



<b>City of Cartersville Historic Preservation Commission COP Application Staff Report</b>
Case: COP22-16

**HPC Meeting – 9.20.2022**

**Application Information**

Address: 429 W Main St.  
 Applicant: Bartow County Library System.  
 Historic District: West End  
 Zoning: P-I  
 Setbacks: Front= 20ft.

**Brief Description:** Add amphitheater, Approx. 30ft x 35ft. in the front yard of a multi-frontage lot.

**Applicable Guidelines to Consider**

<b>Residential Design Guidelines</b>	
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>	
A. Wood	K. Utilities and Energy Retrofit
B. Masonry	L. Accessibility, Health, and Safety Considerations
C. Architectural Metals	M. Additions to Historic Buildings
D. Paint	N. Aesthetic Recommendations
E. Roofs	
F. Exterior Walls	<input checked="" type="checkbox"/> PART TWO: New Construction
G. Driveways, Walkways, and Off-Street Parking	
H. Lighting	PART THREE: Relocation
I. Windows and Doors	
J. Entrances, Porches and Balconies	PART FOUR: Demolition
<b>Commercial Design Guidelines (Historic Downtown Business District)</b>	
PART ONE: General Guidelines for Structures Contributing to the District.	
PART TWO: Guidelines for New Construction –	

**Project Description:**

1. Add amphitheater, approx. 30ft x 35ft.
2. Materials to be brick and concrete.
3. (Optional) Add metal beams for a roof structure. Could be reviewed at a later date if the roof structure is needed.

**History of the Property:**

Bartow County Tax Records show library constructed in 2006.

No COPs on file.

**Analysis of the COP:**

The Structure is non-historic, non-contributing.  
Type: Modern. Style: Undetermined.

The Bartow County Library System in coordination with Art in Bartow are proposing a new amphitheater adjacent to School Street on the library property. The small performing arts and lecture space- a Performance Patio- will occupy an approx. footprint of 30ft x 35ft. and will utilize the large library lawn as seating area for performances and lectures. The structure will have a masonry floor with an approximate 8ft. wall enclosing the rear of the stage area along School St. The structure will be made of brick and concrete.

Landscaping will enhance the structure.

Steel beams are proposed for the roof structure that would support the addition of audio/ visual enhancements. The roof is optional at this time and may not be a consideration based on a conversation with Carmen Sims, Library Director. The roof structure is shown on the site and architectural plans.

A variance will also be needed for this project as the structure is being placed in the front yard along School Street. The variance will be heard at the Oct. 13<sup>th</sup> BZA meeting. Case No. V22-20.

**Commissioners Work Sheet****Materials:**

	<b>Existing Materials</b>	<b>Materials to be Used</b>
Roof		Steel or like material
Siding		
Windows		
Doors		
Exterior Lighting		
Foundation		Concrete/ brick
Walls		Concrete/ brick
Steps		Concrete/ brick
Porches		
Ornamentation		

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**Notes:**

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.

The City Council of the City of Cartersville adopts the West End Historic District as indicated herein.

(a) *Boundaries.* The boundaries of the West End Historic District as indicated herein.

The West End District encompasses an area commencing with the property at the NW corner of the intersection of West Main Street and Bartow Street. The district continues SW on Etowah Drive to the intersection with Lee Street then west to include the properties on the north side on Lee Street (approximately eight (8) properties). The boundary then extends west to the intersection of Woodland Drive and Terrell Drive (includes the properties on the south side of West Avenue (SR 61/113). The district turns north and west for approximately four (4) properties to West Avenue (Highway 113). The district boundary turns west onto West Avenue (SR 61/113) past Attaway Drive. The boundary to Elm Street then east to Knight Way and Knight Street the intersection with Lee Street. The boundary extends north on Lee Street to West Cherokee Avenue. The boundary extends east on West Cherokee Avenue to School Street then south on School Street to Tabernacle Street. The boundary then follows east on Tabernacle Street to Bartow Street then south on Bartow Street to the intersection with West Main Street.

(b) *Designation of contributing and non-contributing and owner list.* The following is a list of all properties and property owners of the West End Historic District and designation of each property as contributing or noncontributing pursuant to the City of Cartersville Historic Preservation Ordinance.

F Name	L Name	House No.	Prefix	St. Name	Type	City	State	ZIP	Status
D. ARNOLD	TILLMAN, JR.	2		ATTAWAY	DR	CARTERSVILLE	GA	30120	C
D. ARNOLD	TILLMAN, JR.	4		ATTAWAY	DR	CARTERSVILLE	GA	30120	NC
DAVEID ALLEN & MARTHA	WILBERT	13		ATTAWAY	DR	CARTERSVILLE	GA	30120	NC
RANDALL H	DAVEIS	16		ATTAWAY	DR	CARTERSVILLE	GA	30120	NC
SHARON K	MASON	17		ATTAWAY	DR	CARTERSVILLE	GA	30120	NC
DENNIS & ELIZABETH	WOMACK	19		ATTAWAY	DR	CARTERSVILLE	GA	30120	C
MRS. J. W.	GILREATH	23		ATTAWAY	DR	CARTERSVILLE	GA	30120	C
MARION L	WILLS	20		CEDAR	LN	CARTERSVILLE	GA	30120	NC
EXENE D	BLACKSTOCK	22		CEDAR	LN	CARTERSVILLE	GA	30120	NC
LAWRENCE S	PRITCHARD	24		CEDAR	LN	CARTERSVILLE	GA	30120	NC

the site, or if it will require the removal of a significant building element or site feature.

3. One shall not construct an addition that significantly changes the proportion of built mass to open space on the individual site.
4. Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged, or obscured.
5. Design new additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and view are retained.
6. Locate a new addition on an inconspicuous elevation of the historic building, usually the rear one.

 B. *New building construction:*

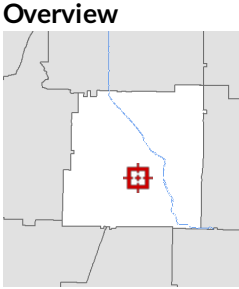
1. New site construction shall be compatible with surrounding buildings that contribute to the overall character of the historic district in terms of orientation, and distance from adjacent buildings.
2. Design new construction so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.
3. Evaluate in advance and limit any disturbance to the site's terrain during construction to minimize the possibility of destroying unknown archaeological resources.
4. Design new buildings to be compatible with surrounding buildings that contribute to the overall character of the historic district in terms of height, form, size, scale, massing, proportion, and roof shape.
5. Design the proportion of the proposed new building's front facade to be compatible with the front facade proportion of surrounding buildings.
6. Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with surrounding buildings that contribute to the special character of the historic district.
7. Select windows and doors for proposed new building that are compatible in material, subdivision, proportion, pattern, and detail with the windows and the doors of surrounding buildings that contribute to the special character of the historic district.
8. Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in surrounding buildings that contribute to the special character of the historic district in terms of composition, scale, module, pattern, detail, texture, finish and sheen.
9. Design new buildings so that they are compatible with, but discernible from, historic buildings in the district.

*Recommendations:*

1. Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the drip line of trees.

PART THREE—RELOCATION OF STRUCTURES

1. Before moving a historic structure, document its original setting and context. Use photographs, site plans, or other graphic or written statements to record existing site conditions.
2. Enlist contractors experienced in moving historic buildings to do the following:
  - a. Determine the structural condition of the property before the move.
  - b. Coordinate the move with the utility companies and appropriate city departments.
  - c. Protect the structure from vandalism or weather damage before, during and after the move.



**Legend**  
 Parcels  
 Roads

<b>Parcel ID</b>	C002-0007-003	<b>Alternate ID</b>	32155	<b>Owner Address</b>	CITY OF CARTERSVILLE
<b>Sec/Twp/Rng</b>	n/a	<b>Class</b>	Exempt		PO BOX 1390
<b>Property Address</b>	429 W MAIN ST	<b>Acreage</b>	5.05		CARTERSVILLE, GA 30120
<b>District</b>	Cartersville				
<b>Brief Tax Description</b>	LL 484 D 4 Bartow County Public Library <span style="color: red;">(Note: Not to be used on legal documents)</span>				

Date created: 9/16/2022  
 Last Data Uploaded: 9/15/2022 10:41:01 PM

Developed by  **Schneider**  
 GEOSPATIAL



## Cartersville Historic Preservation Commission CERTIFICATE OF PRESERVATION APPLICATION

### PROCEDURE

#### Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

#### Application Deadlines

See 3rd page of application for application submittal deadlines

#### Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

#### Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. Building permits will not be issued without proof of a COP.

#### Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

**Office Use Only**

Case Number COP 22-16

Date Received 8-25-22

Contributing N

Zoning P-I

Legal Advertisement 9-13-22

Notified Adjacent \_\_\_\_\_

HPC Hearing 9-20-22

HPC Decision \_\_\_\_\_

COP Expiration \_\_\_\_\_

Project Completion \_\_\_\_\_

Tax Parcel C 002-0007-003

\*Applicant Bartow County Library System

Project Address 429 West Main St., Cartersville 30120

Mailing Address (if different than project address)  
\_\_\_\_\_

Phone 770-382-5657, ext. 123

Email carmen@bartowlibrary.org

\*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

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#### Existing Building Type

- Residential One, Two or Multi-family  
Garage, Storage \_\_\_\_\_
- Commercial \_\_\_\_\_
- Other Public Library

Brief Project Description (example: addition of sunroom, installation of fence)  
\_\_\_\_\_

#### Type of Project (Check all that apply)

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other Detached patio with privacy walls

Start Date ASAP

Anticipated Completion \_\_\_\_\_

Contractor/Consultant/Architect Barry Henderson

#### AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 8/25/2022 Signature Carmen Sims

## APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

### New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

### Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

### Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

### Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

### Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

### Site Changes – Signs

- specifications
- description of construction materials and illumination

### Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

**NOTE:** Only complete applications will be placed on the agenda for design review. Submit to:

**City of Cartersville**  
Planning and Development Department  
P.O. Box 1390  
Cartersville, GA 30120

## PROJECT DESCRIPTION

Include support materials and attach additional sheets if needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

Performance patio with privacy walls and steel structure for lights to attach. Intended to enable the library to host outside performances and events with a raised performance area. See attached.

## PRECEDENCE OF DECISIONS

Each application will be considered on its own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.

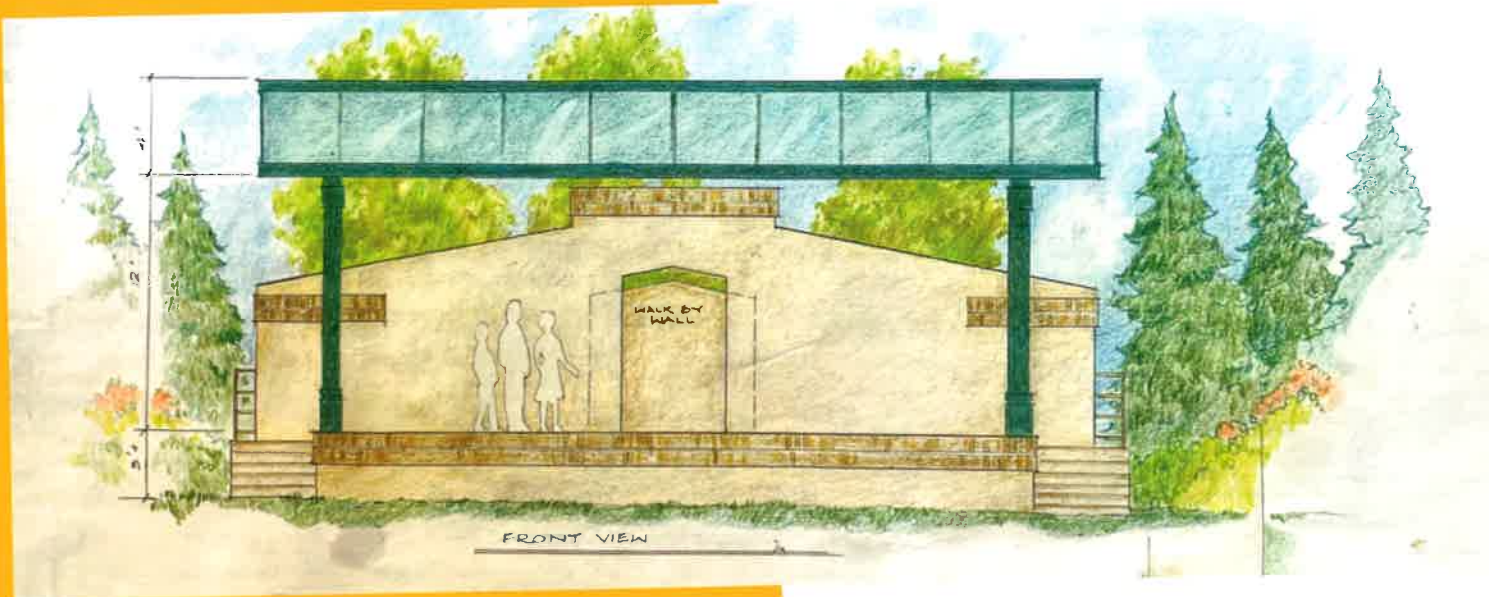




CARTERSVILLE PUBLIC LIBRARY

# "Performance Patio"

IN PARTNERSHIP WITH ART IN BARTOW



## Library Director, Carmen Sims

The Cartersville Public Library offers educational, informational, and recreational programs for all ages. We serve as a community center providing resources for children and adults including spaces to work, study, hold meetings, attend classes and workshops, share interests and hobbies with others, and attend quality performances and programs.

We hold programs on the large library lawn for children and adults. We have courtyards that are ideal for small programs, but cannot accommodate larger audiences such as those that attend outdoor performances and events. The Friends of the Library host an annual concert on the lawn which often requires rental of portable staging. The library would like to expand upon that need to include a permanent, open stage solution. The concept of a performance patio meets that need. The size of the performance patio is comparable to the interior performance space, but the size of the lawn allows for five times the attendance capacity.

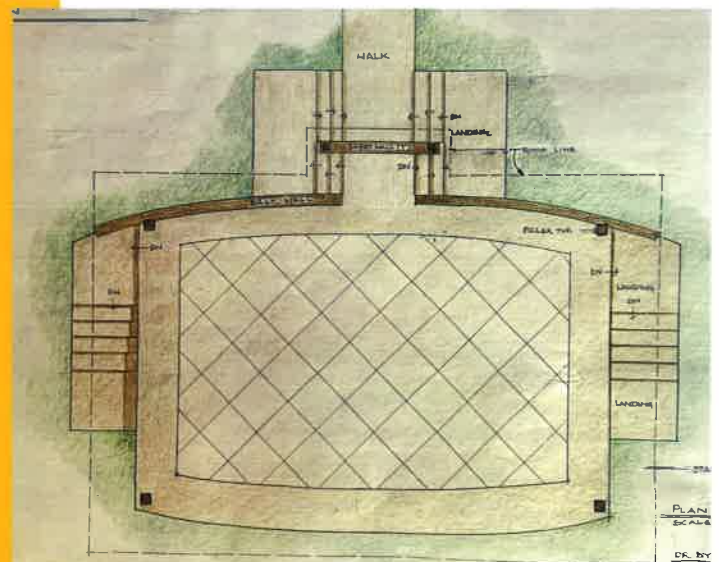
In addition to library use, the performance patio is intended for community use. We would like to coordinate with Roselawn festivals to provide additional or alternate performance space. Our venue could also expand upon festival activities in downtown Cartersville. When not reserved, the patio would be available for people to relax on it, meet with others, use for performance practice.

The performance patio will be available to rent, just as library meeting spaces are. We plan to encourage community theatre groups to use for performances and rehearsals.

We are thankful to partner with our community to bring this vision to fruition.

## Commissioner, Steve Taylor

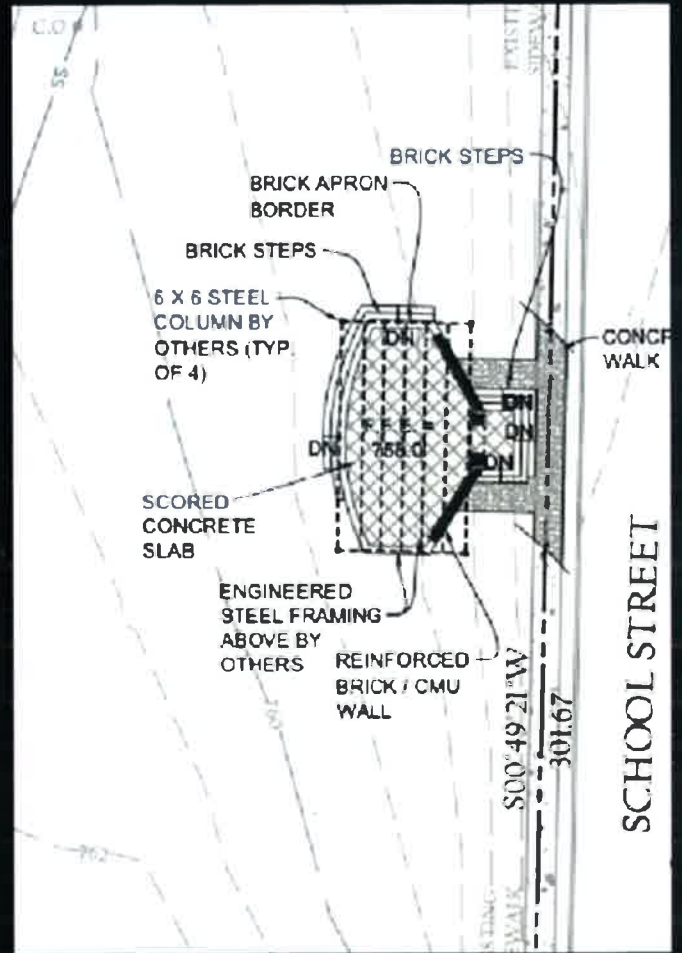
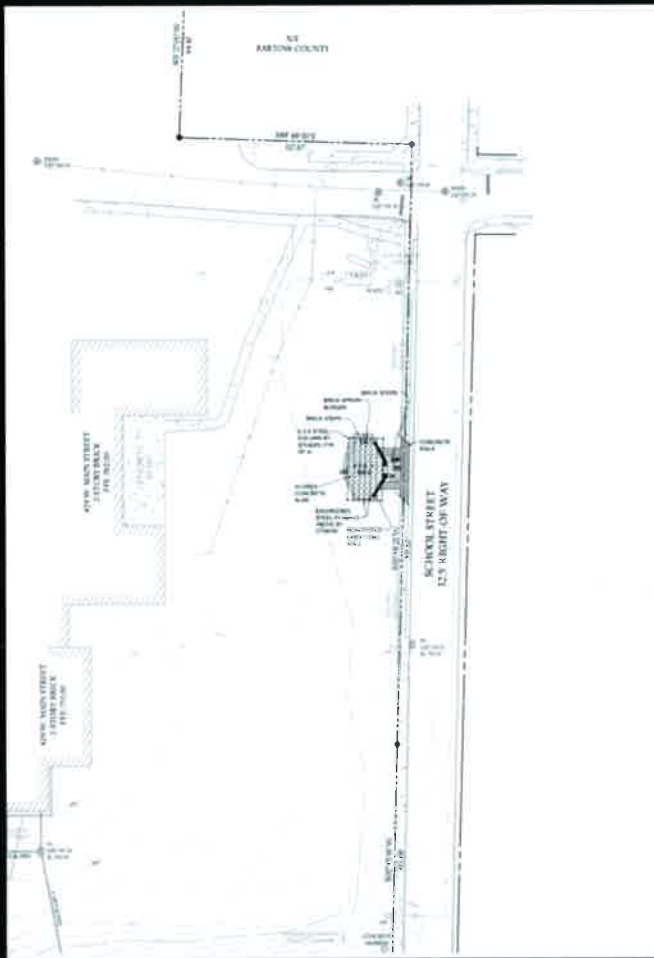
The Cartersville Public Library excels at creating opportunities for community connection through its successful programming. With the addition of the outdoor performance patio, they can greatly expand their current efforts while supporting our local festivals and celebrating the arts.





## SPECIAL THANKS TO OUR DONORS

Elisabeth F. Siebert Trust  
Art in Bartow  
Jim Macht - CADD, Inc  
Graham Construction Company  
Philip Aplin, Design Planner  
Stephenson Engineering, Inc.  
Hamilton Audio Visual



## Art in Bartow Board Chair, Barry Henderson

The Patio Performance Stage will expand upon the growth of the current library arts programs which include paintings and sculptures. The Patio will offer our community a place to gather and enjoy the Performing Arts of Music, Dance and Plays. The Arts are vital in bringing our community together now and for the future of our children.

A vibrant presence of the Arts can only be accomplished by the sincere interest and support of our community.

TO THE ARTS!



ART IN  
BARTOW

Creating & Advocating for The Arts

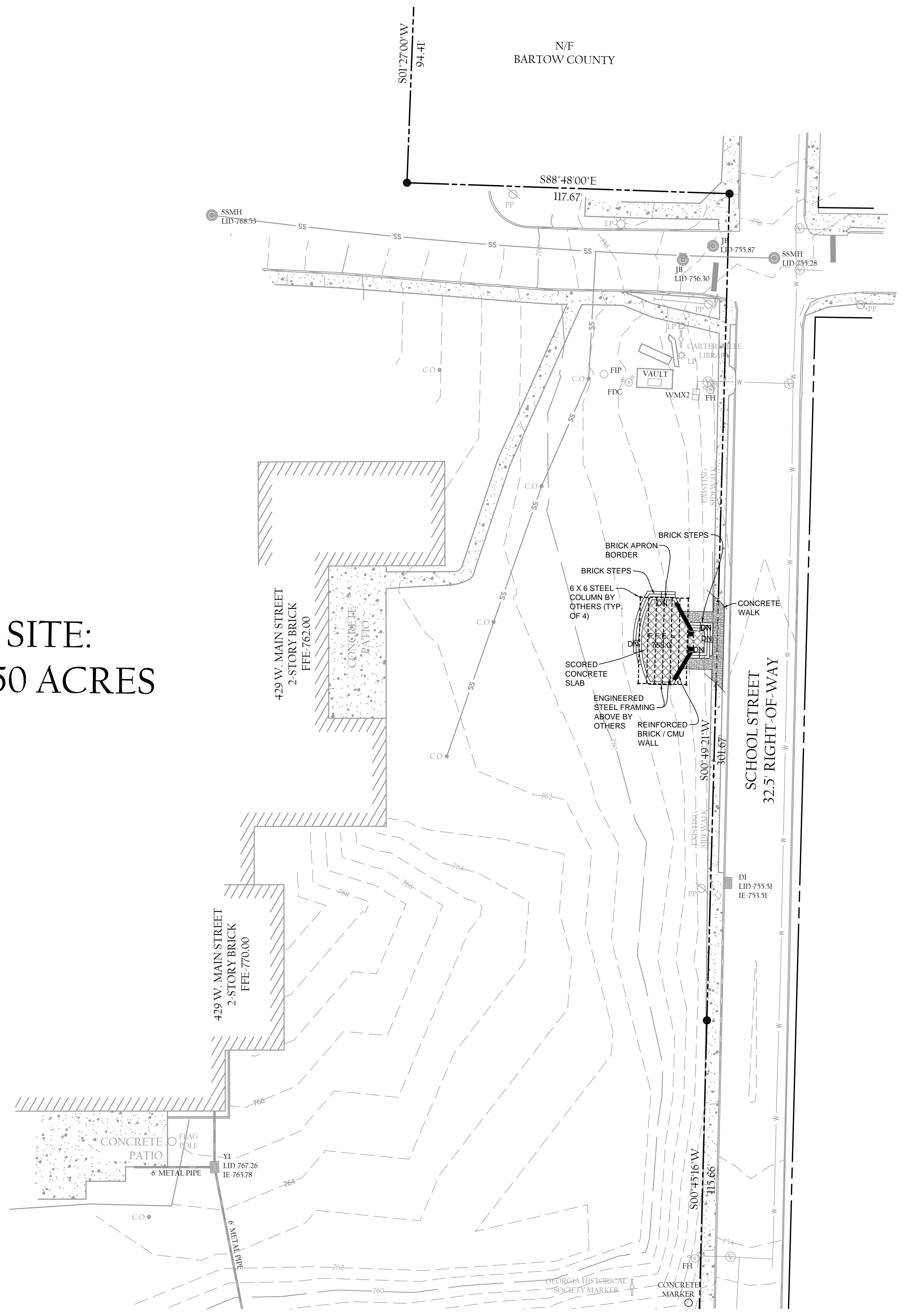


Special Thanks to the Cartersville-Bartow County Convention & Visitors Bureau

N/F  
CITY OF CARTERSVILLE

N00'02"11"E  
528.24'

SITE:  
5.050 ACRES



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# CITY of CARTERSVILLE LIBRARY OUTDOOR STAGE

429 W MAIN STREET  
 CARTERSVILLE GEORGIA 30120

RELEASED FOR CONSTRUCTION



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 Computer Aided Drafting Dept., Inc.  
 P.O. Box 1165  
 Cartersville, GA 30120  
 Tel: (404) 617-4186  
 (770) 324-0279



CITY of CARTERSVILLE  
 LIBRARY  
 OUTDOOR STAGE  
 429 W MAIN STREET  
 CARTERSVILLE, GEORGIA 30120

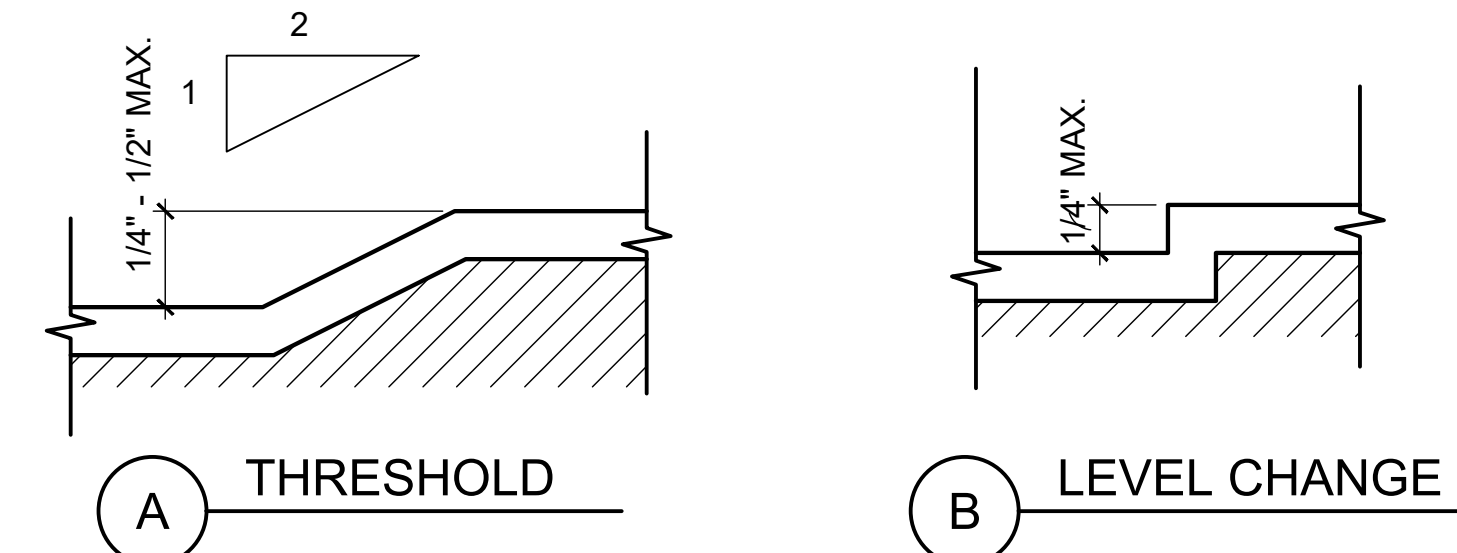
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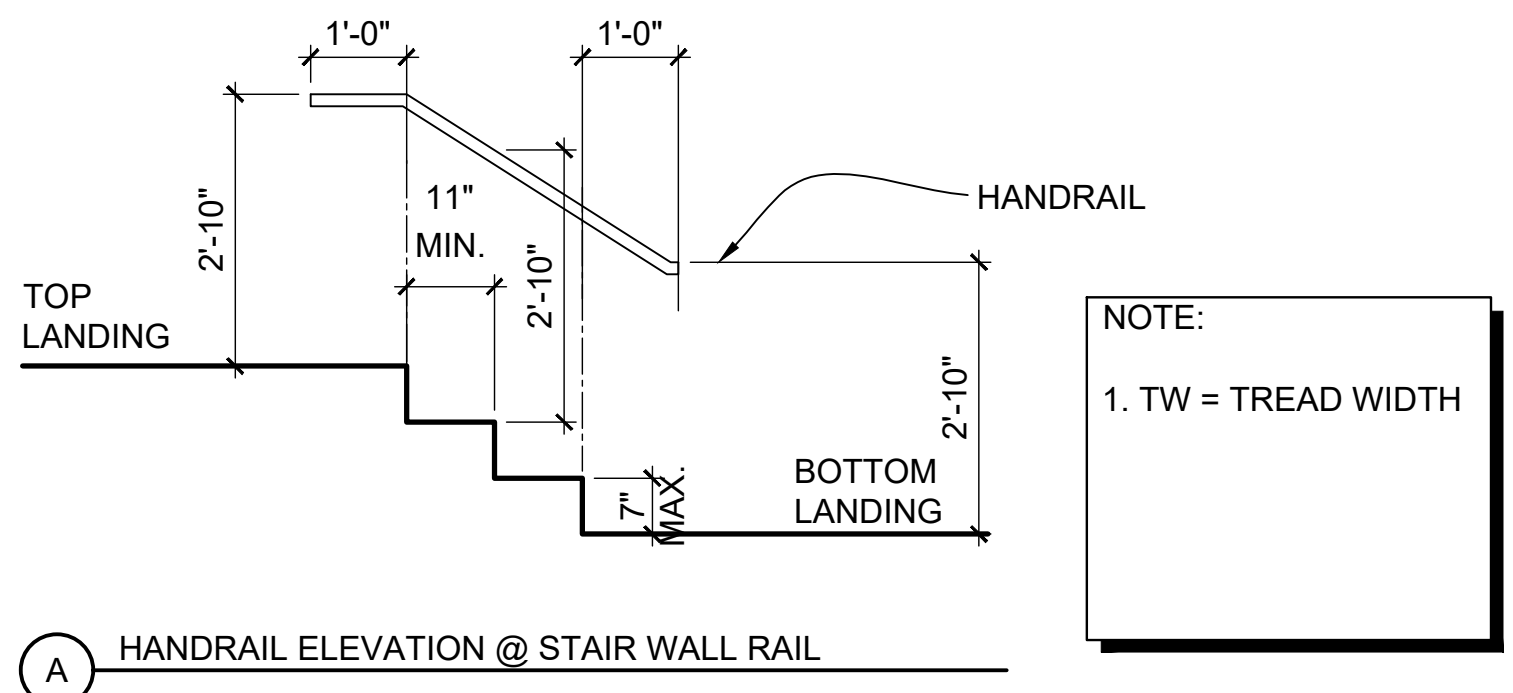
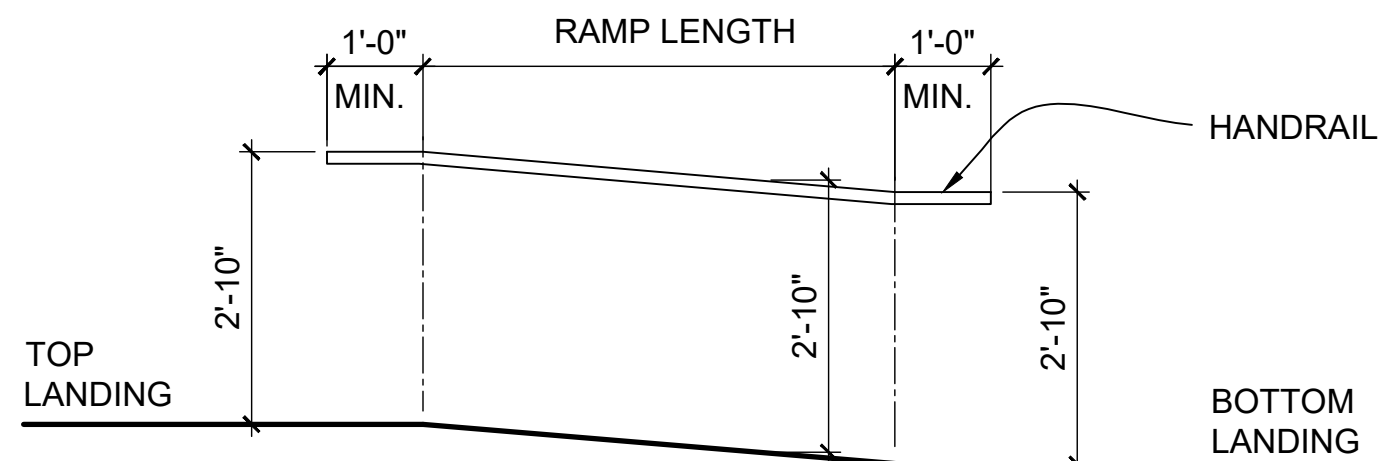
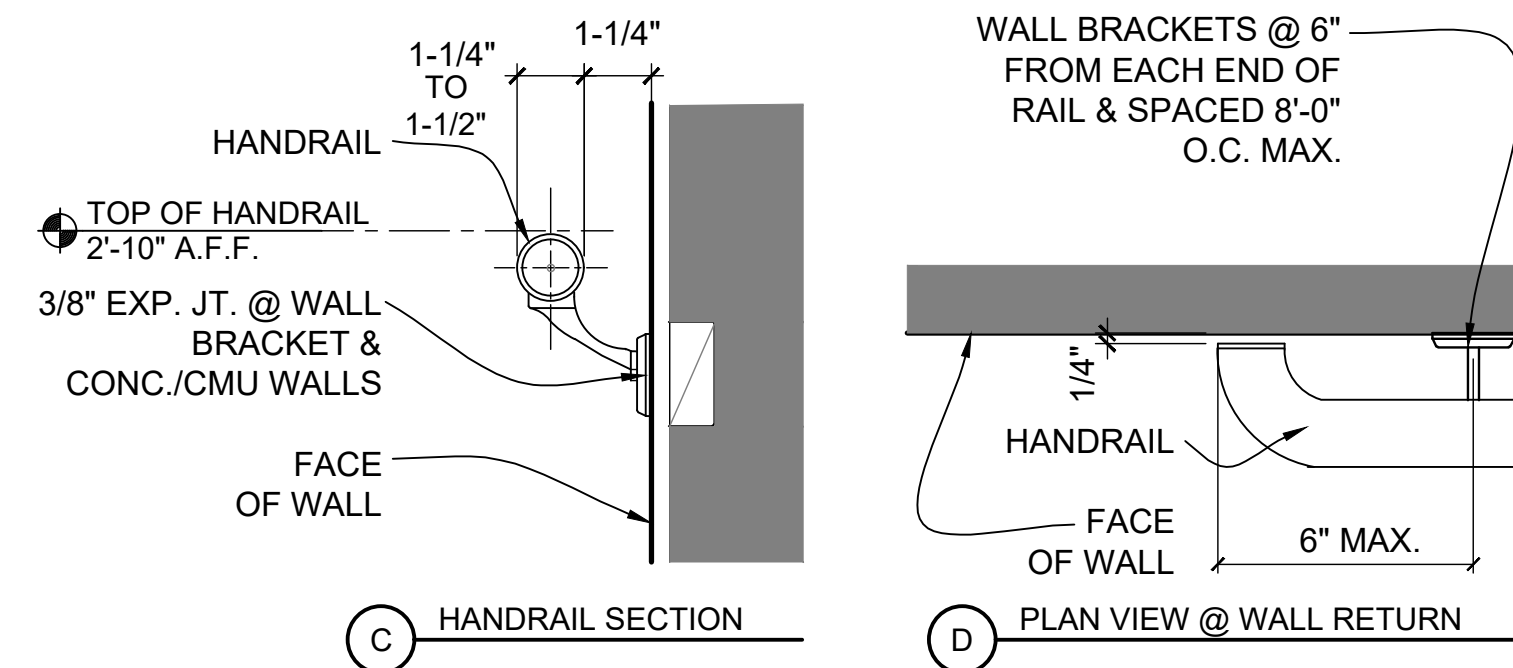
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**2** THRESHOLD LEVEL CLEARANCES  
A-1.01 1/2" = 1'-0"



**1** HANDRAIL REQUIREMENTS  
A-1.01 1/2" = 1'-0"

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CITY OF CARTERSVILLE  
LIBRARY  
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429 W MAIN STREET  
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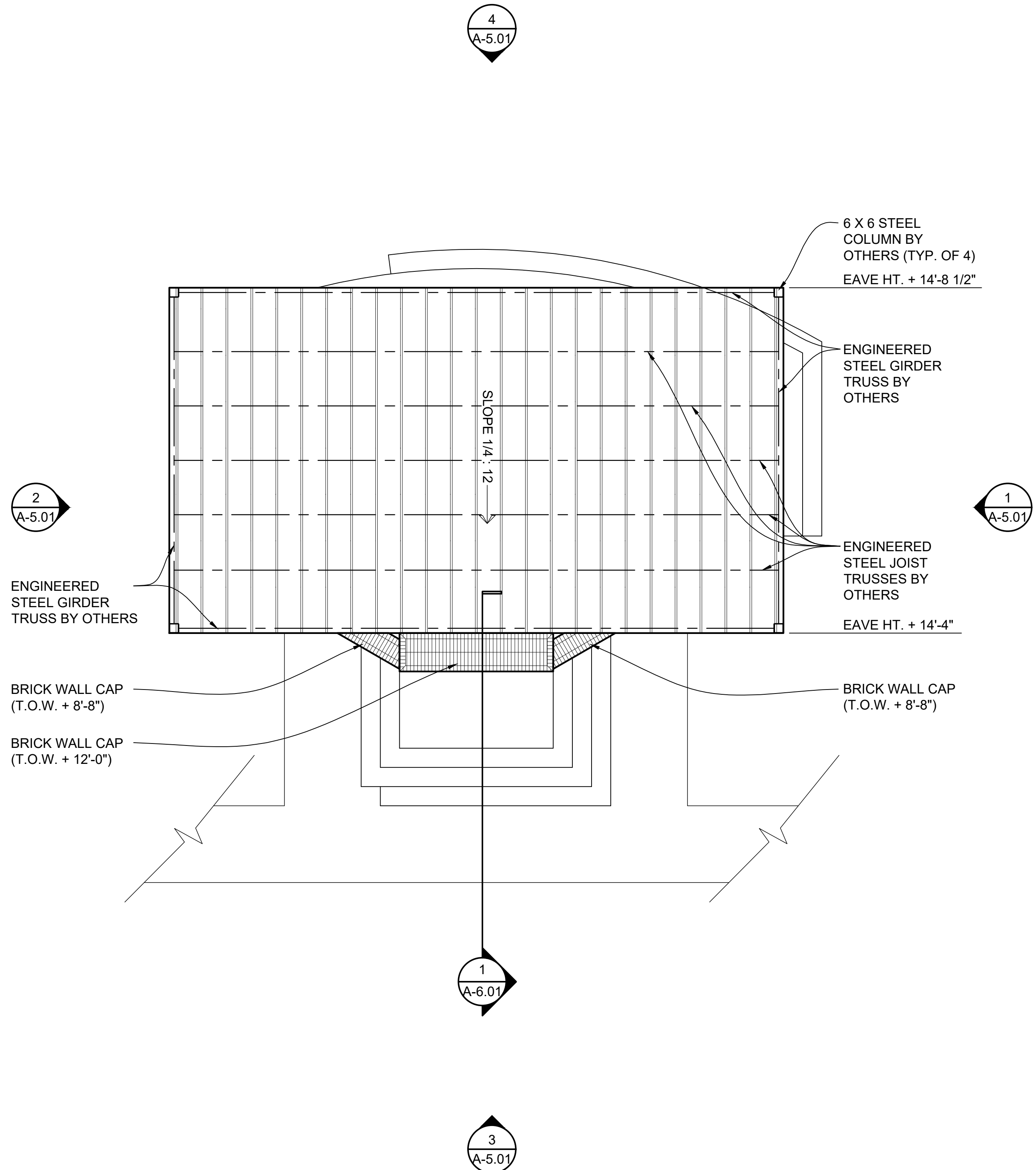
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JOB NO.	22-0212
DR	CK
WM	JM
SCALE	AS NOTED

SHEET DESCRIPTION  
ADA COMPLIANCE  
DETAILS & CODE  
DIMENSIONS

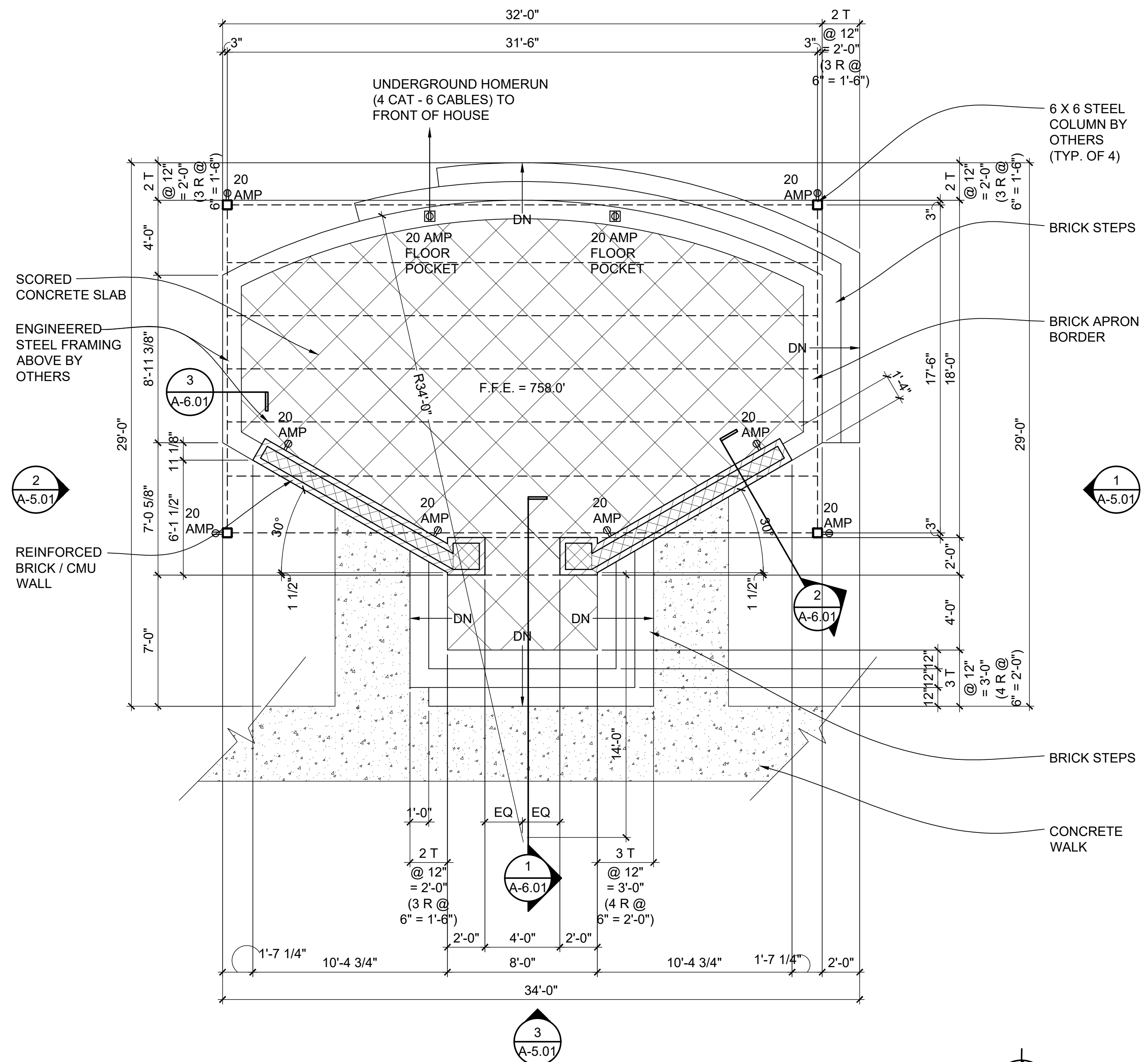
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**A-1.01**

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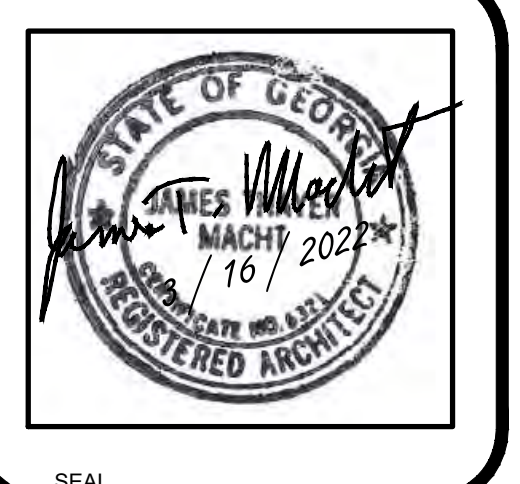


**2** ROOF PLAN  
A-2.01 1/4" = 1'-0"



**1** FLOOR PLAN  
A-2.01 1/4" = 1'-0" SQUARE FOOTAGE: 544 SF

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**LIBRARY**  
**OUTDOOR STAGE**  
429 W MAIN STREET  
CARTERSVILLE, GEORGIA 30120

DATE	MAR. 16, 2022
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DR	CK
WM	JM
SCALE	AS NOTED

SHEET DESCRIPTION  
**FLOOR PLAN**

SHEET NUMBER  
**A-2.01**

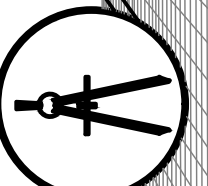
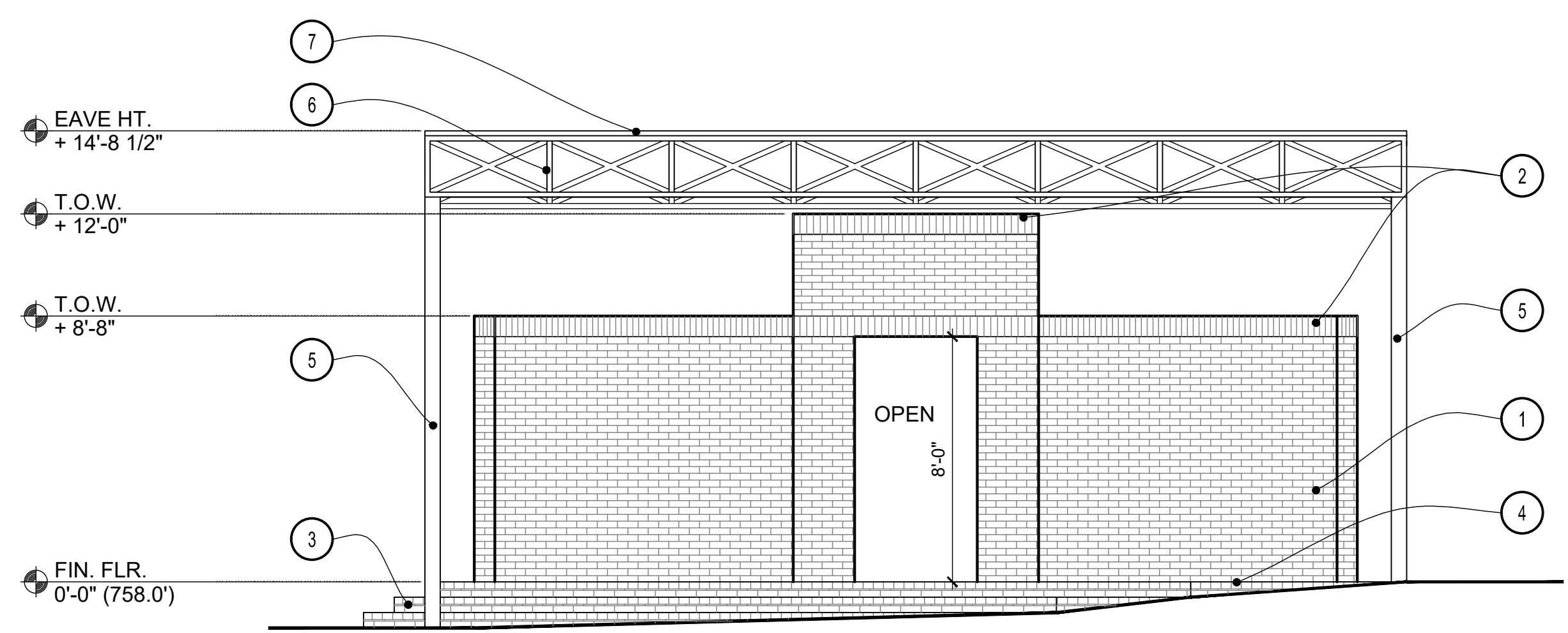
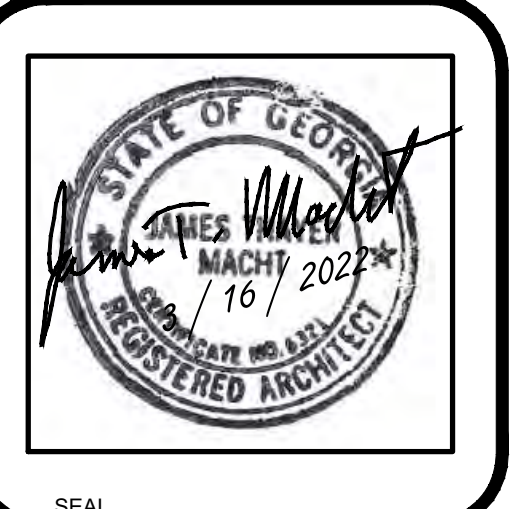


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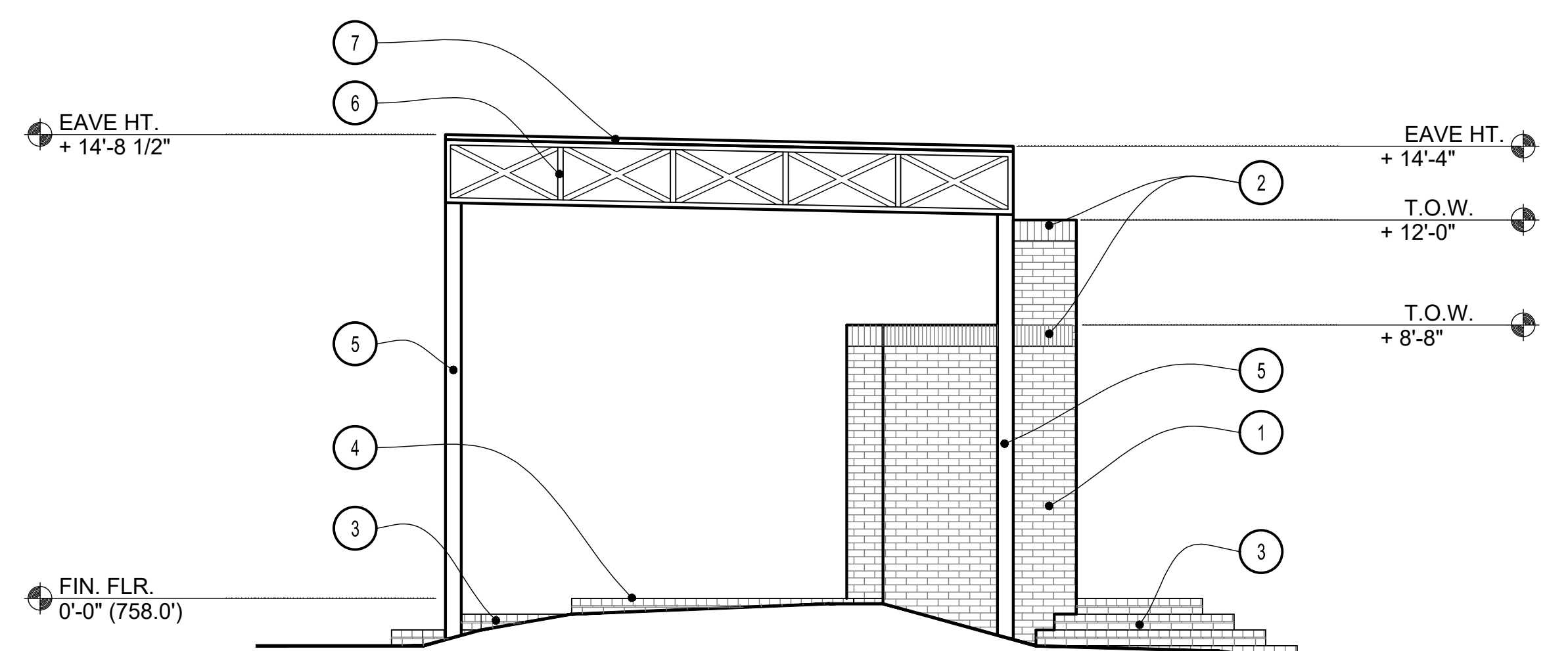
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- ### SHEET NOTES
1. BRICK VENEER.
  2. BRICK SOLDIER COURSE.
  3. BRICK STEPS.
  4. SCORED CONCRETE STAGE FLOOR W/ BRICK HEADER COURSE BORDER.
  5. 6 x 6 STEEL COLUMN. SEE ENGINEERED STEEL DRAWINGS BY OTHERS.
  6. ENGINEERED STEEL GIRDER. SEE ENGINEERED STEEL DRAWINGS BY OTHERS.
  7. METAL ROOFING.

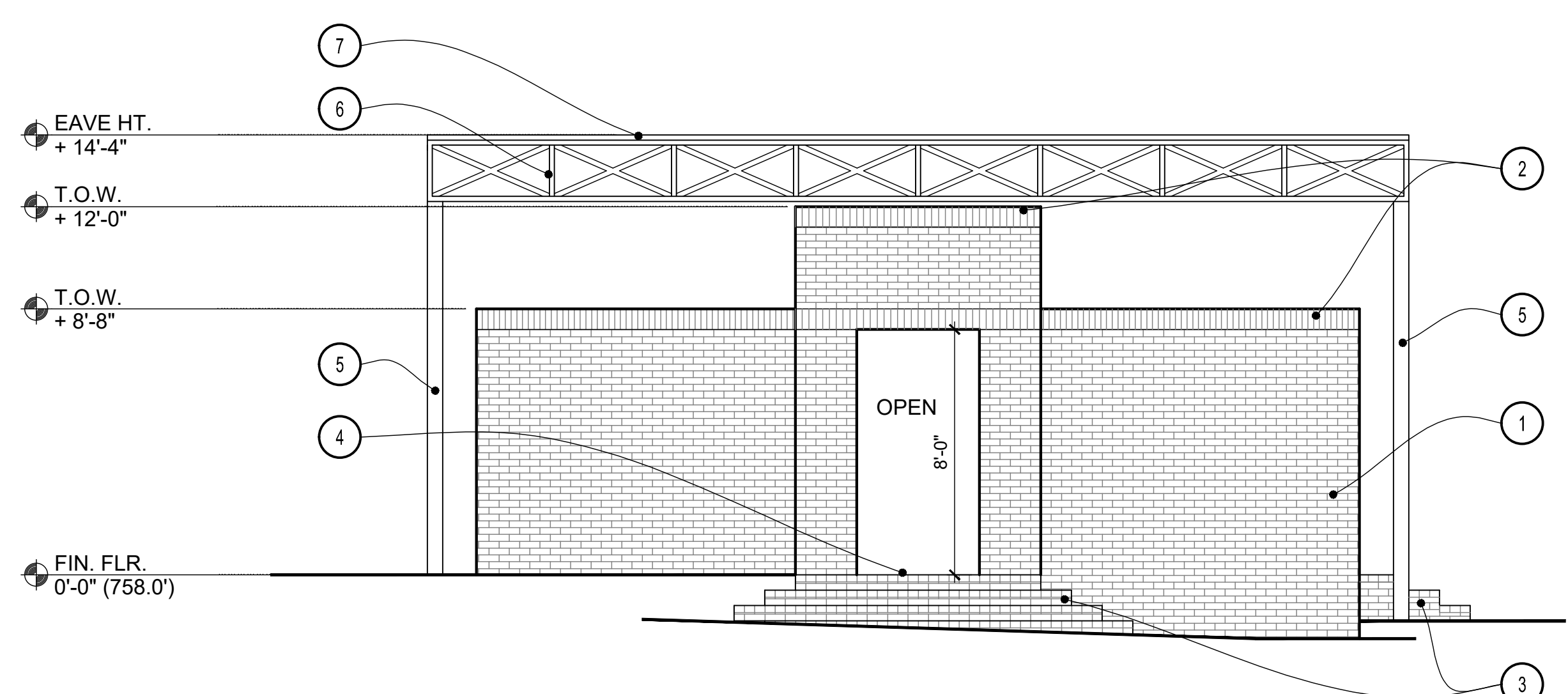
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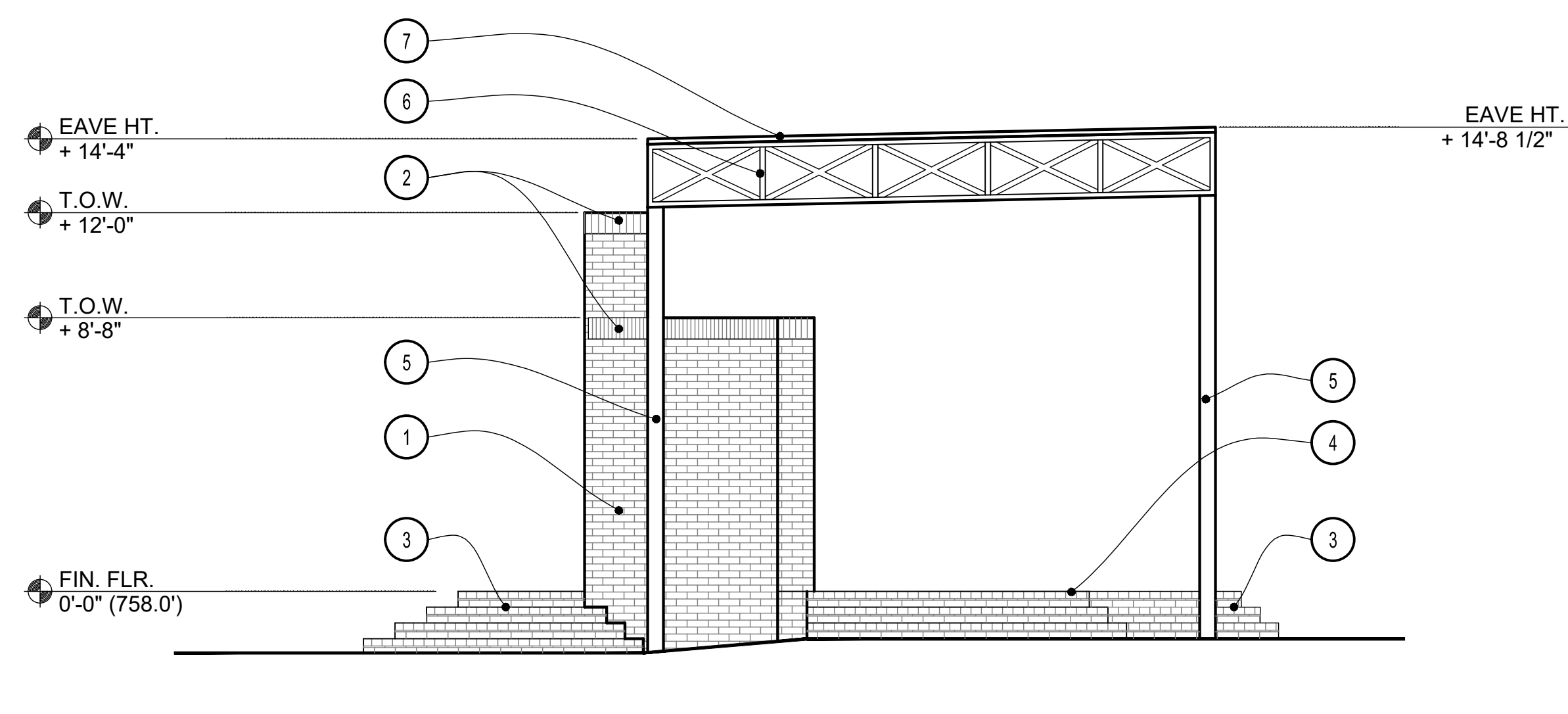
**4 WEST ELEVATION**  
A-5.01 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
A-5.01 1/4" = 1'-0"



**2 EAST ELEVATION**  
A-5.01 1/4" = 1'-0"



**1 NORTH ELEVATION**  
A-5.01 1/4" = 1'-0"

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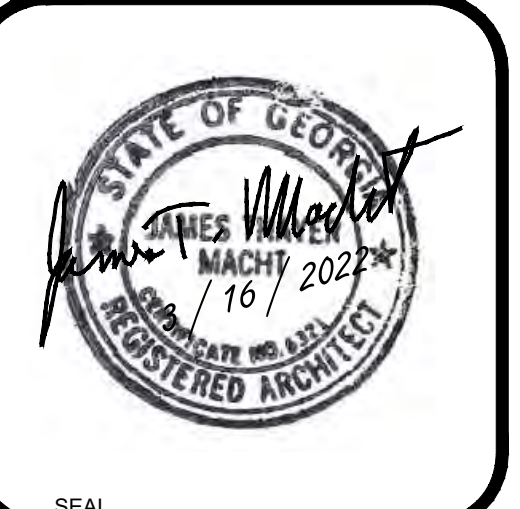
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**EXTERIOR ELEVATIONS**

SHEET NUMBER  
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									03/16/2022	RELEASED FOR PERMIT & CONSTRUCTION	△

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Computer Aided Drafting Dept., Inc.  
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Cartersville, GA 30120  
Tel: (404) 617-4186  
(770) 324-0279

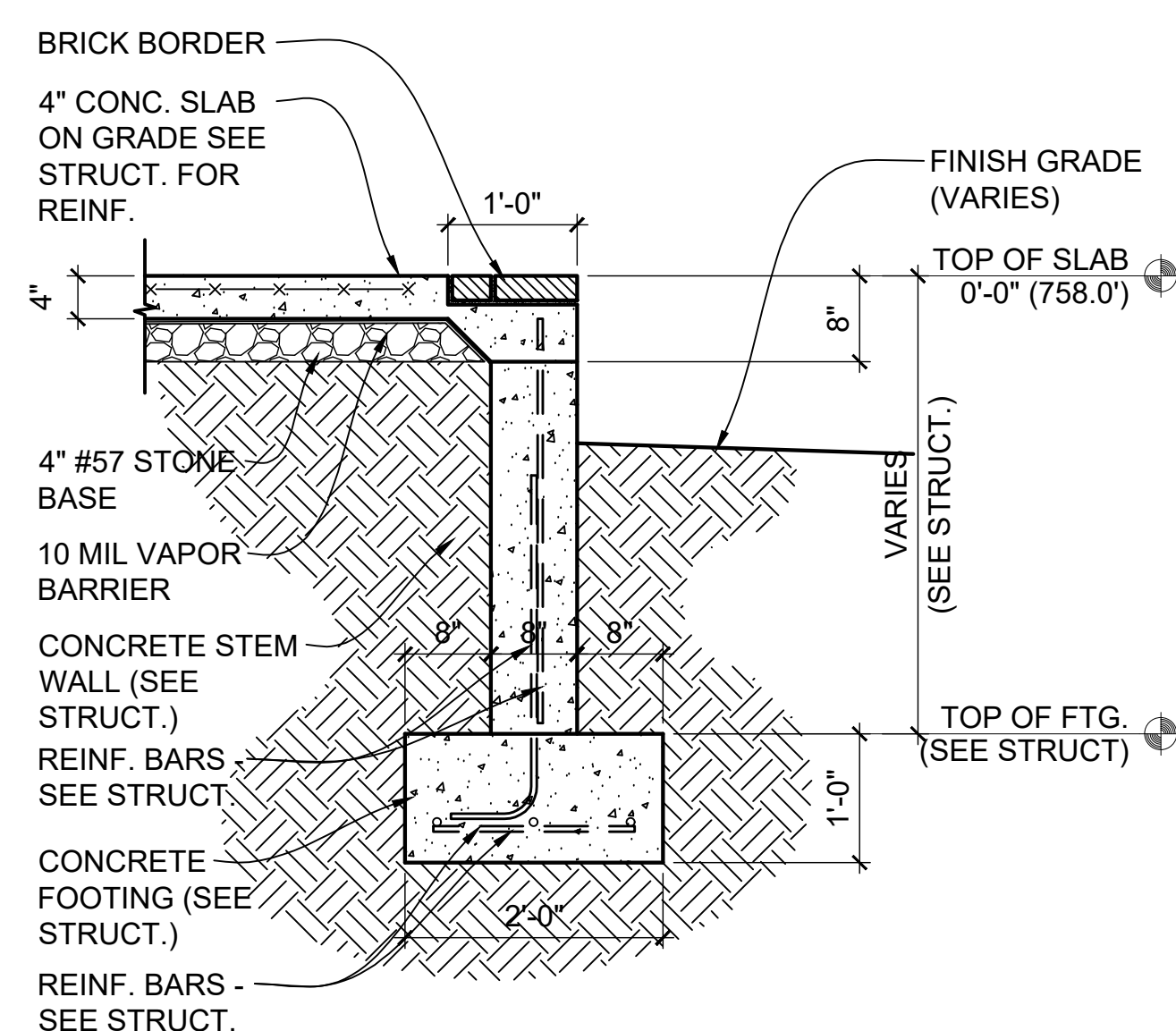


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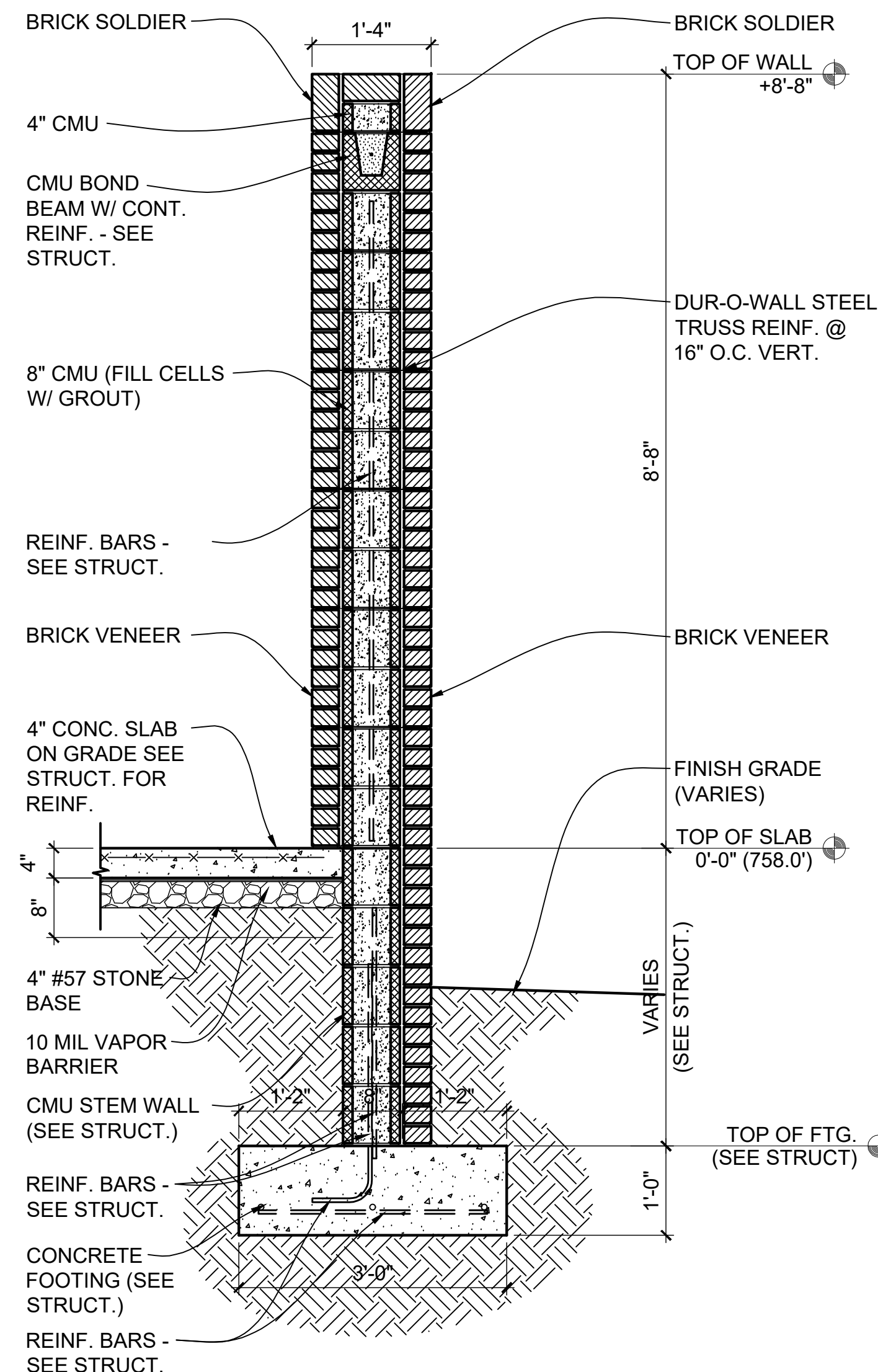
DATE	MAR. 16, 2022
JOB NO.	22-0212
DR	CK
WM	JM
SCALE	AS NOTED

SHEET DESCRIPTION  
**SECTIONS & DETAILS**

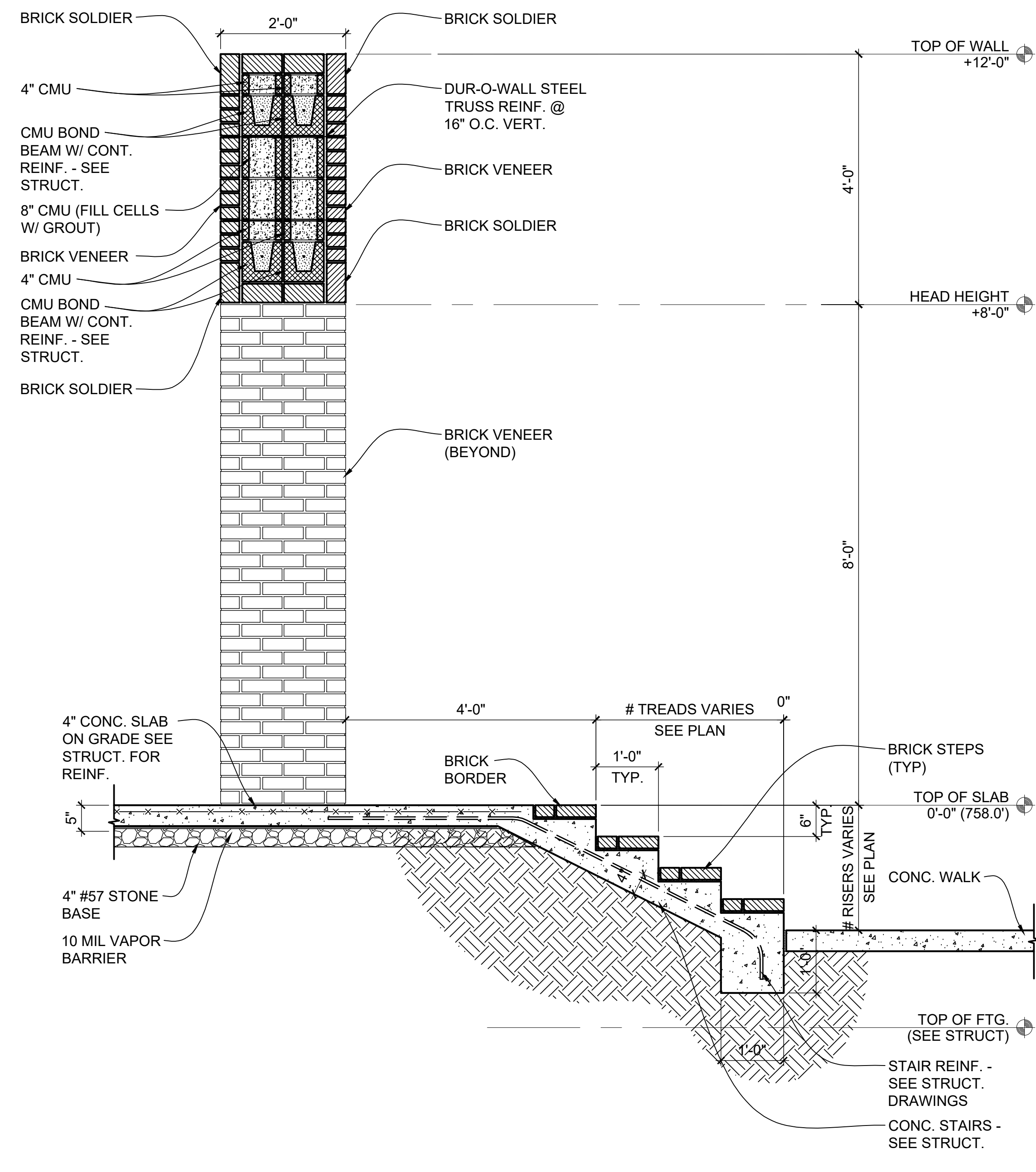
SHEET NUMBER  
**A-6.01**



**3** DETAIL @ BRICK BORDER  
A-6.01 3/4" = 1'-0"



**2** SECTION @ MASONRY WALL  
A-6.01 3/4" = 1'-0"

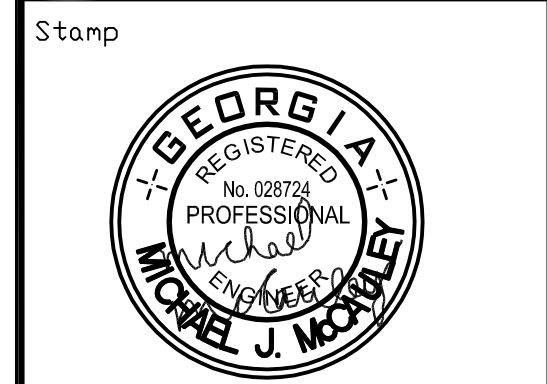
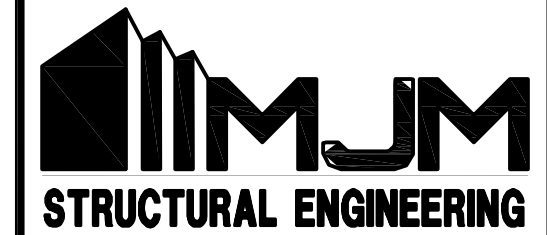


**1** SECTION @ MASONRY OPENING & STEPS  
A-6.01 3/4" = 1'-0"



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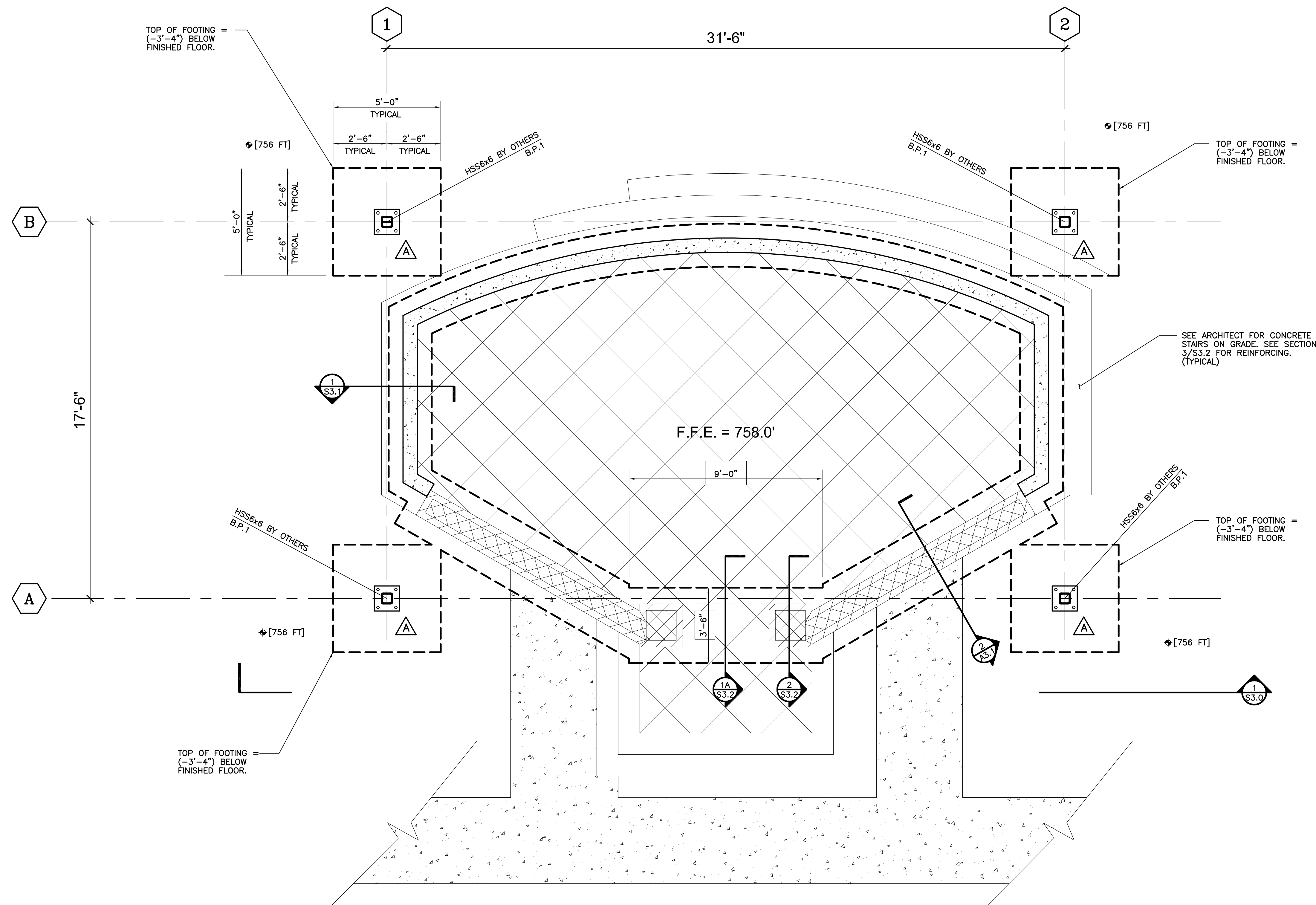
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DATE **03/16/22**

Sheet Title  
**STAGE  
FOUNDATION  
PLAN**

**S2.0**

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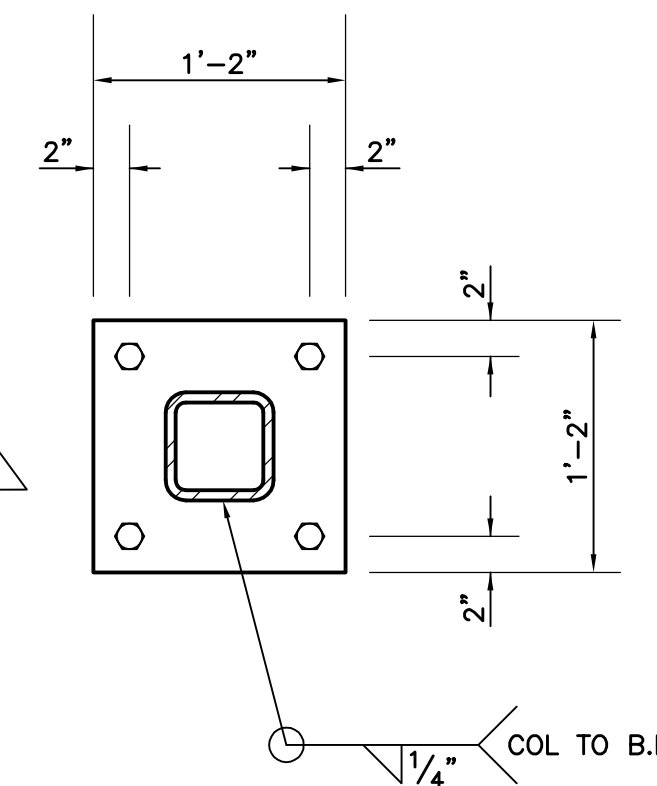
**1**  
**S2.0** **STAGE FOUNDATION PLAN**  
SCALE: 3/8" = 1'-0"

**LEGEND:**

- A** - INDICATES A 5'-0" x 5'-0" x 1'-4" SPREAD FOOTING REINFORCED WITH (9) #4 BARS x 4'-6" EACH WAY TOP AND BOTTOM. PROVIDE 3" CLEARANCE AROUND REINFORCING STEEL.
- B.P.1** - INDICATES A 14" x 14" x 1" A36 BASE PLATE WITH (4) 3/4" Ø ASTM F1554, Gr. 105 K.S.I. ANCHOR BOLTS WITH A 13" EMBEDMENT AND 4" PROJECTION ATOP A 1 1/2" HILTI EPOXY CB-G EG HNA GROUT BED.
- ± [X FT]** - INDICATES ASSUMED TOP OF GRADE. CONTRACTOR TO FIELD VERIFY. IF TOP OF GRADE IS DIFFERENT THAN WHAT IS SHOWN ON PLAN, CONTACT THE ENGINEER OF RECORD FOR REVISED DESIGN DRAWINGS.

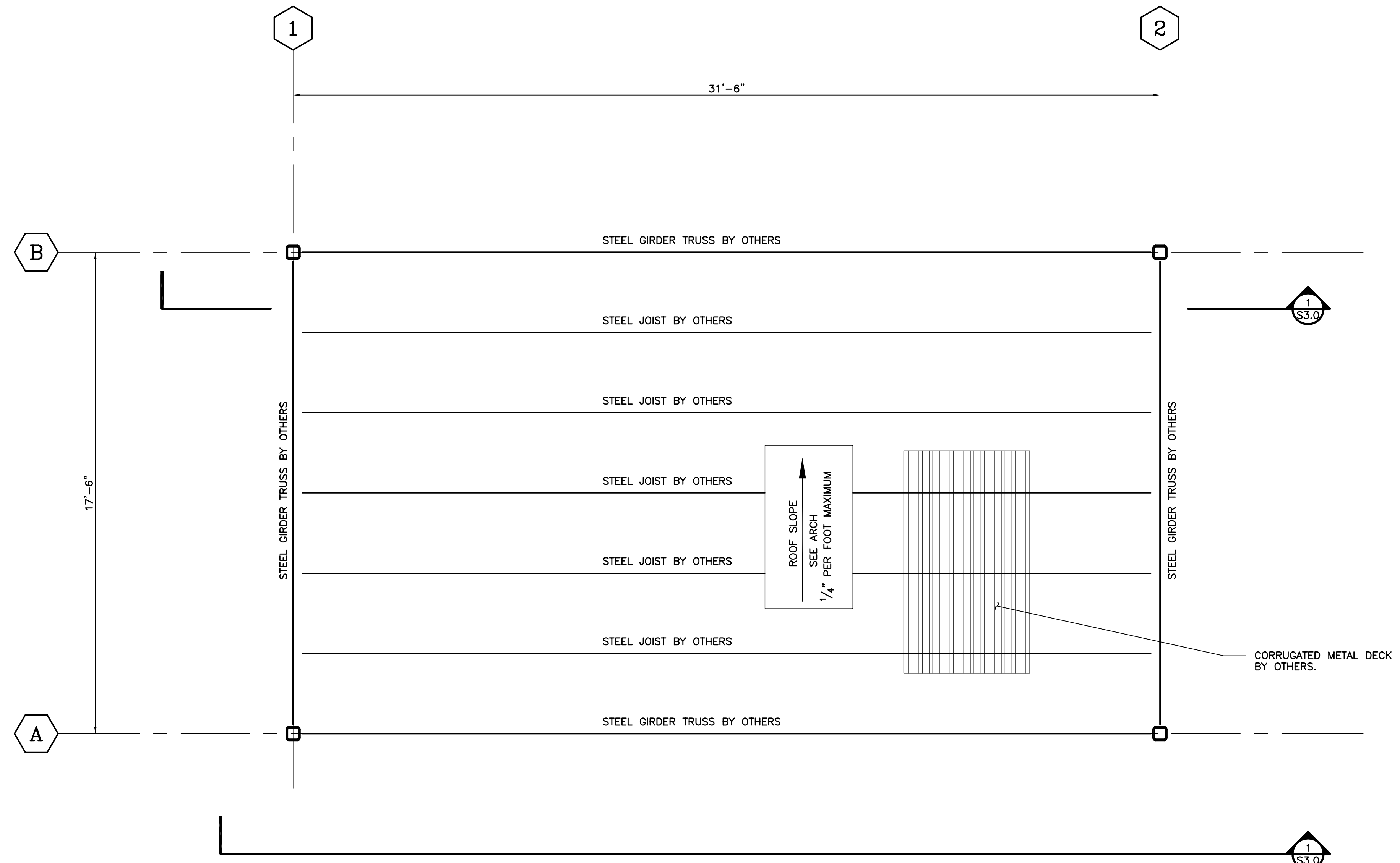
**NOTES:**

1. FOUNDATIONS, BASE PLATE, AND ANCHOR BOLTS HAVE BEEN DESIGNED FOR A RIGID FRAME WITH A FIXED BASE.
2. SEE SHEET S3.3 FOR MASONRY WALL DETAILS.



**SLAB ON GRADE SPECIFICATION**

<p>4" 4500 PSI CONCRETE SLAB ON GRADE WITH W.W.R. 6x6-W2.9xW2.9</p> <p>ATOP 4-INCH COMPACTED LAYER OF FREE DRAINING, GRANULAR AGGREGATE SUBBASE MATERIAL (PLACE W.W.R. IN UPPER 3rd OF SLAB)</p> <p>PREPARE SUB GRADE PER GEOTECHNICAL RECOMMENDATIONS</p> <p>PLACE A 10 MIL (MINIMUM) POLYETHYLENE MOISTURE BARRIER (WITH JOINTS LAPPED NOT LESS THAN 6 INCHES) DIRECTLY BENEATH ALL INTERIOR CONCRETE SLABS ON GRADE.</p> <p>FINISH FLOOR ELEVATION = (758'-0")</p>
---



**1** STAGE ROOF FRAMING PLAN  
 SCALE: 3/8" = 1'-0"

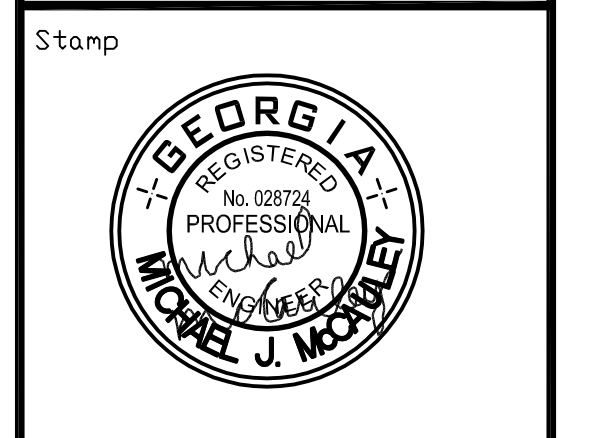
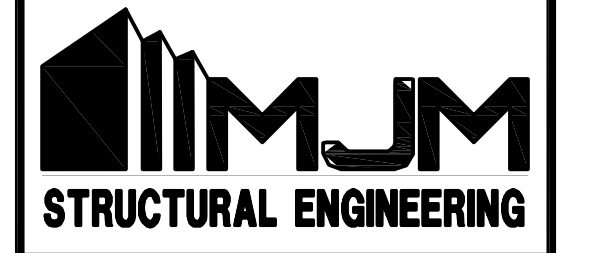
- NOTES:**
- SEE ARCHITECT FOR TOP OF STEEL (18'-0" MAXIMUM ABOVE FINISH GRADE)
  - FOUNDATIONS HAVE BEEN DESIGNED FOR A RIGID FRAME WITH A FIXED BASE.
  - GIRDER TRUSS TO COLUMN CONNECTIONS ARE TO BE RIGID MOMENT CONNECTIONS.
  - ALLOWABLE 10 YEAR WIND DRIFT = H / 400

**MICHAEL**  
**Jon MJM**  
**McCAULEY, P.E.**  
**STRUCTURAL ENGINEERING**

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 (678) 373-6691 OFFICE  
 (404) 592-6179 FAX  
 COA#: PE007101

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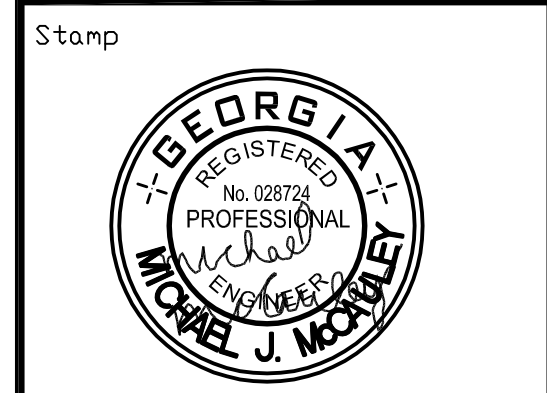
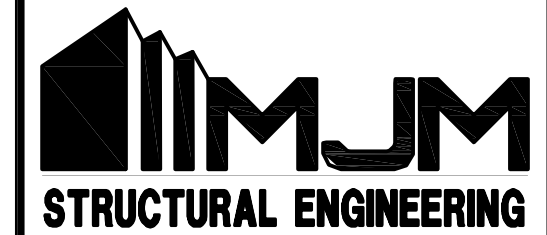
Sheet Title  
**STAGE  
 ROOF  
 PLAN**

**S2.1**

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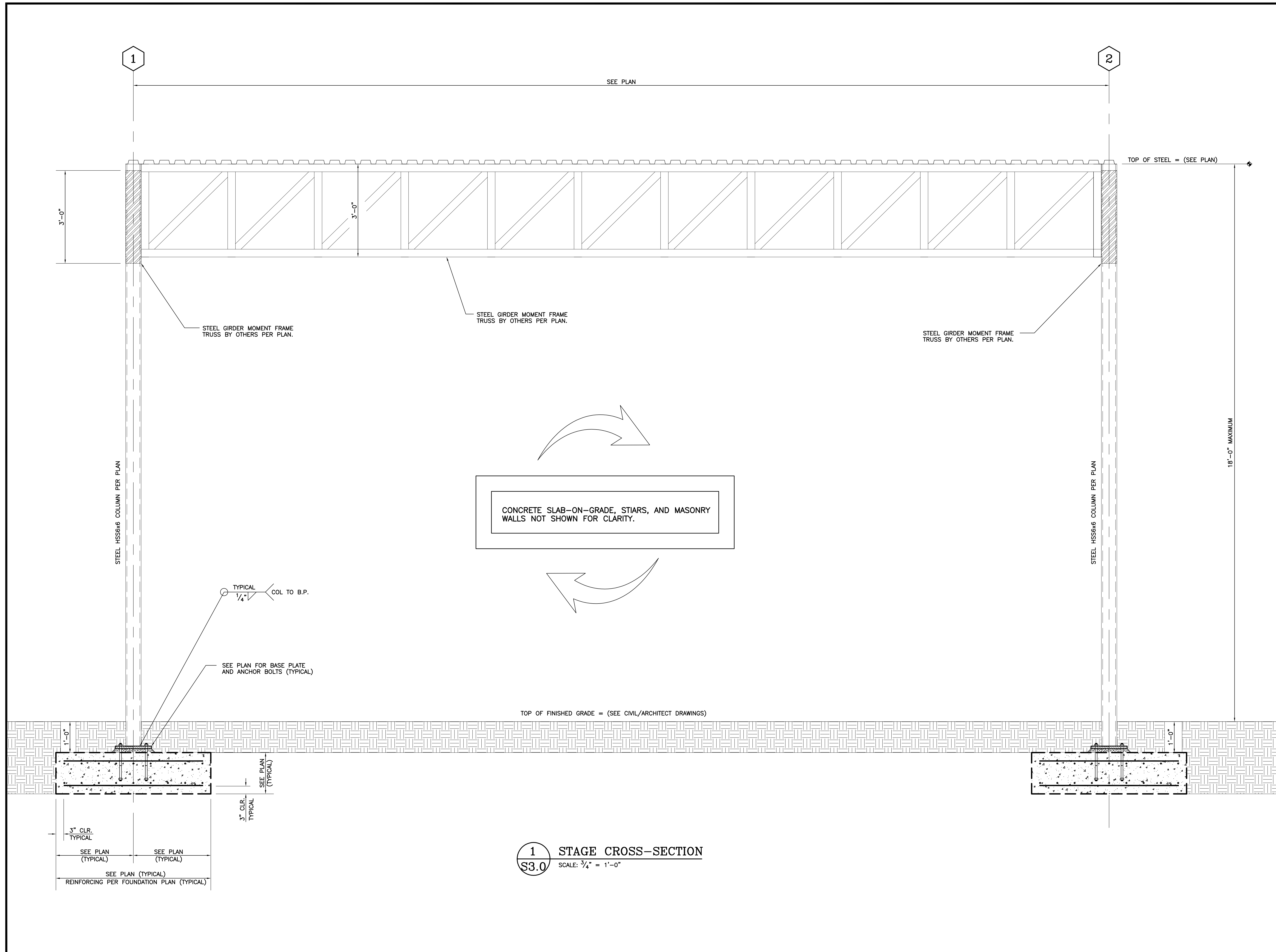
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DATE  
**03/16/22**

Sheet Title  
**STAGE  
 CROSS  
 SECTION**

**S3.0**

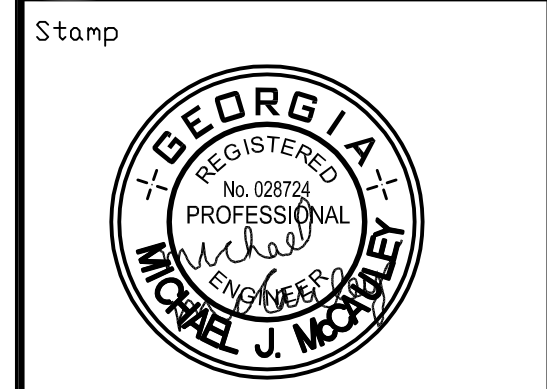
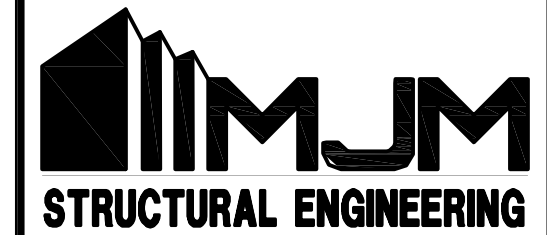
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**1**  
**S3.0** STAGE CROSS-SECTION  
 SCALE: 3/4" = 1'-0"

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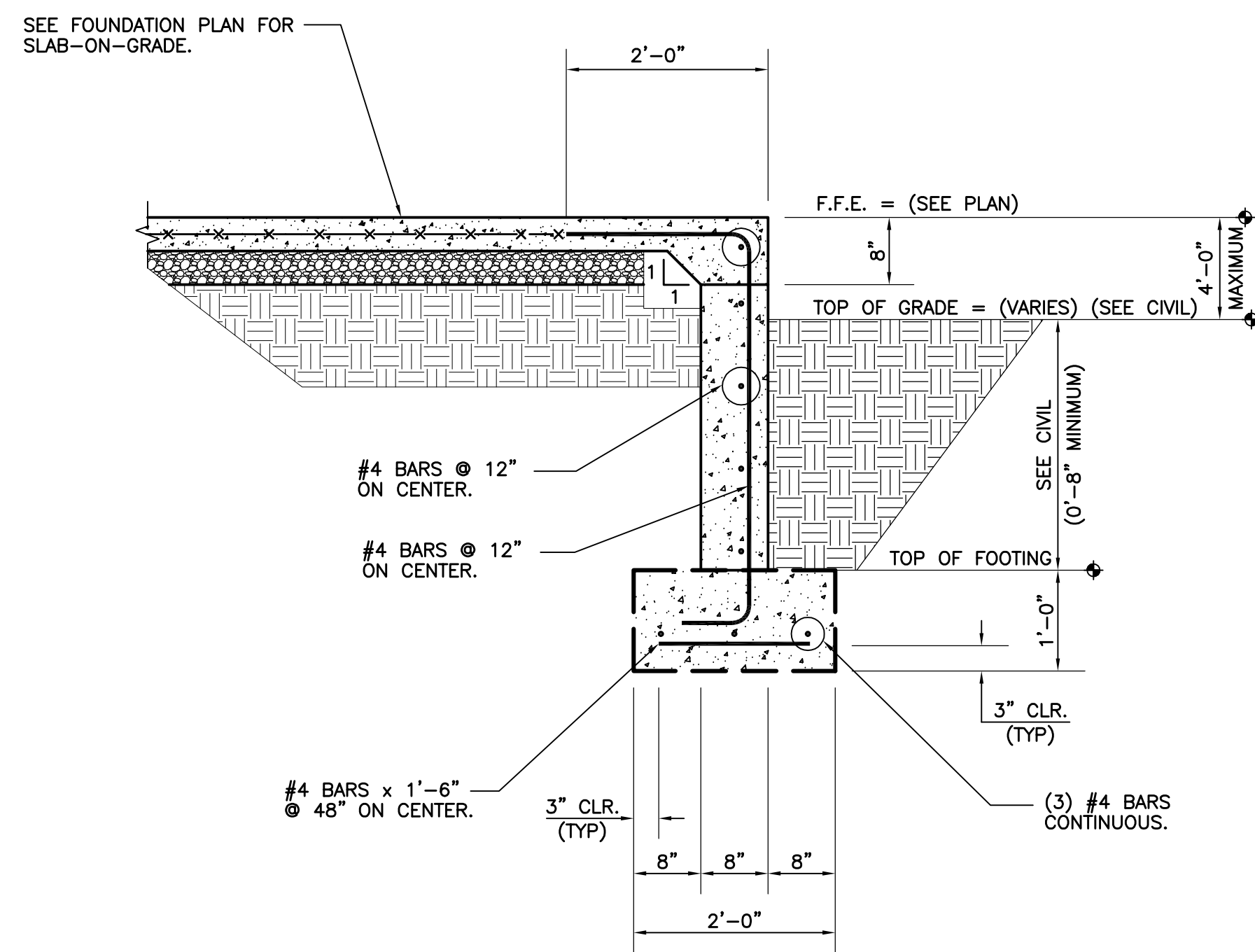
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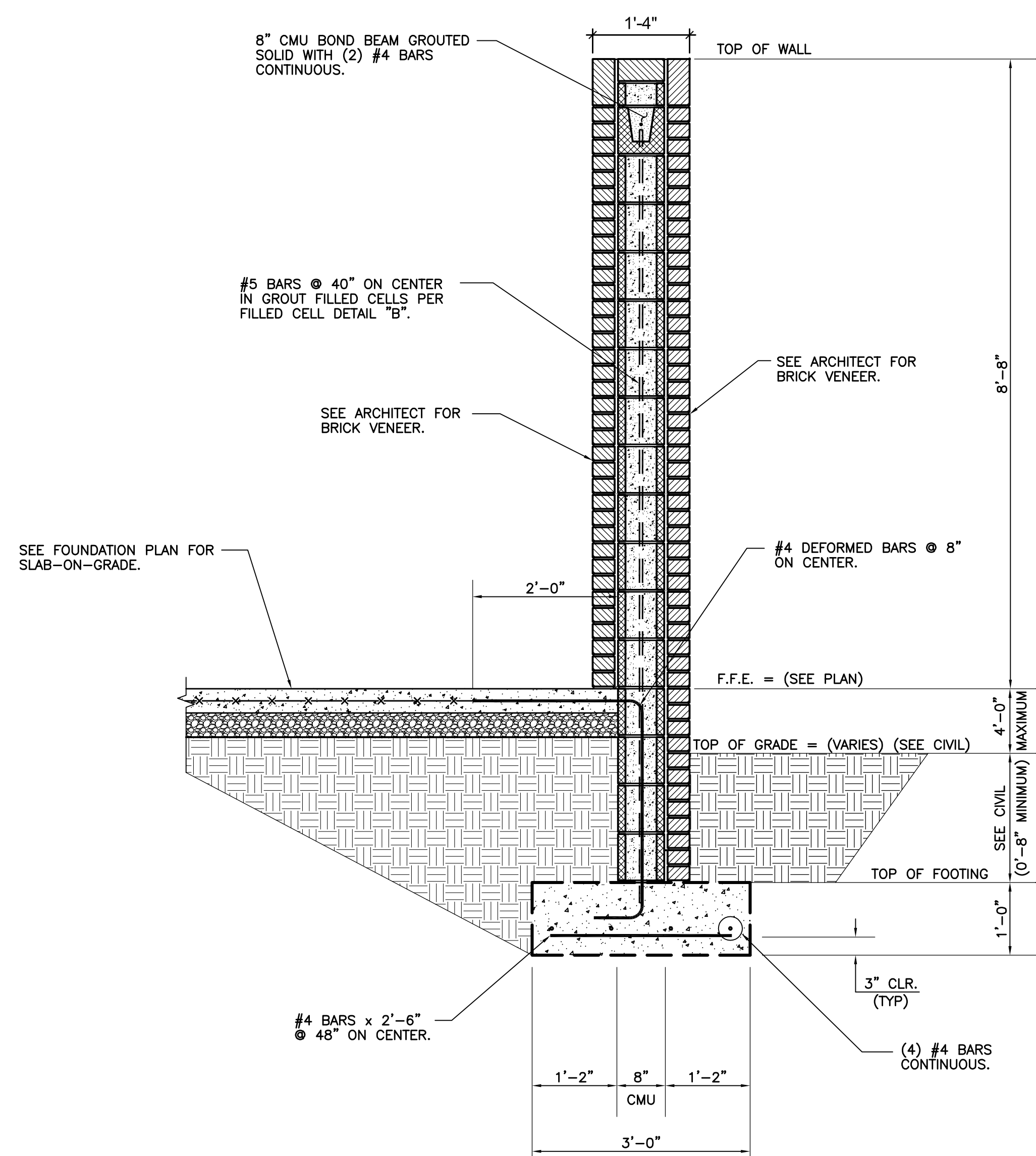
Sheet Title  
**FOUNDATION  
AND WALL  
SECTIONS**

**S3.1**

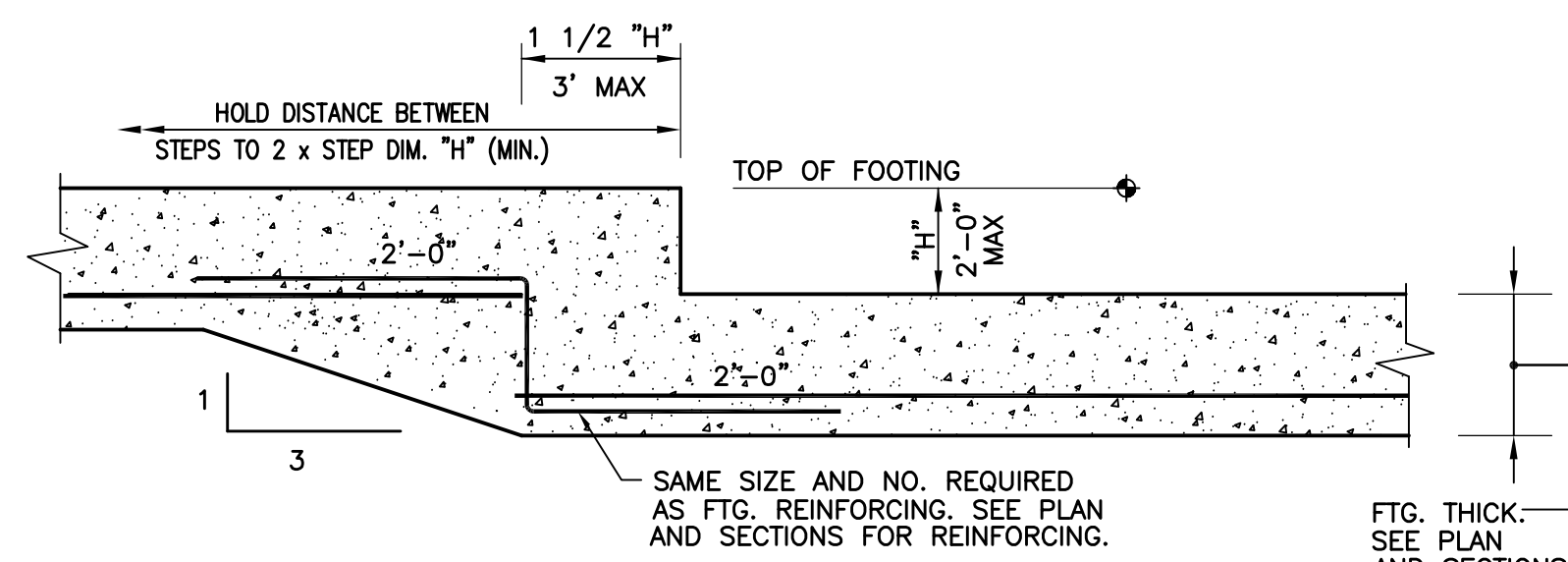
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**1**  
**S3.1** SECTION AT FOUNDATION WALL  
SCALE: NOT TO SCALE



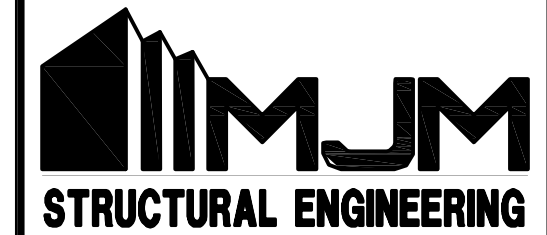
**2**  
**S3.1** SECTION AT MASONRY WALL  
SCALE: NOT TO SCALE



**3**  
**S3.1** TYPICAL FOOTING STEP DETAIL  
SCALE: N.T.S.

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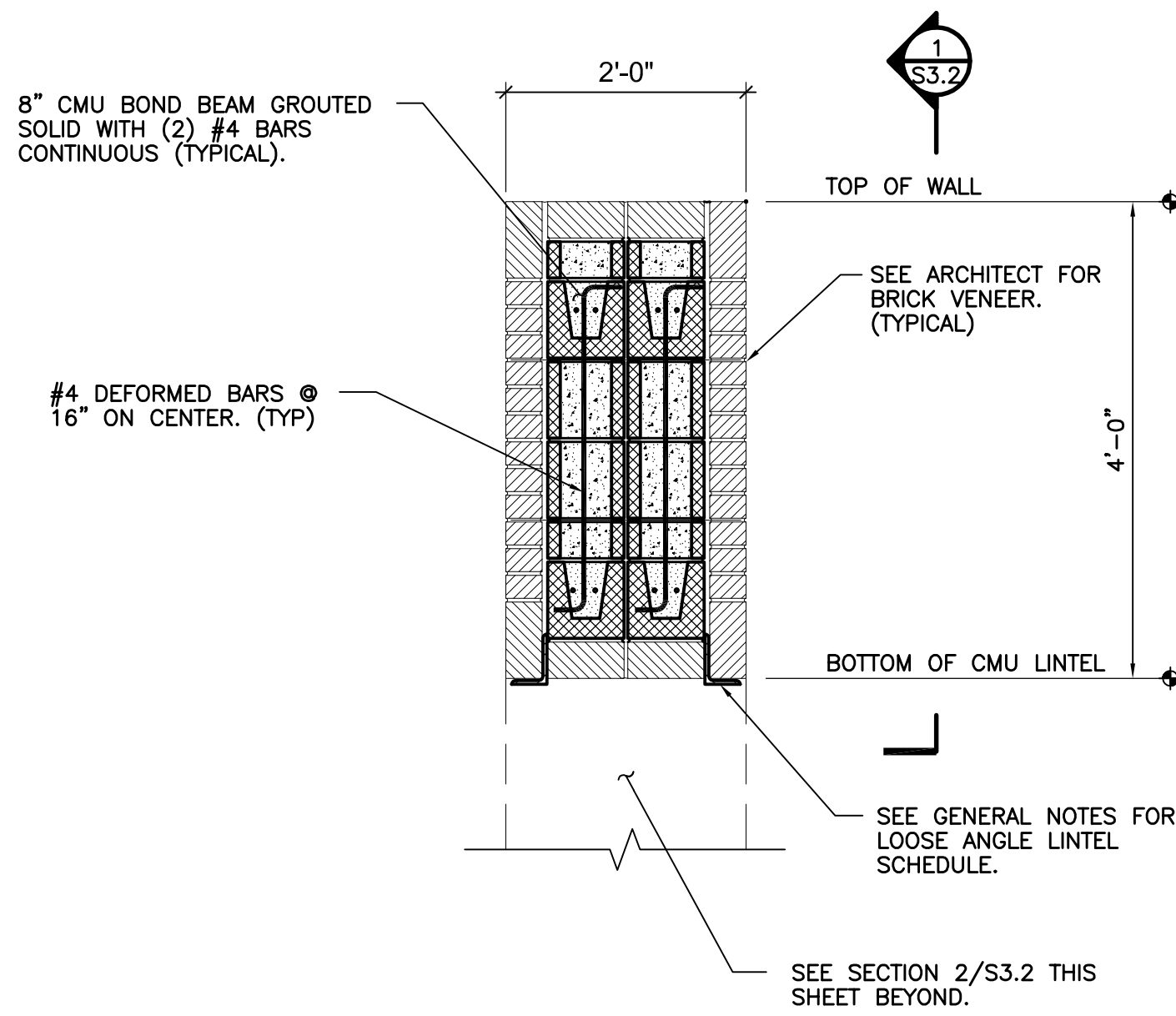
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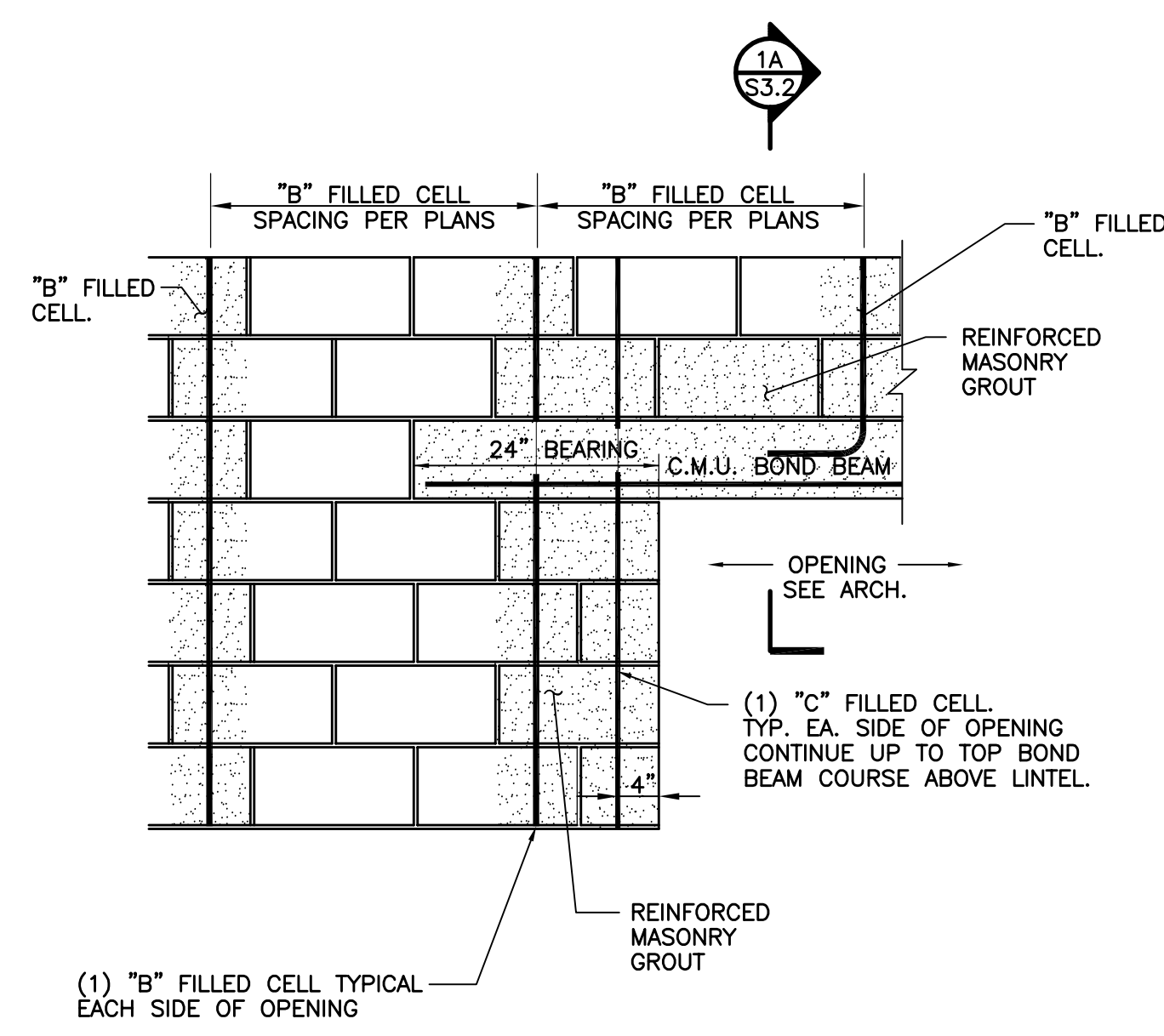
Sheet Title  
**FOUNDATION  
AND WALL  
SECTIONS**

**S3.2**

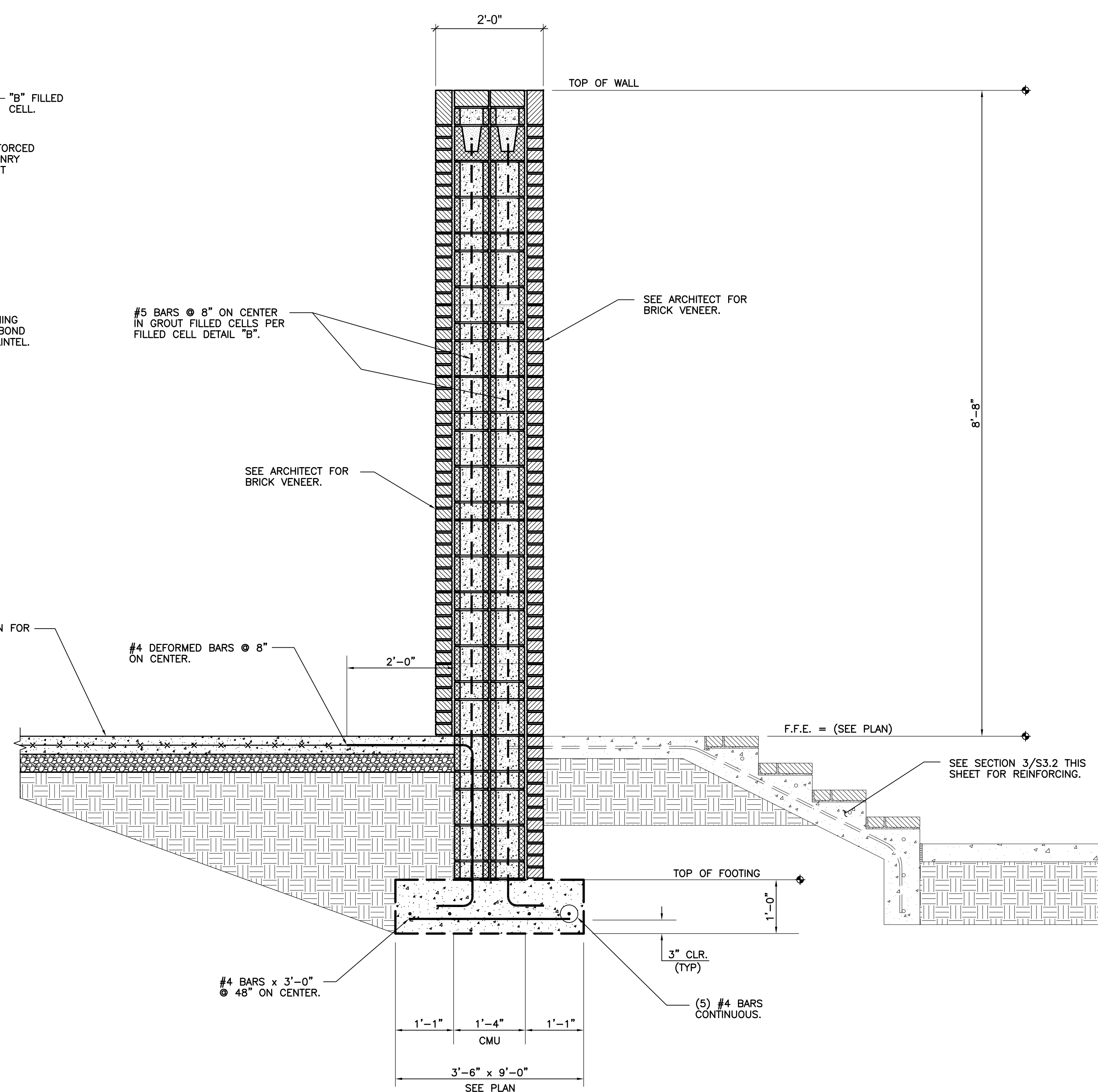
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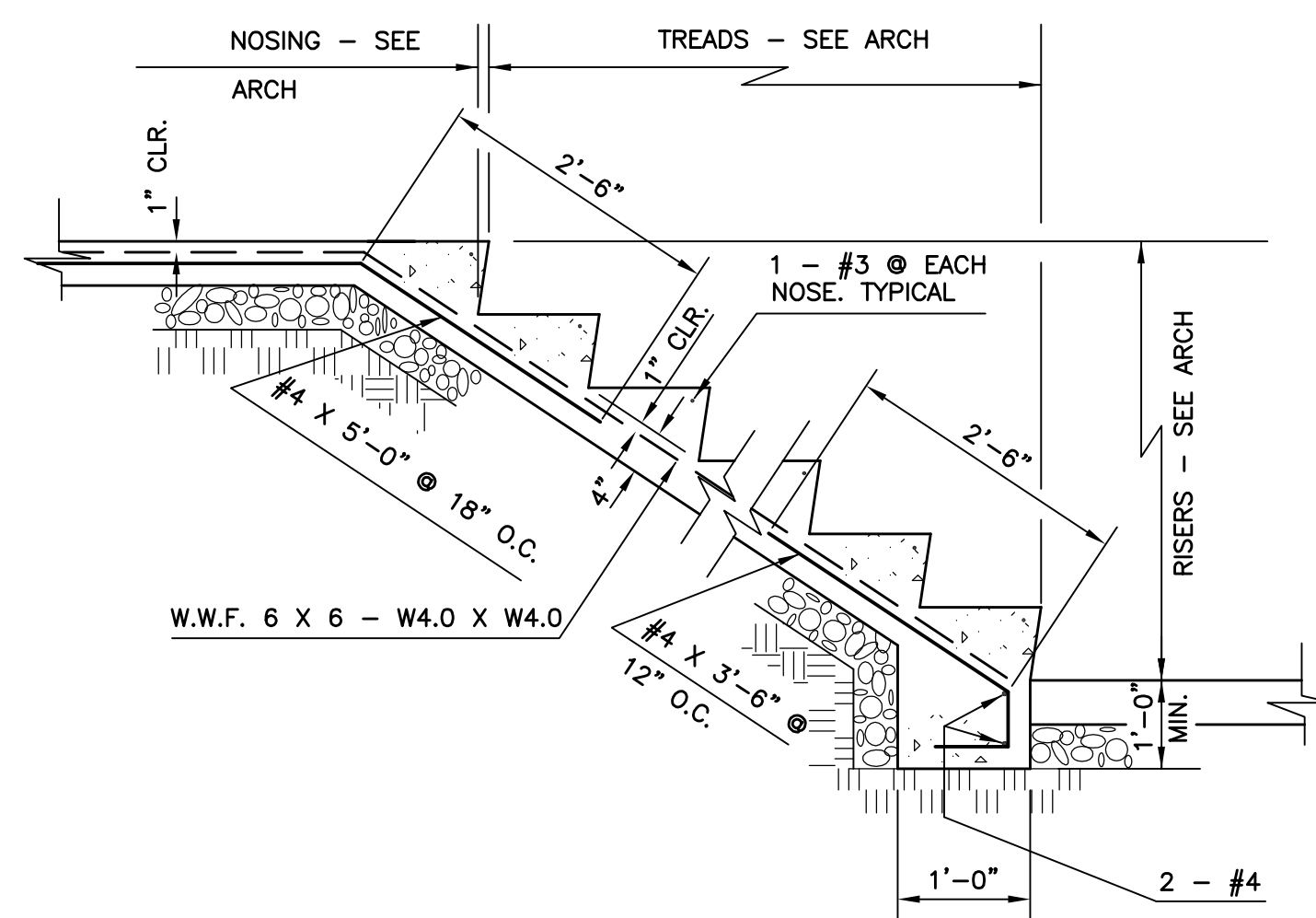
**1A** LINTEL SECTION  
**S3.2** SCALE: N.T.S.



**1** CMU LINTEL BEAM AND ELEVATION  
**S3.2** SCALE: N.T.S.



**2** SECTION AT MASONRY WALL  
**S3.2** SCALE: N.T.S.

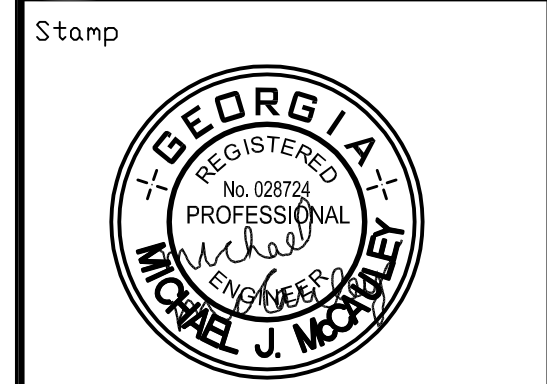
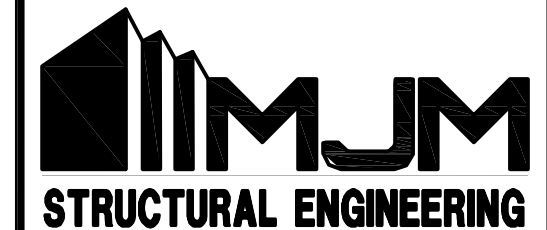


**3** CONCRETE STAIRS ON GRADE  
**S3.2** SCALE: N.T.S.



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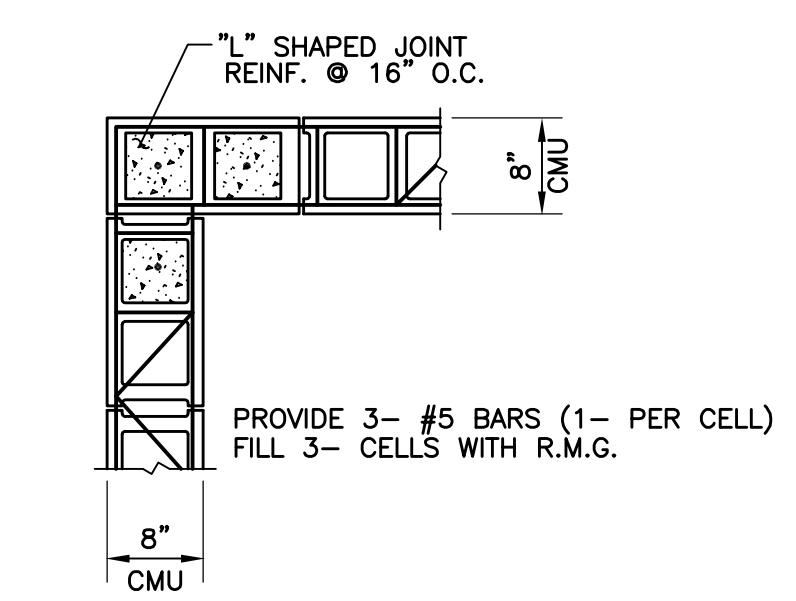
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Sheet Title  
**MASONRY  
WALL  
SECTIONS**

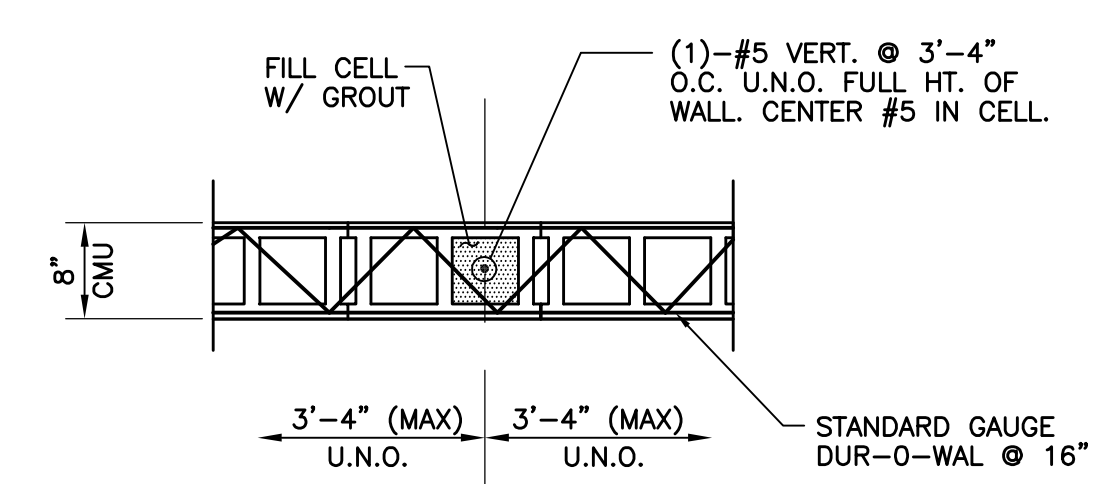
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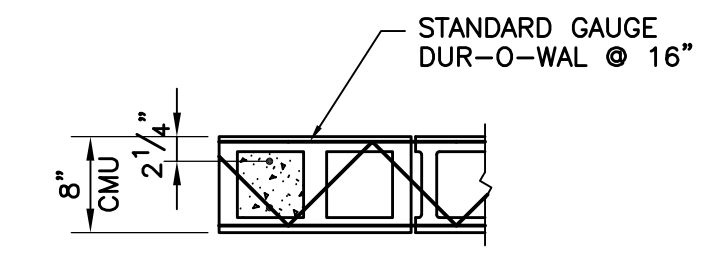


**FILLED CELL DETAIL (D)**  
AT CORNERS

PROVIDE 3-#5 BARS (1- PER CELL)  
FILL 3- CELLS WITH R.M.G.

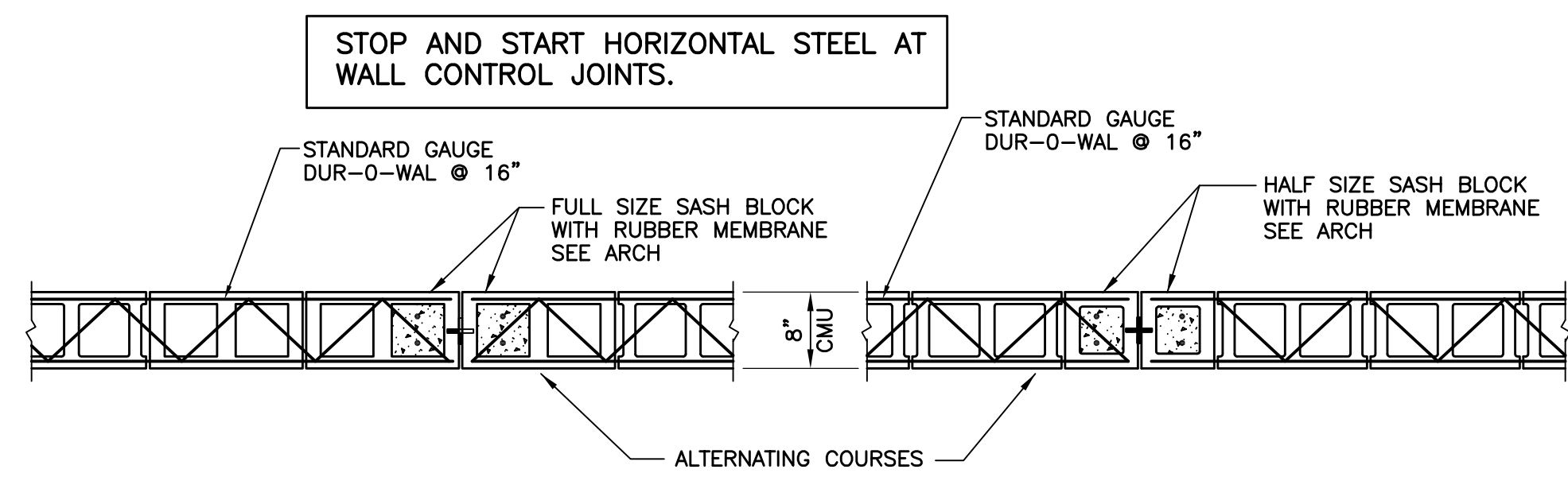


**FILLED CELL DETAIL (B)**  
TYP. FILLED CELL



**FILLED CELL DETAIL (C)**  
AT BEAM BEARING

PROVIDE (2)-#5 BAR.  
FILL (1) CELL WITH R.M.G.



PROVIDE (4)-#5 BARS (TWO PER CELL)  
FILL (2) CELLS WITH R.M.G.

CONTROL JOINT SPACING SHALL NOT EXCEED THE LESSER OF 25'-0" OR 3 TIMES THE WALL HEIGHT U.N.O.

JOINTS SHALL NOT BE LOCATED WITHIN 3'-4" MINIMUM OF ANY OPENING SO AS TO ALLOW FOR LINTEL BEARING AT JAMB WITHOUT INTRODUCING A DISCONTINUITY.

**FILLED CELL DETAIL (H)**  
AT WALL CONTROL JOINT

**NOTE TO CONTRACTOR:**  
INCREASE HORIZONTAL REINFORCING WIDTH FOR BRICK VENEER CLADDING NOT SHOWN FOR CLARITY. SEE MASONRY GENERAL NOTES FOR ADDITIONAL SPECIFICATIONS.

**TYPICAL**