



City of Cartersville Historic Preservation Commission COP Application Staff Report
Case: COP24-25

HPC Meeting – 8-20-24

Application Information

Address: 162 W Main Street
 Applicant: Chase Rierson, owner
 Zoning District: DBD
 Setbacks: Front: oft. Rear: oft: Side: oft.

Brief Description: Construct new addition. Construct rooftop workspace

Applicable Guidelines to Consider

Historic District Ordinance Section	
	9.25-51. General
X	9.25-52. Downtown Business District
	9.25-53. Olde Towne
	9.25-54. West End
	9.25-55. Cherokee- Cassville
	9.25-56. Granger Hill

Infill Overlay Districts. Chapter 26, Zoning. Article 27 (Sec. 27.1- 27.6)	
	West End Infill Overlay District
	Cherokee-Cassville Infill Overlay District

Residential Design Guidelines	
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>	
A. Wood	K. Utilities and Energy Retrofit
B. Masonry	L. Accessibility, Health, and Safety Considerations
C. Architectural Metals	M. Additions to Historic Buildings
D. Paint	N. Aesthetic Recommendations
E. Roofs	
F. Exterior Walls	PART TWO: New Construction
G. Driveways, Walkways, and Off-Street Parking	
H. Lighting	PART THREE: Relocation
I. Windows and Doors	
J. Entrances, Porches and Balconies	PART FOUR: Demolition

The following scopes of work are proposed. See building plans.

Building addition

1. Add 33ft x 49ft (1,582sf) building addition, 3 stories in height to the southwest corner of the existing building.
2. Add brick veneer to first floor.
3. Add EIFS DRYVIT veneer to 2nd and 3rd floors.
4. Add concrete, split-faced stone.
5. Add (10) double windows, 2/2 pane config. pre-finished aluminum with black anodized frame.
6. Add (2) single windows, to west side facade, 2nd and 3rd stories.
7. Add pre-finished metal awning above entry doors on south wall.
8. Add pre-finished metal coping.
9. Add (2) hollow, metal doors with metal frame to south wall.
10. Add (1) metal, rollup door to south wall (GDP on Sheet A.1.1).

Rooftop addition to existing building

1. Construct approx. 22ft x 49ft (1,078sf) rooftop workspace on existing building.
2. Add brick veneer wall as a screen.
3. Add pre-finished metal trellis frame to brick veneer wall.
4. Add “slide” roof structure supported by wood posts.

History of the Property- Bartow County Tax assessor’s records state the original structure was built in 1965 with significant changes in 2010. GHRS shows no date.

COPs on file:

COP17-12. Replace rear roll-up door with block and glass. Approved 7-18-17.

COP15-10. Install a commercial garage door on south wall for Suite 101. Approved 4-21-15.

COP07-08. Remodel façade on (3) sides. Approved 4-17-2007.

Analysis of the COP:

The building is historic, non-contributing. The 2007/ 2010 building modifications significantly altered the 1965 look of the building.

The proposed addition is unique for the building; however, it does meet all zoning requirements. The existing building corners are 2- story. The proposed addition is 3- story. The proposed materials are consistent with the existing materials on the building- metal coping, split-faced stone, brick, EIFS, and aluminum framed windows.

The rooftop workspace is also unique to the structure, but would offer a unique work space and a view of downtown. Structural analysis is needed of the existing building to know with certainty if the outdoor workspace can be supported.

No material information was provided on the “slide” for the roof structure. The commission should inquire.

The applicant has been made aware of the townhome project on the adjacent property.

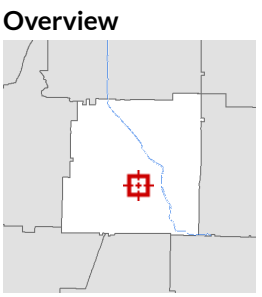
The proposed additions, though unique, seem appropriate for the district.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof		
Siding	Stone, brick, EIFS	Same
Windows	Alum. Frame/ glass	Same
Doors	Metal	Same
Exterior Lighting		
Foundation	Slab	Same
Decking		
Steps		
Porches		
Ornamentation		

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.



Legend
□ Parcels
— Roads

Parcel ID	C002-0002-012	Alternate ID	32094	Owner Address	162 WEST MAIN STREET VILLAGE LLC
Sec/Twp/Rng	n/a	Class	Commercial		162 W MAIN STREET SUITE 101
Property Address	162 W MAIN ST	Acreage	1.48		CARTERSVILLE, GA 30120
District	Downtown Development Authority				
Brief Tax Description	LL483 D4 S3 Main Street Village (Old Nelsons)				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 8/13/2024
Last Data Uploaded: 8/12/2024 10:42:33 PM

Developed by  **Schneider**
GEOSPATIAL



**Cartersville Historic Preservation Commission
CERTIFICATE OF PRESERVATION APPLICATION**

*Applicant: Chase Rierson

Project Address: 162 W Main Street
Cartersville, GA 30120

Mailing Address (if different than project address):

Phone: (770) 547-4535

Email: chaserierson@gmail.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. **Building permits will not be issued without proof of a COP.**

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

Office Use Only	
Case Number	_____
Date Received	_____
Contributing	_____
Zoning	_____
Legal Advertisement	_____
Notified Adjacent	_____
HPC Hearing	_____
HPC Decision	_____
COP Expiration	_____
Project Completion	_____
Tax Parcel	_____

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Existing Building Type:

- Residential One, Two or Multi-family _____
Garage, Storage _____
- Commercial
- Other EXISTING OFFICE BUILDING TO REMAIN

Brief Project Description (example: addition of sunroom, installation of fence):
Existing office building to remain. We are planning to do a small addition to the rear of the building and add a small rooftop seating for people who uses the office space. The rooftop will be an informal seating area for people who want to sit and work outside. No other scope of work

Type of Project (Check all that apply):

- New building
- Addition to building
- Relocation of building(s)
- Demolition
- Fence(s), wall(s), landscaping
- Minor exterior change
- Major restoration, rehabilitation, or remodeling
- Other _____

Start Date: At the earliest once we get the approval

Anticipated Completion: By the end of fall once all the approvals are secured

Contractor/Consultant/Architect: Prem Kumar (Architect)

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 07/12/2024 Signature [Signature]

Chase Rierson

162 W Main Street Suite 101

Cartersville, GA 30120

chaserierson@gmail.com

770-547-4535

July 29, 2024

Dear City of Cartersville,

I am writing to formally inform you that I am the owner of the property located at 162 W Main Street Cartersville, GA 30120. My company is 162 West Main Street Village, LLC. We took ownership of the building on 4/14/2022.

If you require any further information or documentation to confirm my ownership, please do not hesitate to contact me.

Best,

Chase Rierson

Chase Rierson

David Hardegree

From: Chase Rierson <chaserierson@gmail.com>
Sent: Monday, July 29, 2024 10:12 AM
To: David Hardegree
Cc: Premkumar Balasubramaniam; Ashley Peters
Subject: [EXTERNAL] Fwd: COP24-25. HPC Application. 162 W. Main St. addition
Attachments: CARTERSVILLE OFFICE_CITY SET_07.16.2024.pdf; 162 WMSV LLC.pdf

Follow Up Flag: Follow up
Flag Status: Flagged



David,

See attached the letter confirming that I'm the owner of the building. See below Prem's responses to your questions. Please let me know if you have any questions or if we need to discuss further on the phone.

Thank you again,
Chase Rierson

----- Forwarded message -----

From: Premkumar Balasubramaniam <premrenderings@gmail.com>
Date: Sun, Jul 28, 2024 at 12:03 PM
Subject: Re: COP24-25. HPC Application. 162 W. Main St. addition
To: Chase Rierson <chaserierson@gmail.com>

----- Forwarded message -----

From: David Hardegree <dhardegree@cityofcartersville.org>
Date: Tue, Jul 23, 2024 at 11:55 AM
Subject: COP24-25. HPC Application. 162 W. Main St. addition
To: chaserierson@gmail.com <chaserierson@gmail.com>
Cc: Ashley Peters <apeters@cityofcartersville.org>

Hi Chase,

We are in receipt of the plans and HPC application for the addition to the SW corner of the building at 162 W. Main St. I do have a few questions that should be answered prior to the HPC review. Some questions are directly related to the HPC review. Others are zoning or site specific.

HPC related:

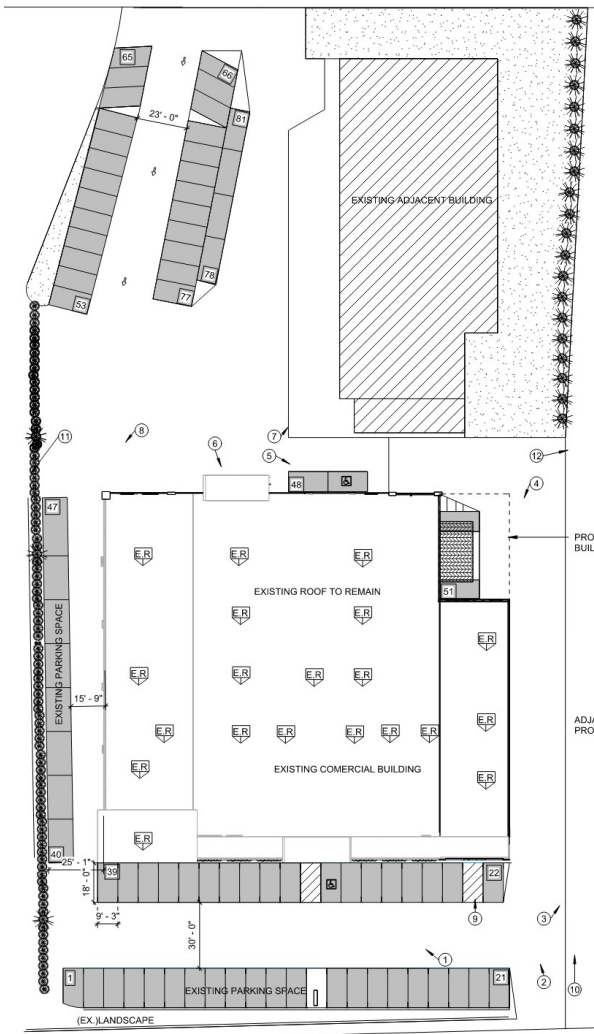
1. Do you have anything in writing that the owner of 162 W Main St. acknowledges that the project is being submitted for HPC review? - **Chase to handle this**
2. Has the building been evaluated by a structural engineer to know that the rooftop office/ social space can support the weight of the proposed use and materials? - **We will hire a structural engineer and do all the calculations before we**

submit the formal permit files. What we are doing now is to see if our idea would be acceptable by the board and once we get the idea approved, we will hire a structural engineer, MEP engineer and do the whole drawings for permitting.

3. There appears to be (2) colors and/ or styles of brick used on the new addition. Is this accurate? - Yes, this is correct. We would like to introduce a new contrasting color brick cuz it will be hard to match the existing brick color. Also, it will enhance the whole building architecture with contrasting brick colors.

Zoning/ Site related:

1. Min. Parking requirements are 1 space per 400sf of office space. Your requirement is (1) space/ 200sf GFA. 5900sf of new construction is proposed. This equals 15 parking spaces needed; however, (44) cubes are shown. How will parking be addressed if all cubes are utilized by commuters at the same time and parking cannot be accommodated on site? A note should be added addressing this. - We have a total of 84 parking spot shown in the site plan. Please refer to sheet AS-1.3 for details where I have the parking calculations listed as well. Per our calculations, we have enough parking for the facility unless I am missing something and would be helpful if the jurisdiction can guide me in the right direction?



1. (5) of the overall parking spaces for 162 W Main are dedicated to 123 Leake St. - Chase to give me more info on this one.

2. The property next door at 178 W. Main St will be redeveloped for (18) townhomes. - Chase to let me know if Prem needs to do anything on this.
3. The western property line is approximately 4-5ft off the building. This should not affect this project with the exception of moving the staging area and port-o- potties identified on Sheet AS.1.3. - We can modify it when we start the construction.
4. Some utilities will need to be relocated- Gas, Fibercom, and Electric. - We can modify it when we start the construction.

I can schedule the HPC review for Aug, 20th. Please contact Ashley Peters, Clerk, for the \$25 payment. 770-387-5661.

Thank You.

David

David Hardegree

Planning and Development

O. 770-387-5614

Disclaimer

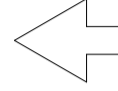


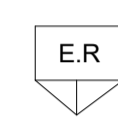
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GENERAL SITE PLAN NOTES

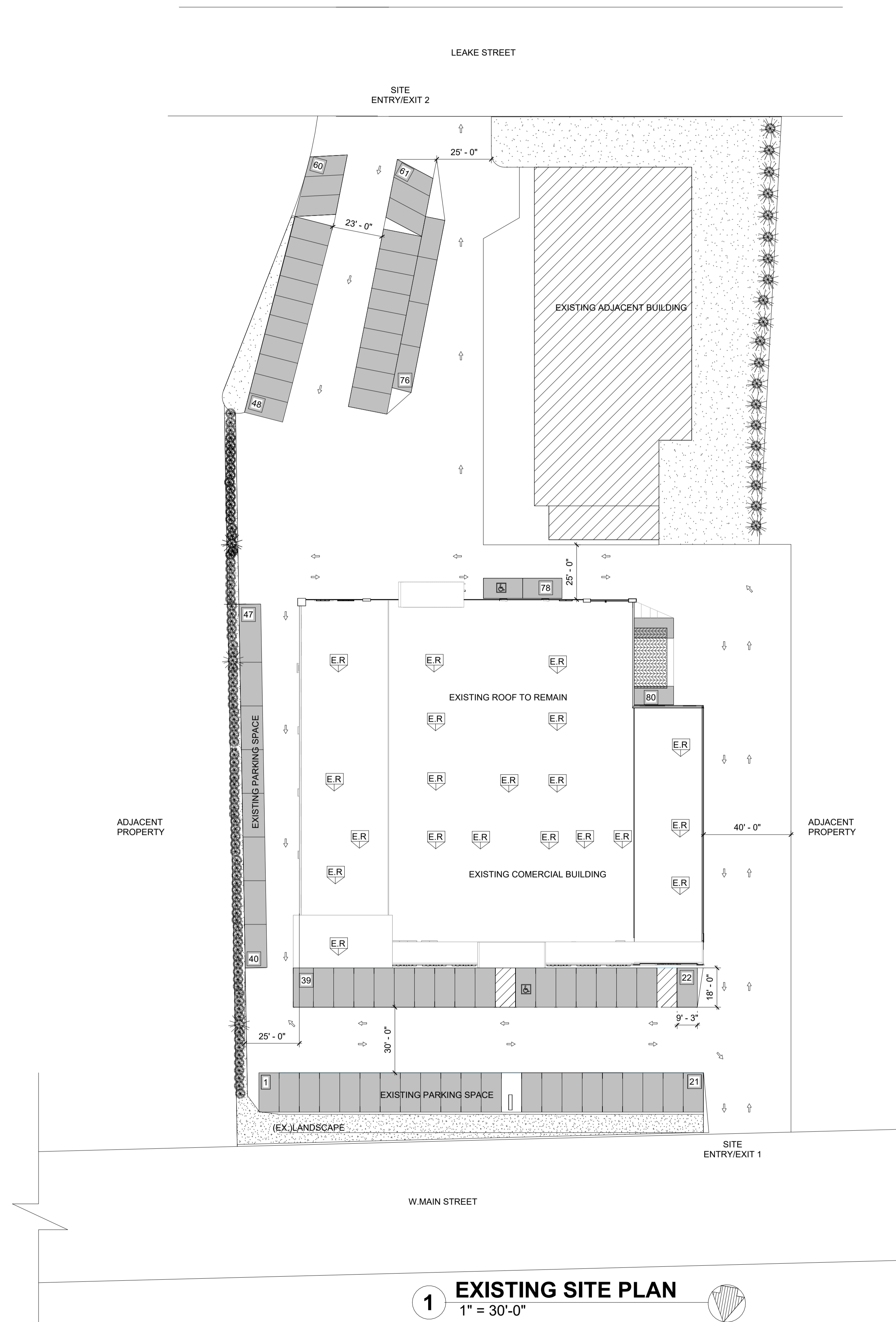
- A. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- B. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- C. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.

SITE SYMBOL

BUILDING EXIT/ ENTRY	
EXISTING ASPHALT PARKING	
PROPOSED ASPHALT PARKING	
EXISTING R.T.U UNITS	

NOTE TO GC:

- 1. ARCHITECTURAL SITE PLAN IS ONLY FOR REFERENCE TO SHOW THE EXISTING CONDITION OF THE SITE.
- 2. THERE IS ABSOLUTELY NO SITE WORK INVOLVED IN THIS PERMIT. EVERYTHING TO REMAIN UNALTERED.



1 EXISTING SITE PLAN
1" = 30'-0"

PROPOSED TENANT IMPROVEMENT WORK

FOR
CARTERSVILLE SHOPPING CENTRE

162 W. MAIN STREET
SUITE #200
CARTERSVILLE, GA. 30128

DRAWING RECORD	DESCRIPTION
07/16/2024	PERMIT SET

3D RENDERINGS, LLC

ARCHITECTURAL SERVICES,
DESIGN CONSULTANTS
CONTACT: premrenderings@gmail.com
912.596.5807

DESIGNER

EXISTING SITE PLAN

AS.1.1

CHECKED : KP DRAWN : MO
RELEASED FOR CONSTRUCTION

GENERAL SITE PLAN NOTES

- A. GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- B. PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
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SITE SYMBOL

BUILDING EXIT/ ENTRY	
EXISTING ASPHALT PARKING	
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SITE PLAN KEY NOTES

- 1. PORTA POTTIES
- 2. STAGING AREA
- 3. RELOCATE THE EXISTING DUMPSTER

PARKING CALCULATION

ADDITIONS AND ENLARGEMENTS WITH NO CHANGE OF USE:
 OFF-STREET PARKING AND LOADING FACILITIES SHALL BE PROVIDED FOR ANY ADDITION TO OR ENLARGEMENT OF AN EXISTING BUILDING, EXISTING USE OR EXISTING MANNER OF OPERATION THAT WOULD RESULT IN ADDITIONAL PARKING AND LOADING SPACES BEING REQUIRED. THE ADDITIONAL PARKING AND LOADING SPACES SHALL BE REQUIRED ONLY IN PROPORTIONATE AMOUNT TO THE EXTENT OF THE ADDITION, ENLARGEMENT, OR CHANGE, NOT FOR THE ENTIRE BUILDING.

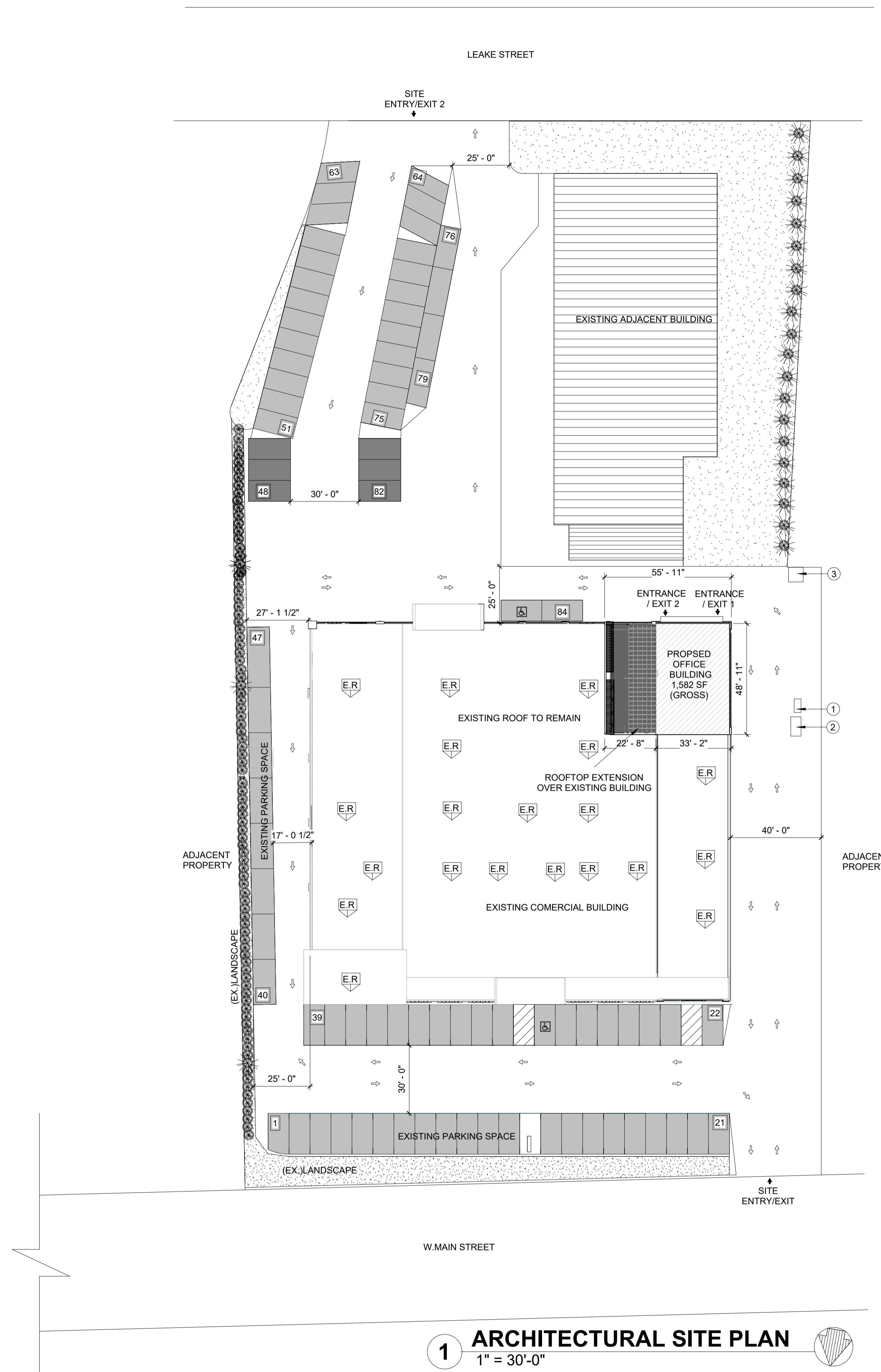
WITH RESPECT TO PARKING, WE NEED 1 SPACE FOR EVERY 200 SFT OF GFA.

GFA OF EXISTING BUILDING IS 27,573 SFT.
 GFA OF NEW CONSTRUCTION IS 5,902 SFT.
 TOTAL GFA OF THE PROPOSED BUILDING IS 33,475 SFT
 NO OF PARKINGS REQUIRED FOR PROPOSED BUILDING IS 167

IN ANY EVENT, THE MINIMUM NUMBER OF PARKING SPACES PROVIDED SHALL BE NO LESS THAN 50 PERCENT OF THE MAXIMUM NUMBER AS IDENTIFIED.

TOTAL NO OF PARKING REQUIRED IS NOT LESS THAN 84

EXISTING NO. OF PARKING PROVIDED IS 80.
 NO OF PARKING REMOVED FOR CONSTRUCTION IS 2.
 NO OF PARKING ADDED AS PER REQUIREMENTS IS 6.
 TOTAL NO. OF PARKING PROVIDED ON NEW PROPOSED SITE IS 84.



1 ARCHITECTURAL SITE PLAN
 1" = 30'-0"

PROPOSED TENANT IMPROVEMENT WORK

FOR
CARTERSVILLE SHOPPING CENTRE

162 W.MAIN STREET
 SUITE #200
 CARTERSVILLE, GA.30128

DRAWING RECORD	DESCRIPTION
07/16/2024	PERMIT SET

3D RENDERINGS, LLC

ARCHITECTURAL SERVICES,
 DESIGN CONSULTANTS
 CONTACT:premrrenderings@gmail.com
 912.596.5807

DESIGNER

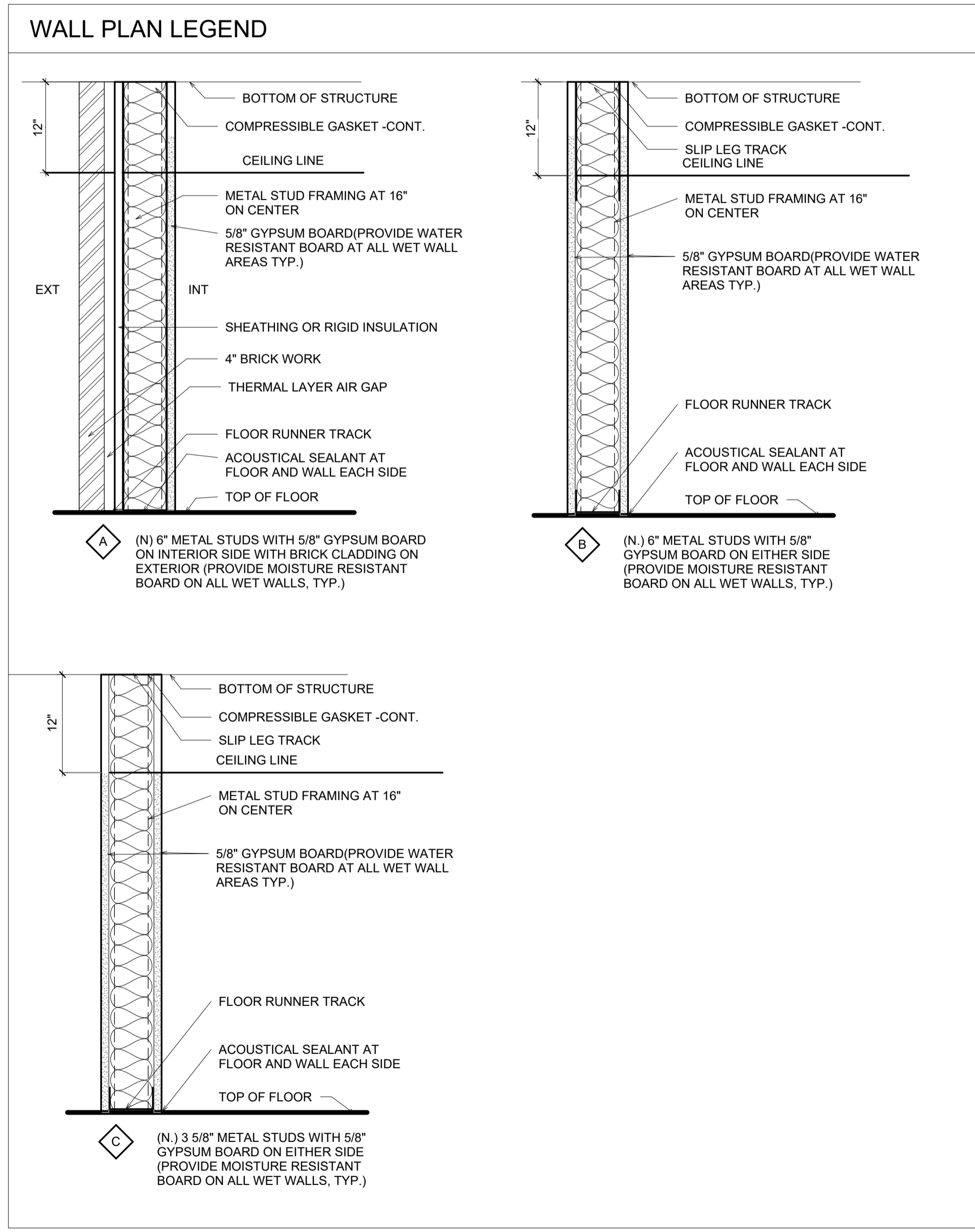
ARCHITECTURAL SITE PLAN

AS.1.3

CHECKED : KP DRAWN : MO
 RELEASED FOR CONSTRUCTION

INTERIOR PARTITION TYPES LEGEND	
	EXISTING WALL TO REMAIN UNALTERED.
	NEW WALL - SEE WALL LEGEND FOR SPECIFIC TYPES
	WALL TYPE A - (TYPICAL EXTERIOR WALL)(EX.) 6" METAL STUD AT 16" O.C. "FROM SLAB TO THE UNDERSIDE OF THE STRUCTURE UNLESS OTHERWISE NOTED, WITH ONE LAYER 5/8" GWB ON INTERIOR SIDE OF THE WALL, WITH BRICK CLADDING ON EXTERIOR, TAPE AND FINISH AS REQUIRED.
	WALL TYPE B - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO UNDERSIDE OF THE STRUCTURE - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.
	WALL TYPE C - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO 12" ABOVE THE CEILING - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.

GENERAL SYMBOLS LEGEND	
ROOM NAME	
	ROOM NAME / NUMBER
	WALL TYPE INDICATOR
	DOOR NUMBER (ROOM - DOOR)
	KEYNOTE ITEM

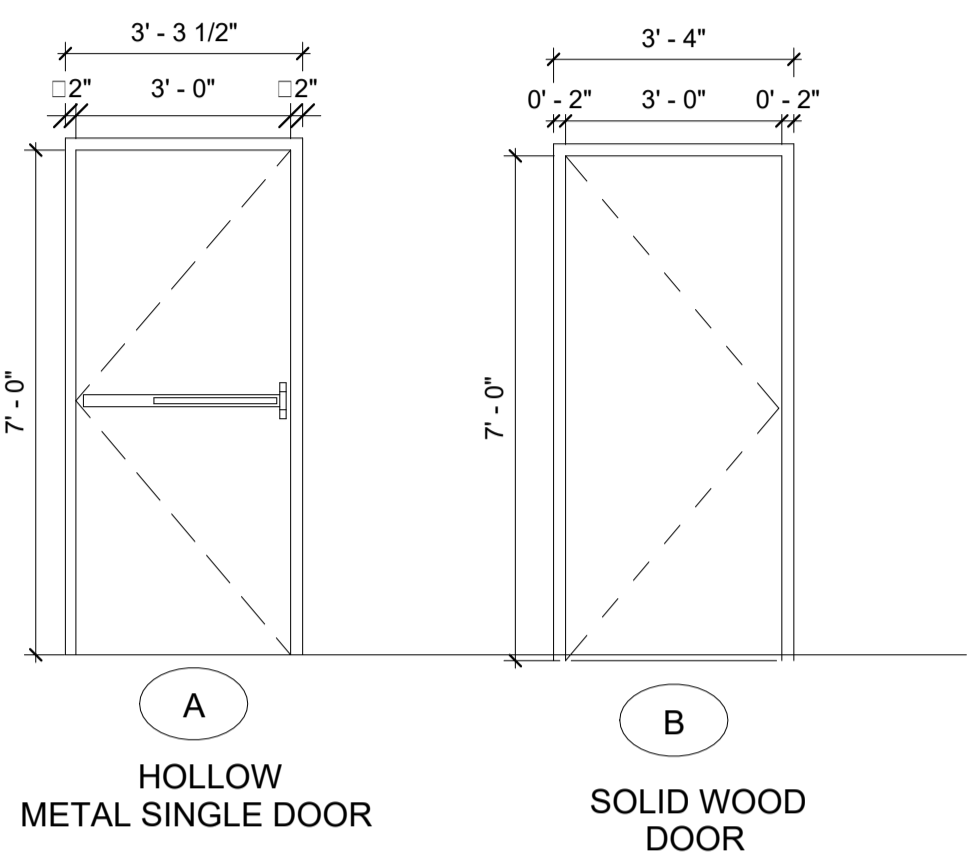


TYPICAL FLOOR PLAN NOTES:

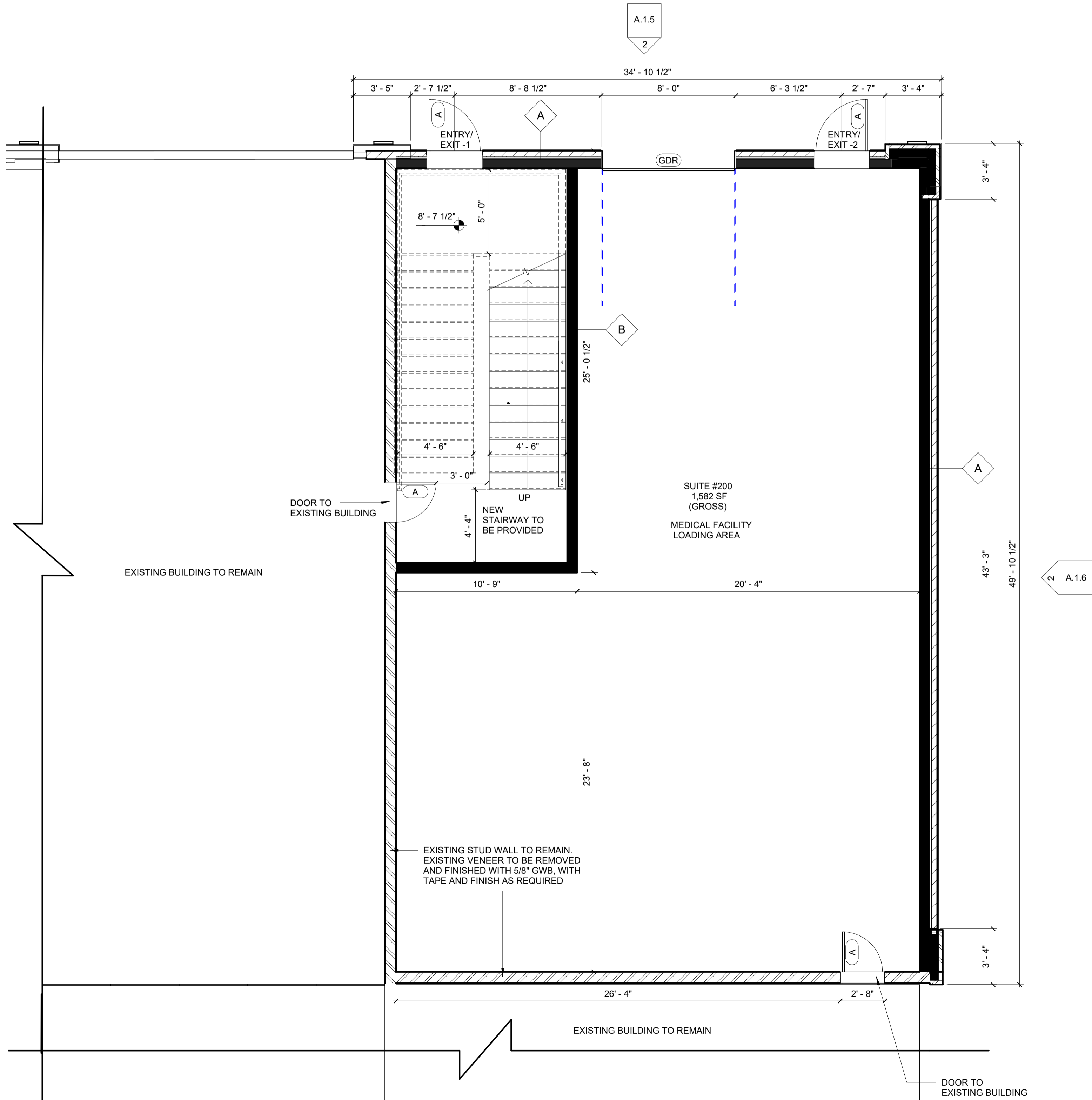
- ALL INTERNAL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACES, UNLESS OTHERWISE NOTED.
- NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL, OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
- DOOR JAMB LOCATIONS SHALL BE TYPICAL FROM ADJACENT WALL, UNLESS OTHERWISE MENTIONED. MAINTAIN DOOR CLEARANCES AS REQUIRED.
- UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BE 1/4" UNLESS NOTED OTHERWISE

DOOR SCHEDULE						
DOOR TYPE	SIZE			FRAME MATERIAL	DOOR MATERIAL	HARDWARE SET
	WIDTH	HEIGHT	THICKNESS			
A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	HM	1
B	3' - 0"	7' - 0"	0' - 1 3/4"	HM	HM	2

NOTE: GC TO MAKE SURE ALL DOORS HAVE 12" CLEAR AT THE PUSH SIDE AND 18" CLEAR AT THE PULL SIDE



HARDWARE SCHEDULE	
SET	ITEM
1.	<ul style="list-style-type: none"> 3'-0"x7'-0"x1 3/4" HOLLOW METAL DOOR, PAINTED 3 HINGES 3 SILENCERS 1 CLOSER 1 - LEVER TYPE DOOR HANDLE WITH CYLINDRICAL ENTRY LOCKSET (ADA COMPLIANT) HAGER COMPANY 3500 SERIES LEVER HANDLE AUGUST STYLE STAINLESS STEEL FINISH. LATCH OPERATED BY LEVER FROM INSIDE AT ALL TIMES. KNOCK-DOWN HOLLOW METAL FRAMES GASKETING DRIP EDGE DOOR VIEWER & DOOR SWEEP THRESHOLD HAGER OR EQUAL EXIT DEVICE - 4701 32D EXIT ONLY - PANIC / KEYED. DETEX OR EQUAL ALAM - EAX 500W
2.	<ul style="list-style-type: none"> 3'-0"x7'-0"x1 3/4" SOLID CORE WOOD, PAINTED 3 HINGES 3 GASKETING SILENCERS 1 SELF CLOSER 1 FLOOR MOUNTED DOOR STOP KNOCK-DOWN HOLLOW METAL FRAMES 1 ADA DOOR PULL BAR / PUSH PLATE



1 DIMENSIONED FIRST FLOOR PLAN
1/4" = 1'-0"

PROPOSED TENANT IMPROVEMENT WORK
FOR
CARTERSVILLE SHOPPING CENTRE
162 W. MAIN STREET
SUITE #200
CARTERSVILLE, GA. 30128

DRAWING RECORD	DESCRIPTION
07/16/2024	PERMIT SET

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DESIGNER
DIMENSIONED FIRST FLOOR PLAN

A.1.1
CHECKED : KP DRAWN : MO
RELEASED FOR CONSTRUCTION

INTERIOR PARTITION TYPES LEGEND

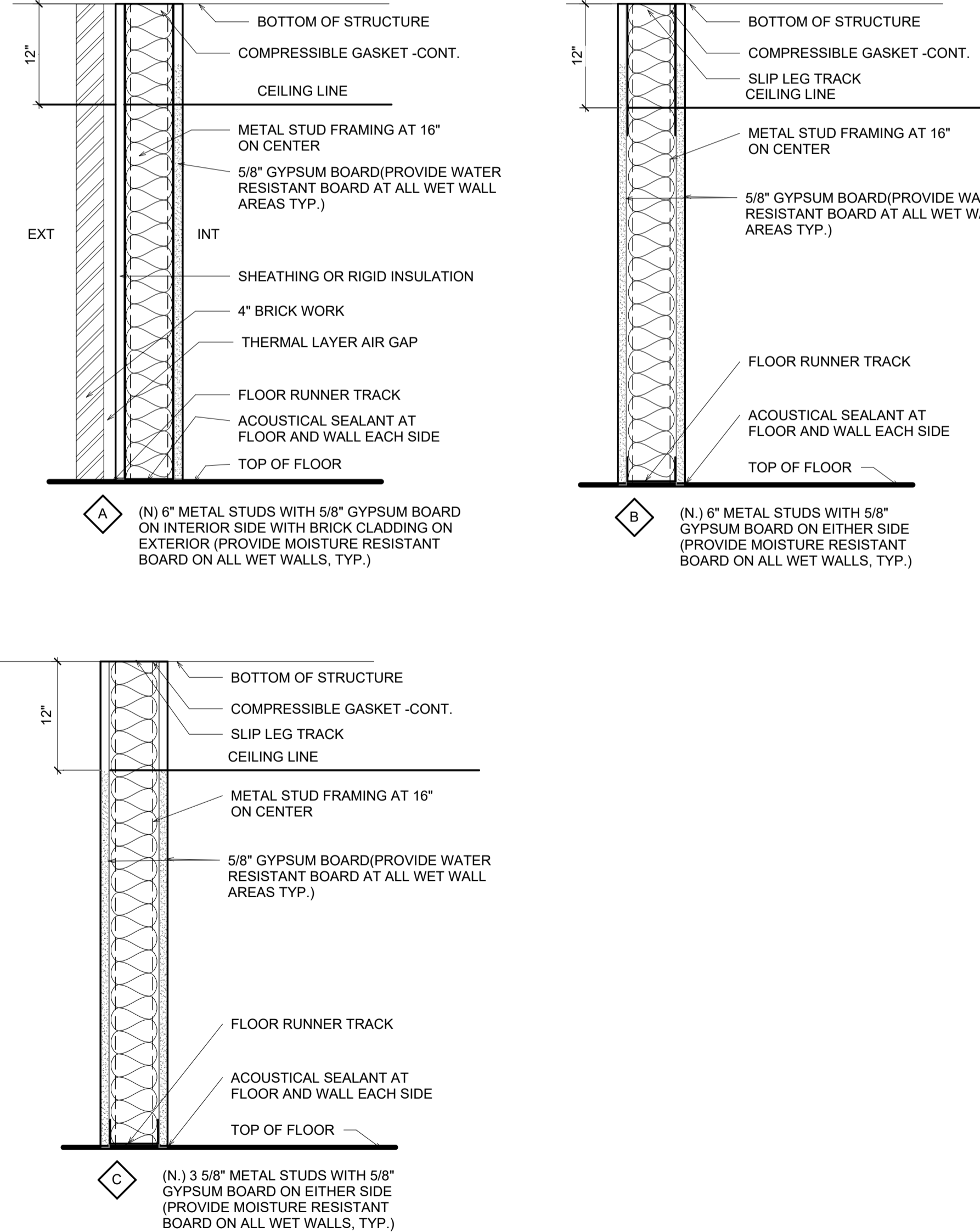
- EXISTING WALL TO REMAIN UNALTERED.
- NEW WALL - SEE WALL LEGEND FOR SPECIFIC TYPES

- A** WALL TYPE A - (TYPICAL EXTERIOR WALL)(EX.) 6" METAL STUD AT 16" O.C. "FROM SLAB TO THE UNDERSIDE OF THE STRUCTURE UNLESS OTHERWISE NOTED, WITH ONE LAYER 5/8" GWB ON INTERIOR SIDE OF THE WALL, WITH BRICK CLADDING ON EXTERIOR, TAPE AND FINISH AS REQUIRED.
- B** WALL TYPE B - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO UNDERSIDE OF THE STRUCTURE - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.
- C** WALL TYPE C - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO 12" ABOVE THE CEILING - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.

GENERAL SYMBOLS LEGEND

- ROOM NAME: 101 ROOM NAME / NUMBER
- DOOR NUMBER (ROOM - DOOR): 101
- WALL TYPE INDICATOR: AX
- KEYNOTE ITEM: D-1

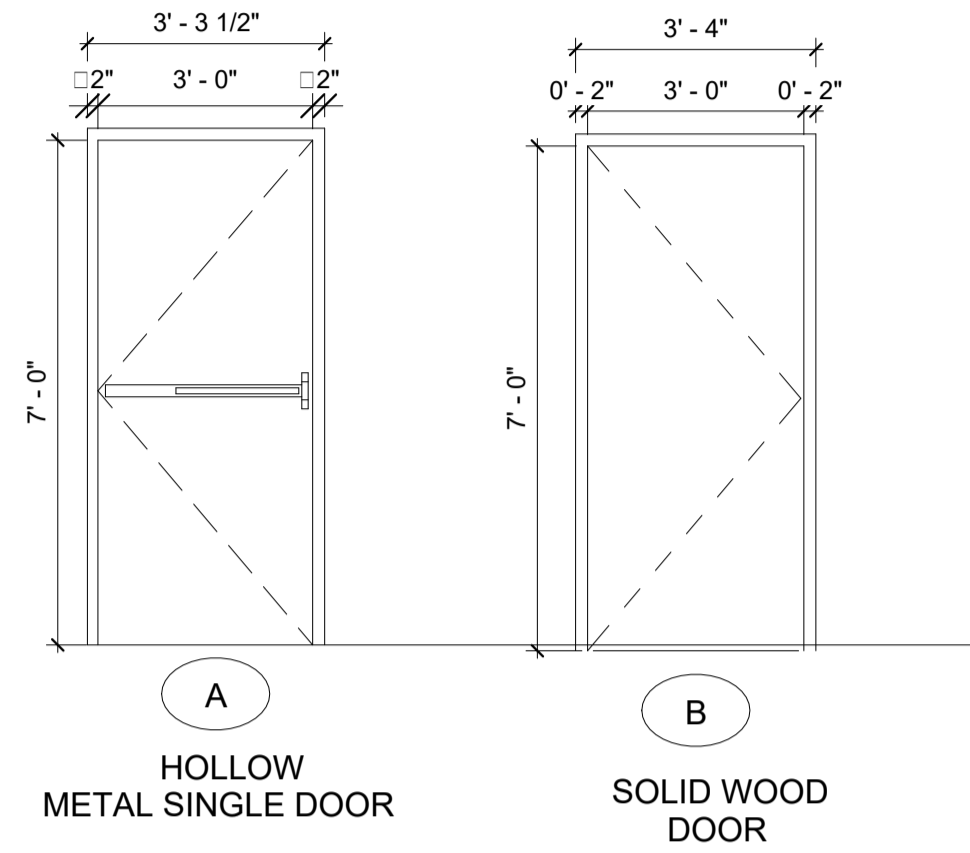
WALL PLAN LEGEND



DOOR SCHEDULE

DOOR TYPE	SIZE			FRAME MATERIAL	DOOR MATERIAL	HARDWARE SET
	WIDTH	HEIGHT	THICKNESS			
A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	HM	1
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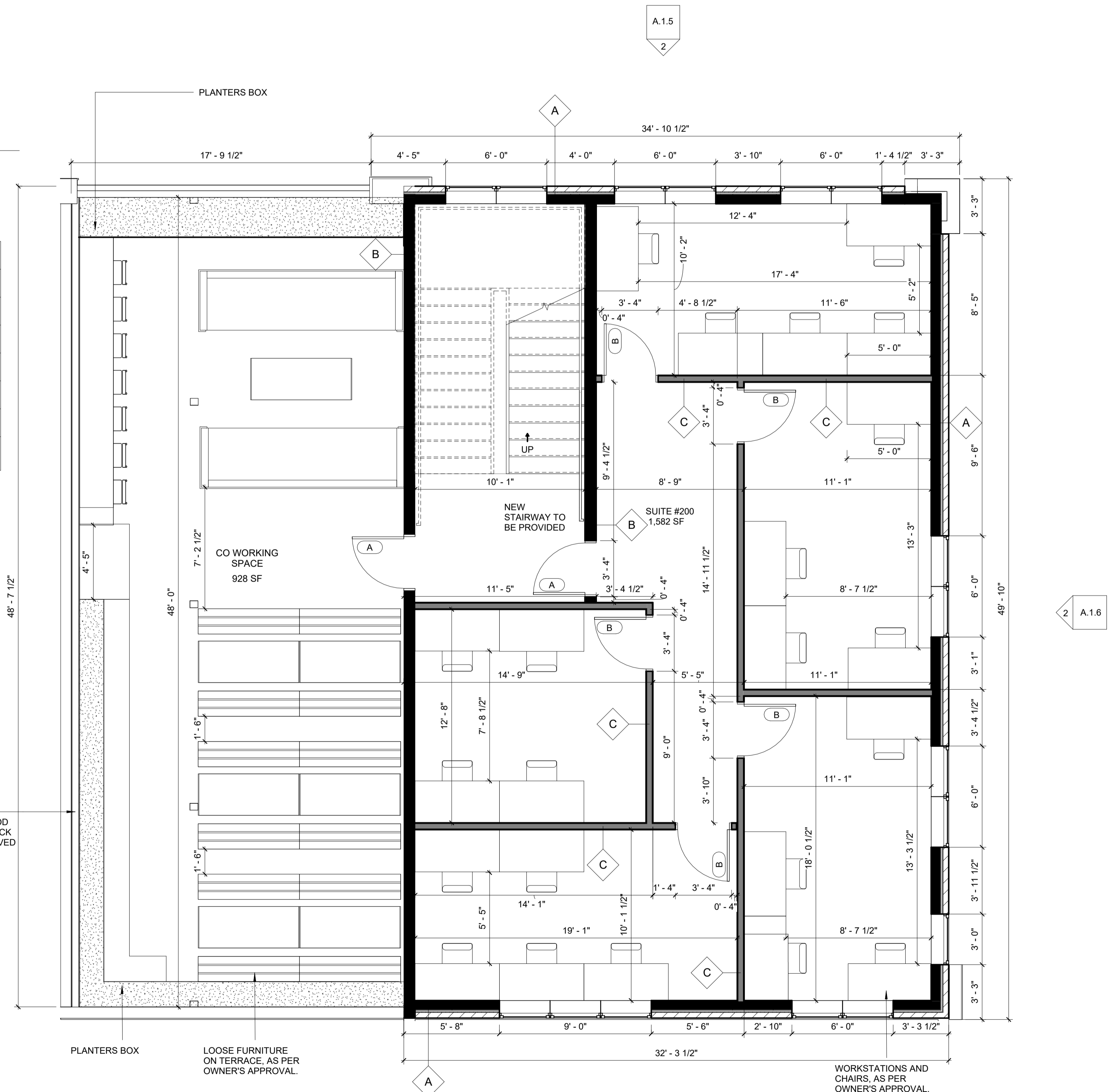


HARDWARE SCHEDULE

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		3'-0"x7'-0"x1 3/4" SOLID CORE WOOD, PAINTED 3 HINGES 3 GASKETING SILENCERS 1 SELF CLOSER 1 FLOOR MOUNTED DOOR STOP KNOCK-DOWN HOLLOW METAL FRAMES 1 ADA DOOR PULL BAR / PUSH PLATE

HEAD COUNTS

ROOM NAME	NO OF PERSON
OFFICE 1	5
OFFICE 2	4
OFFICE 3	4
OFFICE 4	5
OFFICE 5	4
TOTAL HEADCOUNTS FOR THIRD FLOOR = 22	



1 DIMENSIONED SECOND FLOOR PLAN
1/4" = 1'-0"

TYPICAL FLOOR PLAN NOTES:
 1. ALL INTERNAL PARTITIONS ARE DIMENSIONED FROM FINISHFACE TO FINISH FACES, UNLESS OTHERWISE NOTED.
 2. NOTIFY ARCHITECT IN WRITING OF CONFLICTS, DIMENSIONAL, OR OTHER DISCREPANCIES PRIOR TO PROCEEDING WITH WORK OR AREAS AFFECTED.
 3. DOOR JAMB LOCATIONS SHALL BE TYPICAL FROM ADJACENT WALL, UNLESS OTHERWISE MENTIONED. MAINTAIN DOOR CLEARANCES AS REQUIRED.
 4. UNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BE 1/4" UNLESS NOTED OTHERWISE

PROPOSED TENANT IMPROVEMENT WORK FOR CARTERSVILLE SHOPPING CENTRE

162 W. MAIN STREET
SUITE #200
CARTERSVILLE, GA. 30128

DRAWING RECORD	DESCRIPTION
07/16/2024	PERMIT SET

3D RENDERINGS, LLC

ARCHITECTURAL SERVICES,
DESIGN CONSULTANTS
CONTACT: premrenderings@gmail.com
912.596.5807

DESIGNER

DIMENSIONED SECOND FLOOR PLAN

A.1.2

CHECKED : KP DRAWN : MO
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INTERIOR PARTITION TYPES LEGEND

EXISTING WALL TO REMAIN UNALTERED.
 NEW WALL - SEE WALL LEGEND FOR SPECIFIC TYPES

A WALL TYPE A - (TYPICAL EXTERIOR WALL)(EX.) 6" METAL STUD AT 16" O.C. "FROM SLAB TO THE UNDERSIDE OF THE STRUCTURE UNLESS OTHERWISE NOTED, WITH ONE LAYER 5/8" GWB ON INTERIOR SIDE OF THE WALL, WITH BRICK CLADDING ON EXTERIOR, TAPE AND FINISH AS REQUIRED.

B WALL TYPE B - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO UNDERSIDE OF THE STRUCTURE - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.

C WALL TYPE C - (TYPICAL PARTITION) 6" METAL STUD AT 16" O.C. "FROM SLAB TO 12" ABOVE THE CEILING - SEE STRUCTURAL DRAWINGS FOR DETAILS", UNLESS OTHERWISE NOTED, WITH BOTH OF THE WALL 5/8" GWB ON EITHER SIDE OF WALL, TAPE AND FINISH AS REQUIRED.

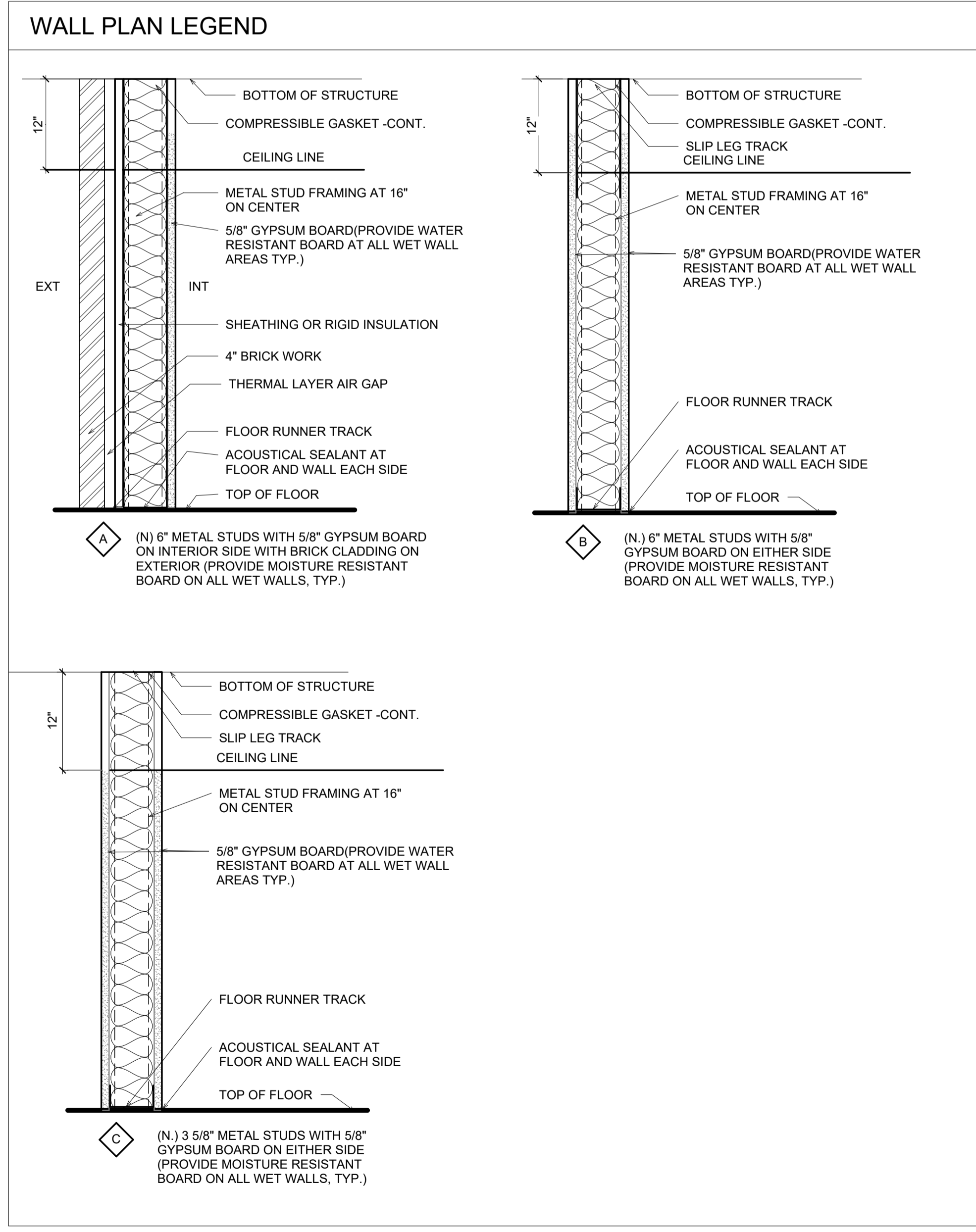
GENERAL SYMBOLS LEGEND

ROOM NAME
 ROOM NAME / NUMBER

DOOR NUMBER (ROOM - DOOR)

WALL TYPE INDICATOR

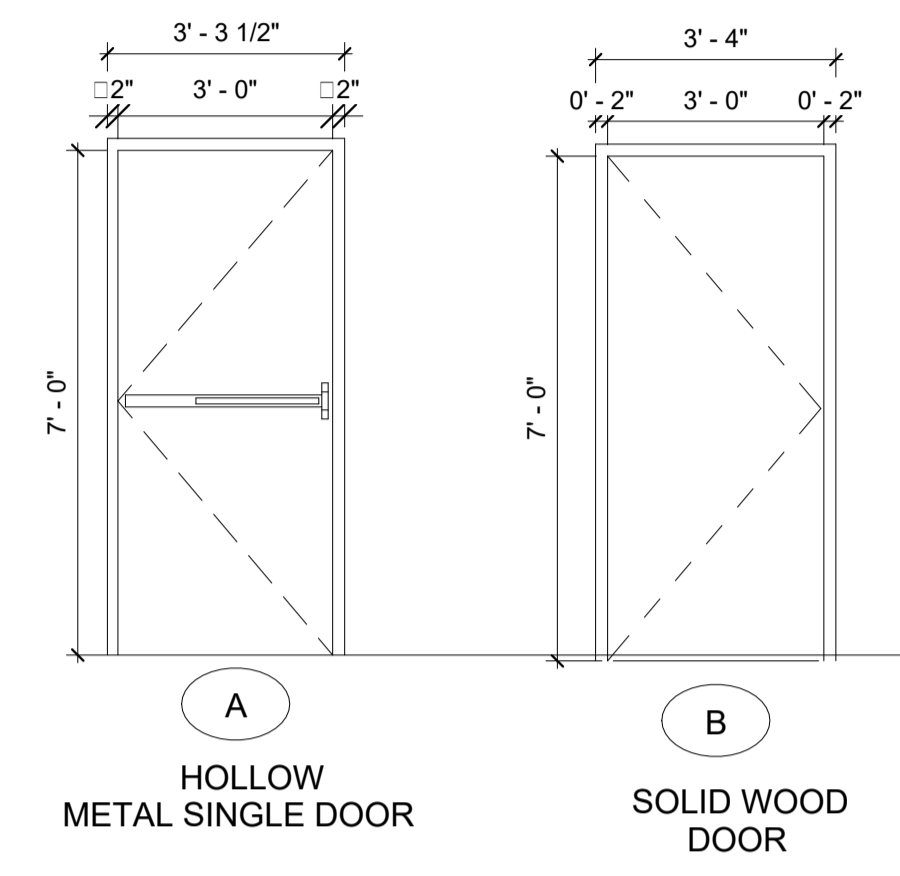
KEYNOTE ITEM



DOOR SCHEDULE

DOOR TYPE	SIZE			FRAME MATERIAL	DOOR MATERIAL	HARDWARE SET
	WIDTH	HEIGHT	THICKNESS			
A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	HM	1
B	3' - 0"	7' - 0"	0' - 1 3/4"	HM	HM	2

NOTE: GC TO MAKE SURE ALL DOORS HAVE 12" CLEAR AT THE PUSH SIDE AND 18" CLEAR AT THE PULL SIDE

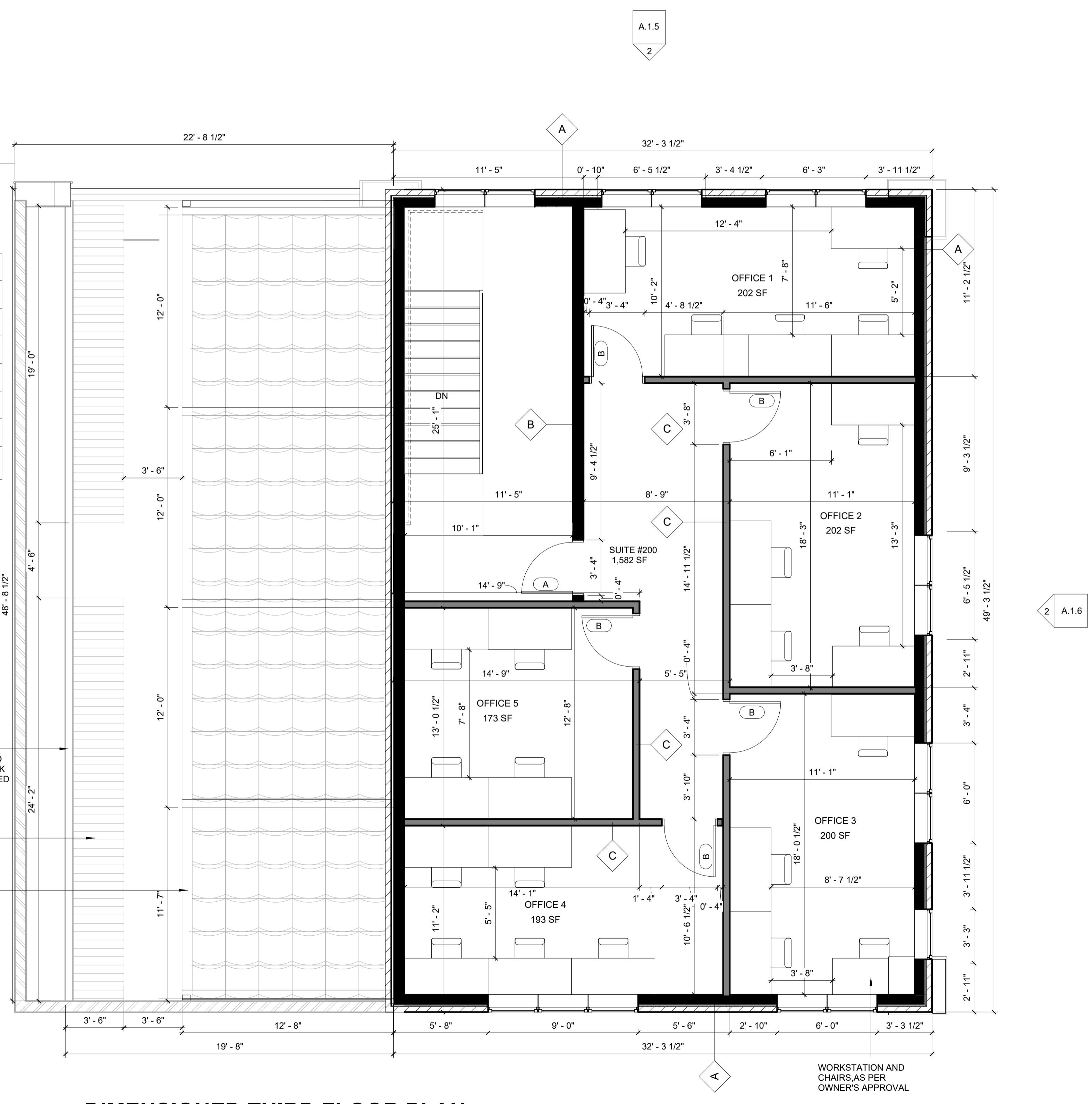


HARDWARE SCHEDULE

SET	ITEM
1.	3'-0"x7'-0"x1 3/4" HOLLOW METAL DOOR, PAINTED 3 HINGES 3 SILENCERS 1 CLOSER 1 - LEVER TYPE DOOR HANDLE WITH CYLINDRICAL ENTRY LOCKSET (ADA COMPLIANT) HAGER COMPANY 3500 SERIES LEVER HANDLE AUGUST STYLE STAINLESS STEEL FINISH. LATCH OPERATED BY LEVER FROM INSIDE AT ALL TIMES. KNOCK-DOWN HOLLOW METAL FRAMES GASKETING DRIP EDGE DOOR VIEWER & DOOR SWEEP THRESHOLD HAGER OR EQUAL EXIT DEVICE - 4701 32D EXIT ONLY - PANIC / KEYED. DETEX OR EQUAL ALAM - EAX 500W
2.	3'-0"x7'-0"x1 3/4" SOLID CORE WOOD, PAINTED 3 HINGES 3 GASKETING SILENCERS 1 SELF CLOSER 1 FLOOR MOUNTED DOOR STOP KNOCK-DOWN HOLLOW METAL FRAMES 1 ADA DOOR PULL BAR / PUSH PLATE

HEAD COUNTS

ROOM NAME	NO OF PERSON
OFFICE 1	5
OFFICE 2	4
OFFICE 3	4
OFFICE 4	5
OFFICE 5	4
TOTAL HEADCOUNTS FOR THIRD FLOOR = 22	



1 DIMENSIONED THIRD FLOOR PLAN
1/4" = 1'-0"

PROPOSED TENANT IMPROVEMENT WORK

FOR

CARTERSVILLE SHOPPING CENTRE

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DIMENSIONED THIRD FLOOR PLAN

A.1.3

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CEILING SYMBOLS LEGEND

CALLOUT	LEGEND	DESCRIPTION
ACT		2 X 2 ACOUSTICAL TILE CEILING SYSTEM
LT1		2 X 2 LAY IN CEILING LIGHT FIXTURE
LT2		2 X 2 LAY IN EMERGENCY CEILING LIGHT FIXTURE
ES-1		EMERGENCY EXIT LIGHT, BATTERY POWERED, WALL / CEILING MOUNTED.
		CEILING HEIGHT
EX.		INDICATES EXISTING TO REMAIN

RCP NOTES LEGEND

LETTER	NUMBER	DESCRIPTION
RCP	1	2 X 2 ACOUSTICAL CEILING TILE CEILING TO BE INSTALLED
RCP	2	2 X 2 CEILING LIGHT FIXTURE TO BE INSTALLED
RCP	3	2 X 4 LIGHT FIXTURE TO BE INSTALLED .
RCP	4	2 X 4 EMERGENCY EGRESS LIGHT FIXTURE TO BE INSTALLED
RCP	5	EMERGENCY EXIT SIGN, TO BE INSTALLED ABOVE THE ENTRY/EXIT DOOR.

TYPICAL REFLECTED CEILING PLAN NOTES

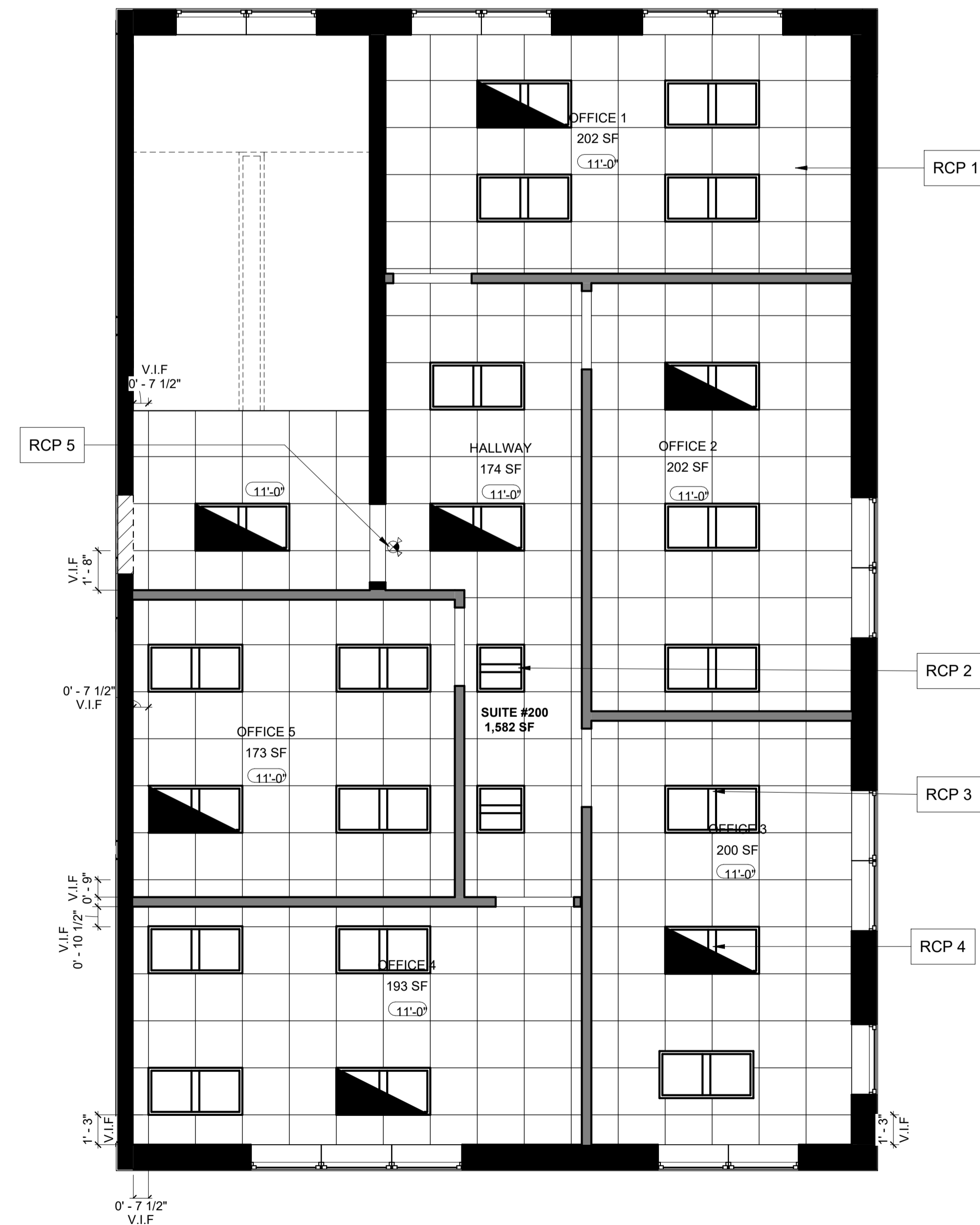
1. VERIFY ALL CEILING-MOUNTED EQUIPMENT, FIXTURES THAT ARE SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
2. DIMENSIONS SHOWN FOR FIXTURES ARE TO THE CENTER OF THE FIXTURE UNLESS NOTED OTHERWISE.
3. EXIT SIGN AND EMERGENCY LIGHT SHALL BE ON THE SAME CIRCUIT AS THE AREA FEEDING THE LIGHTING FOR THAT AREA. 2020 NFPA 70, SECTION 700.12 F(2) (3), THE BRANCH CIRCUIT FEEDING THE UNIT EQUIPMENT SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES.
4. CEILING GRID TO BE CENTERED TO THE ROOM. MAINTAIN 6" MINIMUM CEILING TILE WIDTH AT THE PERIMETER, UNLESS OTHERWISE NOTED
5. ALL CEILING HEIGHTS TO BE AT 11' 0" UNLESS OTHERWISE NOTED

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1 TYPICAL REFLECTED CEILING PLAN
1/4" = 1'-0"

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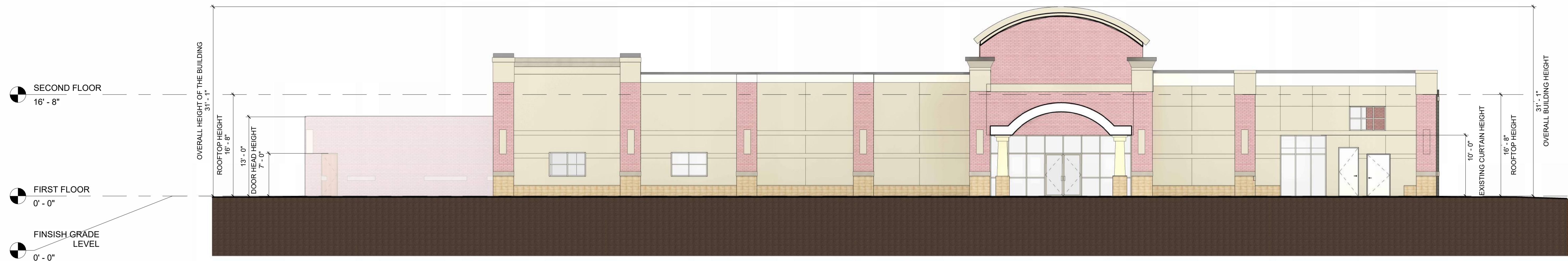
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TYPICAL REFLECTED CEILING PLAN

A.1.4

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1 EXISTING NORTH ELEVATION
1 : 100



2 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGENDS	
AW	PRE-FINISHED METAL AWNING - FINISH COLOUR - BLACK/ BRONZE
AW2	PRE-FINISHED METAL TRELLIS FRAME -FINISH COLOUR - BLACK/ BRONZE
BR	BRICK VENEER - TO MATCH EXISTING
E	EIFS DRYVIT - COLOR TO MATCH EXISTING
MC	PRE-FINISHED METAL COPING - BLACK/BRONZE
MV	CONCRETE SPLIT FACE STONE
P	PAINT - COLOR TO MATCH EIFS
W	PREFINISHED ALUMINUM WINDOWS WITH BLACK ANODIZED FRAME.

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ELEVATIONS

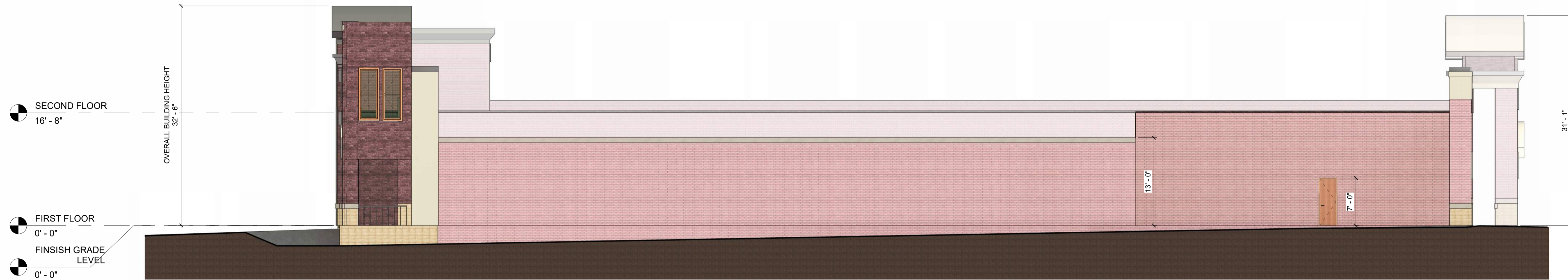
A.1.5

CHECKED : KP DRAWN : MO
RELEASED FOR CONSTRUCTION

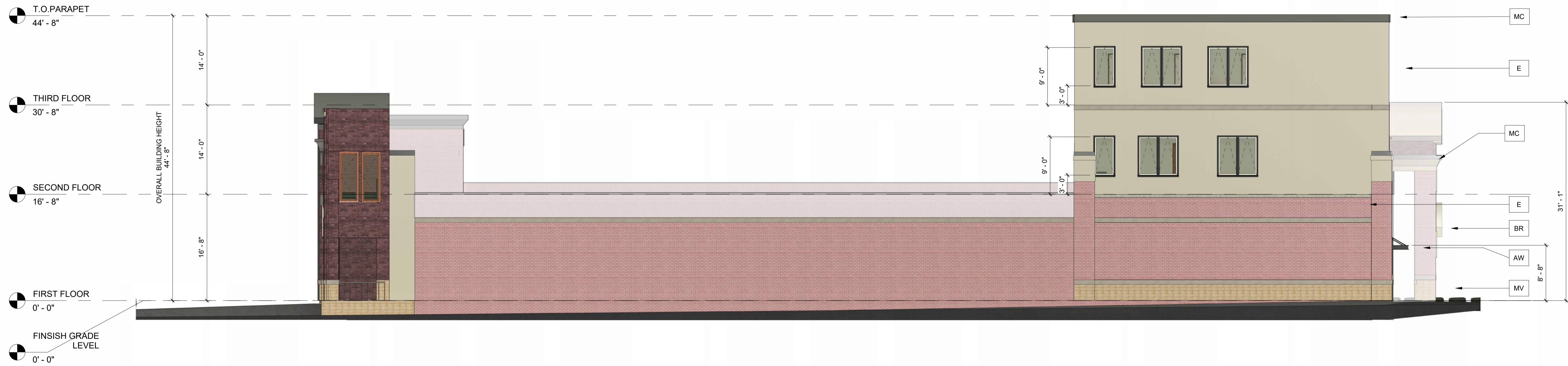
**PROPOSED TENANT
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DRAWING RECORD	DESCRIPTION
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1 EXISTING EAST ELEVATION
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
1/8" = 1'-0"

ELEVATION LEGENDS

AW	PRE-FINISHED METAL AWNING - FINISH COLOUR - BLACK/ BRONZE
AW2	PRE-FINISHED METAL TRELLIS FRAME -FINISH COLOUR - BLACK/ BRONZE
BR	BRICK VENEER - TO MATCH EXISTING
E	EIFS DRYVIT - COLOR TO MATCH EXISTING
MC	PRE-FINISHED METAL COPING - BLACK/BRONZE
MV	CONCRETE SPLIT FACE STONE
P	PAINT - COLOR TO MATCH EIFS
W	PREFINISHED ALUMINUM WINDOWS WITH BLACK ANODIZED FRAME.

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ELEVATIONS

A.1.6

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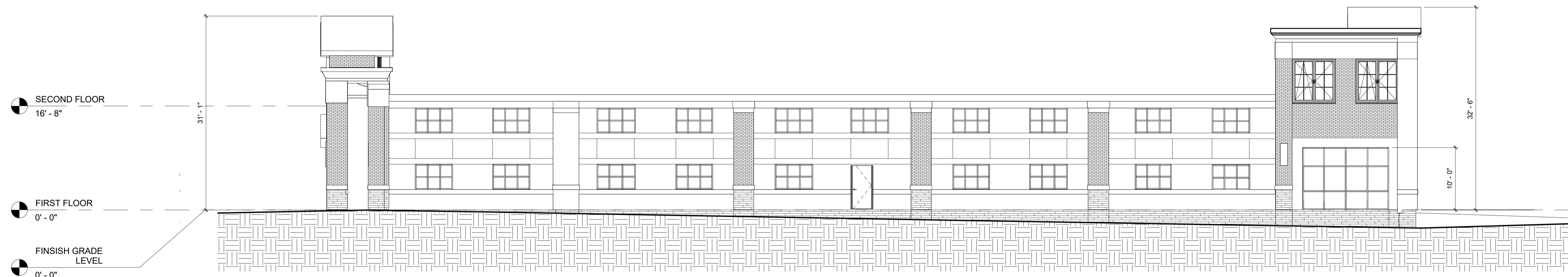
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1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 EXISTING WEST ELEVATION
1 : 100

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ELEVATIONS

A.1.7

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1 View 1

- THERMO FLUTED WOOD CLADDING-"THERMO RADIATA" BY WOODPLANK
- SLIDE ON WIRE AWNINGS
- WOODEN SIDING-FRASER WOOD SIDING "BEVEL CLASSIC"
- PAINTED GRAFFITI OVER BRICK VENEER
- BRICK VENEER-GLEN GERY BRICK "BARELY GREY KLAYCOAT"
- WOODED FLOORING "OAK WHITE FROST BY" SPAN FLOORS
- CONCRETE FLOORING



2 View 2

- SLIDE ON WIRE AWNINGS
- THERMO FLUTED WOOD CLADDING-"THERMO RADIATA" BY WOODPLANK
- BRICK VENEER-GLEN GERY BRICK "BARELY GREY KLAYCOAT"
- CONCRETE FLOORING
- WOODED FLOORING "OAK WHITE FROST BY" SPAN FLOORS

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3D VIEWS

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1 View 1



2 View 2

(N.) WOODEN SIDING-FRASER WOOD SIDING "BEVEL CLASSIC"

SLIDE ON WIRE AWNINGS

PAINTED GRAFFITI OVER BRICK VENEER

BRICK VENEER-GLEN GERY BRICK "BARELY GREY KLAYCOAT"

CONCRETE FLOORING

(N.)BRICK VENEER-GLEN GERY BRICK "BARELY GREY KLAYCOAT"

SLIDE ON WIRE AWNINGS

WOODEN SIDING-FRASER WOOD SIDING "BEVEL CLASSIC"

WOODED FLOORING "OAK WHITE FROST BY" SPAN FLOORS

CONCRETE FLOORING

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3D VIEWS

A.2.2

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