HOURS BEFORE EACH BLAST ROUND.
 - NOTE THAT BLASTING REQUIRES APPROVAL OF A BLASTING PLAN 30 WORKING DAYS PRIOR AND ENGINEER APPROVAL OF A DETAILED BLAST ROUND DESIGN PLAN 24 HOURS PRIOR. ALSO REQUIRES 7 DAYS ADVANCE NOTICE TO ADJACENT PROPERTY OWNERS FOLLOWED BY ANOTHER NOTICE 24 HOURS IN ADVANCE.
 - 72 HOURS IN ADVANCE, A REQUEST MUST BE PLACED TO THE INSPECTOR FOR APPROVAL TO REMOVE OR DISTURB SIGNS, MAILBOXES, FENCING, LANDSCAPING, ETC. APPROVAL OF REQUEST IS REQUIRED BEFORE PERFORMING RELATED WORK.
 - 7 DAYS IN ADVANCE, COORDINATE PLANNED SHUT OFF OF SERVICES AND/OR WET CUT-INS WITH THE INSPECTOR. REQUIRES A FOLLOW UP NOTIFICATION TO INSPECTOR AND AFFECTED CUSTOMERS A MINIMUM OF 24 HOURS PRIOR TO LOSS OF SERVICE.
 - GCDWR INSPECTOR MUST BE PRESENT AT WET CUT-INS AND ANY OTHER ACTIVITY THAT REQUIRES THE SERVICES TO BE SHUT OFF.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND CONTACT THE GEORGIA UTILITY PROTECTION CENTER FOR FIELD MARKING OF UTILITIES 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 - UTILITY PROTECTION CENTER PHONE NUMBER: 811
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES 24 HOURS PRIOR TO CONSTRUCTION IN AREAS WHERE THE UTILITIES ARE SHOWN OR SUSPECTED TO BE. THE LIST IS BASED ON BEST INFORMATION AVAILABLE, BUT IS NOT GUARANTEED TO BE COMPLETE.
 - ATLANTA GAS LIGHT COMPANY (404) 584-3188
 - AT&T TELECOMMUNICATIONS (404) 632-7577
 - COMCAST TELECOMMUNICATIONS (770) 560-5320
 - GWINNETT DOT TRAFFIC (678) 639-8800
 - TOWER CLOUD (678) 753-1410
 - JACKSON EMC (770) 822-3250
- GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION(GCDOT) APPROVAL IS REQUIRED PRIOR TO ANY OPEN CUTS OR LANE CLOSURES.
 - BRITTON LOCKHART: (678) 639-8825
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION WHENEVER ANY STREET IS TO BE PARTIALLY BLOCKED
 - GWINNETT COUNTY POLICE DEPARTMENT (770) 513-6000
 - GWINNETT COUNTY FIRE DEPARTMENT (678) 518-4800
 - GWINNETT COUNTY BOARD OF EDUCATION (770) 338-4900
 - ADD CITY OF DACULA (770) 963-7451
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING GOVERNMENT AGENCIES AND UTILITIES AT LEAST 48 HOURS BEFORE ENCRACING ON THEIR RIGHT-OF-WAY.
 - GEORGIA DEPARTMENT OF TRANSPORTATION (GDOT): (770) 674-8921
- CONTRACTOR IS TO NOTIFY AFFECTED CUSTOMERS 24 HOURS IN ADVANCE OF BLOCKING ACCESS TO PROPERTY OR TRAFFIC ROADWAYS. FULL ACCESS TO PROPERTY MUST BE RESTORED BY THE END OF THE WORK DAY.

PROJECT SPECIFIC NOTES

- PROPERTY LINES AND BACKGROUND TOPOGRAPHIC FEATURES SHOWN ON THE PLANS ARE BASED ON GWINNETT COUNTY GIS AND TOPOGRAPHIC SURVEY.
- THE SURVEY FOR THIS PROJECT WAS PREPARED BY PRECISION PLANNING, IN USING NAD 83 GEORGIA STATE PLANE WEST AND VERTICAL DATUM NAVD 88.
- ALL WORK TO BE PERFORMED ACCORDING TO GWINNETT COUNTY DEPARTMENT OF WATER RESOURCES WATER MAIN AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS (APRIL 5, 2016). ACTUAL FIELD CONDITIONS COULD DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE INSPECTOR.
- THE ENGINEER AND OWNER ACKNOWLEDGE THAT ALL WORK REPRESENTED IN THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND WILL BE CONSTRUCTED TO FULLY COMPLY WITH GWINNETT COUNTY REGULATIONS AND ORDINANCES. ACTUAL FIELD CONDITIONS COULD DICTATE MORE STRINGENT REQUIREMENTS, IF DEEMED NECESSARY BY THE COUNTY INSPECTOR.
- FLOODPLAIN NOTE: THERE IS NO FLOODPLAIN ON THIS PROPERTY FROM A WATER COURSE WITH A DRAINAGE AREA EXCEEDING 100 ACRES OR FLOODPLAIN FIRM PANEL 13135C0076F DATED SEPTEMBER 29TH, 2006.
- THERE ARE NO WETLANDS BEING DISTURBED ON THIS SITE.
- SVM NOTE: NO HYDROLOGY STUDY IS PROVIDED WITH THIS PIPELINE PROJECT AND NO STORM WATER MANAGEMENT IS NECESSARY. ALL GRADES WILL BE RETURNED TO PRE-CONSTRUCTION GRADES.
- NO STREAM BUFFERS ARE ENCRACHED UPON IN THIS PROJECT PER THE EROSION AND SEDIMENT ACT 12-7-6 (B) 15 (C).
- NO CLEARING IS ALLOWED WITHIN THE 25' STATE STREAM BUFFER WITHOUT ACQUISITION OF A BUFFER VARIANCE PERMIT FROM THE GEORGIA EPD.
- THE 25-FOOT NATURAL, UNDISTURBED STREAM BUFFER, UNDER ARTICLE V, SECTION 16, OF THE SOIL AND EROSION AND SEDIMENT CONTROL ORDINANCE SHALL REMAIN IN FORCE.
- A 50-FOOT UNDISTURBED BUFFER AND 75-FOOT IMPERVIOUS SETBACK SHALL BE MAINTAINED ADJACENT TO ALL STREAMS.
- THE DESIGN PROFESSIONAL, WHOSE SEAL APPEARS HEREON, CERTIFIES THE FOLLOWING:
 - THE NATIONAL WETLAND INVENTORY MAPS HAVE BEEN CONSULTED, AND,
 - THE APPROPRIATE PLAN SHEET [] DOES [X] DOES NOT INDICATE AREAS OF UNITED STATES ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS AS SHOWN ON THE MAPS AND,
 - IF WETLANDS ARE INDICATED, THE LAND OWNER OR DEVELOPER HAS BEEN ADVISED THAT LAND DISTURBANCE OF PROTECTED WETLANDS SHALL NOT OCCUR UNLESS THE APPROPRIATE FEDERAL WETLANDS ALTERATION ("SECTION 404") PERMIT HAS BEEN OBTAINED

CONSTRUCTION SEQUENCING AND CONNECTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION SEQUENCING AND PHASING.

ABBREVIATIONS

ARV	AIR RELEASE VALVE	HDWL	HEADWALL
BOC	BACK OF CURB	I.E.	INVERT ELEVATION
BM	BENCHMARK	IPF	IRON PIN FOUND
CB	CATCH BASIN	JB	JUNCTION BOX
CF	CUBIC FEET	LF	LINEAR FOOT
C	CENTER LINE	MH	MANHOLE
CMP	CORRUGATED METAL PIPE	N.A. or N/A	NOT APPLICABLE
CO	CLEAN OUT	N/F	NOW OR FORMERLY
CY	CUBIC YARD	PERM.	PERMANENT
D.E.	DRAINAGE EASEMENT	R	PROPERTY LINE
DI	DROP INLET	PP	POWER POLE
DIA.	DIAMETER	PVC	POLYVINYL CHLORIDE PIPE
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
D/W	DRIVEWAY	R/W	RIGHT-OF-WAY
ESMT	EASEMENT	SSE	SANITARY SEWER EASEMENT
ELEV.	ELEVATION	STA.	STATION
EOP	EDGE OF PAVEMENT	TBM	TEMPORARY BENCHMARK
EX	EXISTING	TCE	TEMPORARY CONSTRUCTION EASEMENT
FES	FLARED END SECTION		
FFE	FINISHED FLOOR ELEVATION	TEMP.	TEMPORARY
FH	FIRE HYDRANT	VCP	VITRIFIED CLAY PIPE
GDOT	GEORGIA DEPARTMENT OF TRANSPORTATION	WL	WATER LINE
G.M.D.	GEORGIA MILITIA DISTRICT	WM	WATER METER
GV	GAS VALVE	VV	WATER VALVE

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH GWINNETT COUNTY STANDARDS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CONTRACT PLANS, CONTRACT SPECIFICATIONS, PERMIT REQUIREMENTS, AND ALL APPLICABLE STATE, FEDERAL, AND LOCAL CODES. NO ADDITIONAL PAYMENT WILL BE GIVEN FOR ANY COST INCURRED TO COMPLY WITH REQUIREMENTS SET BY THE AFOREMENTIONED ITEMS.
- I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

NAME: KURT MUELLER SIGNATURE: *K. Mueller*
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY GWINNETT COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE CONTRACT DOCUMENTS. ANY DEVIATION FROM THE PLANS WITHOUT PRIOR CONSENT OF OWNER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, EXCEPT THE FOLLOWING THAT WILL BE OBTAINED BY GCDWR:
 - A PRE-CONSTRUCTION MEETING MUST BE HELD WITH GCDWR, ENGINEER, CONTRACTOR, AND GCDOT (IF APPLICABLE) PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO PUBLIC RIGHT-OF-WAYS AND ACQUIRED EASEMENTS. WORK IS TO BE PERFORMED IN CONFORMITY WITH ALL APPLICABLE PERMITS, AGREEMENTS, AND EASEMENT STIPULATIONS. CONTRACTOR SHALL NOT ENTER OR OCCUPY ANY EASEMENT WITHOUT FIRST CONFIRMING WITH GCDWR THAT SUCH EASEMENT IS FULLY EXECUTED. CONTRACTOR SHALL NOT ENTER OR OCCUPY ANY LAND OUTSIDE OF THE EASEMENTS AND RIGHT-OF-WAY, SHOULD THE CONTRACTOR DESIRE OR REQUIRE ADDITIONAL SPACE, THE CONTRACTOR SHALL ARRANGE FOR SUCH A SPACE WITH THE EASEMENT OWNER AT CONTRACTOR'S EXPENSE.
- LAND DISTURBANCE SHALL BE LIMITED TO THOSE AREAS INDICATED ON THE PLANS FOR ACCESS, STAGING, AND UTILITY CONSTRUCTION.
- ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH TREE PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO AND CONCURRENT WITH LAND DISTURBING ACTIVITIES. ALL EROSION AND CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE INSPECTED REGULARLY USING THE EROSION AND SEDIMENT CONTROL CHECKLIST. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE OWNER.
- DRAINAGE SYSTEMS SHALL BE MAINTAINED, KEPT FREE OF DEBRIS, AND IN OPERATING CONDITION AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR RE-GRADED AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN THE PLANS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- MONUMENTS OR LANDMARKS SHALL NOT BE DISTURBED OR REMOVED BY THE CONTRACTOR WITHOUT WRITTEN CONSENT OF THE OWNER. ANY MONUMENT OR LANDMARK REMOVED OR DAMAGED SHALL BE REPLACED BY THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- ALL SIGNS, MAILBOXES, FENCING, LANDSCAPING, ETC. SHALL BE PROTECTED DURING CONSTRUCTION. SHOULD IT BE REQUIRED TO REMOVE OR DISTURB SUCH ITEMS, THE CONTRACTOR SHALL SEEK APPROVAL FROM THE OWNER FIRST AND IF APPROVED, THE REMOVAL OR DISTURBANCE OF SUCH ITEMS SHALL BE DONE AT NO ADDITIONAL COST TO OWNER. SHOULD ANY ITEMS BE DAMAGED, THE CONTRACTOR SHALL REPLACE THE ITEM IN LIKE AND KIND AT NO ADDITIONAL EXPENSE TO GWINNETT COUNTY. TRANSPLANTED AND/OR REPLACED ITEMS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WORK IS COMPLETED. TRAFFIC CONTROL SIGNS AND MAIL BOXES SHALL BE REPLACED THE DAY OF THEIR REMOVAL.
- ALL TRAFFIC CONTROL SIGNS THAT ARE REMOVED OR DAMAGED MUST BE REINSTALLED OR REPLACED. ALL SIGNS MUST BE REINSTALLED TO THE STANDARDS IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- NO TRENCH SHALL BE OPENED MORE THAN 150 FEET AHEAD OF PIPE LAYING AND NO MORE THAN 500 FEET OF TRENCH MAY BE OPEN AT ANY ONE TIME. CLEANUP AND GRASSING SHALL FOLLOW A MAXIMUM OF 500 FEET BEHIND PIPE INSTALLATION. AT THE END OF EACH WORKDAY, NO TRENCH IS TO BE LEFT OPEN WITHOUT THE APPROVAL OF THE GCDWR INSPECTOR. ALL ACCESS AND OPERABILITY SHALL BE FULLY RESTORED.
- CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FOR THE PROJECT THAT SHALL BE APPROVED BY GCDWR MATERIAL TESTING REPRESENTATIVE PRIOR TO USE. ALL SPOIL, MATERIALS, REFUSE, AND DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND LEGALLY DISPOSED OF AT AN APPROPRIATE OFF-SITE LOCATION. BURNING OF REFUSE, DEBRIS, OR SPOIL MATERIAL AT THE PROJECT SITE IS NOT ALLOWED.
- FILL AREAS UNDER PAVED AREAS SHALL BE COMPACTED TO MINIMUM 95% STANDARD PROCTOR AND FILL AREAS UNDER NON-PAVED AREAS SHALL BE COMPACTED TO A MINIMUM 85% STANDARD PROCTOR, UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS, OR DIRECTED BY THE ENGINEER.
- OWNER'S MATERIAL TESTING FIRM TO PERFORM TESTING OF CONTRACTOR'S WORK WHERE DIRECTED BY GCDWR. CONTRACTOR IS TO ALLOW FULL ACCESS AS NEEDED BY THE MATERIALS TESTING FIRM. ANY FAILED TEST SHALL REQUIRE THE CONTRACTOR TO REDO THE WORK UNTIL THE TEST IS PASSED. ADDITIONAL TESTING DUE TO A FAILED TEST SHALL BE PERFORMED BY CONTRACTOR'S OWN MATERIALS TESTING FIRM AND AT THE EXPENSE OF THE CONTRACTOR.
- ALL PROJECT SITE AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE STABILIZED WITH PERMANENT GRASSING UNLESS OTHERWISE NOTED. PERMANENT GRASSING SHALL BE SHOWN UNLESS OTHERWISE SPECIFICALLY NOTED IN THE CONTRACT DOCUMENTS OR APPROVED BY THE OWNER. ANY AREAS OUTSIDE THE PROJECT SITE AREA THAT ARE DISTURBED SHALL BE RESTORED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRAVEL, PAVED, OR CONCRETE ENTRANCES, DRIVEWAYS, AND APRONS TO PRECONSTRUCTION CONDITIONS AND IN ACCORDANCE WITH APPLICABLE GDOT AND GCDOT STANDARDS AND REQUIREMENTS. DRIVEWAYS TO BE REPLACED 10 FEET BACK FROM THE CURB OR TO THE CLOSEST EXPANSION JOINT, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- A PAVING PLAN MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER BEFORE EXECUTING ASPHALTIC CONCRETE CONSTRUCTION. MILLING IS REQUIRED PRIOR TO ASPHALT RESURFACING, AND IS TO BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. SURFACE OVERLAY IS TO OCCUR IN ONE OPERATION.
- VEHICULAR AND PEDESTRIAN TRAFFIC ACCESS TO PUBLIC ROADWAYS, DRIVEWAYS, FIRE HYDRANTS, VALVES, ETC. SHALL BE MAINTAINED AT ALL TIMES FOR RESIDENTS, PROPERTY OWNERS, PEDESTRIANS, THE TRAVELING PUBLIC, TRASH PICKUP, MAIL AND PARCEL DELIVERY SERVICES, SCHOOL BUSES, AND EMERGENCY VEHICLES.
- STREET INTERSECTIONS MAY NOT BE BLOCKED EXCEPT FOR 1/2 THE ROADWAY AT ANY GIVEN TIME. IF IT BECOMES NECESSARY TO CLOSE A PORTION OF THE ROAD, THE CONTRACTOR SHALL PROVIDE A TRAFFIC ROUTING (DETOUR) PLAN AND SHALL HAVE IT APPROVED BY GDOT PRIOR TO CLOSING THE ROAD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGMEN, SIGNAGE, BARRICADES, LIGHTS, AND OTHER TRAFFIC CONTROL DEVICES NECESSARY TO CONTROL THE TRAFFIC AND PROTECT THE PUBLIC. ALL TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS", GCDOT STANDARDS, AND GDOT STANDARDS. TRAFFIC CONTROL TO BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PARKING WITHIN THE CONSTRUCTION LIMITS DETAILED AND SHALL PARK VEHICLES AND EQUIPMENT SO THAT THERE IS NO DISRUPTION TO TRAFFIC. NO PARKING ON PRIVATE PROPERTY WILL BE PERMITTED.
- THE SIZE, TYPE, MATERIALS, AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION. SUBSURFACE UTILITY DATA SHOWN IS APPROXIMATE ONLY AND NO GUARANTEE IS MADE THAT ALL UTILITIES AND OTHER FEATURES ARE REPRESENTED ON THE PLANS ARE CORRECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND SIZE OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- IF THE CONTRACTOR ENCOUNTERS SUBSURFACE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER. NO EXISTING UTILITY SHALL BE DISTURBED WITHOUT PROPER AUTHORITY AND THEN ONLY IN SUCH A MANNER AS PRESCRIBED AND APPROVED BY THE OWNER OF THE EXISTING UTILITY.
- SHOULD IT BECOME NECESSARY TO DISTURB AN EXISTING UTILITY, THE CONTRACTOR IS TO NOTIFY THE OWNER AND THE OWNER OF THE UTILITY. WHEN NECESSARY, CONTRACTOR IS TO CEASE WORK UNTIL SATISFACTORY ARRANGEMENTS HAVE BEEN MADE WITH THE UTILITY OWNER TO PROPERLY CARE FOR AND RELOCATE THE UTILITY. NO CLAIMS FOR DAMAGES SHALL BE ALLOWED THE CONTRACTOR ON ACCOUNT OF ANY DELAY OCCASIONED THEREBY.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EITHER THE CONTRACTOR OR UTILITY OWNER WILL PERFORM THE REPAIR AT THE DISCRETION OF THE UTILITY OWNER. NO CLAIMS FOR DAMAGES SHALL BE ALLOWED THE CONTRACTOR ON ACCOUNT OF ANY DELAY OCCASIONED THEREBY.
- THE CONTRACTOR SHALL PROVIDE ALL PIPE FITTINGS AND APPURTENANCES REQUIRED FOR THE COMPLETE INSTALLATION THE PROPOSED PIPELINE, WHETHER OR NOT SUCH ITEMS ARE SHOWN OR CALLED OUT ON THE PLANS. THE CONTRACTOR IS ADVISED THAT FIELD ADJUSTMENTS MAY BE REQUIRED BASED ON ACTUAL SUBSURFACE CONDITIONS AND LOCATIONS OF EXISTING BURIED UTILITIES ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOT RECEIVE ANY ADDITIONAL PAYMENT OR TIME EXTENSION FOR ITEMS NOT BEING SHOWN IN PLANS OR FOR FIELD ADJUSTMENTS MADE DUE TO ACTUAL SUBSURFACE CONDITIONS AND UTILITY LOCATION.

GENERAL NOTES, CONTINUED

- PIPELINE ROUTE STATIONING IS BASED ON PROPOSED PIPE CENTERLINE. PAYMENT FOR PIPELINE WILL BE BASED ON ACTUAL LENGTH OF PIPELINE INSTALLED, IN ACCORDANCE WITH THE SPECIFICATIONS.
 - A MINIMUM OF 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWER MAINS. WHEN CROSSING PIPES, PIPE JOINTS ARE TO BE PLACED AS FAR AWAY FROM EACH OTHER AS POSSIBLE. WHENEVER PRACTICAL, WATER MAINS SHALL CROSS ABOVE SEWER MAINS.
 - AT COMPLETION OF CONSTRUCTION, ALL VALVE BOXES, METERS, AND APPURTENANCES SHALL BE SET FOR PROPER FINISH GRADE. PRECAST STRUCTURES, MANHOLE FRAMES AND COVERS ARE TO BE SET FLUSH WITH FINISHED GRADE UNLESS OTHERWISE INDICATED IN THE PLANS OR SPECIFICATIONS.
 - ANY MATERIAL SALVAGED ON SITE BEARING THE NAME "GWINNETT" SHALL BE RETURNED TO GCDWR BEFORE FINAL PAYMENT WILL BE MADE.
- SANITARY SEWER NOTES:**
- SANITARY SEWER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE GCDWR WATER MAIN AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS, DATED APRIL 5, 2016.
 - SEWER SERVICE TO ALL USERS OF THE EXISTING SEWERS SHALL BE MAINTAINED THROUGHOUT THE PROJECT WHENEVER POSSIBLE. WHEN IT IS NECESSARY TO TAKE ANY PART OF ANY SEWER OUT OF SERVICE, IT REQUIRES OWNER APPROVAL AND COORDINATION. INSTANCES WHERE SERVICES WILL BE OUT FOR AN EXTENDED PERIOD OF TIME WILL REQUIRE BYPASS PUMPING TO BE IMPLEMENTED AT NO ADDITIONAL COST TO OWNER.
 - NO BYPASS PUMPING SYSTEM WILL BE REQUIRED FOR THIS PROJECT.
 - USE OF PRECAST INVERT MANHOLES IS ACCEPTABLE PROVIDED INVERTS ARE NOT MODIFIED.
 - BORE WITHIN THE VICINITY OF THE MANHOLE AND CORE FROM THE INSIDE OF THE MANHOLE IN THE PRESENCE OF GCDWR INSPECTOR.
 - CUT-IN MANHOLES REQUIRED UNLESS DOGHOUSE MANHOLE SPECIFICALLY APPROVED BY OWNER PRIOR TO CONSTRUCTION.
 - MANHOLE FRAME AND COVERS LOCATED OUTSIDE OF THE PAVEMENT SHALL BE BOLT-DOWN, WATERTIGHT COVERS, UNLESS OTHERWISE INDICATED IN THE PLANS OR SPECIFICATIONS.
 - PLUG TO BE INSTALLED AT THE TIE-IN MANHOLE AND FIRST MANHOLE UPSTREAM. PLUG TO BE REMOVED ONLY AT THE DIRECTION OF THE GCDWR INSPECTOR. FAILURE TO COMPLY MAY RESULT IN CITATION AND/OR SUSPENSION FROM APPROVED CONTRACTOR'S LIST.
 - NO TREES OR PERMANENT STRUCTURES ARE ALLOWED TO REMAIN IN SEWER EASEMENTS IN ACCORDANCE WITH GWINNETT COUNTY POLICY.

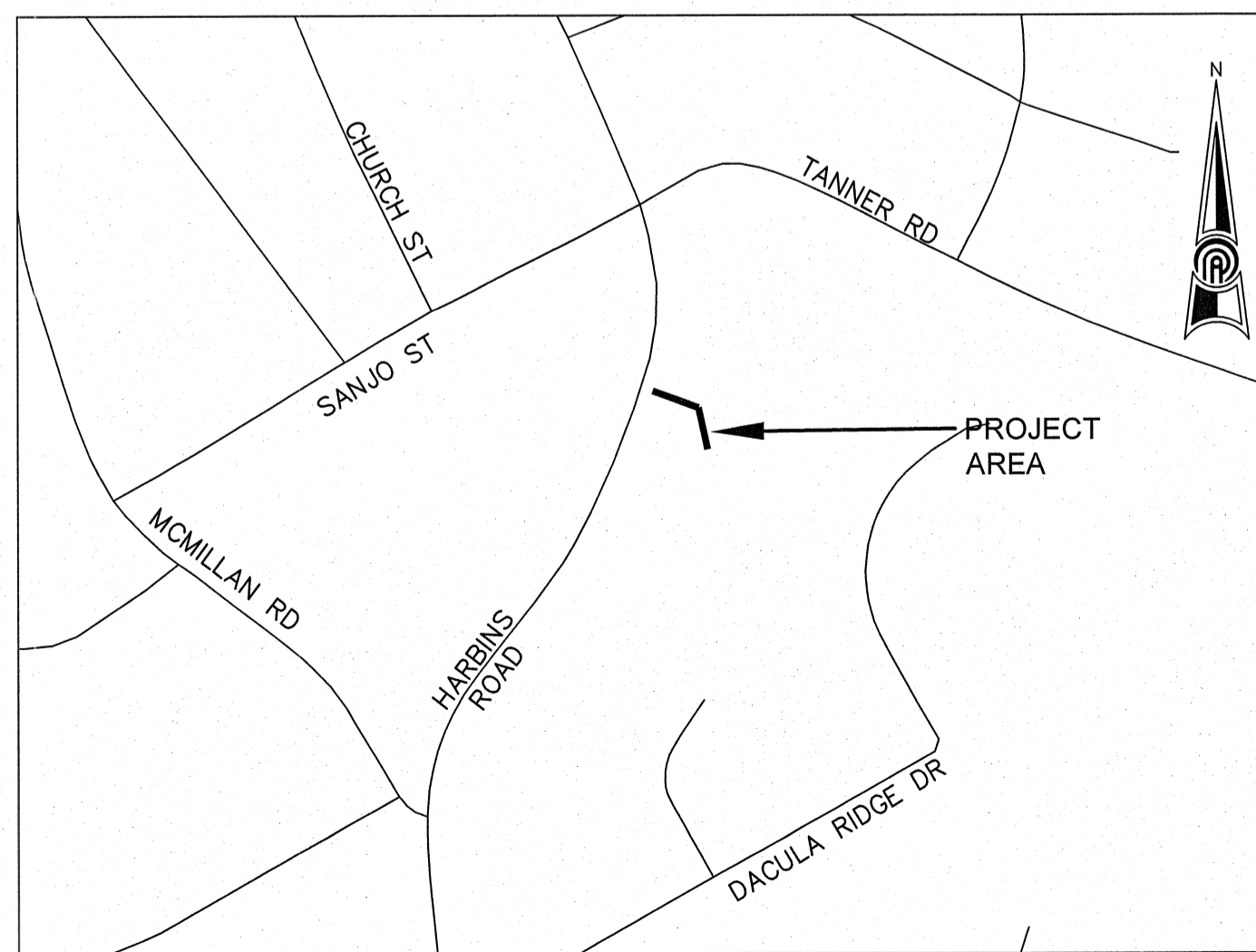
ADDITIONAL GWINNETT COUNTY NOTES:

- GEORGIA DOT R/W - CALL COURTNEY TURNER (770-339-1520) 24 HOURS BEFORE CONSTRUCTION.
- A UTILITY CONSTRUCTION PERMIT IS TO BE ACQUIRED BY A GCDWR APPROVED CONTRACTOR PRIOR TO INSTALLATION. CALL 678-518-6000 FOR INFORMATION AND COPY OF APPROVED CONTRACTOR'S LIST. APPROVED UTILITY CONTRACTORS LIST.PDF. A MANDATORY PRE-CONSTRUCTION CONFERENCE WITH INSPECTOR, BY APPOINTMENT ONLY, IS REQUIRED 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION. ANY UTILITY DESIGN CHANGES MUST BE APPROVED BY THE WATER AND SEWER REVIEW SECTION OF P&D PRIOR TO INSTALLATION.
- THE DESIGNER AND DEVELOPER ACKNOWLEDGE THAT ALL WORK REPRESENTED IN THESE CONSTRUCTION DOCUMENTS HAS BEEN DESIGNED TO FULLY COMPLY WITH THE CURRENT GWINNETT COUNTY WATER MAIN AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE GWINNETT COUNTY BACKFLOW PREVENTION MANUAL. ACTUAL FIELD CONDITIONS COULD DICTATE MORE STRINGENT REQUIREMENTS, IF DEEMED NECESSARY BY THE COUNTY INSPECTOR. IN CASE OF CONFLICT BETWEEN THE PERMITTED DOCUMENTS AND THE CURRENT GWINNETT COUNTY WATER MAIN AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE GWINNETT COUNTY BACKFLOW PREVENTION MANUAL, THE COUNTY SPECIFICATIONS SHALL GOVERN THE RIGHTS AND OBLIGATIONS OF THE PARTIES.
- AS-BUILT/RECORD DRAWINGS FOR SEWER SYSTEM REQUIRED PRIOR TO REQUESTING FINAL PLAT APPROVAL. TEMPORARY CERTIFICATE OF OCCUPANCY OR ISSUANCE OF CERTIFICATE OF OCCUPANCY. ALLOW A MINIMUM 6 WEEKS FOR INITIAL REVIEW AND ADDITIONAL TIME FOR RE-REVIEW(S). DRAWINGS TO BE SUBMITTED TO, REVIEWED, AND APPROVED BY DEPARTMENT OF WATER RESOURCES.
- GCDWR DOES NOT AUTHORIZE ANY PAVEMENT CUTS - IF CUT IS NECESSARY PERMISSION MUST BE OBTAINED FROM THE OWNER OF STREET.

EXISTING	LEGEND	NEW
— W — W —	WATER	N.A.
— SS — SS —	SANITARY SEWER	— SS — SS —
— FM — FM —	FORCE MAIN	N.A.
— G — G —	GAS LINE	N.A.
— UP — UP —	UNDERGROUND POWER	N.A.
— UT — UT —	UNDERGROUND TELEPHONE	N.A.
— — — —	ROAD CENTERLINE	N.A.
— — — —	EDGE OF PAVEMENT	N.A.
— — — —	EDGE OF GRAVEL DRIVE	N.A.
— — — —	GUARDRAIL	N.A.
— X — X —	FENCE	N.A.
	TREE LINE	N.A.
	CREEK CENTERLINE	N.A.
	DITCH CENTERLINE	N.A.
	STORM DRAIN	N.A.
— 500 —	CONTOUR	N.A.
— — — —	RIGHT-OF-WAY	N.A.
— — — —	PERMANENT EASEMENT	— — — —
N.A.	TEMPORARY CONSTRUCTION EASEMENT	— — — —
— — — —	PROPERTY LINE	N.A.
— — — —	25' STREAM BUFFER	N.A.
— — — —	50' STREAM BUFFER	N.A.
— — — —	75' STREAM BUFFER	N.A.
	100-YR FLOOD LIMITS	N.A.
	POWER POLE	N.A.
	GUY WIRE	N.A.
	SEWER MANHOLE	
	WATER VALVE	N.A.
	FIRE HYDRANT	N.A.
	WATER METER	N.A.
	TELEPHONE PEDESTAL	N.A.
	AIR RELEASE VALVE	N.A.
	IRON PIN	N.A.
	SIGN	N.A.
	TREE	N.A.
	RIP RAP	N.A.
	WETLANDS	N.A.
	BUILDING	N.A.
	CONCRETE PAVING	N.A.
	ASPHALT PAVING	

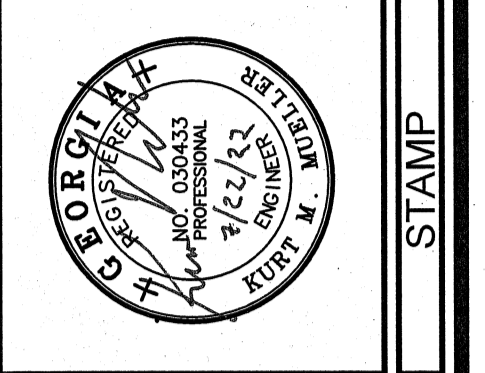


Know what's below.
Call before you dig.
GWINNETT COUNTY DOT IS NOT ON THE ONE-CALL SYSTEM. CALL (770) 822-7474 WHEN LOCATING UTILITIES FOR CONSTRUCTION.



VICINITY MAP
N.T.S.

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REGISTERED PROFESSIONAL ENGINEER
STATE OF GEORGIA
NO. 12123
EXPIRES 12/31/25
KURT MUELLER



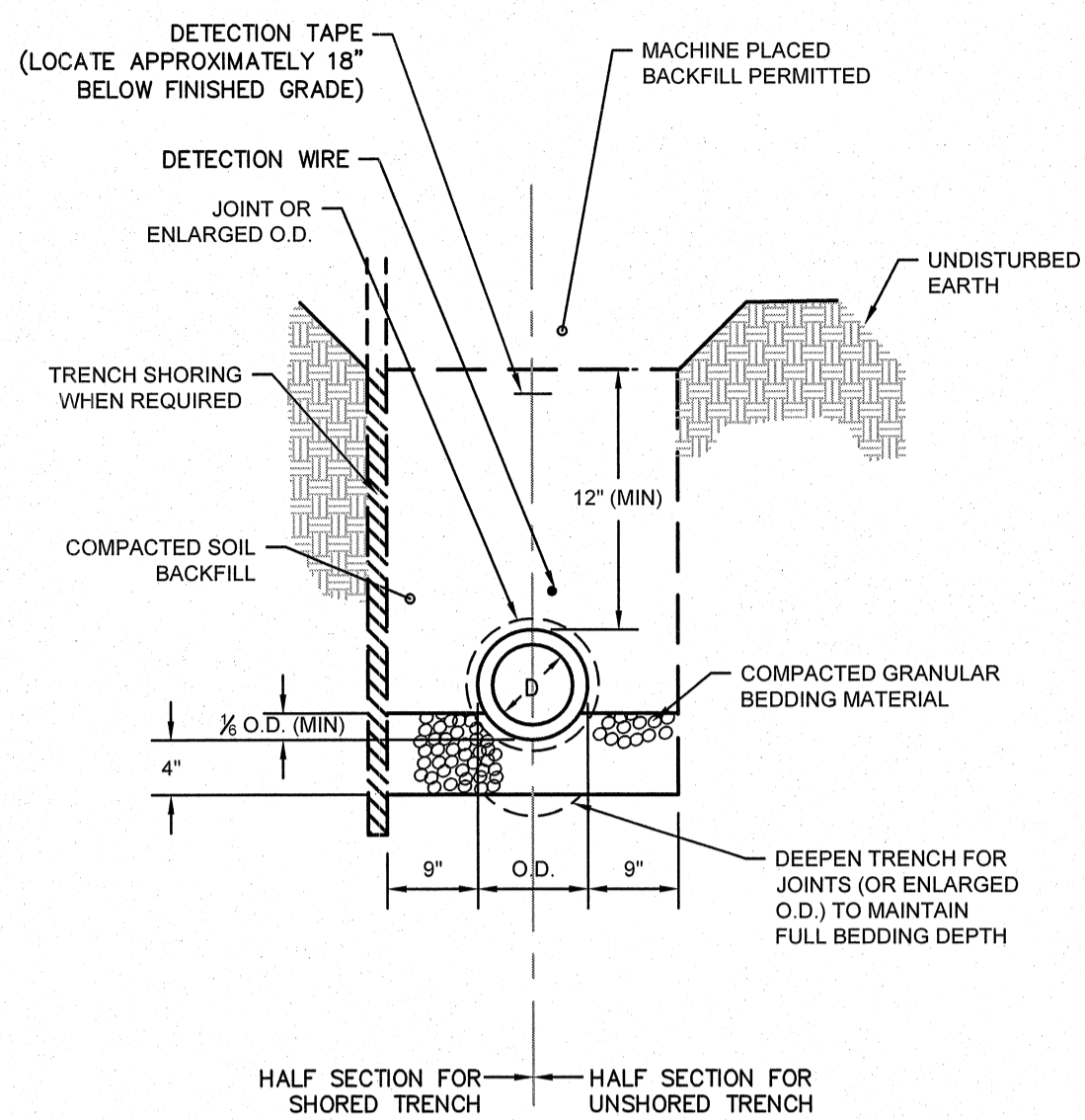
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Georgia Engineering Firm COA # PEP000529
400 Pike Blvd. Lawrenceville, GA 30046
770-338-8000 • www.ppi.us

DACULA CITY HALL
SEWER CONNECTION

GENERAL NOTES AND LEGEND	SHEET TITLE	CHECKED	KMM
		DESIGN	ARS
		DRAWN	ARS

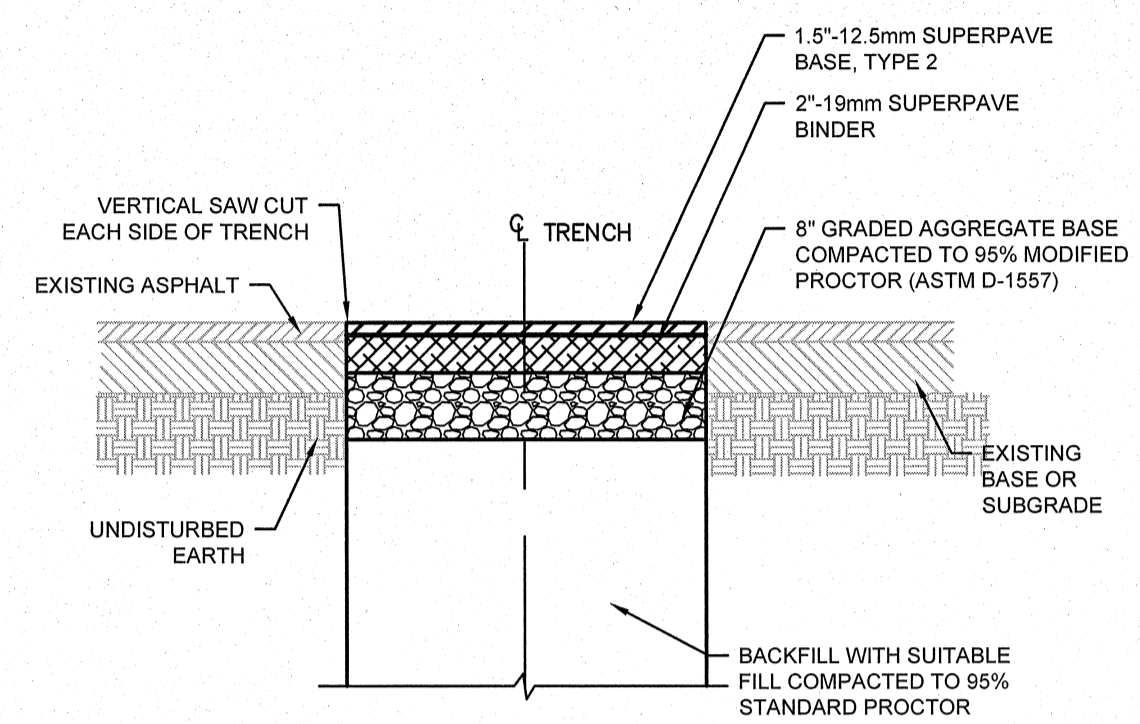
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07/22/22	A		ISSUED FOR BID

E22057
PPI PROJECT NO.
02



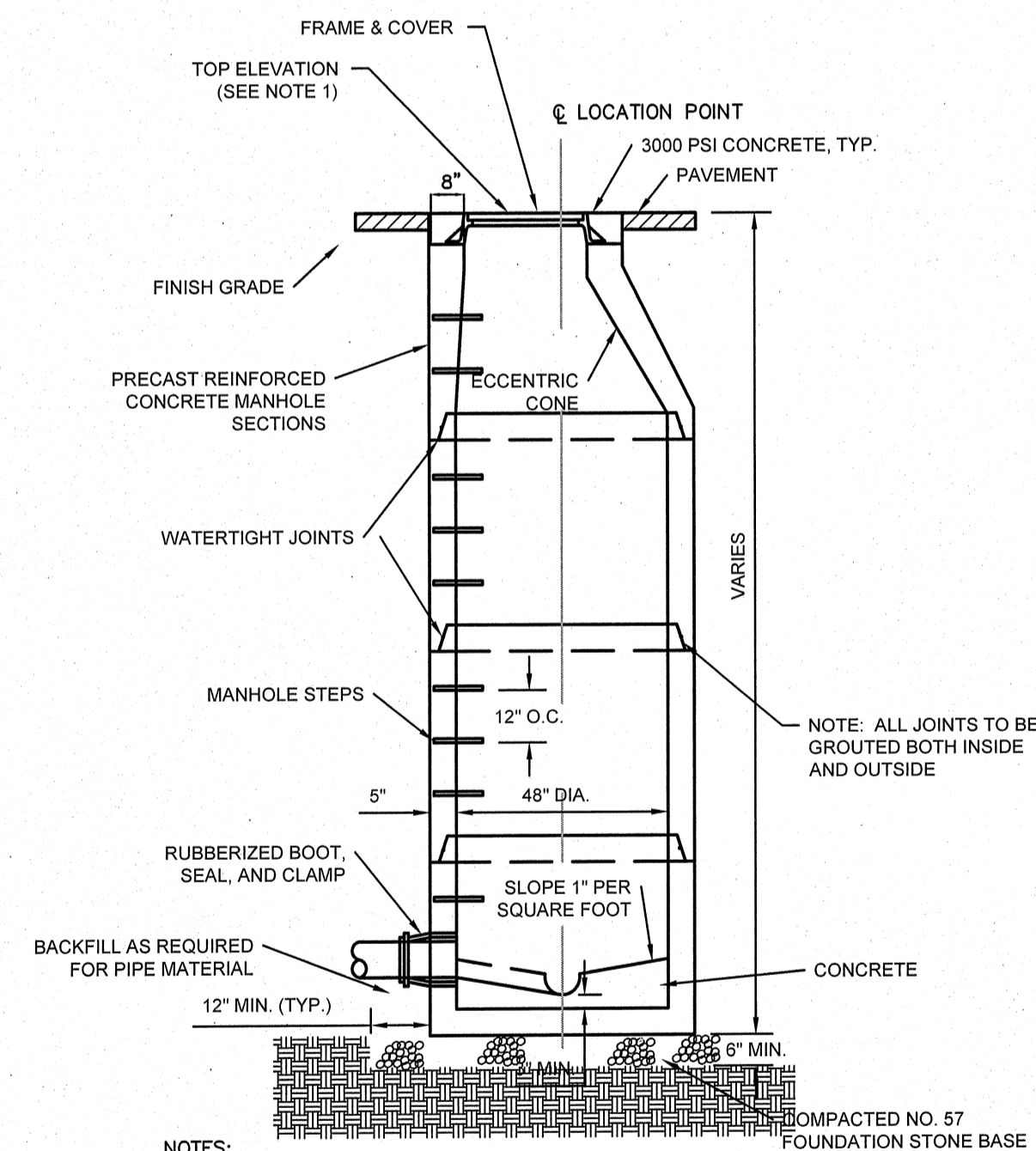
CLASS "C" BEDDING
(SANITARY SEWER LINE)

BEDDING DETAIL (PL41)
N.T.S.



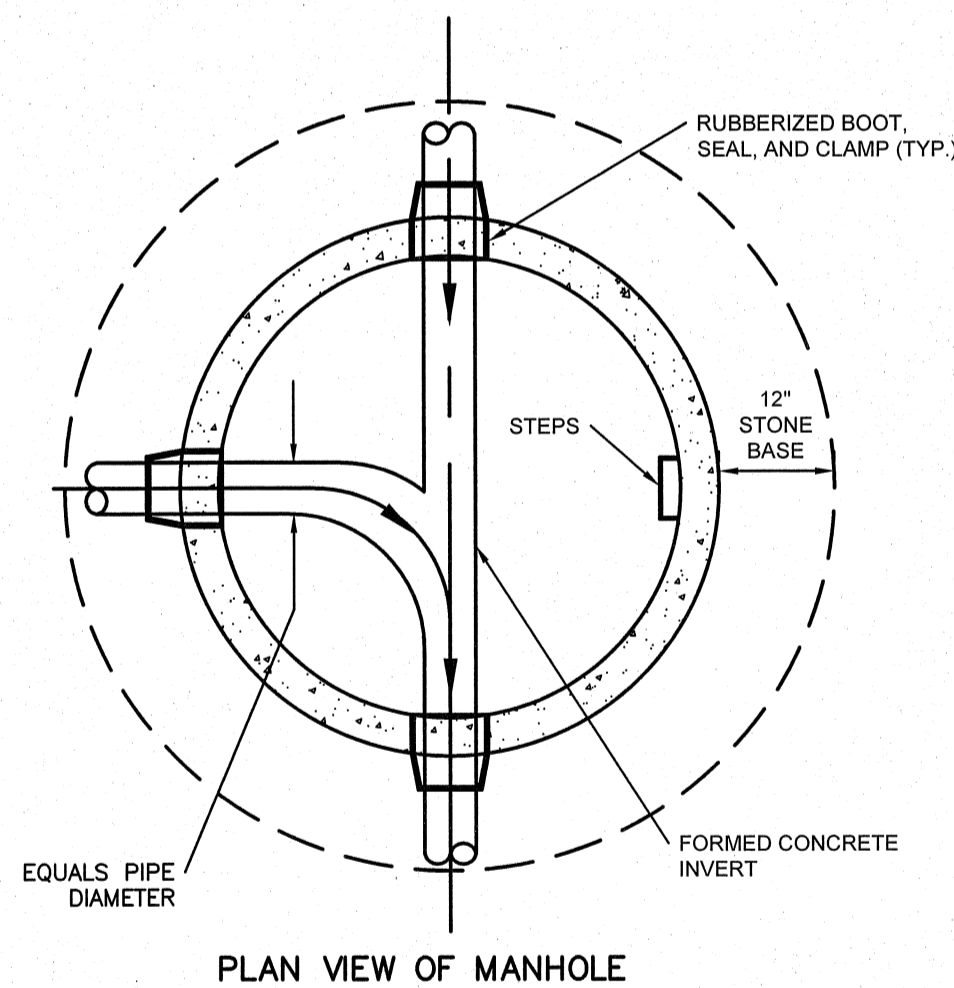
NOTE:
CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH GEORGIA D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES - LATEST EDITION.

MEDIUM-DUTY PAVEMENT CUT-REPAIR (PP1)
N.T.S.

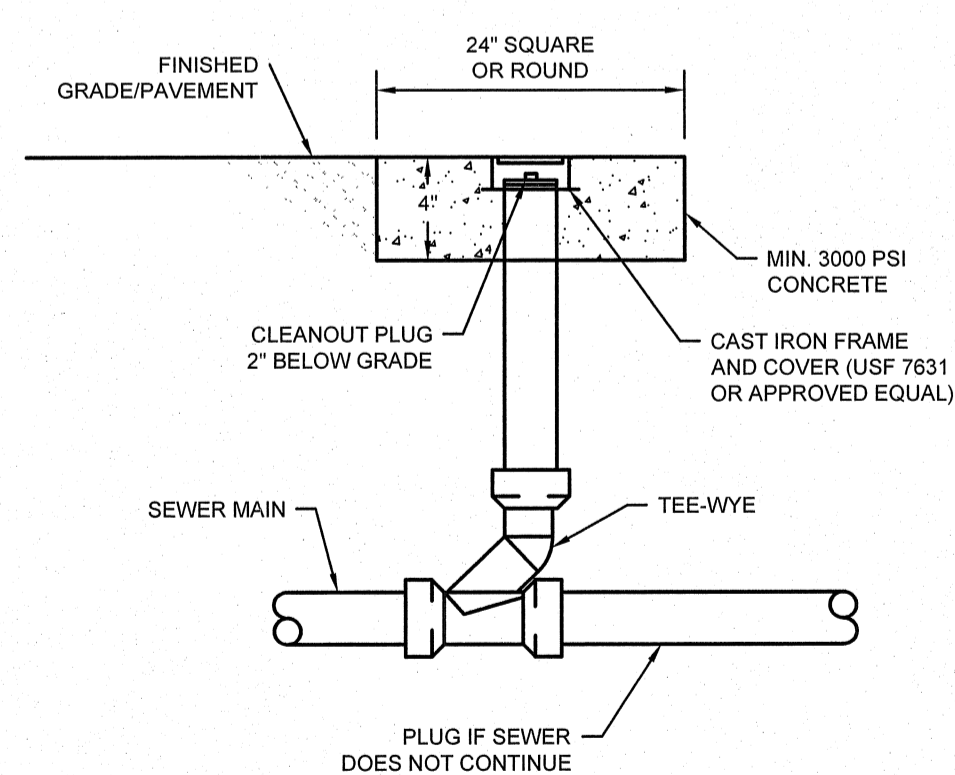


- NOTES:
- TOP OF COVER TO BE CONSTRUCTED FLUSH WITH PAVEMENT. PRIVATE MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY USF 363, OR APPROVED EQUAL, WITH "SEWER" CAST ON THE COVER.
 - ALL PRECAST RISERS, CONES, BASES, TOPS, AND STEPS SHALL CONFORM TO ASTM C 478.
 - GROUT ANNULAR SPACE BETWEEN WALL AND PIPE WITH NON-SHRINK MORTAR TO ENSURE WATERTIGHT SEAL.

STANDARD MANHOLE (S01)
N.T.S.



NOTE: TABLES ARE TO BE GENTLY SLOPED AND TROWELED FROM MANHOLE WALL TO INVERT WALL HEIGHT AND CONSTRUCTED OF AGGREGATE-MIX CEMENT WITH SMOOTH VENEER FINISH.



CLEANOUT (ASPHALT AREA) (S10)
N.T.S.

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FOR THE PROJECT: **Dacula City Hall Sewer Connection**

DATE: 7/22/22
DRAWN BY: ARS
CHECKED BY: KMM

PRECISION Planning Inc.
planners • engineers • architects • surveyors

Georgia Engineering Firm, COA # PEFC000629
400 Piedmont Avenue, Suite 30046
770.539.8000 • www.ppi.us

STAMP

**Dacula City Hall
SEWER CONNECTION**

CONSTRUCTION DETAILS

SHEET TITLE	CHECKED	KMM
DESIGN	ARS	
DRAWN	ARS	

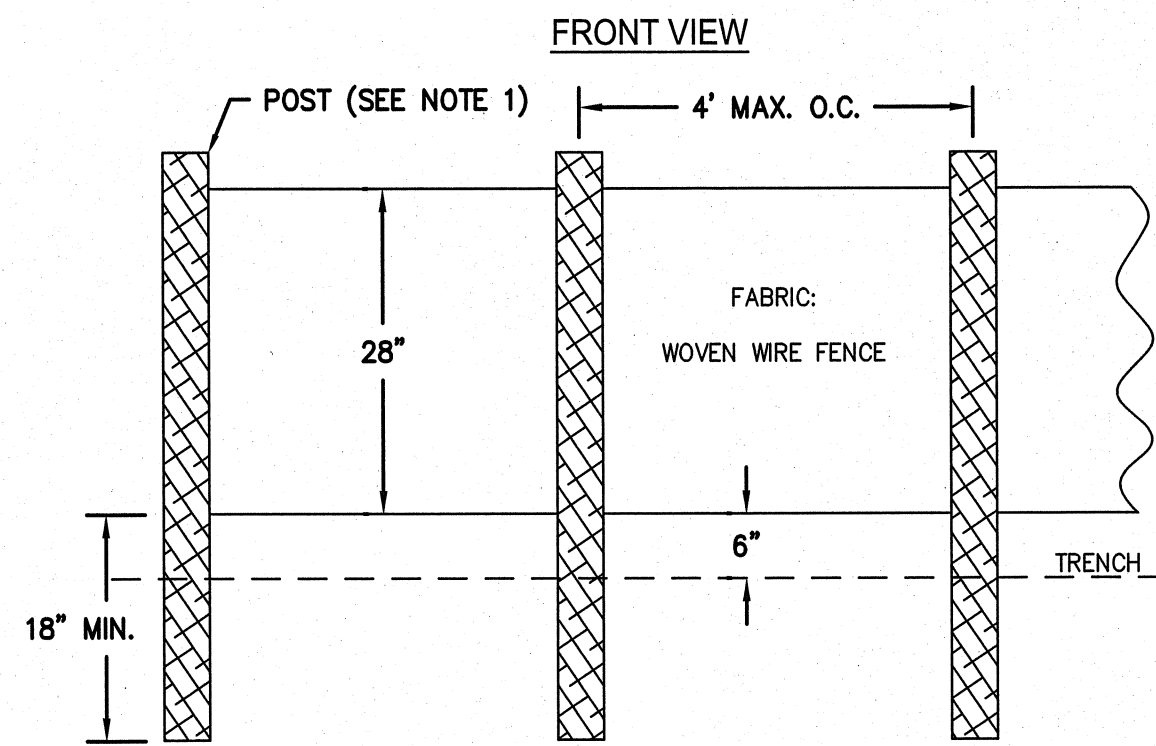
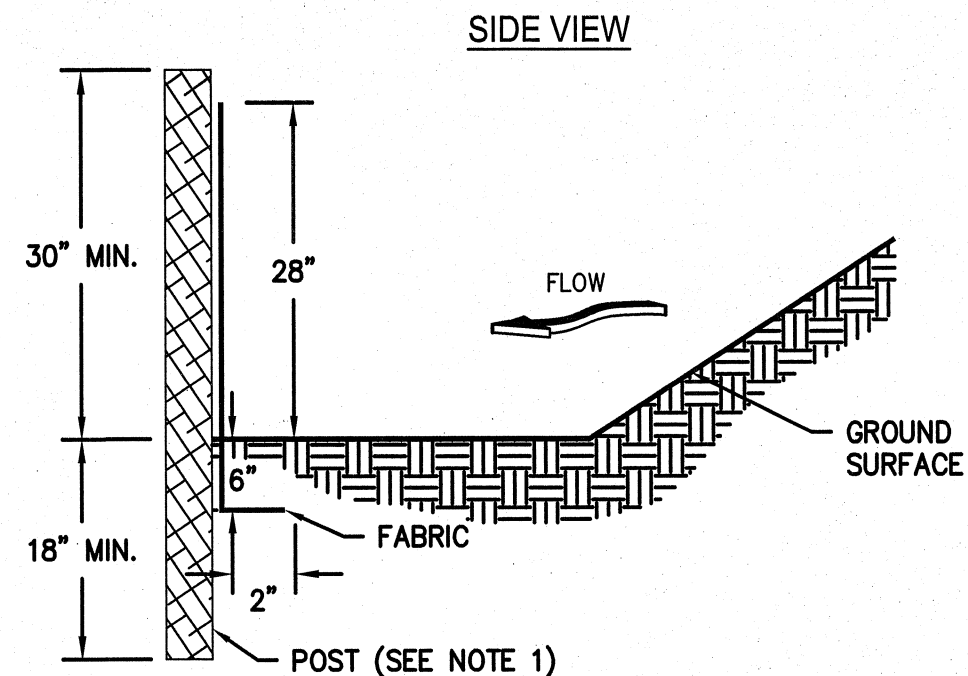
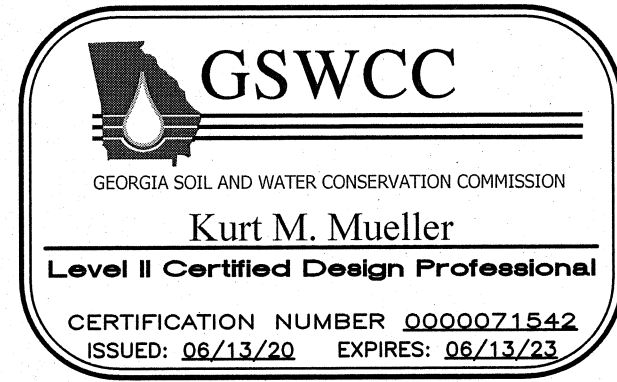
DATE	NO.	DESCRIPTION
07/22/22	A	ISSUED FOR BID

E22057
PPI PROJECT NO.

04

OWNER/PRIMARY PERMITTEE:
BRITNI NIX
442 HARBINS RD
DACULA, GA 30019
PH. 770-963-7451
email: brittni.nix@daculaga.gov

24-HOUR EMERGENCY CONTACT:
CITY OF DACULA
770-963-7451



- NOTES:
1. USE STEEL POSTS AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. SILT FENCE FABRIC SHALL BE APPROVED BY GWINNETT COUNTY AT PRE-CONSTRUCTION MEETING AND BEFORE INSTALLATION.

Sd1-S SEDIMENT BARRIER
TYPE (SENSITIVE)

EROSION CONTROL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- IT SHALL BE THE RESPONSIBILITY OF THE PERSON PERFORMING THE CONSTRUCTION OPERATIONS TO INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THESE DRAWINGS OR TO PROVIDE ADDITIONAL MEASURES AS DEEMED NECESSARY BY SITE CONDITIONS.
- ADDITIONAL MEASURES SHALL BE ADDED IF DETERMINED TO BE NECESSARY BY ON-SITE INSPECTIONS AND/OR BY THE GOVERNING AUTHORITY.
- STANDARDS AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (LATEST EDITION), PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION.
- TEMPORARY EROSION MEASURES: TEMPORARY EROSION CONTROL STRUCTURES, MEASURES, AND DEVICES SHALL BE INSTALLED AND OPERATIONAL PRIOR TO ANY LAND DISTURBING ACTIVITY. IF, DURING ANY STAGE OF CONSTRUCTION, ADDITIONAL MEASURES ARE DEEMED NECESSARY THEY SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER NOTIFICATION.
- MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES SHALL BE REQUIRED THROUGHOUT ALL STAGES OF CONSTRUCTION. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL MANUAL CHAPTER 6 AND THE EROSION CONTROL DETAILS INCLUDED ON THESE DRAWINGS. MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE PERSON PERFORMING THE CONSTRUCTION.
- PERMANENT EROSION MEASURES: PERMANENT EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS CONSTRUCTION PROGRESSES. PERMANENT VEGETATIVE MEASURES SHALL BE PLACED IMMEDIATELY DURING THE VARIOUS STAGES OF CONSTRUCTION.
- ALL GRASSING/SODDING AND MULCHING SHALL TAKE PLACE AS SOON AS PRACTICAL AFTER BACKFILLING OF TRENCH EXCAVATIONS OR OTHER LAND DISTURBING ACTIVITIES.
- CONSTRUCTION MATERIAL STORAGE AREA WILL REQUIRE THE INSTALLATION OF A CONSTRUCTION EXIT (Co) TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE AREA. SILT FENCE SHALL ALSO BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE MATERIAL STORAGE AREA. AFTER DEMOBILIZATION, THE MATERIAL STORAGE AREA SHALL BE SEEDED AND MULCHED, AND THE SILT FENCE SHALL REMAIN UNTIL THE AREA IS PERMANENTLY STABILIZED.

SOIL TYPES (FROM USDA SOIL SURVEY)		
SYMBOL	SOIL NAME	DESCRIPTION
GeB2	GWINNETT	CLAY LOAM
PC2	PACOLET	SANDY CLAY LOAM

ACTIVITY	ANTICIPATED ACTIVITY SCHEDULE					
	WEEKS					
	1	2	3	4	5	6
DACULA CITY SEWER						
INSTALLATION OF EROSION CONTROL	█	█	█	█		
MAINTENANCE OF EROSION CONTROL	█	█	█	█	█	█
GRAVITY SEWER CONSTRUCTION		█	█	█	█	█
FINAL CLEANUP AND GRASSING				█	█	█

EROSION CONTROL LEGEND

- | | |
|-------------------------|---------------|
| DESCRIPTION | SYMBOL |
| Co CONSTRUCTION EXIT | |
| INLET FILTER GRAVEL BAG | |
| Sd1-S SILT FENCE | XX |
| DISTURBED AREA LIMITS | |

Ds2 DISTURBED AREA STABILIZATION
(WITH TEMPORARY VEGETATION)

DEFINITION
THE ESTABLISHMENT OF TEMPORARY COVER WITH FAST GROWING SEEDINGS FOR SEASONAL PROTECTION ON DISTURBED OR DENuded AREAS.

CONDITIONS
TEMPORARY GRASSING, INSTEAD OF MULCH, CAN BE APPLIED TO ROUGH GRADED AREAS THAT WILL BE EXPOSED FOR LESS THAN SIX MONTHS. TEMPORARY VEGETATION MEASURES SHOULD BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC AND EFFECTIVE STABILIZATION. MOST TYPES OF TEMPORARY VEGETATION ARE IDEAL TO USE AS COMPANION CROPS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

CONSTRUCTION SPECIFICATIONS

GRADING AND SHAPING
EXCESSIVE WATER RUNOFF SHALL BE REDUCED BY PROPERLY DESIGNED AND INSTALLED EROSION CONTROL PRACTICES SUCH AS CLOSED DRAINS, DITCHES, DIKES, DIVERSIONS, SEDIMENT BARRIERS AND OTHERS.

NO SHAPING OR GRADING IS REQUIRED IF SLOPES CAN BE STABILIZED BY HANDSEEDED VEGETATION OR IF HYDRAULIC SEEDING EQUIPMENT IS TO BE USED.

SEEDBED PREPARATION
WHEN A HYDRAULIC SEEDER IS USED, SEEDBED PREPARATION IS NOT REQUIRED. WHEN USING CONVENTIONAL OR HANDSEEDING, SEEDBED PREPARATION IS NOT REQUIRED IF THE SOIL MATERIAL IS LOOSE AND NOT SEALED BY RAINFALL.

WHEN SOIL HAS BEEN SEALED BY RAINFALL OR CONSISTS OF SMOOTH CUT SLOPES, THE SOIL SHALL BE PITTED, TRENCHED OR OTHERWISE SCARIFIED TO PROVIDE A PLACE FOR SEED TO LODGE AND GERMINATE.

LIME AND FERTILIZER
AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED, ON REASONABLY FERTILE SOILS OR SOIL MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (1/2 LB/1,000 SQ. FT.) SHALL BE APPLIED. FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

SEEDING
SELECT A GRASS OR GRASS-LEGUME MIXTURE SUITABLE TO THE AREA AND SEASON OF THE YEAR. SEED SHALL BE APPLIED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRAULIC SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). DRILL OR CULTIPACKER SEEDERS SHOULD NORMALLY PLACE SEED ONE-QUARTER TO ONE-HALF INCH DEEP. APPROPRIATE DEPTH OF PLANTING IS TEN TIMES THE SEED DIAMETER. SOIL SHOULD BE "RAKED" LIGHTLY TO COVER SEED WITH SOIL IF SEEDING BY HAND.

MULCHING
TEMPORARY VEGETATION CAN, IN MOST CASES, BE ESTABLISHED WITHOUT THE USE OF MULCH. MULCH WITHOUT SEEDING SHOULD BE CONSIDERED FOR SHORT-TERM PROTECTION. REFER TO DS1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY).

IRRIGATION
DURING TIMES OF DROUGHT, WATER SHALL BE APPLIED AT A RATE NOT CAUSING RUNOFF AND EROSION. THE SOIL SHALL BE THOROUGHLY WETTED TO A DEPTH THAT WILL INSURE GERMINATION OF THE SEED. SUBSEQUENT APPLICATIONS SHOULD BE MADE WHEN NEEDED.

Ds3 PERMANENT GRASSING

PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, SEEDING, AND MULCHING.

THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND - FERTILIZER AT A RATE OF 1500#/AC. AND LIME AT 1750#/AC. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM BEING FREE OF ROCKS, CLODS, ROOTS, ETC. FERTILIZER MIXED GRADE SHALL BE EITHER 4-12-12, 6-12-12 OR 10-10-10. SEEDING SHALL BE DONE WITHIN 24 HOURS OF THE FERTILIZER APPLICATION, WEATHER PERMITTING. SEED SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN BELOW. MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. MULCHING MATERIAL SHALL BE DRY STRAW OR DRY HAY OF GOOD QUALITY, FREE OF WEED SEEDS. APPLY AT A RATE OF 2.5 TONS PER ACRE. THE RATE OF APPLICATION SHALL BE DOUBLED ON SIDE SLOPES 4:1 AND STEEPER.

SPECIES	RATE	PLANTING DATE
TALL FESCUE	30#/AC.	AUGUST THRU OCTOBER
COMMON BERMUDA (UNHULLED)	10#/AC.	OCTOBER THRU FEBRUARY
COMMON BERMUDA (HULLED)	10#/AC.	MARCH THRU JUNE
SERICEA LESPEDEZA	75#/AC.	ALL YEAR

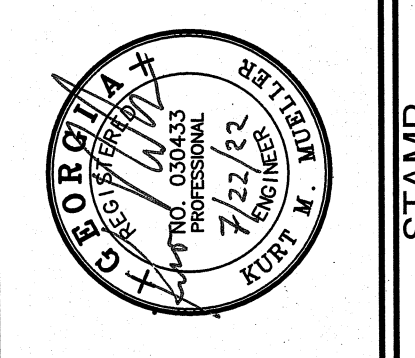
SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE PER 1,000 S.F.	RATE PER ACRE	PLANTING DATES**
RYE	3.9 lbs	3 bu.	9/1 - 3/1
RYEGRASS	0.9 lbs	40 lbs	8/15 - 4/1
ANNUAL LESPEDEZA	0.9 lbs	40 lbs	1/15 - 3/15
TWEETING LOVE GRASS	0.1 lbs	4 lbs	2/15 - 6/15
SUDANGRASS	1.4 lbs	60 lbs	3/1 - 8/1
BROWNTOP MILLET	0.9 lbs	40 lbs	4/1 - 7/15
WHEAT	4.1 lbs	3 bu.	9/15 - 2/1

PLOT DATE: 7/22/2022 7:15 AM FILE PATH: E:\PROJECTS\2022\22057-WR-DACULA CITY HALL SEWER\DWG\22057-06_EROSION CONTROL NOTES LEGEND AND DETAILS.DWG - 2022-07-22 - AUSTIN STONE

KURT M. MUELLER, PE - GSWCC CERTIFICATION #71542

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Atlanta, GA 30308
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DACULA CITY HALL SEWER CONNECTION

EROSION CONTROL NOTES LEGEND AND DETAILS	SHEET TITLE	CHECKED	KMM
	DESIGN	ARS	ARS

DATE	NO.	DESCRIPTION	ISSUED FOR	RELEASE
07/22/22	A			

E22057
PPI PROJECT NO.
05