



City of Cartersville Historic Preservation Commission COP Application Staff Report

Case: COP24-19

HPC Meeting – 6-18-24

Application Information

Address: 178 W. Main St.
 Applicant: Matt Womack
 Zoning District: DBD
 Setbacks: Front: 0ft. Rear: 0ft. Side: 0ft.

Brief Description: Applicant proposes to demolish existing structure to construct (18) new townhomes. Also, variance, V24-17, to increase area and duration of (2) temporary signs.

Applicable Guidelines to Consider

Residential Design Guidelines	
<i>Part One: Maintaining, Repairing, Replacing Structures Contributing to a Historic District.</i>	
A. Wood	K. Utilities and Energy Retrofit
B. Masonry	L. Accessibility, Health, and Safety Considerations
C. Architectural Metals	M. Additions to Historic Buildings
D. Paint	N. Aesthetic Recommendations
E. Roofs	
F. Exterior Walls	PART TWO: New Construction
G. Driveways, Walkways, and Off-Street Parking	
H. Lighting	PART THREE: Relocation
I. Windows and Doors	
J. Entrances, Porches and Balconies	PART FOUR: Demolition
Commercial Design Guidelines (Historic Downtown Business District)	
	PART ONE: General Guidelines for Structures Contributing to the District.
X	PART TWO: Guidelines for New Construction.

The following scopes of work are proposed:

A. Demolition

1. Demolish existing brick building that fronts W. Main St. (recently used for city municipal court)
2. Demolish accessory structure (garage) to rear of site near Leake St.

B. New Construction

1. Construct (4) four new buildings containing a total of (18) 3-1/2 story, townhome units.
 2. Construct a mail kiosk.
 3. Construct new site amenities including driveways, parking areas, walkways, and landscaping.
- * See site plan and architectural elevations.

C. Sign Variance, File no. V24-17. BZA Agenda July 11th.

1. Increase area of (2) temporary banners from the allowed 32sf to 76sf. (4ft x 19ft)
2. Increase duration of (2) temporary banners from the allowed 14 days to end of construction or until temporary fencing is removed.

History of the Property- The primary structure was constructed c.1960 according to the Bartow County Tax assessor's records. There is no date provided in the GHRS survey.

COPs on file:

No COPs on file.

Analysis of the COP:

The existing primary structure is Historic, Non-Contributing. Generally, the proposal is to construct (18) 3-1/2 story, townhomes within four building units on the 1.6 acre site. The city sold the property to Womack Custom Homes in February 2024 after an extended period for an RFP process and developer due diligence.

Demolition

The existing primary structure is a single story, brick structure that is known to have served as a funeral home, the city police station and the city municipal courthouse. The floor area of the building is stated as 11,467sf per the tax records. The accessory structure near Leake St. is labelled as a garage with dimensions of 27ft x 37ft constructed in 1985.

Both structures are required to be demolished for the townhome development.

All existing trees on site will also be removed. See demolition plan.

New Construction. Plans for Buildings 1 to 3 provided.

Plans and elevations for Buildings 1 to 3 are provided. Plans and elevations for Building 4 will be provided for review at a later date.

The building units are rear -access (2 car garages in rear). Building 1 will front W. Main St. Buildings 2 and 3 will face each other and create a lawn area between the front facades. Building 4 will front the residential property at 139 Leake St. Driveway access is provided from Bartow St and Leake St. Limited gated access will be provided from the existing driveway on W. Main St.

The entry driveways are asphalt. Concrete will be used for sidewalks and unit driveways.

Buildings 1 to 3 will have townhomes with 26ft x 28ft footprints. Building 4 townhomes will have 24ft x 40ft footprints.

All townhomes are primarily brick with some lap siding used in vertical and horizontal configurations. Doors are presented as either 3/4 or full-lite doors. French doors are also utilized. Windows are shown to have a 2/2 pane configuration. Per the side elevations, several windows are portrayed as faux windows.

The primary roofs will be asphalt shingle. Metal roofs are introduced over the ground floor and rooftop terraces.

Balconies with metal railings are introduced on the rear side of the townhomes.

This project will be the first townhome project in the DBD and the first significant residential project since the condominium apartments were constructed at 148 W. Main St. c.2004.

Commissioners Work Sheet

Materials:

	Existing Materials	Materials to be Used
Roof		Asphalt Shingle & Metal (porch)
Siding (Lap)		Wood or cement
Windows		Vinyl (Assumed)
Doors		Metal, Composite or Wood
Exterior Lighting		Metal
Foundation		Conc. slab
Decking		
Steps		Brick/ concrete
Porches		Wood/composite columns/handrails
Ornamentation		Wood/ composite

Sign Variance

The applicant was permitted and has installed (2) 4ft x 19ft vinyl banners, categorized as Temporary Event Signs, along the W. Main St and Bartow St. security fencing. The banners are to announce and inform the public about the project. The banners are expected to remain on site and attached to the security fencing until the end of the construction process when the fencing can be removed. The banners exceed the 32sf. area minimum allowed by the sign ordinance, Sec. 20-28 (5) and the 14 day duration allowed by Sec. 20-28 (1).

The applicant has applied for a variance to increase these requirements for the duration of the townhome construction. Variance, V24-17, will be heard at the BZA meeting on July 11th.

Sign ordinance Sec. 20-27, DBD Sign regulations, does not include guidance for temporary event signs nor does this section prohibit temporary event signs.

At this time, the banners have been installed longer than the allowed 14 days, but staff agreed to allow the banners to remain until the HPC and BZA boards can review and rule on the variance request.

I move to (approve, approve w/ conditions, or deny) the application for (state proposed changes) at (address) (as submitted, or with the following conditions). I find (compliance or noncompliance) with the guidelines referenced in the staff report and those brought up during discussion.

Sec. 9.25-52. Downtown Business Historic District.

The City Council of the City of Cartersville adopts the Downtown Business Historic District as indicated herein.

Sections (a) to (c) omitted.

- (d) *Design standards.* The following design standards are adopted for the Downtown Business Historic District:

CARTERSVILLE
HISTORIC PRESERVATION COMMISSION
DOWNTOWN BUSINESS HISTORIC DISTRICT
GENERAL STANDARDS

INTRODUCTION

The following Downtown Business Historic District Design Standards are intended to identify the character-defining features of a site or structure used in determining the compatibility of the proposed alteration, repair, renovation, rehabilitation or restoration of an existing structure or the construction of a new structure regarding the appropriateness of the size, location, materials, style, rhythm, and any other quality deemed as contributing to the character of a historic property or structure as determined by the Historic Preservation Commission (Commission).

For items not addressed by the following standards or guidelines, the Commission will refer to the *U.S. Department of the Interior, Secretary of the Interior Standards for the Treatment of Historic Properties*, latest edition, for guidance.

Preservation of character-defining elements of historic buildings is a priority, and alterations and repairs should accurately represent the historic qualities of the buildings. Original documentation shall be used for restoration work, if available. Where original documentation is unavailable, interpretations of similar elements that occurred in the area may be considered.

In filing for a Certificate of Preservation all standards shall be complied with and so demonstrated on said application and supporting documentation. Guidelines, as indicated herein, may or may not be demonstrated in the application or supporting documentation for a Certificate of Preservation. Maintenance recommendations, if any, are included for informational purposes only and are not required to be included in an application for a Certificate of Preservation and as such shall not be considered by the Commission in reviewing said applications.

PART 1—EXISTING STRUCTURES- Omitted

PART TWO—NEW BUILDING CONSTRUCTION

1. *Building form and scale:*
 - A. Any new building constructed in the Downtown Business Historic District will make a significant visual impact on the streetscape. It is important to consider the character and scale of the surroundings and adjacent buildings to insure the new structure will be compatible. New buildings shall appear similar in mass and scale to historic structures in the area. Use building forms and roof forms that match those used historically.
 - B. Building height shall be comparable to adjacent structures. Where new building facades will be wider than those found traditionally, subdivide the surface into proportions similar in scale to

historic facades by varying setback, roof forms, and materials. New construction shall be sensitive to the size, scale, proportion, material, shape, texture, and rhythm of its neighbors.

2. *Reconstruction:*

- A. Infill designs should not attempt to duplicate the period and style of the adjacent buildings, or try to look "old" by using period proportions and materials. The designs should complement the buildings in the area but represent the style of the period in which it is built.
- B. Reconstruction may be considered as a treatment when: 1) a contemporary depiction is required to understand and interpret a property's historic value, (2) no other property with the same associative value has survived; and, 3) when sufficient historical documentation exists to ensure an accurate reproduction.

3. *Building orientation and site placement:*

- A. New buildings will respect the placement of nearby historic buildings by being placed at a setback equal to that of nearby similar historic buildings or similar buildings within the district. It is required to align new buildings with the established setbacks of the area. Nontraditional lots can be given special consideration by the HPC.
- B. Buildings with party walls, such as those along Wall Street, Main Street, Public Square, and East Church Street (under the bridge) shall maintain zero lot line placement. New buildings on these streets will not have side setbacks, but will use party walls.

4. *Entrance orientation:*

New construction will face the same street as nearby similar buildings. Respect traditional designs used for building entrances of similar buildings in the district, using, for example, a recessed entrance where appropriate.

5. *Windows:*

The size and proportion of window and door openings of a building shall be similar to those on surrounding facades. The same applies to the ratio of window area to solid wall for the facade as a whole. Maintain the rhythm of the surrounding windows.

6. *Materials:*

- A. Use building materials that are similar to those employed historically for all major surfaces. Brick, stone and terra cotta may be used in unlimited quantities.
- B. Wood may be used on the first story (store-front level) for architectural elements such as pilasters, cornices, decorative raised panels, etc., but wood shall not be used as a general siding material.
- C. Concrete and precast concrete use is limited to architectural elements such as window hoods, cornices, columns and capitals. Glazed block or ceramic tile may be used as accent material only.
- D. Prohibited materials on building facades include metal, aluminum, or vinyl siding and preformed panels, or porcelain or baked enamel metal panels. Other materials may be used if their appearances are similar to those of historic building materials.

7. *Plant beds and plantings:*

The goal is to beautify the district and make it more pleasant for pedestrian traffic. Locate plantings in traditional areas of the site, such as along fences, walks, and foundations. Well-maintained concrete planters that harmonize with nearby buildings and existing streetscape are recommended.

8. *Walls and fences:*

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- A. The goal is to maintain the pattern of existing fencing in the Downtown Business Historic District and to use fencing and walls to screen parking and storage areas. Maintain traditional fence lines or dominant fence lines in the vicinity. New fence and wall designs shall be appropriate for the primary structure and reinforce the pedestrian scale instead of forming barriers or exclusionary walls.
 - B. Privacy fences shall not be placed flush with the facade of a building.
 - C. New fences should limit their impact by being placed behind the rear elevation and by using traditional materials, such as wood. Any obtrusive fence shall be further screened from public view by evergreen vegetation or a second traditional fence.
9. *Pavement:*
- Historic walks and drives shall be repaired rather than replaced. If replacement is required, new materials shall match the original in placement, composition, design, texture and other visual qualities as determined by the Commission.
10. *Parking lots:*
- A. Parking lots shall not be allowed in the front yard. Side or rear locations are required. Plan parking lots to be subdivided into small components so that the visual impact of large paved areas is reduced. Include islands of plantings in the interior of lots, and provide planting buffers at the edges of parking lots.
 - B. If walls are required to screen parking lots, then they shall be constructed at a height that screens parked vehicles. The facade line of nearby historic buildings shall be maintained. Traditional materials, such as brick, shall be used.
11. *Service areas and equipment:*
- Screen service equipment and trash containers from public view. The visual impact of mechanical and electrical equipment shall be minimized. (See also walls and fences).
12. *Signs:*
- A. Signs shall be subordinate to the architecture and overall character throughout the district. Sign materials shall be compatible with the building materials. The types and sizes of signs allowed are defined in the sign ordinance of the City of Cartersville.
 - B. Position flush-mounted signs so they will fit within architectural features. Locate flush signs so they do not extend beyond the outer edges of the building front. Avoid obscuring ornament and detail.
 - C. Locate projecting signs along the first floor level of the facade. Positions near the building's entrance are encouraged. Locate pole-mounted signs in landscaped areas.
 - D. Where several businesses share a building, coordinate the signs. Align several smaller signs, or group them onto a single panel. Use similar forms or backgrounds for the signs to visually tie them together.
13. *Additions:*
- A. New additions shall not obscure or confuse the essential form and character of the original building. Exteriors shall be compatible with the size scale, material, and character of the main building and its environment.

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- B. New additions shall not be allowed that would hinder the ability to interpret the design character of the historic period of the district. Site additions back from the building front so they will not alter the historic rhythm of building fronts.
 - C. When locating additions to historic buildings, maintain the pattern created by the repetition of building fronts in the area. Locate additions so they will not obscure or damage significant ornamentation or detail. Special moldings, decorative windows, or dormers shall be preserved. Generally, additions shall be sited to the side or rear of the original structure.

14. *Demolition:*

- A. Before demolition, one shall submit a site plan to the Commission for review that illustrates the proposed site development or plantings to follow demolition.
- B. During and after demolition, protect the trees on the site from damage due to compaction of the soil by equipment or materials.
- C. After demolition, clear the site promptly and thoroughly. Plant or develop the site promptly as approved in the proposed site plan.

(e) *Effective date.* This district shall become effective on April 1, 2004.

(Ord. No. 04-04, § 2, 2-5-04; Ord. No. 03-20, § 1, 3-5-20)

Sec. 20-27. - DBD sign regulations.

All signs under this section require a permit. The standards and requirements of this section shall be in addition to city-wide standards and requirements. In the event of conflicting regulations, the standards and requirements of this section shall take precedence.

(1) *General regulations.*

- a. *Banners.* No more than one (1) banner, not to exceed thirty-two (32) square feet in area, may be displayed at each place of business and shall be securely attached to the facade of a building. A registration permit is required, at no cost, and such banners shall be displayed for a period not to exceed thirty (30) days.
- b. *Color.* For all signs in the DBD district, fluorescent colors shall not be used. Such signs shall not contain more than five (5) colors, except in instance of an illustration.
- c. *Freestanding signs.* One (1) freestanding sign shall be allowed on each property frontage, not to exceed six (6) feet in height, and shall not exceed twenty-four (24) square feet in area. Electronic freestanding signs which exhibit animation, blink, change copy, display moving pictures or images, flash, contain light emitting diode (LED), and/or contain liquid crystal display (LCD) shall be prohibited.
- d. *Pole banners.* Such banners shall not exceed twelve and one-half (12-1/2) square feet in area; shall have a maximum width of two and one-half (2-1/2) feet and a maximum height of five (5) feet; shall have a minimum display height from the bottom edge of the banner to the ground of eight (8) feet; and shall have a maximum display height of twenty-five (25) feet measuring from the top edge of the banner to the ground. Such banners attached to public utility poles or light poles shall be approved by the appropriate city department prior to attachment.
- e. *Projecting signs.* A business shall be allowed to attach one (1) projecting sign to a building facade which fronts a public right-of-way with the following stipulations:
 1. The sign shall not exceed an area of six (6) square feet.
 2. The horizontal dimension of the sign shall not exceed three (3) feet.
 3. The sign shall be attached perpendicular to the building wall.
 4. The distance from the ground to the lower edge of the sign shall be a minimum of seven (7) feet over a sidewalk and a minimum of thirteen (13) feet over a street or driveway.
 5. The distance from the building wall to the sign shall not exceed six (6) inches.
 6. The height of the top edge of the sign shall not exceed the height of the wall from which the sign projects, if attached to a single story building, or the height of the sill or bottom of any second story window, if attached to a multi-story building.

7. The sign may be directly or indirectly lighted, however, direct lighting shall be of the sign copy only. Animated illumination or effects, blinking, flashing, rotating, and/or scrolling projecting signs shall be prohibited.

f. *Wall signs.*

1. Wall signs shall have an aggregate area not to exceed two (2) square feet for each linear foot of building face, not to exceed two hundred (200) square feet in area. Canopy and awning signage shall be deducted from allocated wall sign area.
2. No wall sign shall be closer than eighteen (18) inches to an adjacent property line and shall not be installed or extend over a party wall.
3. Wall signs shall not obscure important architectural details or features such as windows, transom panels, sills, moldings and cornices.
4. Wall signs shall be no greater than twenty-four (24) inches in height (excludes permanent window signage).
5. Animated illumination or effects, electronic, blinking, flashing, rotating, and/or scrolling wall signs shall be prohibited.

- g. *Window signs.* Each ground level business having windows directly oriented to a street may use all of that glass area as one (1) allowable sign, but no single window shall be covered more than thirty (30) percent. Electronic window signs in the downtown business district (DBD) shall be no greater than four (4) square feet in area and shall only be stationary.

(2) *Maintenance and appearance of signs.*

- a. All signs in the DBD zoning district shall be maintained in good condition, so as to present a quality and orderly appearance. The city finds that neglected or dilapidated signs in the DBD zoning district may adversely affect the public health, safety and welfare. Such signs may adversely affect the aesthetic characteristics of the city and may adversely affect public safety due to the visual impact of said signs on motorists and the structural characteristics of said signs.
- b. Signs shall be considered neglected or dilapidated signs if any of the following conditions are present: Rust or holes on or in the sign or sign structure; broken, missing, loose or bent parts; faded or flaking paint; nonoperative or partially nonoperative illuminating or mechanical devices; or missing letters in sign copy.
- c. The planning and development department, after due notice, may have any sign removed which shows gross neglect or becomes dilapidated. Said notice shall be given to the property owner and current tenant by first class mail, with proof of mailing obtained from the post office. Proof of mailing means either a first class "certificate of mailing" or a first class "certified mail" receipt; a proof of delivery is not required. Only an owner reflected

on the records of the tax assessors as of January 1st of the applicable year shall be entitled to notice. The zoning administrator or designee shall give the owner thirty (30) days' written notice to correct the deficiencies or to remove the sign or signs. If the owner refuses to correct the deficiencies or remove the sign, the zoning administrator or designee may have the sign removed at the expense of the owner.

(3) *Prohibited signs in the DBD district in addition to section 20-22*

- a. Animated illumination or effects, electronic, and/or flashing signs, unless noted above.
- b. Billboards.
- c. Signs painted directly onto roofs, retaining walls, fences or building facades or walls.
Commemorative wall signs of historical significance are exempt from this provision.
- d. Streamers.

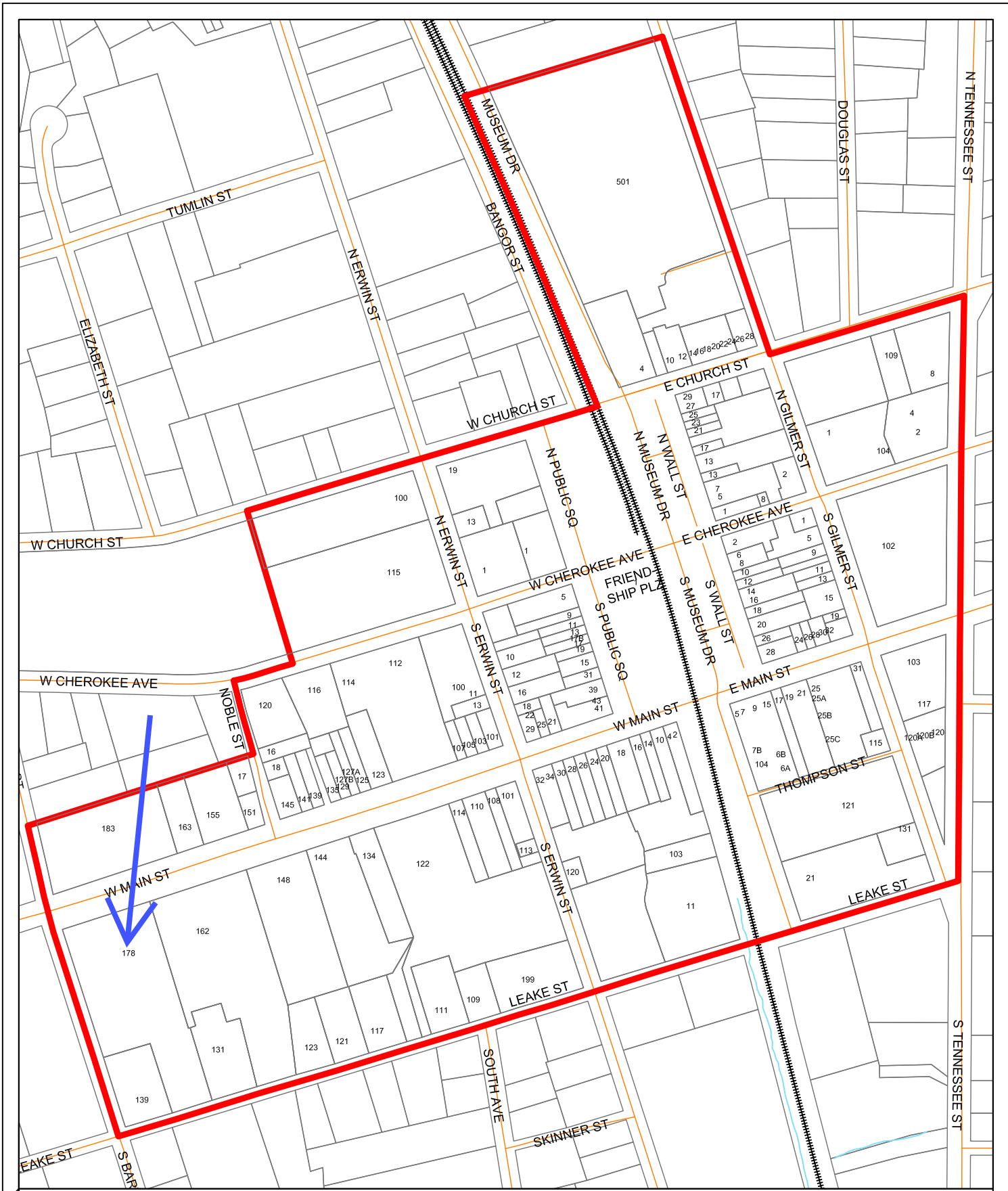
(Ord. No. 26-12, 5-3-12; Ord. No. 01-15, § 8, 3-5-15)

Sec. 20-28. - Temporary event signs.

Businesses and institutions may exhibit balloons, banners, flags or streamers related to an activity or event having a specific duration, or the end of which is related to a specific action, usually lasting only a few days at a time. Examples include grand opening events, seasonal sales events, and close-out sales. Such signs must comply with the following provisions:

- (1) *Duration.* Such signs may be exhibited for no more than fourteen (14) days at a time, with a thirty-day separation period between events, and no more than one (1) time each calendar year on the same property. A new business owner who obtains a new business license (occupational tax certificate) may be eligible to hold a temporary event, even if a former business has held an event earlier on the same property in the same calendar year.
- (2) *Maintenance.* No person shall maintain or permit to be maintained on any premises owned or controlled by that person any temporary event sign which is in a dangerous and defective condition. Any such sign shall be removed or repaired by the permittee of the sign, the owner of the premises, or as otherwise provided for in this article.
- (3) *Permit.* A temporary event permit is required along with a fee per fee ordinance.
- (4) *Setback.* All such signs and devices shall be set back a minimum of five (5) feet from public road right-of-way.
- (5) *Size.* Banners and portable signs shall be a maximum of thirty-two (32) square feet in area.

(Ord. No. 26-12, 5-3-12)



City of Cartersville

Downtown Business District Historic District





Legend
 □ Parcels
 — Roads

Parcel ID	C002-0002-013	Alternate ID	32096	Owner Address	CITY OVERLOOK CARTERSVILLE LLC
Sec/Twp/Rng	n/a	Class	Exempt		PO BOX 3603
Property Address	178 W MAIN ST	Acreage	1.6		CARTERSVILLE, GA 30120
District	Cartersville				
Brief Tax Description	LL483 D4 Cartersville Police Department				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 6/12/2024
 Last Data Uploaded: 6/11/2024 10:41:29 PM

Developed by Schneider
 GEOSPATIAL



Overview



Legend

- Parcels
- Roads

Parcel ID	C002-0002-013	Alternate ID	32096	Owner Address	CITY OVERLOOK CARTERSVILLE LLC
Sec/Twp/Rng	n/a	Class	Exempt		PO BOX 3603
Property Address	178 W MAIN ST	Acreage	1.6		CARTERSVILLE, GA 30120
District	Cartersville				
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	(Note: Not to be used on legal documents)				

Date created: 6/12/2024
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**Cartersville Historic Preservation Commission
CERTIFICATE OF PRESERVATION APPLICATION**

*Applicant: City Overlook Cartersville

Project Address: 178 W Main St

Mailing Address (if different than project address):

PO Box 3603; Cartersville, GA 30120

Phone: 678 776 6872

Email: matthew@womacustomhomes.com

*NOTE: If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owners phone number and address.

PROCEDURE

Application Requirements

All Applications must be complete and include support materials listed on the reverse of this form and a \$25 non-refundable application fee.

Application Deadlines

See 3rd page of application for application submittal deadlines.

Application Representation

The applicant or authorized representative of the applicant should attend the public hearing to support the application.

Building Permits Requirements

In Addition to a COP application, building permits must be acquired from the Community Development Department. Building permits will not be issued without proof of a COP.

Deadline for Project Completion

After approval, the COP is valid for 18 months and void if construction does not begin within 6 months of approval.

Office Use Only	
Case Number	<u>COP24-16</u>
Date Received	<u>5-8-24</u>
Contributing	<u>N- c1960</u>
Zoning	<u>DBD</u>
Legal Advertisement	_____
Notified Adjacent	<u>6-11-24</u>
HPC Hearing	<u>6-18-24</u>
HPC Decision	_____
COP Expiration	_____
Project Completion	_____
Tax Parcel	<u>C002-0002-013</u>

P
R
O
J
E
C
T

Existing Building Type:

Residential

One, Two or Multi-family Townhomes
Garage, Storage _____

Commercial

Other _____

Brief Project Description (example: addition of sunroom, installation of fence):

Townhome development

I
N
F
O
R
M
A
T
I
O
N

Type of Project (check all that apply):

New building

Addition to building

Relocation of building(s)

Demolition

Fence(s), wall(s), landscaping

Minor exterior change

Major restoration, rehabilitation, or remodeling

Other _____

Start Date: January 2025 (vertical)

Anticipated Completion: June 2026

Contractor/Consultant/Architect: Womac Custom Homes

AUTHORIZATION

In consideration for the City of Cartersville's review of this application for a proposed change to a locally designated property, the applicant agrees to hereby indemnify and hold harmless the City and its' agents and employees from and against any and all claims, damages, and/or liability arising from or related to this application or any issuance of a permit hereunder.

Date 5/8/24

Signature _____

APPLICATION CHECKLIST

The following list includes the support material necessary for review of a particular project.

New Buildings and New Additions

- site plan
- architectural elevations
- floor plan
- landscape plan (vegetation not required)
- description of construction materials
- photographs of proposed site and adjoining properties

Major Restoration, Rehabilitation, or Remodeling

- architectural elevations or sketches
- description of proposed changes
- description of construction materials
- photographs of existing building
- documentation of earlier historic appearances (restoration only)

Minor Exterior Changes

- description of proposed changes
- description of construction materials
- photographs of existing building

Site Changes – Parking areas, Drives, Walks

- site plan or sketch of site
- description of construction materials
- photographs of site

Site Changes – Fences, Walls, Systems

- site plan or sketch of site
- architectural elevations or sketches
- description of construction materials
- photographs of site

Site Changes – Signs

- specifications
- description of construction materials and illumination

Demolition

Must include a complete plan for the new development.

- timetable
- demolition budget
- new construction budget
- evidence of adequate financing

NOTE: Only complete applications will be placed on the agenda for design review. Submit to:

City of Cartersville
Planning and Development Department
P.O. Box 1390
Cartersville, GA 30120

PROJECT DESCRIPTION

Include support materials and attach additional sheets if needed. If the proposed scope of work will involve more than one type of project, please divide the description. [Example: (1) Addition to rear (2) New roof]

demolish old police station
& rear block building
remove trees & asphalt
construct roads & infrastructure
for 18 townhomes
Plans submitted

Add: Variance V24-17 to increase the sign area
and duration for (2) temporary event signs.

PRECEDENCE OF DECISIONS

Each application will be considered on its own merit with reference to the Secretary of the Interior's Standards and the Commission's published Design Standards. While the Historic Preservation Commission may consider past actions when making decisions on an Application for a Certificate of Preservation, it is not held by those decisions when considering new application that may appear similar in character.

SITE DATA:

OWNER/DEVELOPER: CITY OVERLOOK CARTERSVILLE, LLC
 P.O. BOX 3603
 CARTERSVILLE, GA 30120
 PHONE: 678-776-6872
 24-HR CONTACT: MATT WOMACK
 EMAIL: matt@womackbros.com

ENGINEER: STEPHENSON ENGINEERING, INC.
 P.O. BOX 20088
 CARTERSVILLE, GEORGIA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

BOUNDARY SURVEYOR: SMITH & SMITH LAND SURVEYORS, P.C.
 2 SOUTH AVENUE
 CARTERSVILLE, GA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

TOPOGRAPHIC INFORMATION: SMITH & SMITH LAND SURVEYORS, P.C.
 2 SOUTH AVENUE
 CARTERSVILLE, GA 30120
 PHONE: 770-382-0457
 EMAIL: smithasm@belbouth.net

SITE AREA: SITE +/- 1.66 ACRES

DISTURBED AREA: 170 ACRES (INCLUDING OFFSITE AREAS)

IMPERVIOUS SURFACE: 105 AC +/- 45,738 SF (PROPOSED SITE)

PROPOSED USE: TOWNHOMES (8 TOTAL)

ZONING: DBD (DOWNTOWN BUSINESS DISTRICT)

FLOOD NOTE: THIS TRACT OF LAND DOES NOT LIE WITHIN THE 100 YEAR FLOOD INTERMEDIATE FLOOD ZONE AS PER FEMA COMMUNITY PANEL #13015C0266H, LAST REVISED OCTOBER 5, 2018.

DEVELOPMENT STANDARDS:

MINIMUM FRONT YARD: NONE

MINIMUM SIDE YARD: NONE

MINIMUM REAR YARD: NONE

MAXIMUM HEIGHT: BUILDINGS SHALL BE NO HIGHER THAN 45 FEET OR 3 STORIES, WHICHEVER IS HIGHER



LOCATION MAP

PRELIMINARY PLAT APPROVAL CERTIFICATE

All requirements of the City of Cartersville Development Regulations relative to the preparation and submission of a Preliminary Plat having been fulfilled, approval of this plat is hereby granted subject to further provisions of said Regulations. This certificate is effective for 24 months from the date of signing unless a Final Plat is recorded.

 Planning Commission Chairman

 Date

24 Hr Emergency Contact:

Matt Womack
 678-776-6872

***** ELEVATION NOTE *****

TOPOGRAPHIC INFORMATION PROVIDED BY SMITH & SMITH LAND SURVEYORS, P.C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING AND PROPOSED ELEVATIONS, GRADES ON STREET, STORM DRAINS, AND UTILITIES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND THEN IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER.

***** CAUTION *****

THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. IF THERE ARE ANY DISCREPANCIES THE ENGINEER MUST BE NOTIFIED. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

*****INSTALLATION OF INFRASTRUCTURE *****

THE OWNER/DEVELOPER AND CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE INSTALLATION OF ANY AND ALL INFRASTRUCTURE SHALL COMPLY TO ALL CITY OF CARTERSVILLE AND ANY APPLICABLE UTILITY COMPANY, RULES, REGULATIONS AND SPECIFICATIONS. THIS REQUIREMENT APPLIES TO ALL MATERIALS, INSPECTIONS, AND INSTALLATION PROCEDURES REQUIRED FOR THIS PROJECT BY ANY DEPARTMENT OF THE CITY OF CARTERSVILLE. THIS MAY INCLUDE REQUIREMENTS THAT ARE NOT SHOWN IN SPECIFIC DETAIL ON THIS PLAN, BUT ARE STILL REQUIRED BY THE CITY OF CARTERSVILLE. IF THERE IS ANY QUESTION PERTAINING TO THIS REQUIREMENT, THE OWNER/DEVELOPER AND CONTRACTOR MUST CONTACT THE APPROPRIATE DEPARTMENT TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH ALL SPECIFICATIONS.

*****CARTERSVILLE GAS & UTILITIES NOTE*****

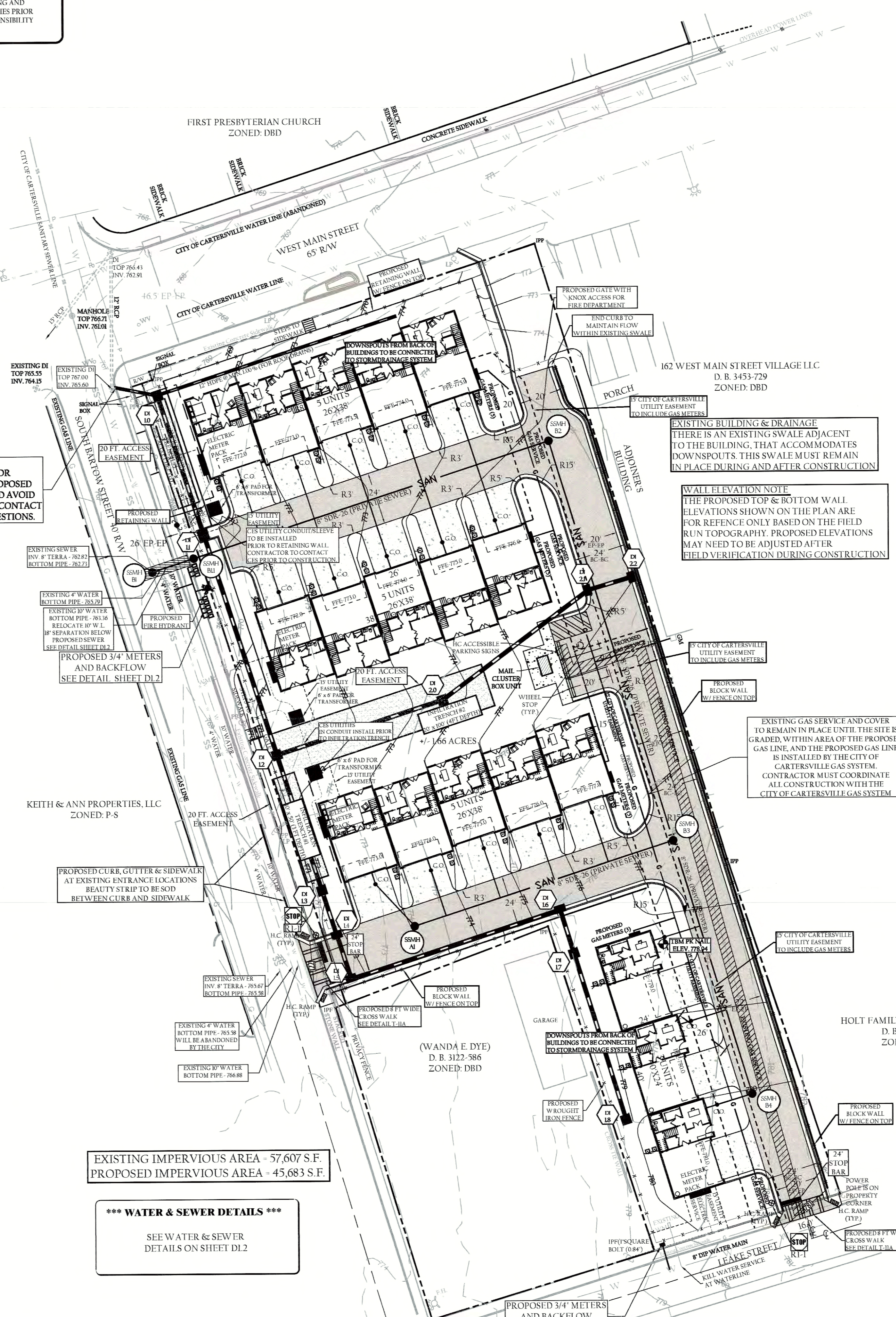
THERE IS NATURAL GAS SERVICE PROPOSED FOR THIS SITE.

STORMDRAIN INSTALLATION
 PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER MUST VERIFY THAT THE PROPOSED STORMDRAIN CAN BE INSTALLED AS SHOWN, AND AVOID ANY CONFLICTS WITH ANY EXISTING UTILITIES. CONTACT STEPHENSON ENGINEERING, INC. WITH ANY QUESTIONS.

EXISTING BUILDING & DRAINAGE
 THERE IS AN EXISTING SWALE ADJACENT TO THE BUILDING, THAT ACCOMMODATES DOWNSPOUTS. THIS SWALE MUST REMAIN IN PLACE DURING AND AFTER CONSTRUCTION.

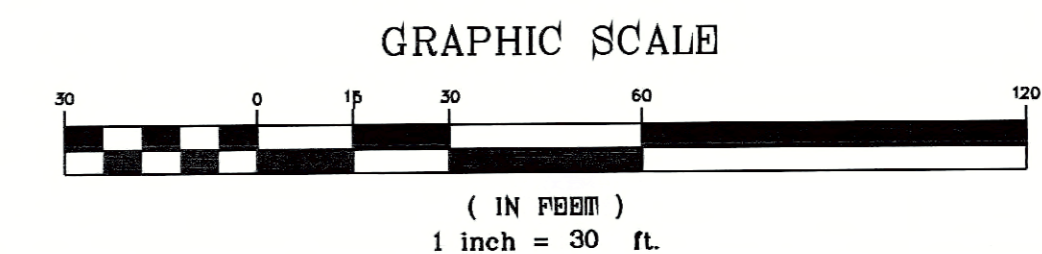
WALL ELEVATION NOTE
 THE PROPOSED TOP & BOTTOM WALL ELEVATIONS SHOWN ON THE PLAN ARE FOR REFERENCE ONLY BASED ON THE FIELD RUN TOPOGRAPHY. PROPOSED ELEVATIONS MAY NEED TO BE ADJUSTED AFTER FIELD VERIFICATION DURING CONSTRUCTION.

EXISTING GAS SERVICE AND COVER
 TO REMAIN IN PLACE UNTIL THE SITE IS GRADED, WITHIN AREA OF THE PROPOSED GAS LINE, AND THE PROPOSED GAS LINE IS INSTALLED BY THE CITY OF CARTERSVILLE GAS SYSTEM. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE CITY OF CARTERSVILLE GAS SYSTEM.



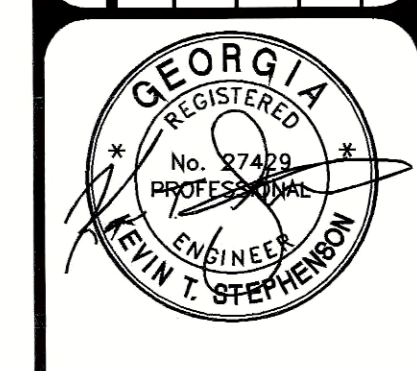
EXISTING IMPERVIOUS AREA = 57,607 S.F.
 PROPOSED IMPERVIOUS AREA = 45,683 S.F.

***** WATER & SEWER DETAILS *****
 SEE WATER & SEWER DETAILS ON SHEET DL2



STEPHENSON ENGINEERING, INC.
 CIVIL ENGINEERING, LAND PLANNING & DEVELOPMENT CONSULTING
 P.O. BOX 20088
 110 N. TENNESSEE ST., SUITE D
 CARTERSVILLE, GEORGIA 30120
 EMAIL: STEPHENSON@VAVARCO.COM
 PHONE: (770) 382-7877
 FAX: (770) 382-1742

REVISION	DATE	REVISION PER CITY OF CARTERSVILLE COMMENTS
	12-8-23	

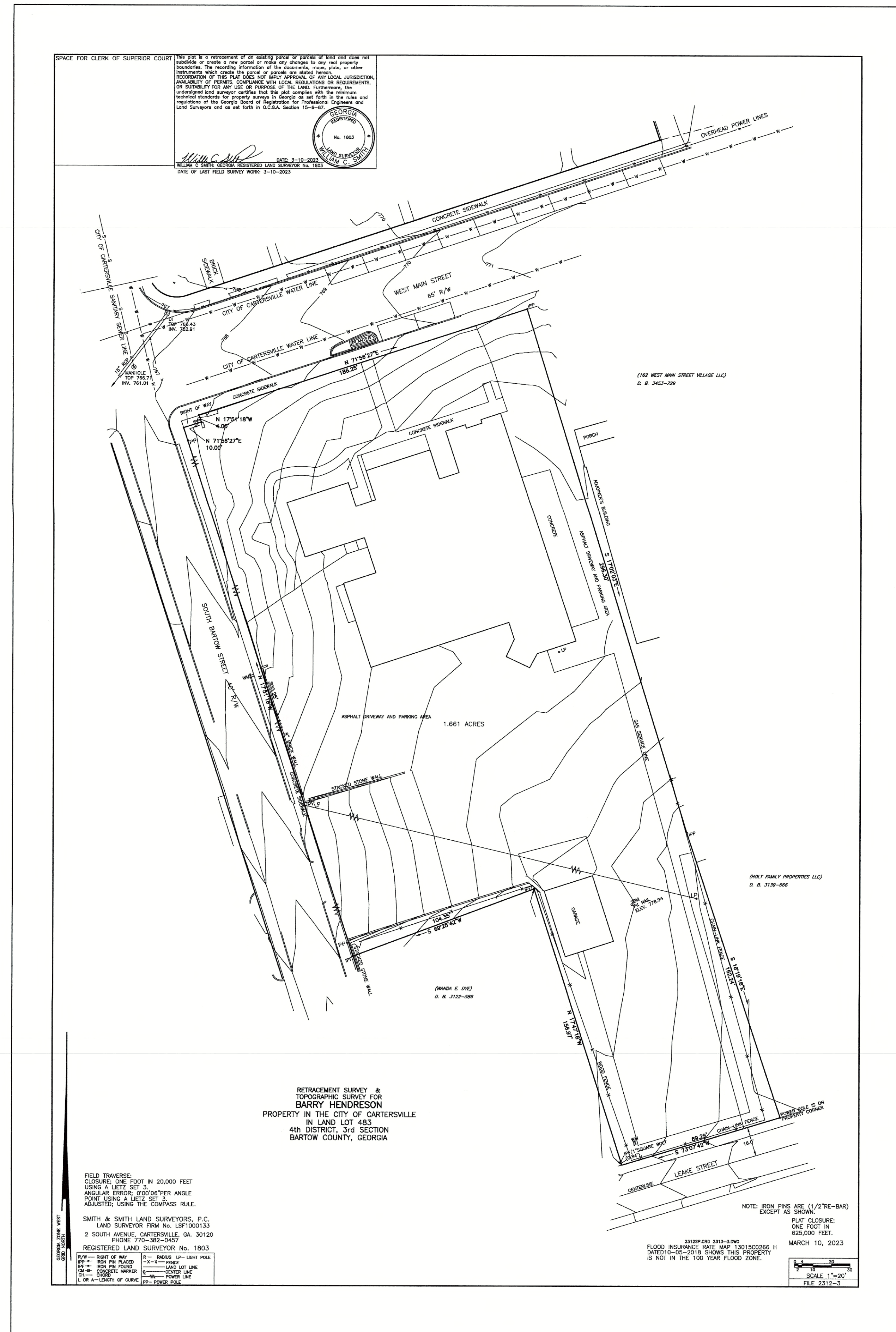


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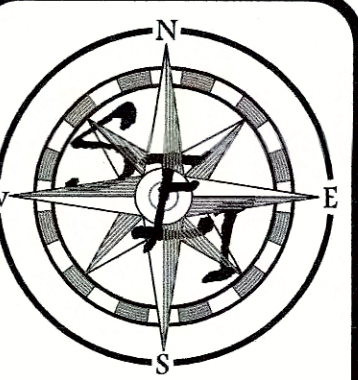
OWNER/DEVELOPER:
 City Overlook Cartersville, LLC
 P.O. Box 3603
 Cartersville, GA 30120
 Phone: 678-776-6872
 24-hr Contact: Matt Womack
 email: matt@womackbros.com

City Overlook
 Located in Land Lot 18
 4th District 3rd Section
 City of Cartersville, Georgia

PROJECT# 23-015
DATE 9-6-23
SHEET TITLE Preliminary Plat
SHEET NO. P1



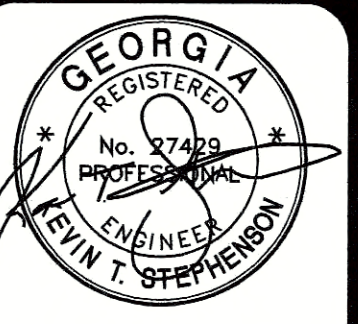
NOT TO SCALE
 BOUNDARY SURVEY SHOWN FOR REFERENCE ONLY



STEPHENSON ENGINEERING, INC.

CIVIL ENGINEERING, LAND PLANNING & DEVELOPMENT CONSULTING
 P.O. BOX 20888
 100 N. TENNESSEE ST., SUITE D
 CARTERSVILLE, GEORGIA 30120
 EMAIL: STEPHENSONENG@AOL.COM
 PHONE: (770)382-7877
 FAX: (770)382-3742

REVISION	DATE



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 City Overlook Cartersville, LLC
 P.O. Box 3603
 Cartersville, GA 30120
 Phone: 678-776-6872
 24-hr Contact: Matt Womack
 email: matt@womackbro.com

City Overlook
 Located in Land Lot 483
 4th District, 3rd Section
 City of Cartersville, Georgia

PROJECT# 23-015
 DATE 9-6-23

SHEET TITLE
 Boundary Survey

SHEET NO.
 B1

Utilities Protection Center, Inc.



**IF YOU DIG GEORGIA
CALL US FIRST!**
1-800-282-7411
It's The Law!

24 Hr Emergency Contact:

Matt Womack
678-776-6872

***** ELEVATION NOTE *****

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***** EXISTING UTILITIES & FEATURES *****

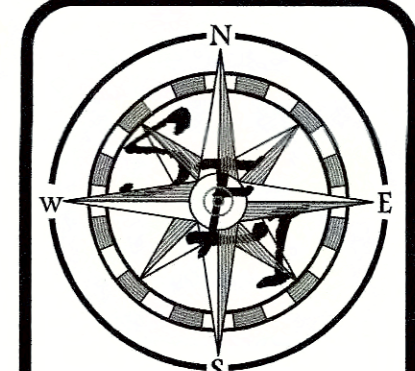
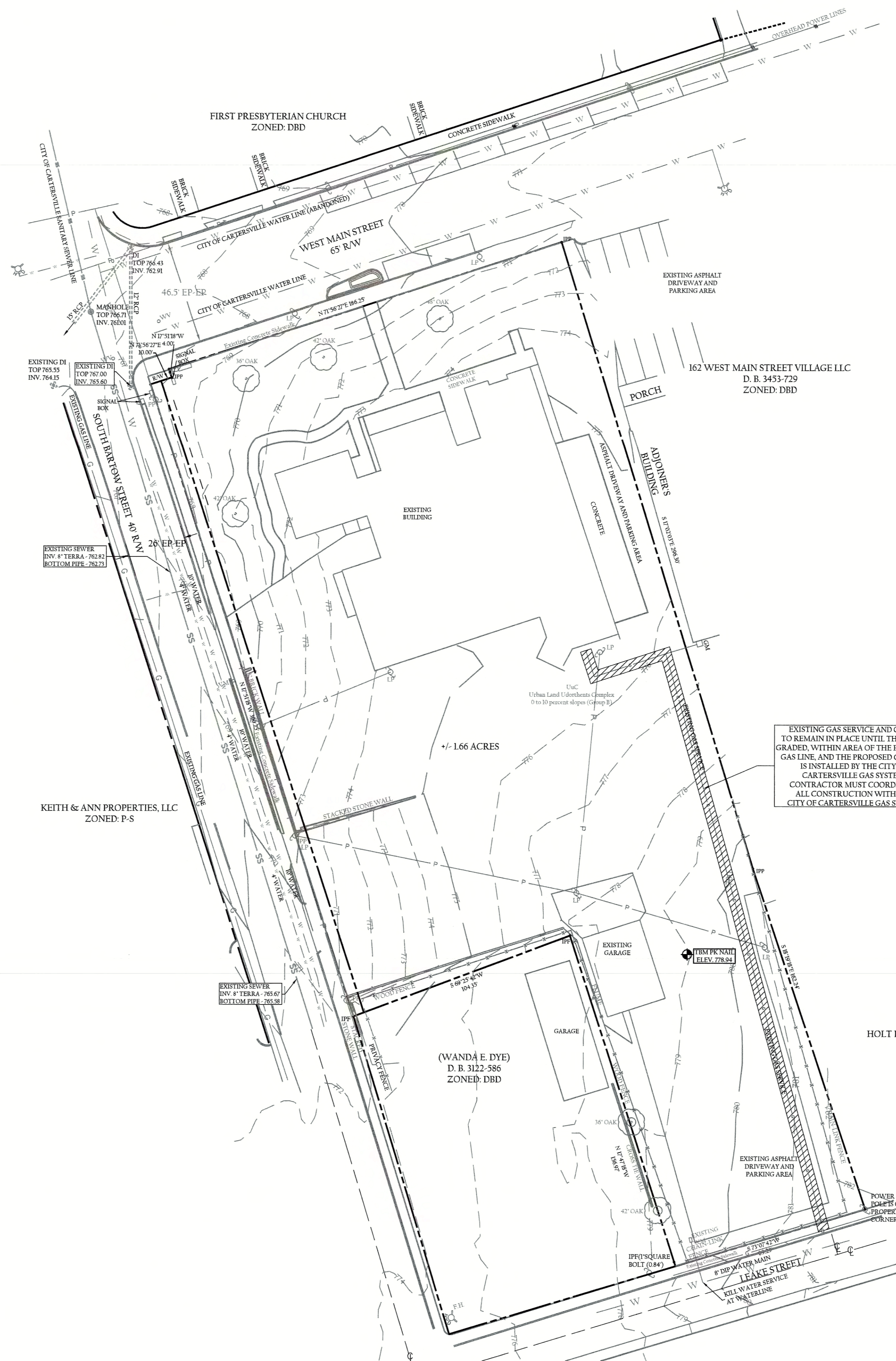
THE CONTRACTOR MUST VERIFY ALL EXISTING UTILITY LOCATIONS, AND EXISTING FEATURES THAT MAY REQUIRE RELOCATION AND OR REPLACEMENT, FOR THE PROPOSED CONSTRUCTION, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

***** EXISTING POWER/UTILITY POLES *****

THE CONTRACTOR MUST COORDINATE THE REMOVAL OR RELOCATION OF ANY POLES AND/OR EXISTING SERVICE LINES ON SITE, THAT MAY NEED TO BE REMOVED OR RELOCATED FOR CONSTRUCTION, WITH CARTERSVILLE ELECTRIC SYSTEM.

SOILS ON SITE ARE LISTED BELOW:

UuC - Urban Land Udorthents Complex, 0 to 10 percent slopes (Group B)



**STEPHENSON
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CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 20088
100 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30120
EMAIL: STEPHENSON@YAHOO.COM
PHONE: (770) 942-7877
FAX: (770) 942-3742

REVISION	DATE



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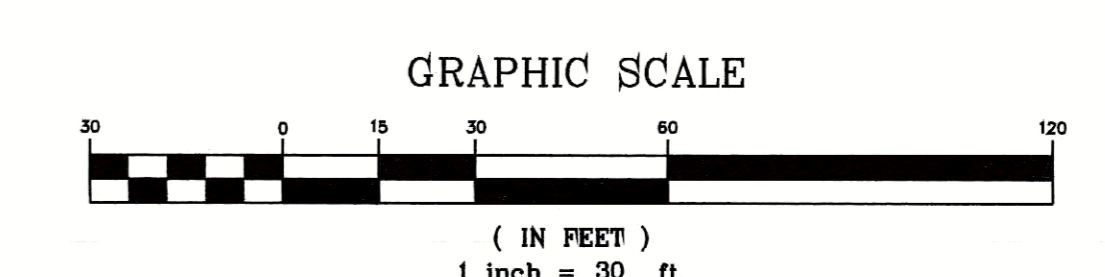
OWNER/DEVELOPER:
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P.O. Box 2609
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbros.com

City Overlook
Located in Land Lot 18
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
**Existing
Conditions**

SHEET NO.
C1.1



Utilities Protection Center, Inc.



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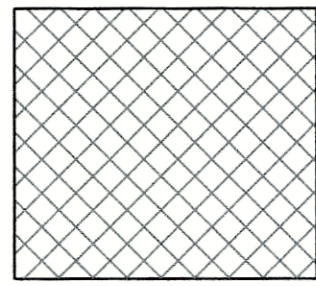
*** EXISTING UTILITIES & FEATURES ***

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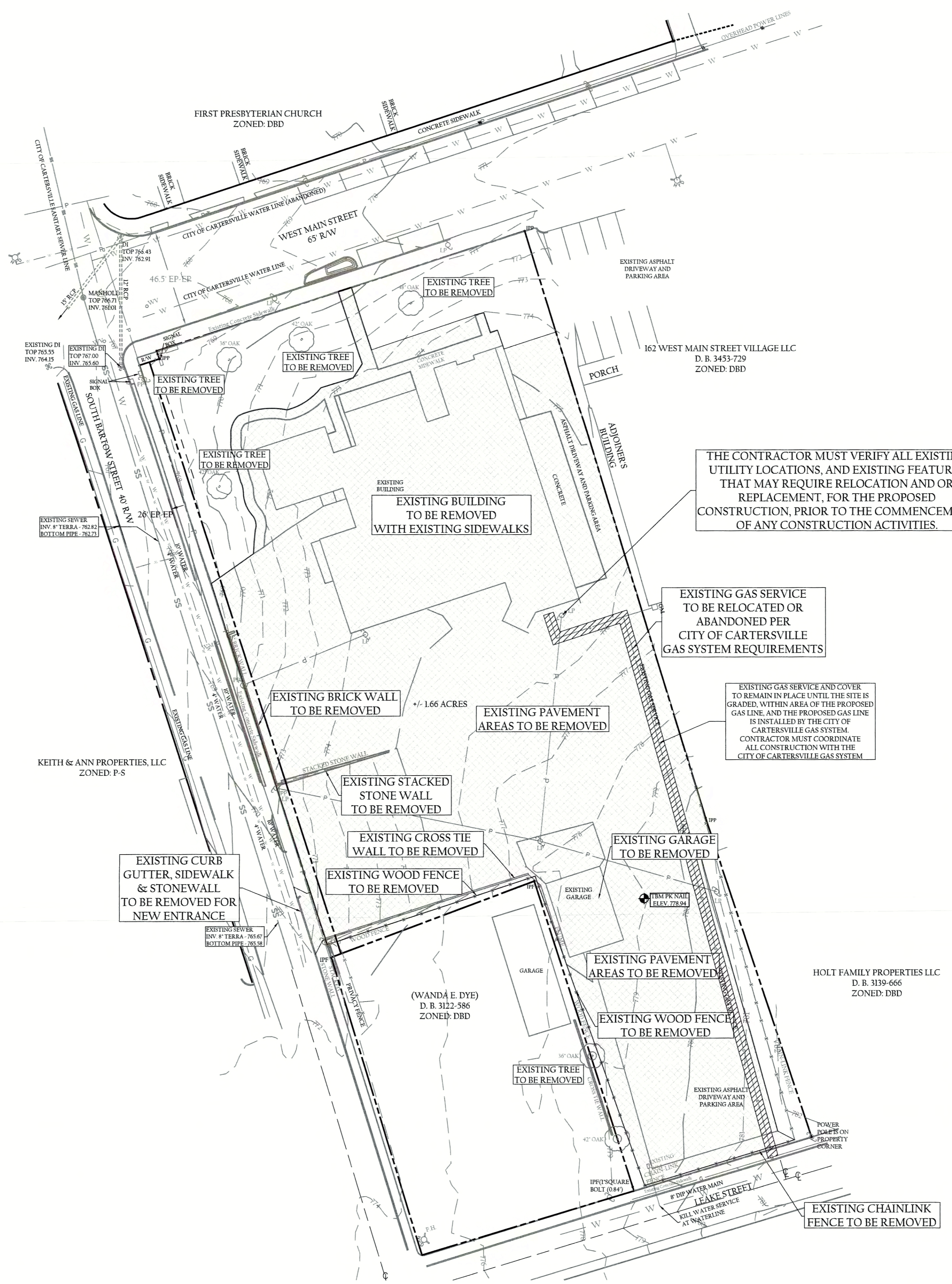
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*** DEMOLITION NOTE ***



AREAS FOR DEMOLITION.
CONTRACTOR TO COORDINATE ALL DEMOLITION WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO COMMENCEMENT.

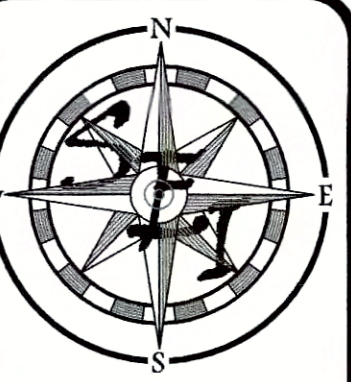
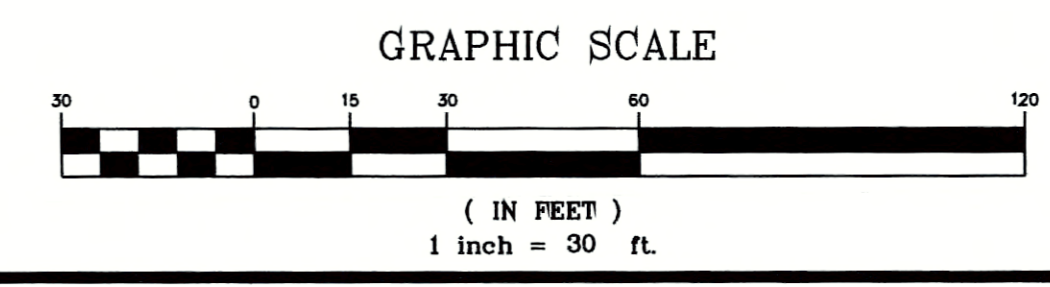


THE CONTRACTOR MUST VERIFY ALL EXISTING UTILITY LOCATIONS, AND EXISTING FEATURES THAT MAY REQUIRE RELOCATION AND OR REPLACEMENT, FOR THE PROPOSED CONSTRUCTION, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

EXISTING GAS SERVICE TO BE RELOCATED OR ABANDONED PER CITY OF CARTERSVILLE GAS SYSTEM REQUIREMENTS

EXISTING GAS SERVICE AND COVER TO REMAIN IN PLACE UNTIL THE SITE IS GRADED, WITHIN AREA OF THE PROPOSED GAS LINE, AND THE PROPOSED GAS LINE IS INSTALLED BY THE CITY OF CARTERSVILLE GAS SYSTEM. CONTRACTOR MUST COORDINATE ALL CONSTRUCTION WITH THE CITY OF CARTERSVILLE GAS SYSTEM.

HOLT FAMILY PROPERTIES LLC
D.B. 3139-666
ZONED: DBD



STEPHENSON ENGINEERING, INC.

CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 20088
130 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30120
EMAIL: STEPHENSONENGIN@YAHOO.COM
PHONE: (770) 942-7877
FAX: (770) 942-3742

REVISION	DATE



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City Overlook Cartersville, LLC
P.O. Box 3603
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbros.com

City Overlook
Located in Land Lot 18
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE Demolition Plan

SHEET NO. C1.2

Utilities Protection Center, Inc.



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1-800-282-7411
It's The Law!**

*****100-YEAR FLOODPLAIN STATEMENT***
NO PART OF THE PROPERTY LIES WITHIN
THE 100-YEAR FLOODPLAIN.**

***** U.S. ARMY CORPS OF ENGINEERS ***
IT IS THE DEVELOPER'S RESPONSIBILITY TO ADDRESS ANY WETLANDS ISSUES TO
THE SATISFACTION OF THE U.S. ARMY CORPS OF ENGINEERS.**

***** U.S. FISH & WILDLIFE SERVICE ***
IT IS THE DEVELOPER'S RESPONSIBILITY TO ADDRESS ANY ENDANGERED SPECIES
ISSUES TO THE SATISFACTION OF THE U.S. FISH AND WILDLIFE SERVICE.**

***** NPDES PERMIT REQUIREMENTS ***
IT IS THE DEVELOPER'S RESPONSIBILITY TO ABIDE BY ALL THE RULES AND
REGULATIONS PERTAINING TO THE STATE OF GEORGIA'S NATIONAL POLLUTANT
DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.**

24 Hr Emergency Contact:

**Matt Womack
678-776-6872**

***** CAUTION *****

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MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S
RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. IF THERE ARE
ANY DISCREPANCIES THE ENGINEER MUST BE NOTIFIED. ALL DAMAGE MADE TO EXISTING
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TO CONSTRUCTION. IF AN DISCREPANCY IS FOUND THEN IT IS THE RESPONSIBILITY
OF THE CONTRACTOR TO NOTIFY THE ENGINEER.

*****DUMPSTER NOTE*****

A DUMPSTER IS NOT PROPOSED FOR THIS DEVELOPMENT.
INDIVIDUAL CURBSIDE PICKUP TRASH RECEPTACLES (CURBIES)
WILL BE USED FOR TRASH SERVICE.

*****INSTALLATION OF INFRASTRUCTURE*****

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INSTALLATION OF ANY AND ALL INFRASTRUCTURE SHALL COMPLY TO ALL CITY OF CARTERSVILLE
AND ANY APPLICABLE UTILITY COMPANY, RULES, REGULATIONS AND SPECIFICATIONS.
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INCLUDE REQUIREMENTS THAT ARE NOT SHOWN IN SPECIFIC DETAIL ON THIS PLAN, BUT ARE STILL
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REQUIREMENT, THE OWNER, DEVELOPER, AND CONTRACTOR MUST CONTACT THE APPROPRIATE
DEPARTMENT TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH ALL SPECIFICATIONS.

*****SITE GRADING & COMPACTION NOTE*****

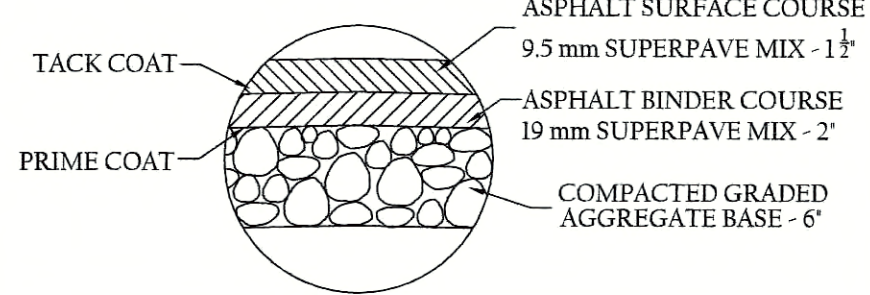
ACCORDING TO THE GEOTECHNICAL EVALUATION OF THE SITE BY
CUMBERLAND ENGINEERING CONSULTANTS, SOME EXISTING FILL MATERIAL
WAS ENCOUNTERED ON THE SITE. THIS OLD FILL MATERIAL DID NOT APPEAR TO
BE ADEQUATELY COMPACTED AND MAY REQUIRE SOME REMEDIAL WORK
DURING CONSTRUCTION. AREAS OF EXISTING FILL MAY BE ENCOUNTERED ON
OTHER AREAS OF THE SITE NOT TESTED.

LEGEND

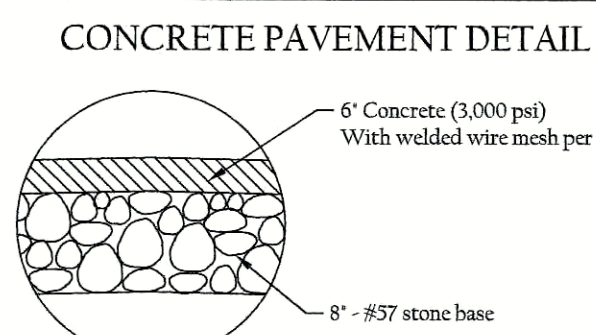
- - - 771 - - - EXISTING MINOR CONTOUR
- - - 770 - - - EXISTING MAJOR CONTOUR
- - - 770 - - - PROPOSED CONTOUR
- SANITARY SEWER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- WATER LINE
- NATURAL GAS LINE
- FIRE HYDRANT
- BENCHMARK
- LP EXISTING LIGHT POLE

**PROPOSED ASPHALT PAVEMENT AREAS
WITHIN DEVELOPMENT**

**PAVEMENT DETAIL FOR AREAS
WITHIN DEVELOPMENT**

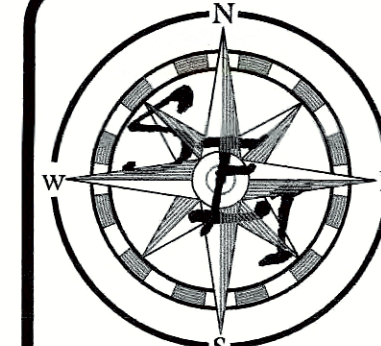
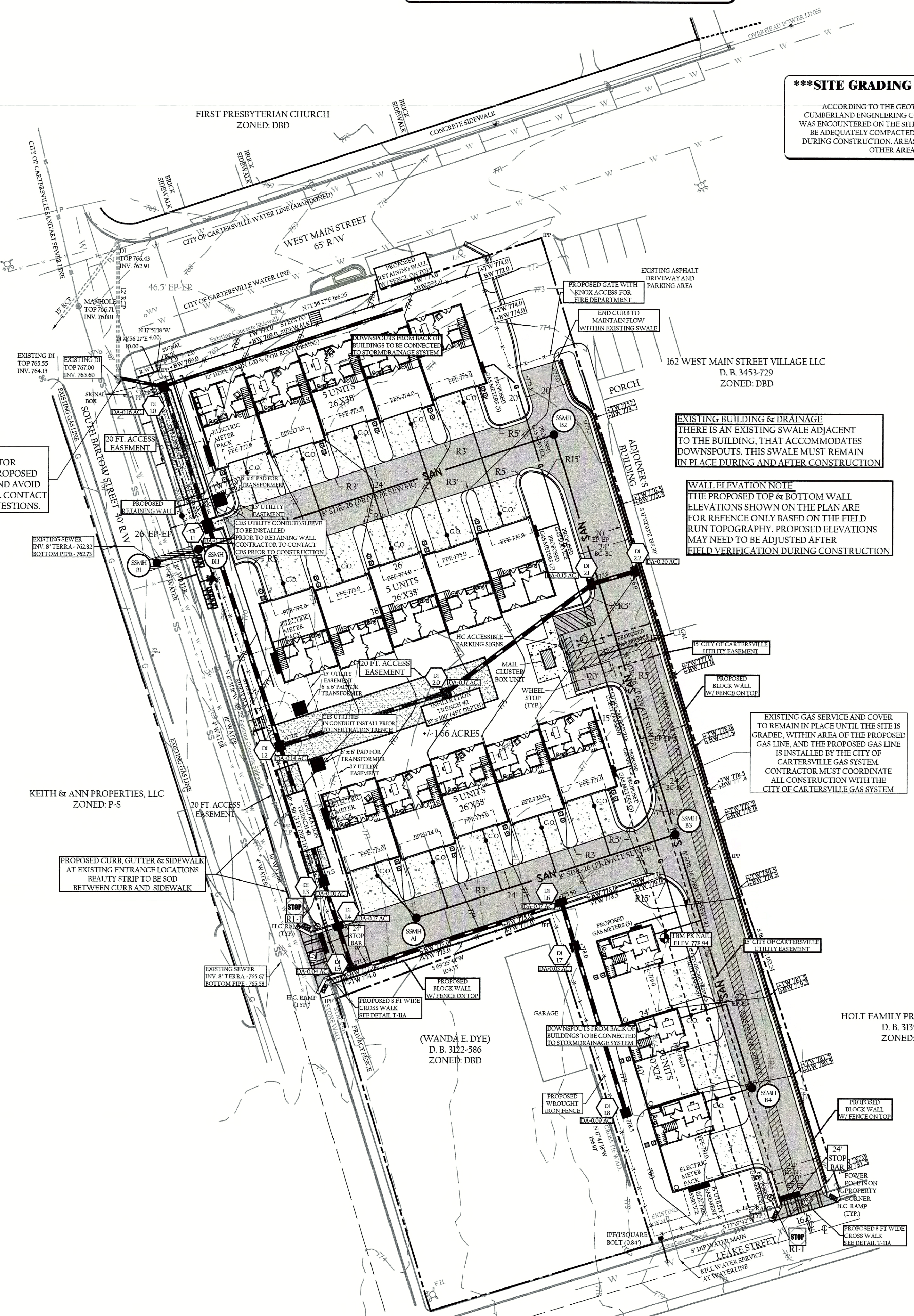


**CONCRETE PAVING DETAIL
(DRIVEWAYS)**



**ALL ACCESSIBLE RAMPS AND
ACCESS AISLES SHALL MEET
ALL CODES AND ADAAG REGULATIONS.**

STORMDRAIN INSTALLATION
PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR
AND/OR DEVELOPER MUST VERIFY THAT THE PROPOSED
STORMDRAIN CAN BE INSTALLED AS SHOWN, AND AVOID
ANY CONFLICTS WITH ANY EXISTING UTILITIES. CONTACT
STEPHENSON ENGINEERING, INC. WITH ANY QUESTIONS.



**STEPHENSON
ENGINEERING, INC.**

CIVIL ENGINEERING,
LAND PLANNING &
DEVELOPMENT CONSULTING
P.O. BOX 20088
110 N. TENNESSEE ST., SUITE D
CARTERSVILLE, GEORGIA 30201
PHONE: (770) 382-7977
FAX: (770) 382-3742

REVISION	DATE



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ENGINEERING, INC. FOR ANY
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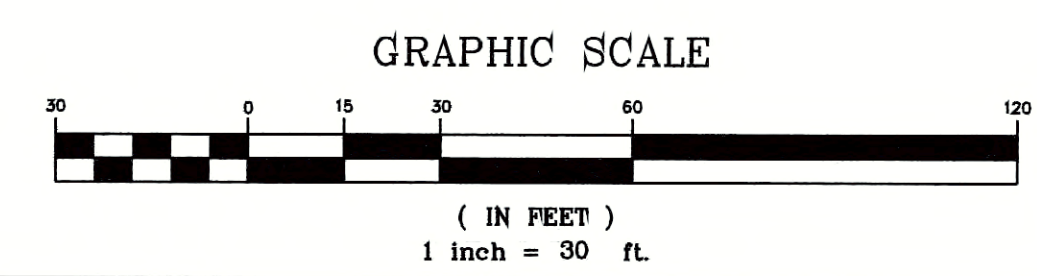
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P.O. Box 3605
Cartersville, GA 30120
Phone: 678-776-6872
24-hr Contact: Matt Womack
email: matt@womackbro.com

City Overlook
Located in Land Lot 18
4th District, 3rd Section
City of Cartersville, Georgia

PROJECT# 23-015 DATE 9-6-23

SHEET TITLE
**Site &
Grading Plan**

SHEET NO.
C2.1



CITY OVERLOOK - BUILDING 1

CITY OVERLOOK
CARTERSVILLE, GA 30120



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ARCHITECT / ENGINEER SEAL

CONTACT INFO.

OWNER:
WOMACK CUSTOM HOMES
706 ROWLAND SPRINGS RD
CARTERSVILLE, GA 30121
678-776-6872

CONTRACTOR:
WOMACK CUSTOM HOMES
706 ROWLAND SPRINGS RD
CARTERSVILLE, GA 30121
678-776-6872

STRUCTURAL ENGINEER:
PALMER CONSTRUCTION CONSULTANTS, INC.
DAVID PALMER, PE
2755 ANTIOCH ROAD
CUMMING, GA 30040

CONST. TYPE

PRODUCT:
THREE & 1/2 STORY TOWNHOMES

OCCUPANCY CLASSIFICATION:
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE V-B TWO HOUR SEPARATION BETWEEN UNITS
SPRINKLERS NOT REQUIRED

PERSPECTIVE



DRAWING INDEX

AO - GENERAL INFO		
AO - GENERAL INFO	A0.00	COVER SHEET
AO - GENERAL INFO	A0.01	PERSPECTIVE VIEWS
A1 - ELEVATIONS		
A1 - ELEVATIONS	A1.01	FRONT ELEVATION
A1 - ELEVATIONS	A1.02	RIGHT & LEFT ELEVATIONS
A1 - ELEVATIONS	A1.03	REAR ELEVATION
A2 - PLANS		
A2 - PLANS	A2.01	FIRST FLOOR PLAN
A2 - PLANS	A2.02	SECOND FLOOR PLAN
A2 - PLANS	A2.03	THIRD FLOOR PLAN
A2 - PLANS	A2.04	FOURTH FLOOR PLAN
A2 - PLANS	A2.05	ROOF PLAN
A4 - SCHEDULES & TAKEOFFS		
A4 - SCHEDULES & TAKEOFFS	A4.01	SCHEDULES
A4 - SCHEDULES & TAKEOFFS	A4.02	TAKEOFFS

REVISION NOTES

REV #	DATE	DESCRIPTION

KEY PLAN



PLAN OVERVIEW

A) HEATED	
TERRACE FINISHED	442 SF
FIRST FLOOR HEATED	926 SF
SECOND FLOOR	919 SF
THIRD FLOOR	591 SF
	2877 SF
B) UNHEATED	
TWO-CAR GARAGE	546 SF
	546 SF
C) PORCHES & PATIOS	
3RD FLOOR ROOF DECK	129 SF
FIRST FLOOR DECK	206 SF
FIRST FLOOR JULIET BALCONY	80 SF
	414 SF

BUILDING CODE SUMMARY

ALL CONSTRUCTION TO COMPLY WITH THE LOCAL CODES AND ORDINANCES OF THE JURISDICTION.

APPLICABLE CODES:

FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, GEORGIA STATE SUPPLEMENTS AND AMENDMENTS.

INTERNATIONAL BUILDING CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL RESIDENTIAL CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL PLUMBING CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL MECHANICAL CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL FUEL GAS CODE: 2018 EDITION, WITH GA AMMENDMENTS (2020)

INTERNATIONAL ENERGY CONSERVATION CODE: 2015 EDITION, WITH GA SUPPLEMENTS AND AMENDMENTS (2020)

INTERNATIONAL FIRE CODE: 2018 EDITION

NATIONAL ELECTRICAL CODE: 2017 EDITION

MM/DD/YYYY	9-1-23
REVISION	DESIGN DEVELOPMENT SET

COVER SHEET
CITY OVERLOOK
CARTERSVILLE, GA 30120

A0.00

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ARCHITECT /
ENGINEER
SEAL



MMDD/YYYY

9-1-23

REVISION
DESIGN DEVELOPMENT



PERSPECTIVE VIEWS

CITY OVERLOOK
CARTERSVILLE, GA 30120

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ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY		



① BUILDING 1 - FRONT ELEVATION
3/16" = 1'-0"

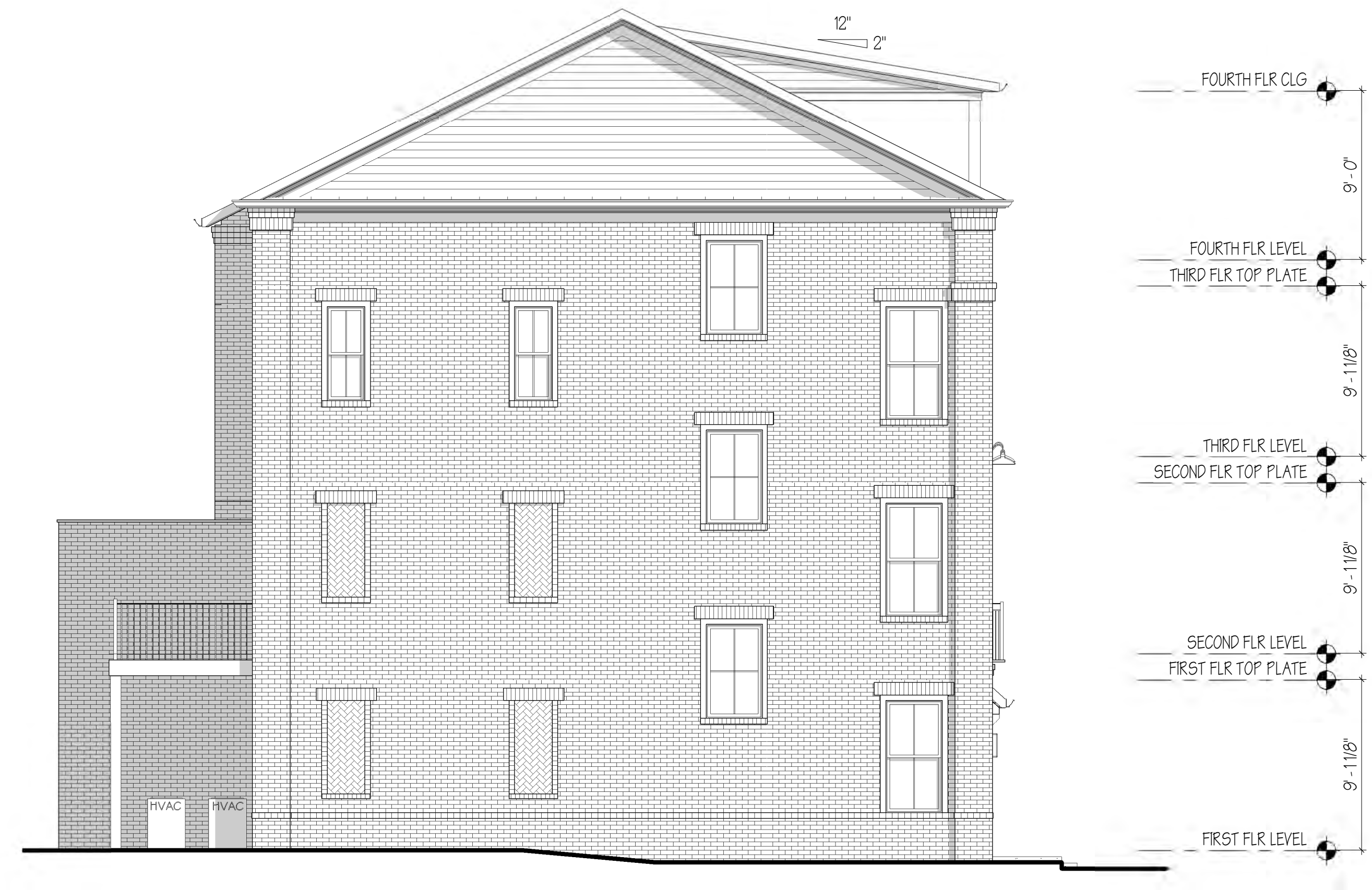
FRONT ELEVATION
CITY OVERLOOK
CARTERSVILLE, GA 30120

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ARCHITECT / ENGINEER SEAL



① BUILDING 1 - RIGHT ELEVATION
3/16" = 1'-0"



② BUILDING 1 - LEFT ELEVATION
3/16" = 1'-0"

REVISION	MMDDYYYY
DESIGN DEVELOPMENT	9-1-23

RIGHT & LEFT ELEVS.
CITY OVERLOOK
CARTERSVILLE, GA 30120

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THE HOME WILL BE
DETERMINED BY LOT
CONDITIONS. DESIGNS ARE
SUBJECT TO ERRORS AND
OMISSIONS AND MAY CHANGE
AT ANY TIME
WITHOUT PRIOR NOTICE.

ARCHITECT /
ENGINEER
SEAL



① BUILDING 1 - REAR ELEVATION
3/16" = 1'-0"

REVISION	DATE	DESCRIPTION
MMDDYYYY	9-1-23	DESIGN DEVELOPMENT

REAR ELEVATION
CITY OVERLOOK
CARTERSVILLE, GA 30120

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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

A2.01



① BUILDING 1 - FIRST FLOOR LEVEL
3/16" = 1'-0"

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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	
	9-1-23	
DESIGN DEVELOPMENT		

SECOND FLOOR PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

A2.02



① BUILDING 1 - SECOND FLOOR LEVEL
3/16" = 1'-0"

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ARCHITECT / ENGINEER SEAL



① BUILDING 1 - THIRD FLOOR LEVEL
3/16" = 1'-0"

REVISION	MMDDYYYY
DESIGN DEVELOPMENT	9-1-23

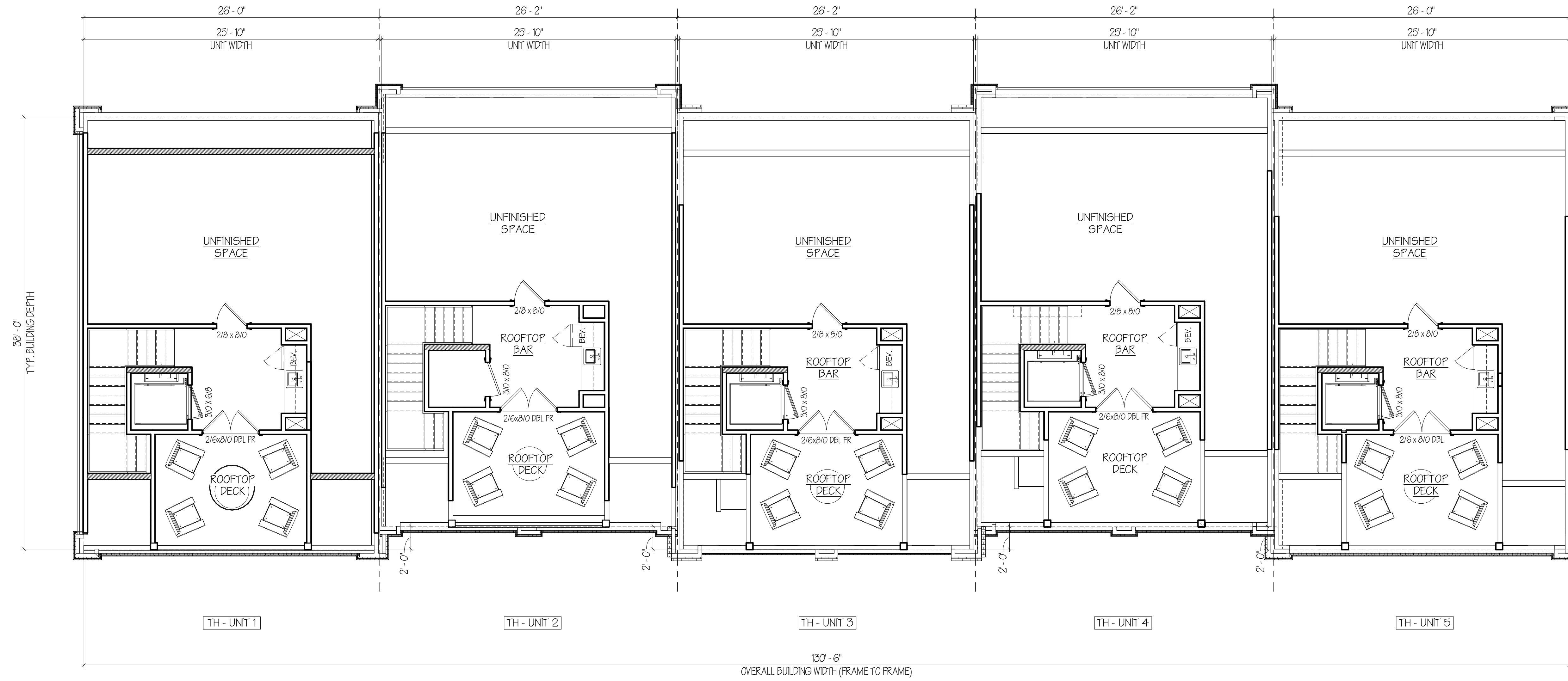
THIRD FLOOR PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

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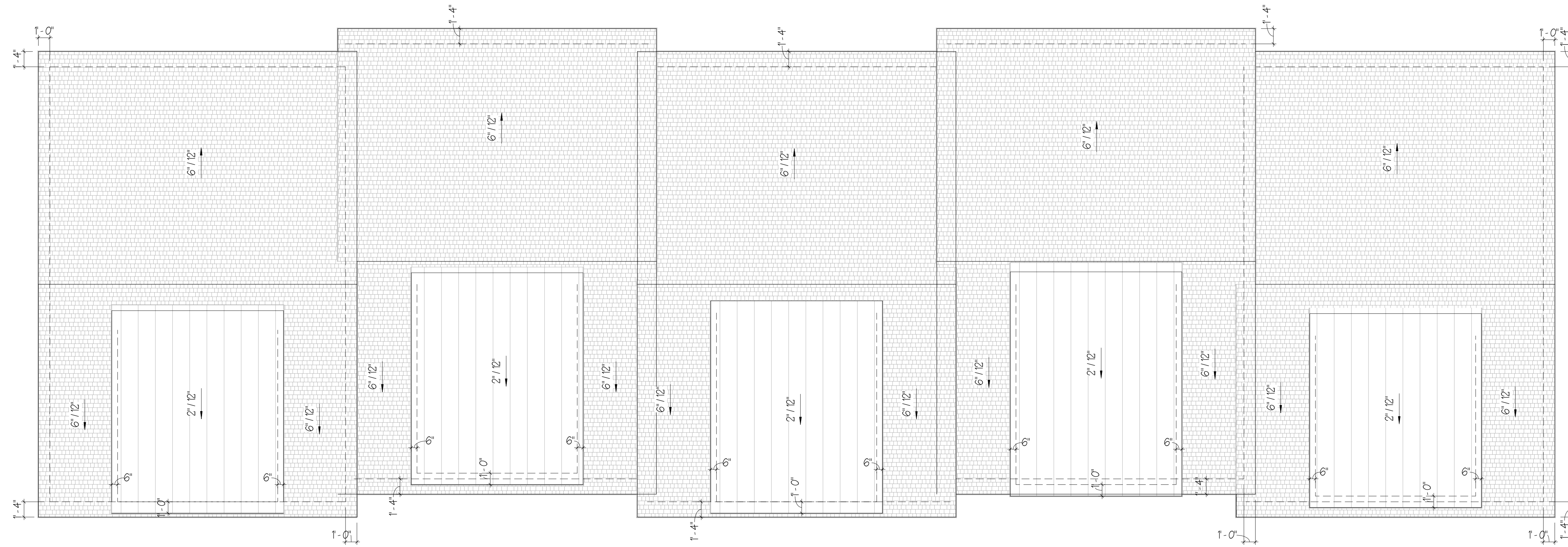
ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FOURTH FLOOR PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120



① BUILDING 1 - FOURTH FLOOR LEVEL
3/16" = 1'-0"



① BUILDING 1 - ROOF LEVEL
3/16" = 1'-0"

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

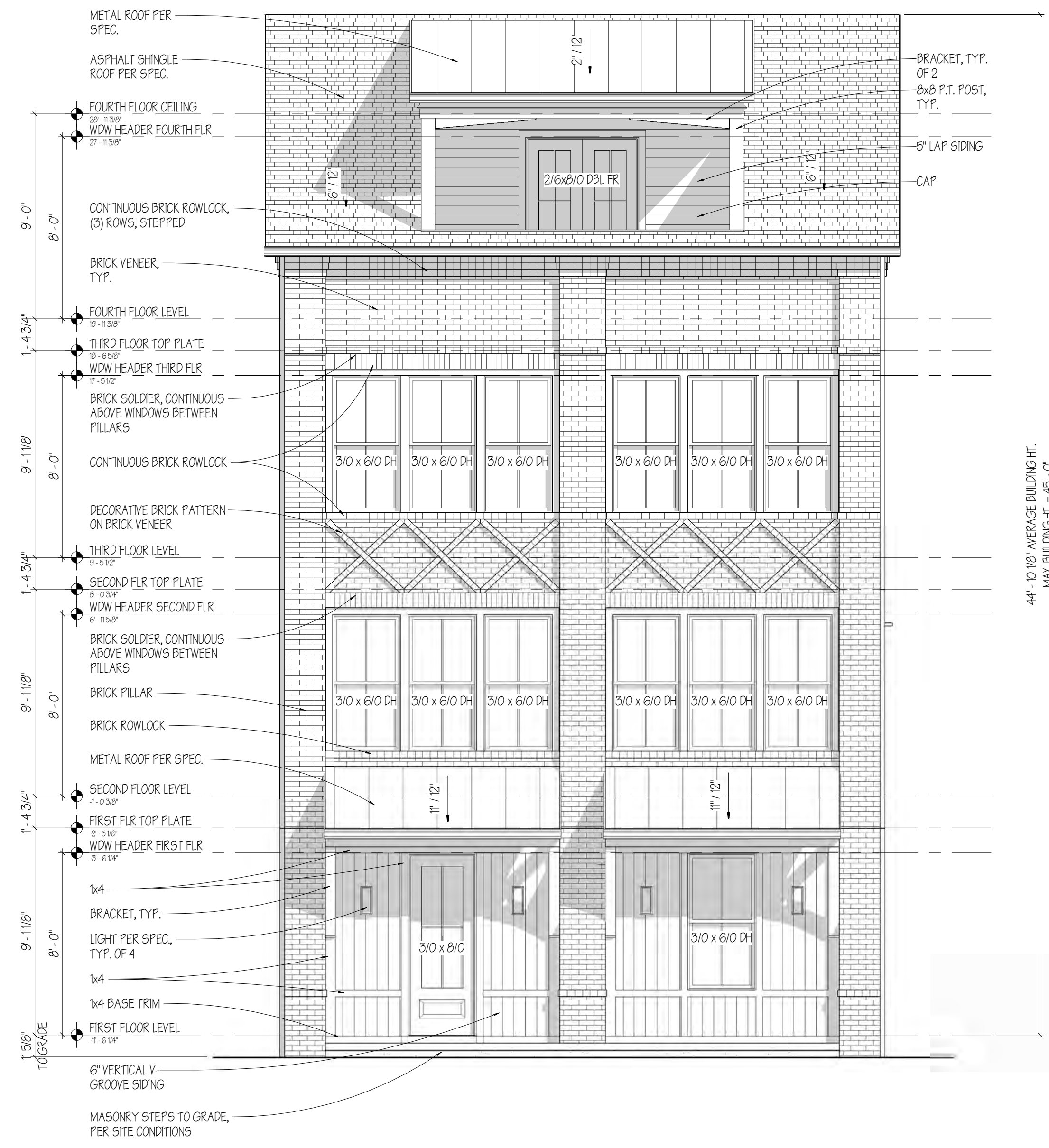
ROOF PLAN
CITY OVERLOOK
CARTERSVILLE, GA 30120

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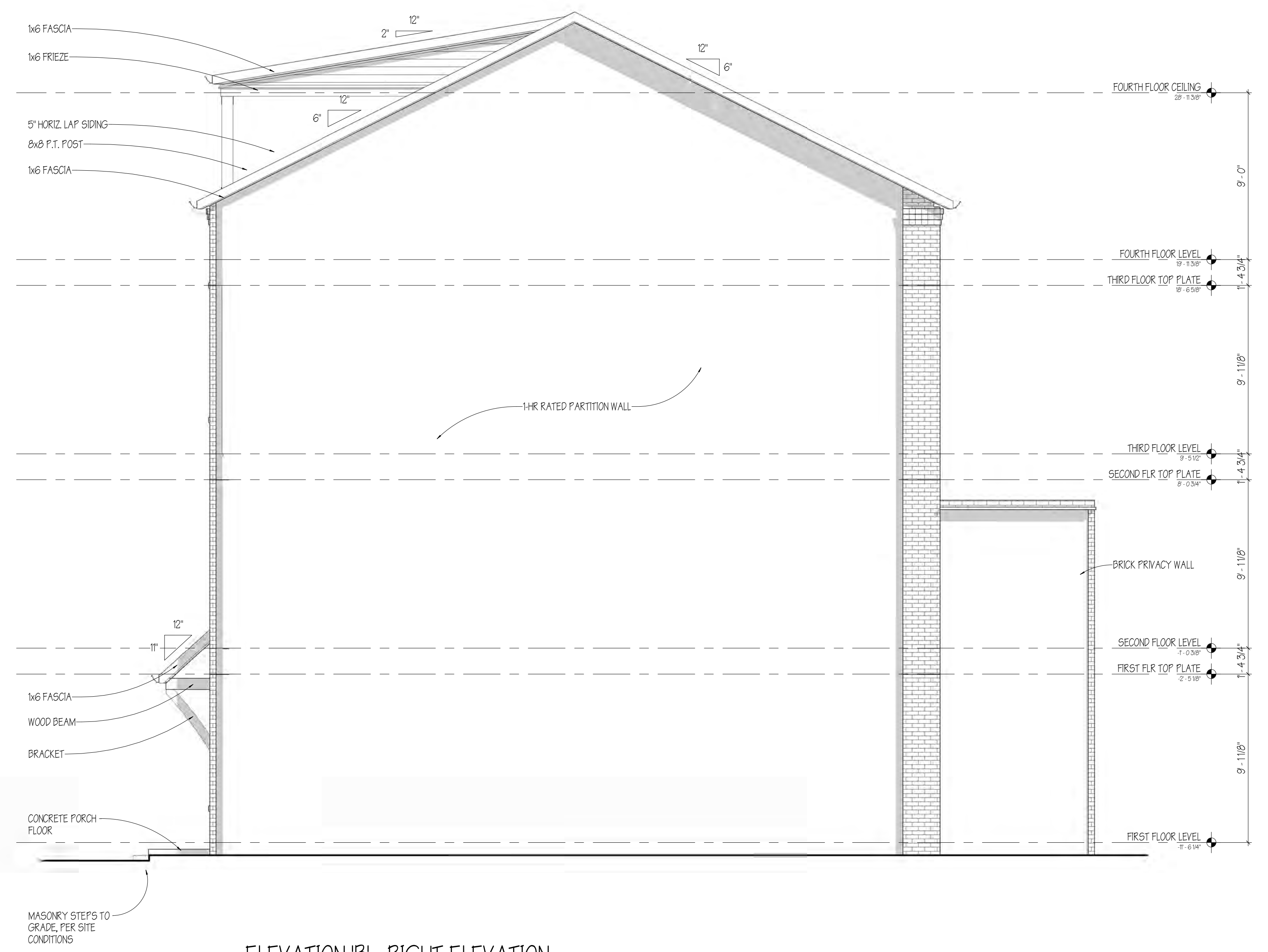
ARCHITECT / ENGINEER SEAL

REVISION	MMIDDYYYY
DESIGN DEVELOPMENT	9-1-23

FRONT/ RIGHT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120



① ELEVATION 'B' - FRONT ELEVATION
1/4" = 1'-0"



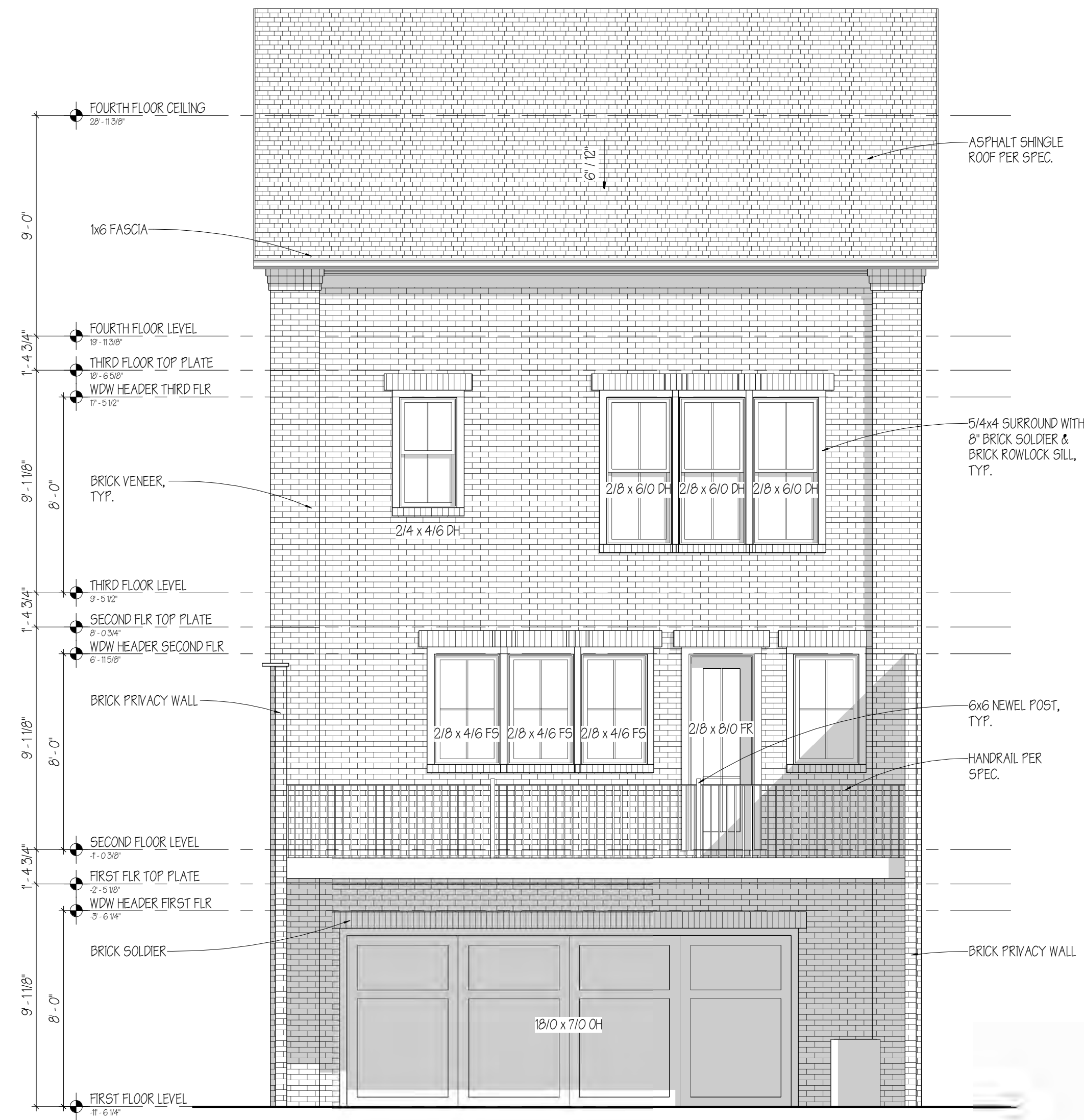
② ELEVATION 'B' - RIGHT ELEVATION
1/4" = 1'-0"

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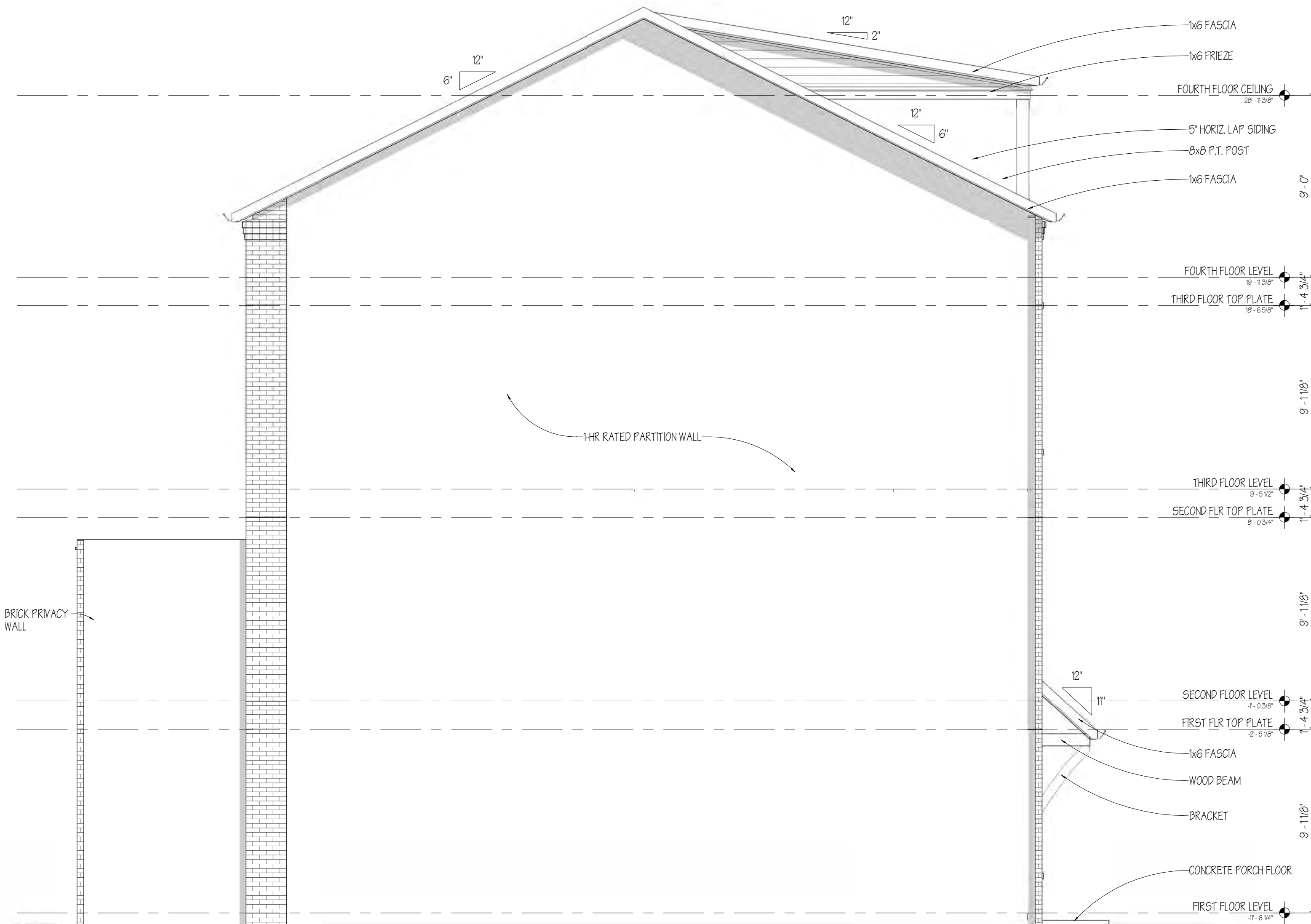
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MMDD/YYYY	9-1-23	DESIGN DEVELOPMENT

REAR/ LEFT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120



① ELEVATION 'B' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'B' - LEFT ELEVATION
1/4" = 1'-0"

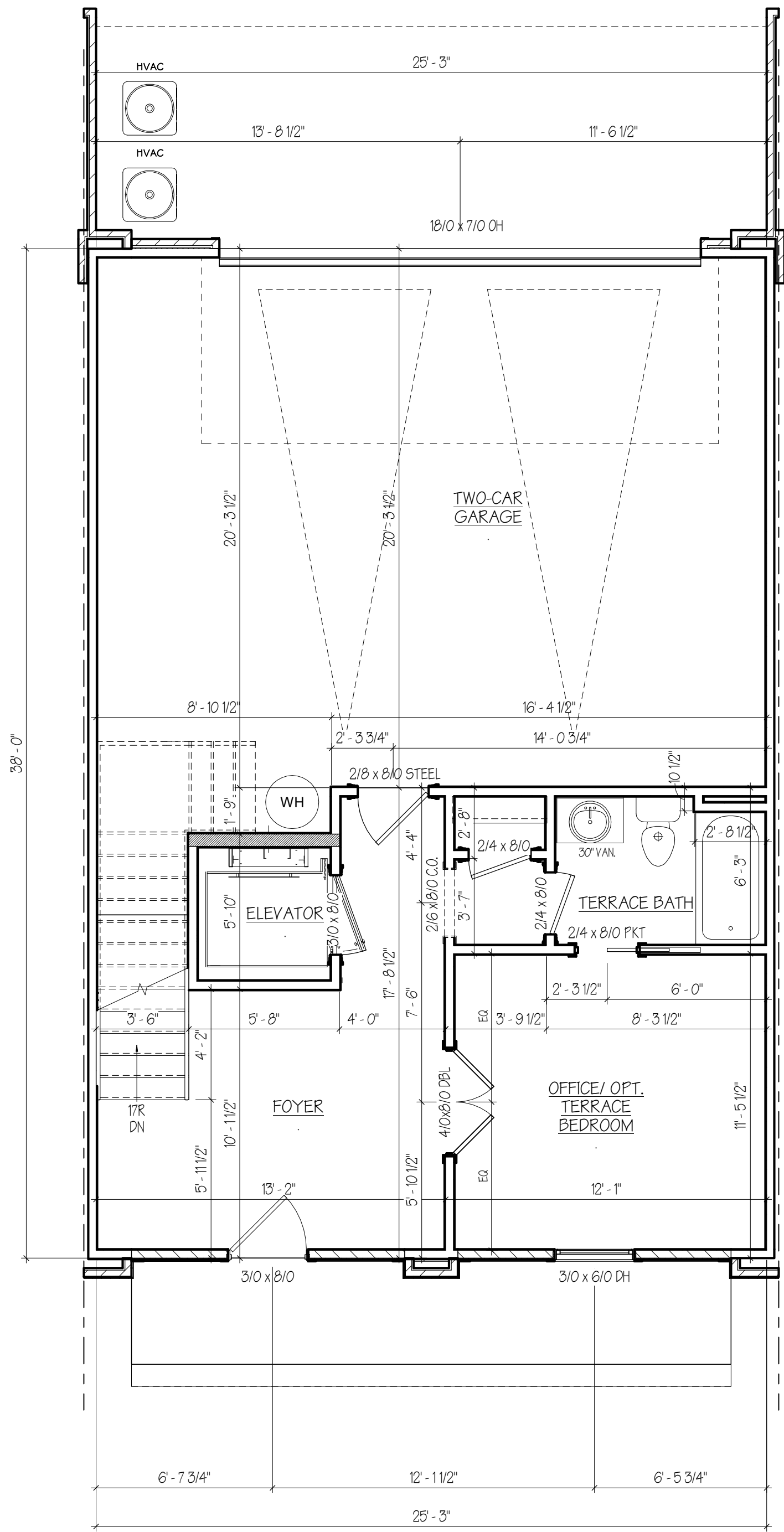
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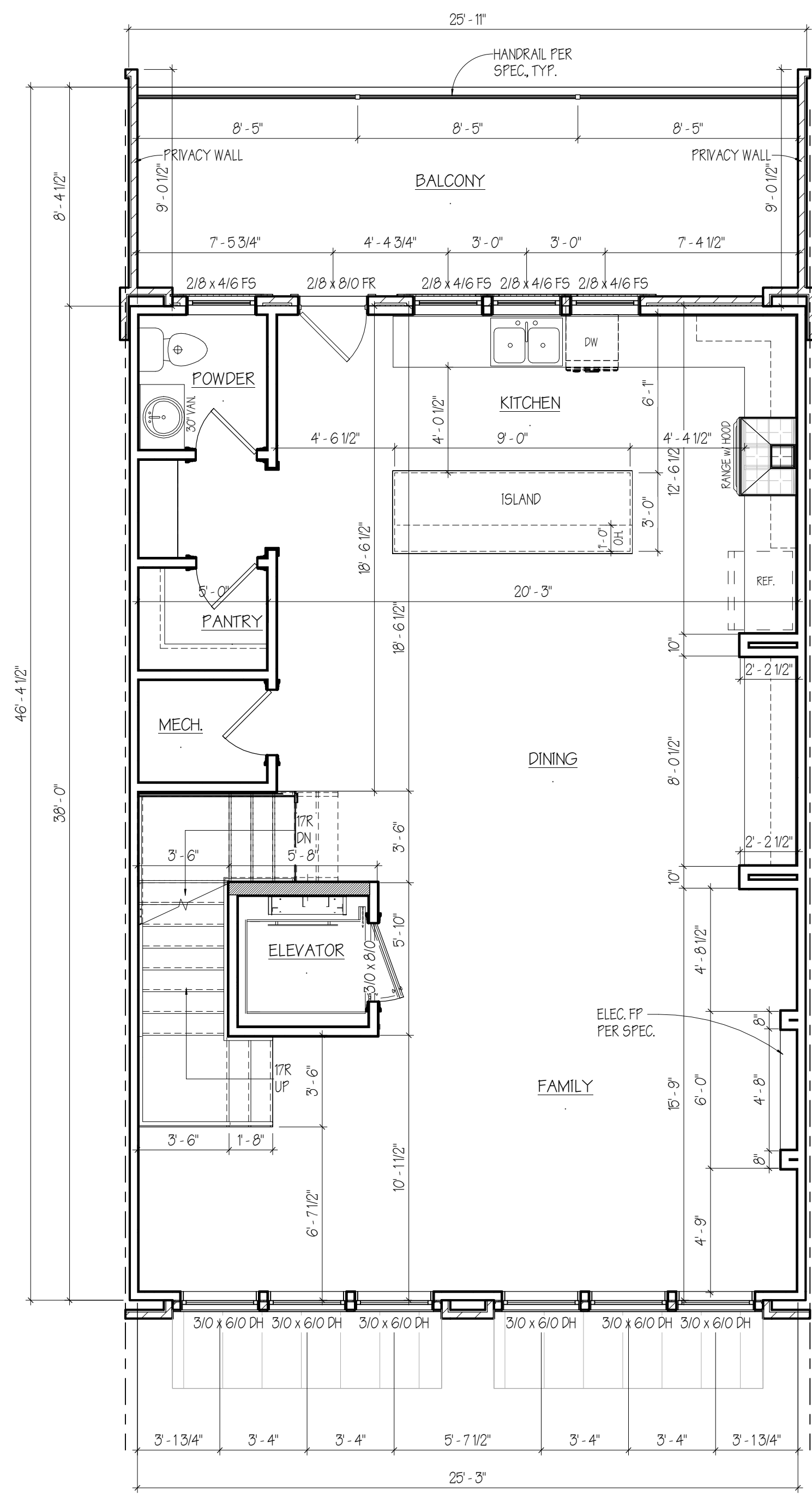
REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

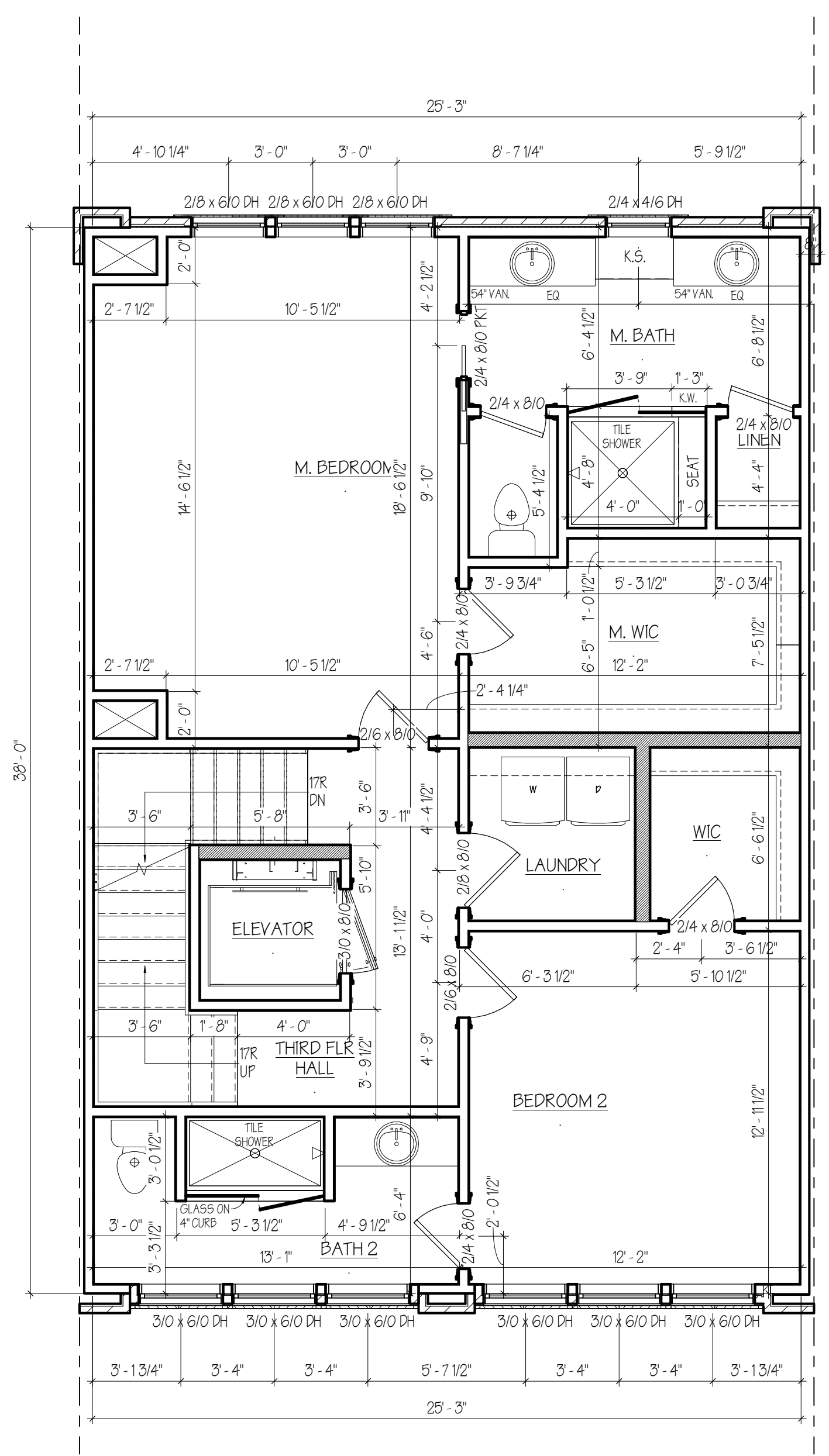
- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 2"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WxH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - FIRST FLOOR LEVEL
1/4" = 1'-0"



① ELEVATION 'B' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - THIRD FLOOR PLAN
1/4" = 1'-0"

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WITH +1" HEIGHT +0"
 - WINDOWS:
 - ALL WIK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/RRK OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE SIKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	9-1-23
DESIGN DEVELOPMENT		

SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

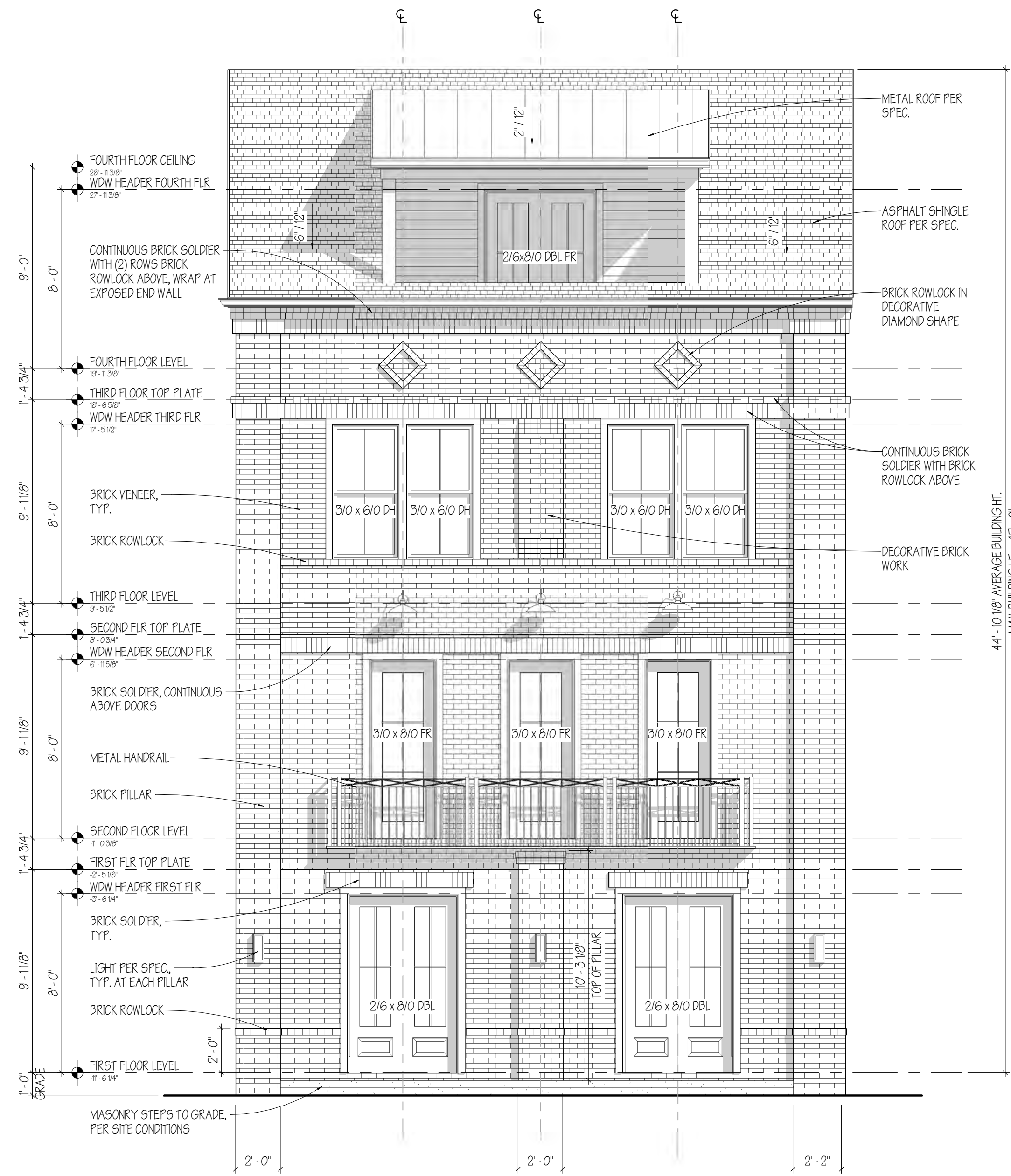
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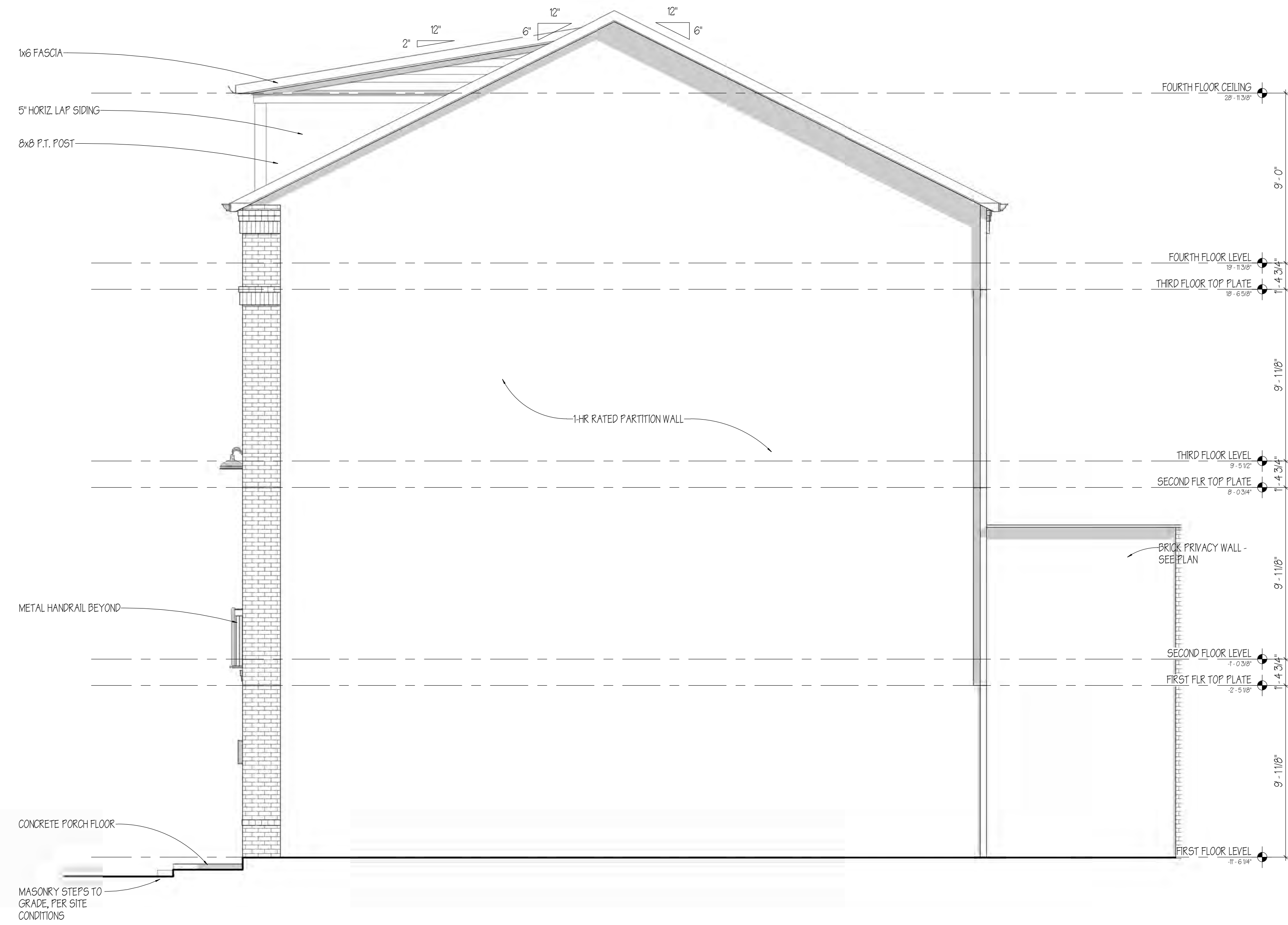
REVISION	DATE	DESCRIPTION
MMDDYYYY	9-1-23	DESIGN DEVELOPMENT

FRONT / RIGHT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120

A1.01



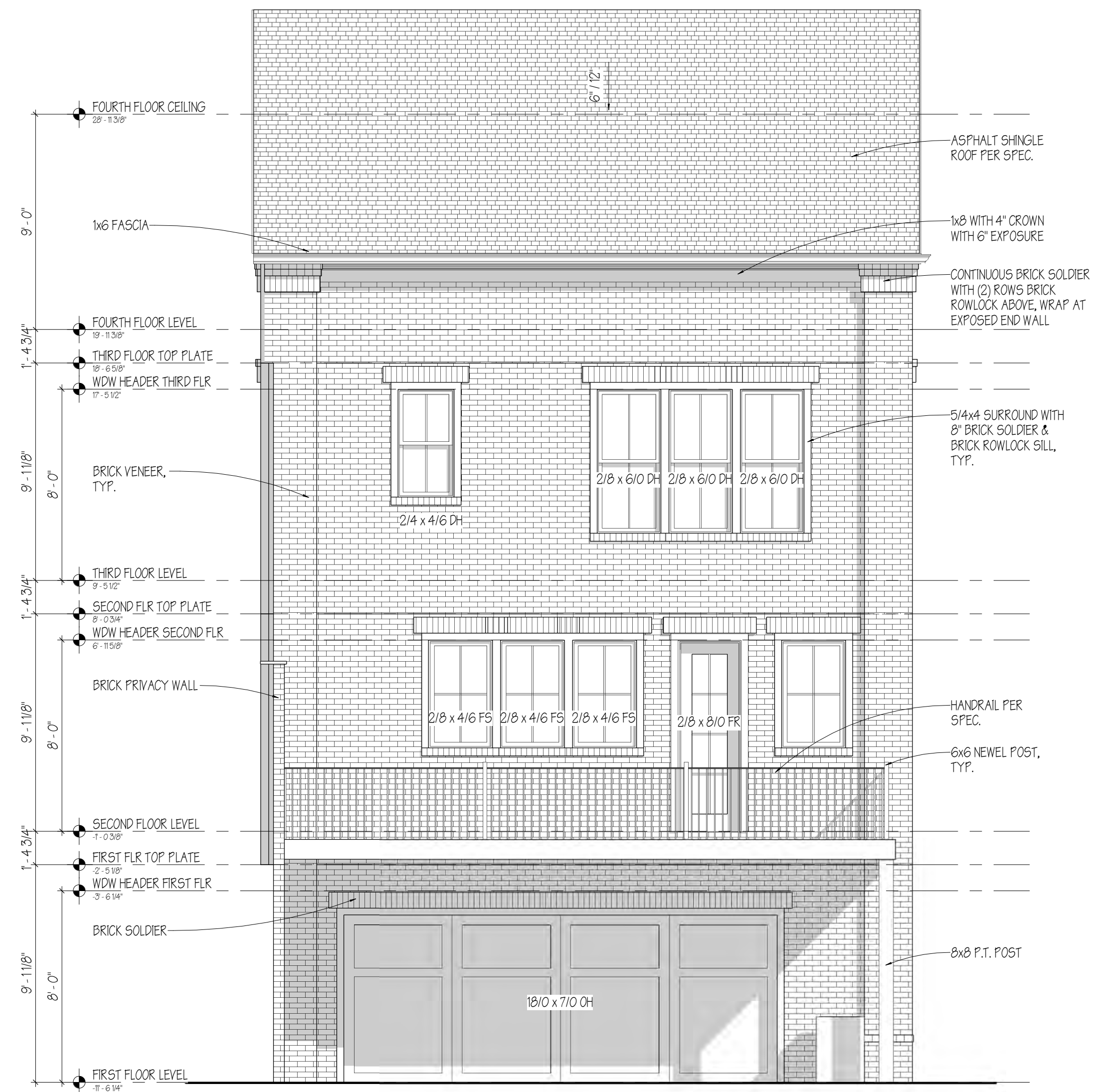
① ELEVATION 'A' - FRONT ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - RIGHT ELEVATION
1/4" = 1'-0"

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

REAR/ LEFT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120

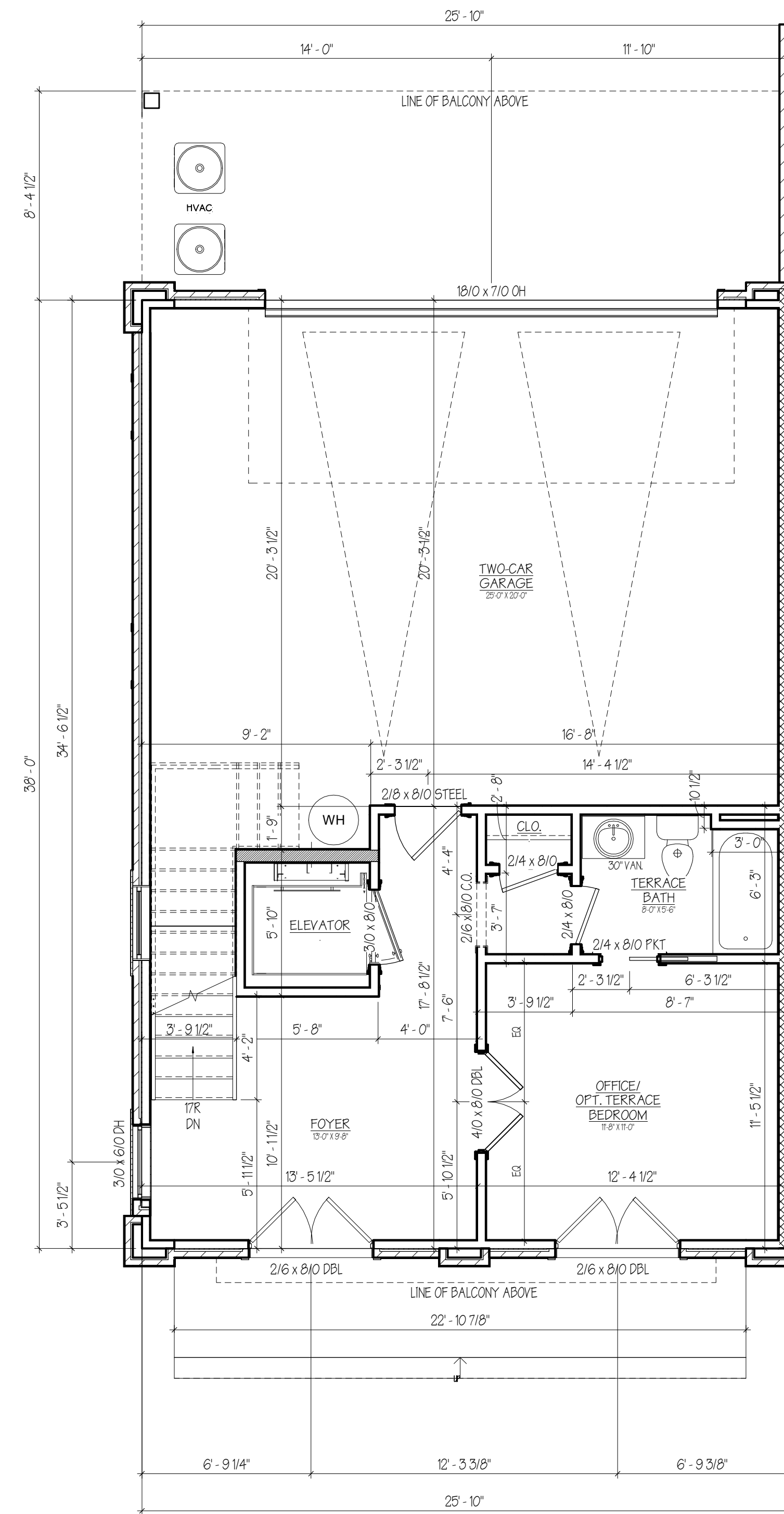


① ELEVATION 'A' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - LEFT ELEVATION
1/4" = 1'-0"

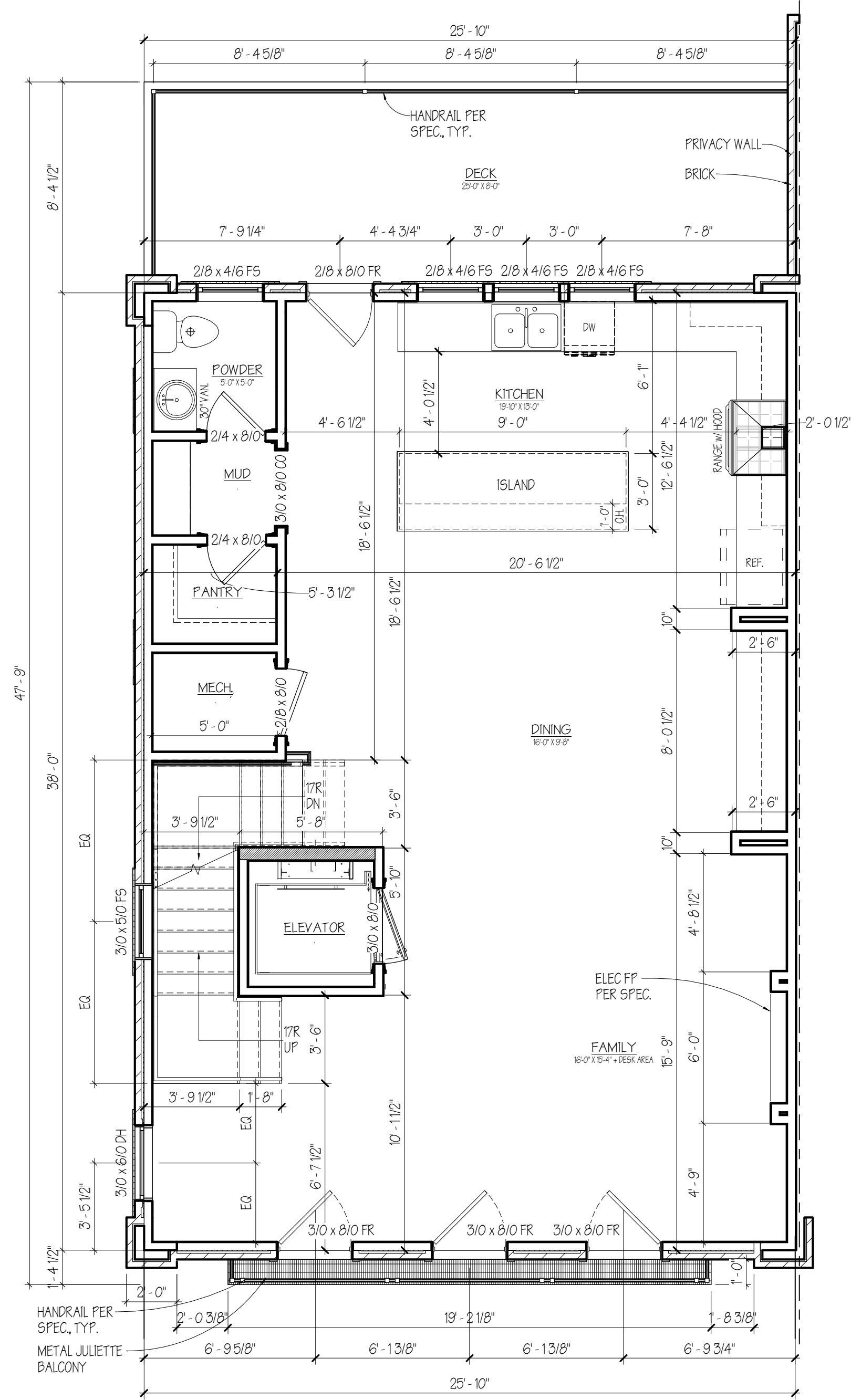
- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" HEIGHT + 6"
 - WINDOWS:
 - ALL YORK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5/16" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE KORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



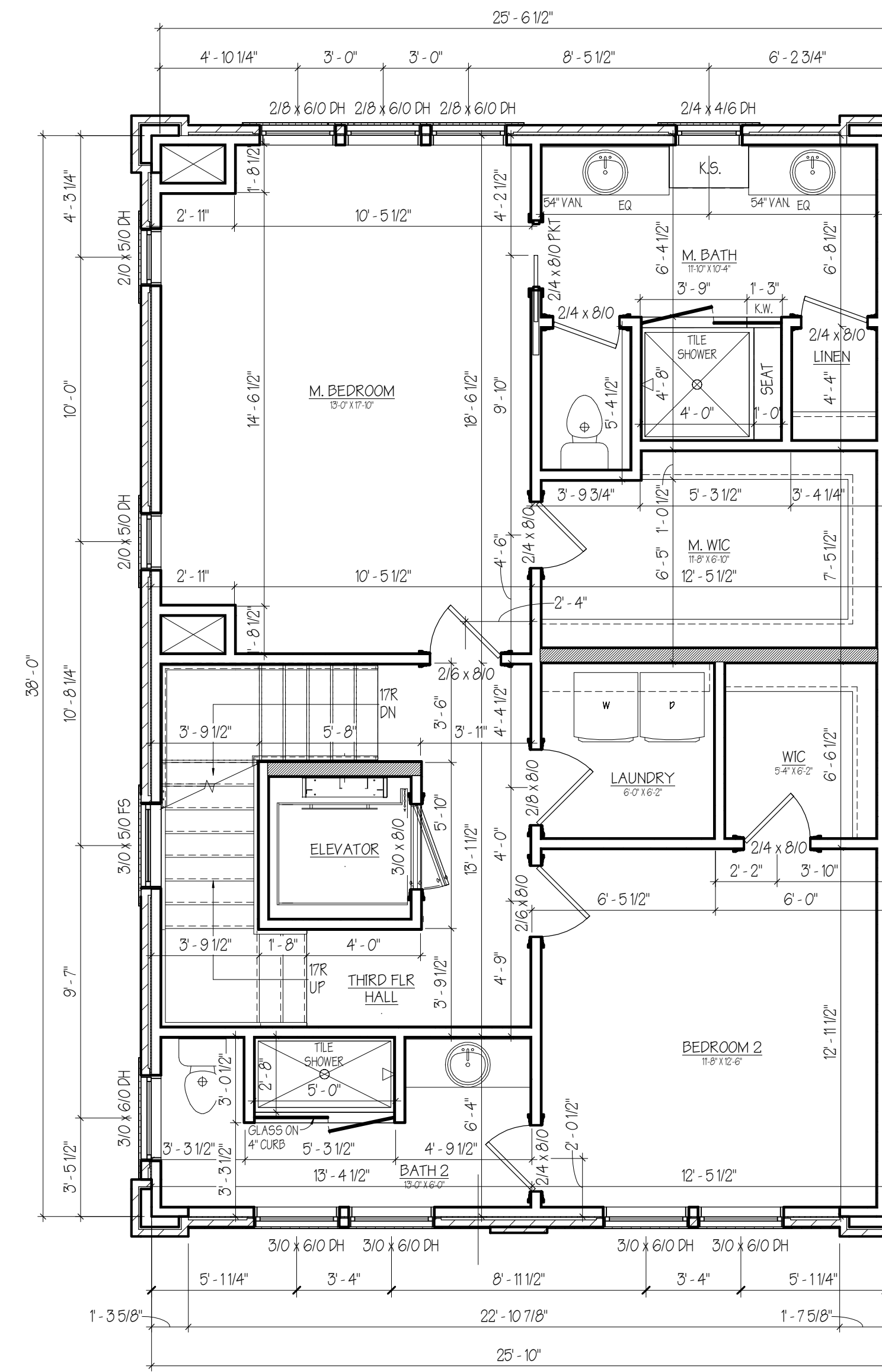
① ELEVATION 'A' - FIRST FLOOR LEVEL
1/4" = 1'-0"

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120



① ELEVATION 'A' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - THIRD FLOOR LEVEL
1/4" = 1'-0"

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WITH + 1" HEIGHT + 0"
 - WINDOWS:
 - ALL VIK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/POUR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.

- WALL LEGEND:**
- 2/4 STUD WALL
 - 2/6 STUD WALL
 - 2/4 FUTURE STUD WALL - ROUGH FRAME ONLY



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ARCHITECT / ENGINEER SEAL

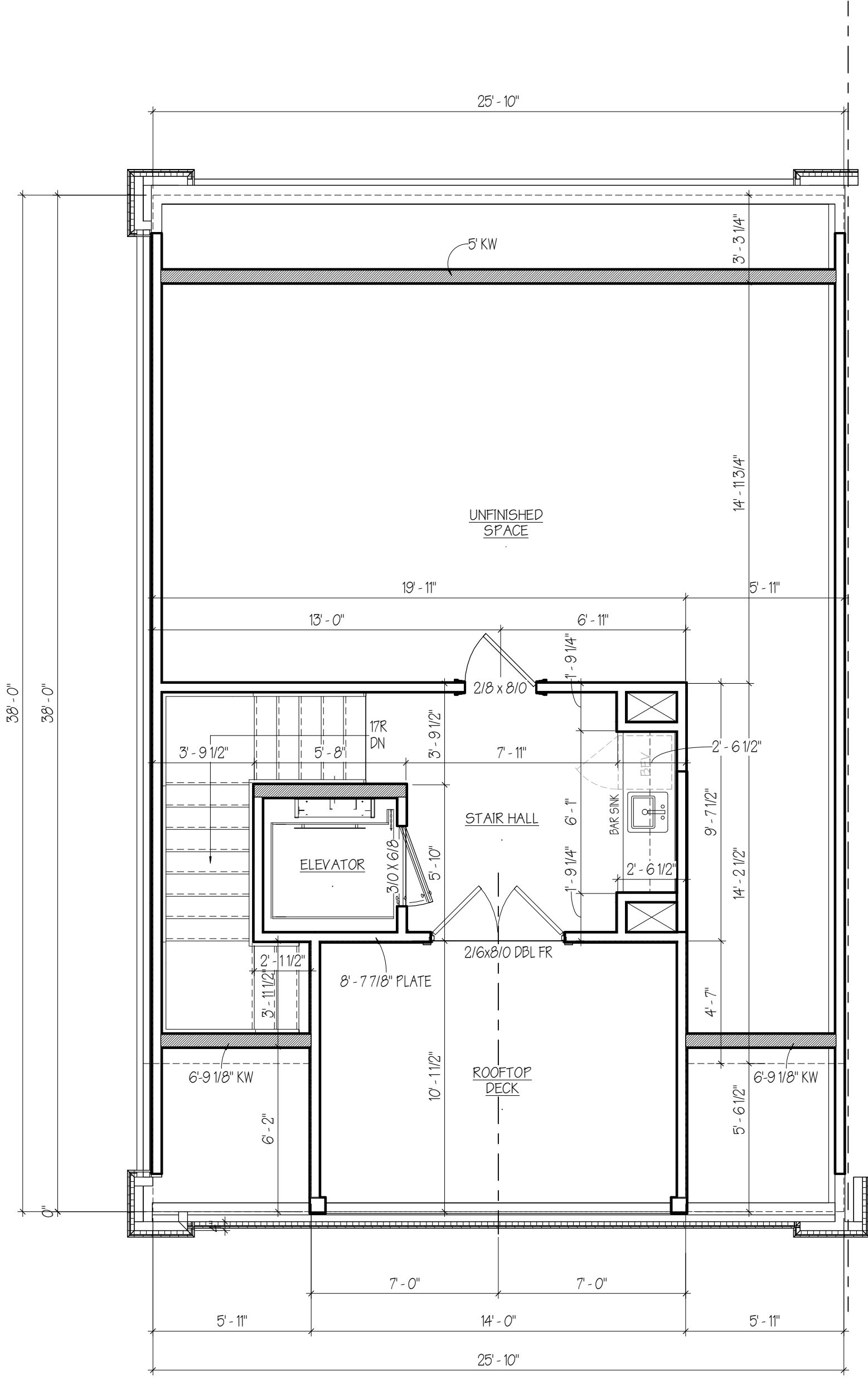
REVISION	MM/DD/YYYY	9-1-23
DESIGN DEVELOPMENT		

SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

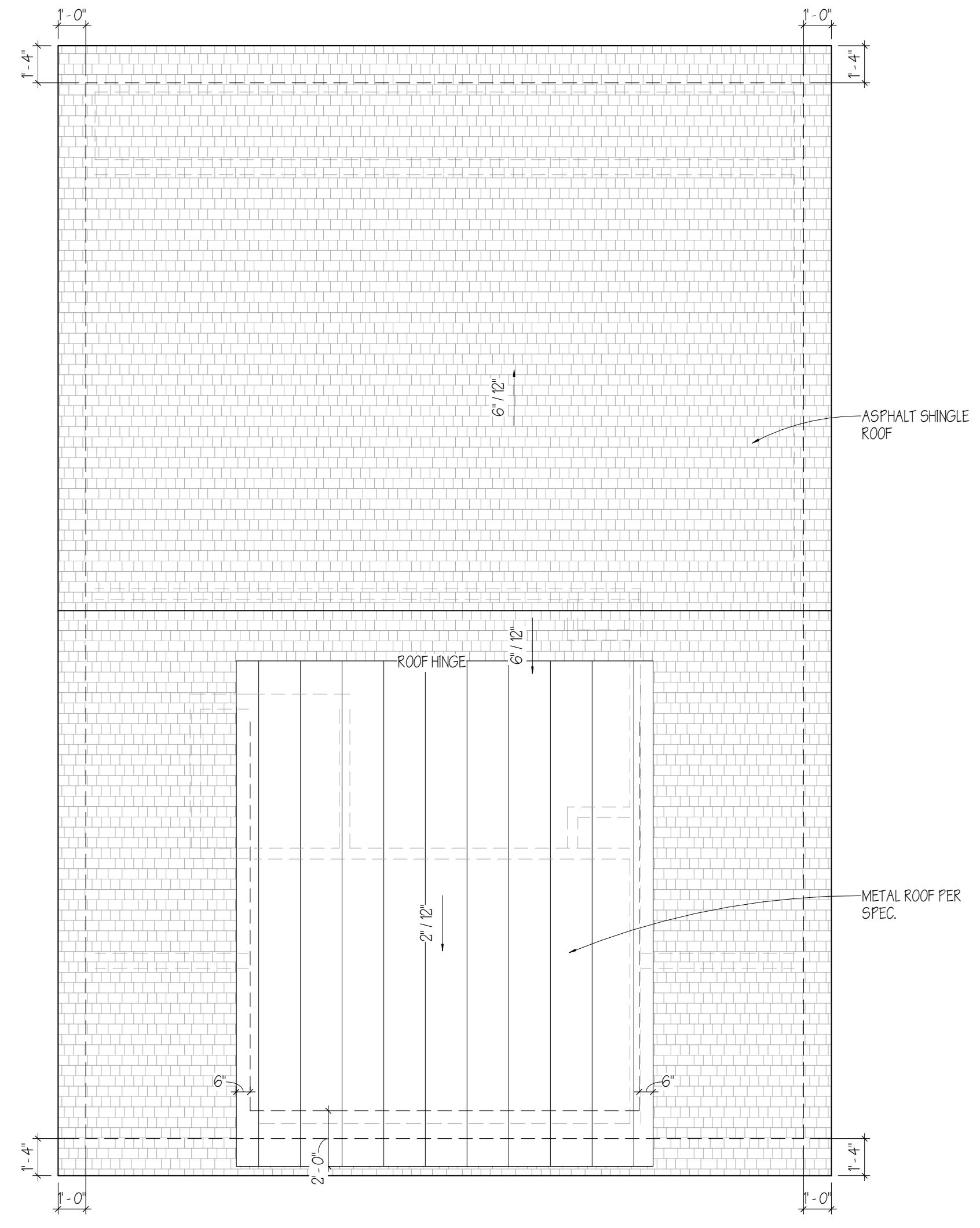
REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL WKK WINDOW SIZES ARE LISTED IN FEET/INCHES (Ft/IN)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INDOR ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - ROOF LEVEL
1/4" = 1'-0"

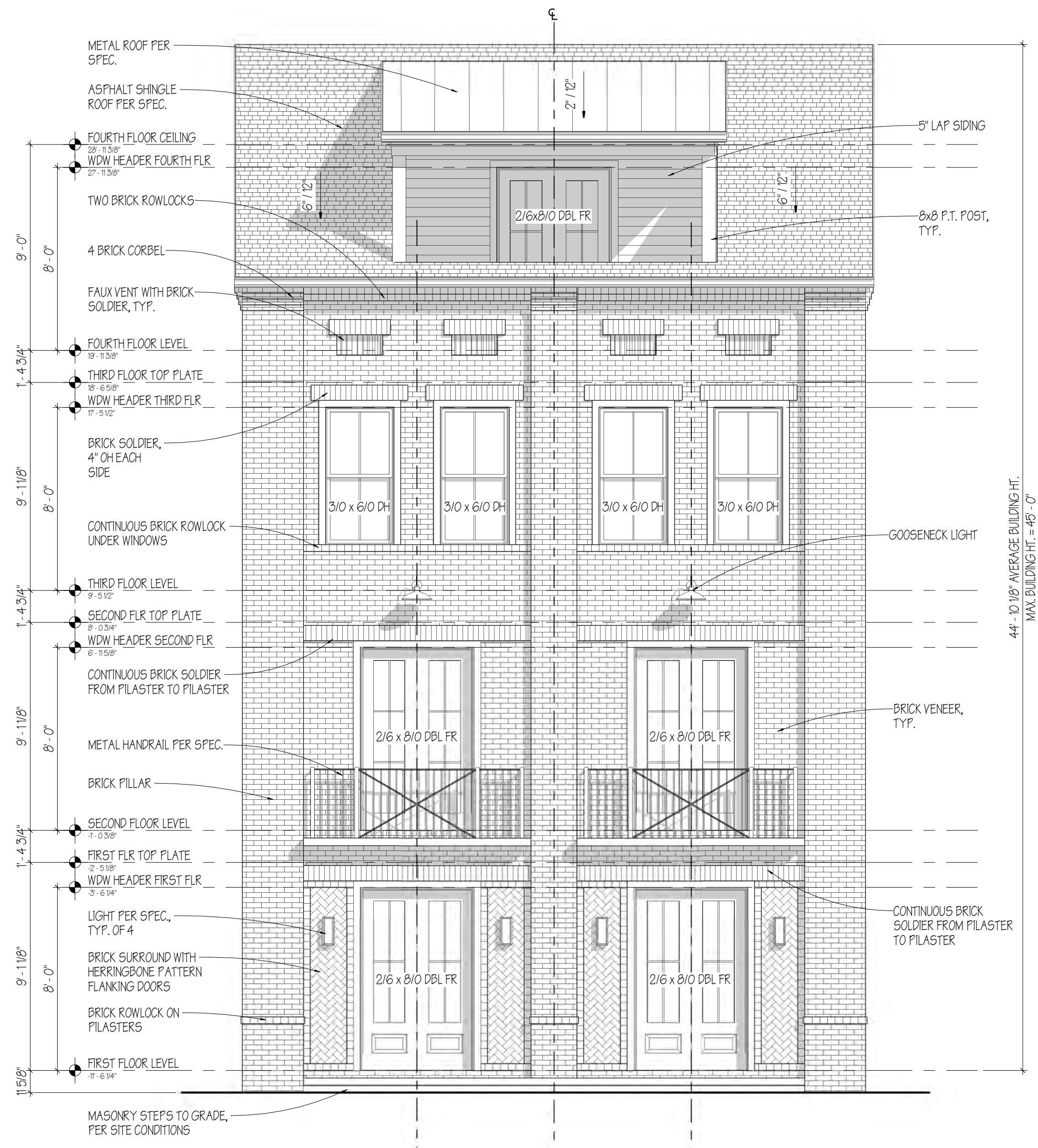
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ARCHITECT / ENGINEER SEAL

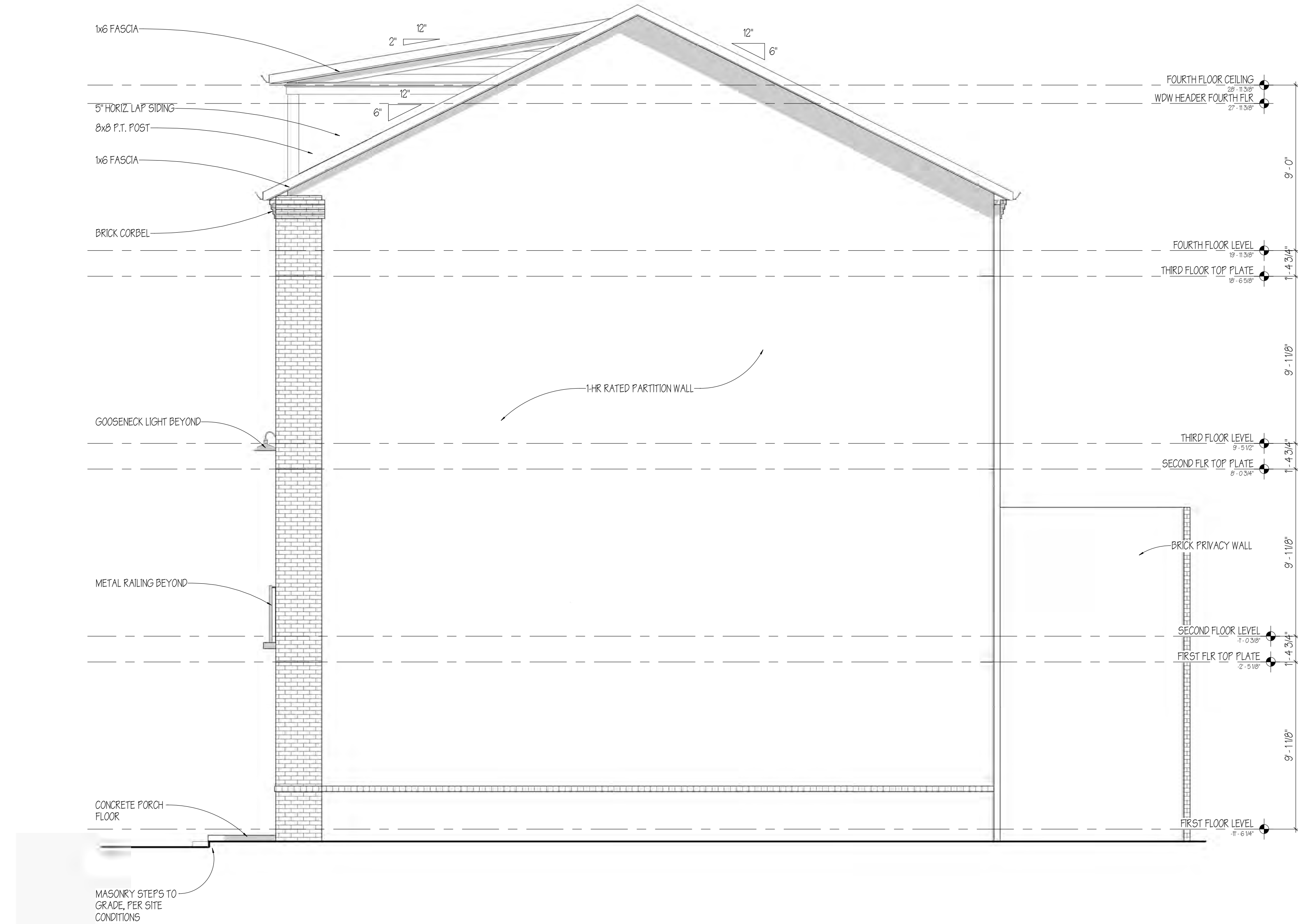
REVISION	DATE	DESCRIPTION
MMDDYYYY	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

A1.01



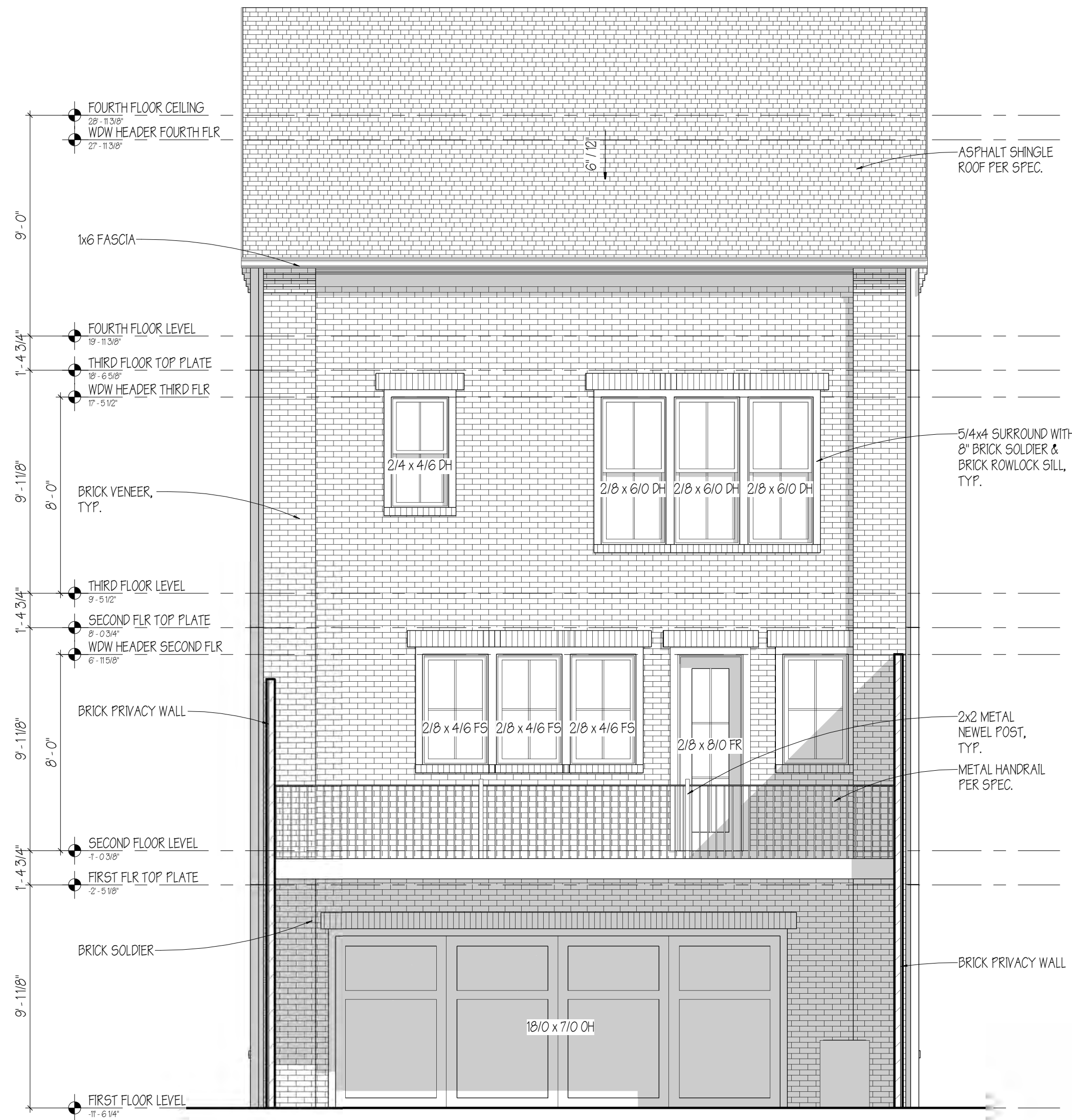
① ELEVATION 'C' - FRONT ELEVATION
1/4" = 1'-0"



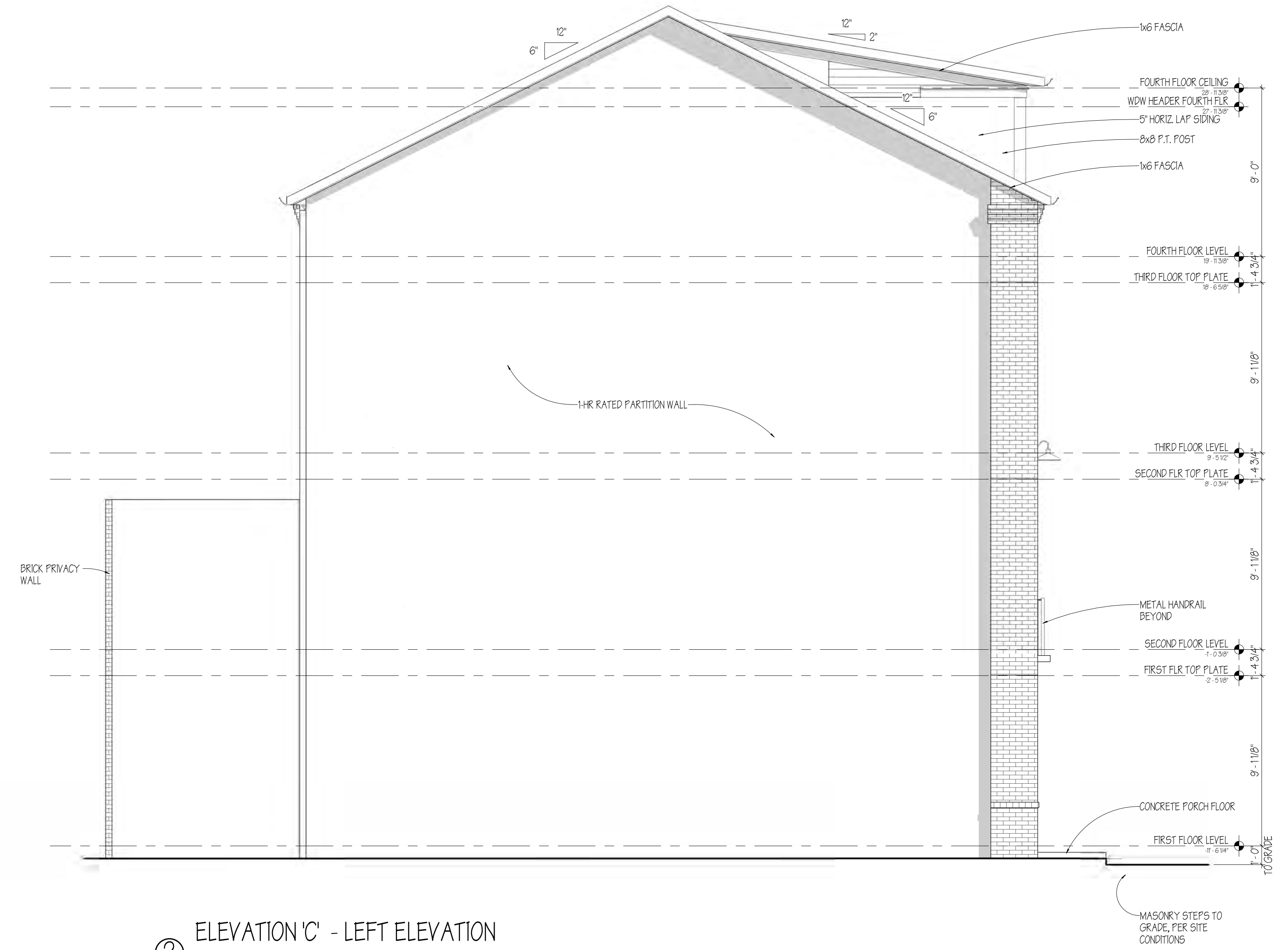
② ELEVATION 'C' - RIGHT ELEVATION
1/4" = 1'-0"

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ARCHITECT / ENGINEER SEAL



① ELEVATION 'C' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'C' - LEFT ELEVATION
1/4" = 1'-0"

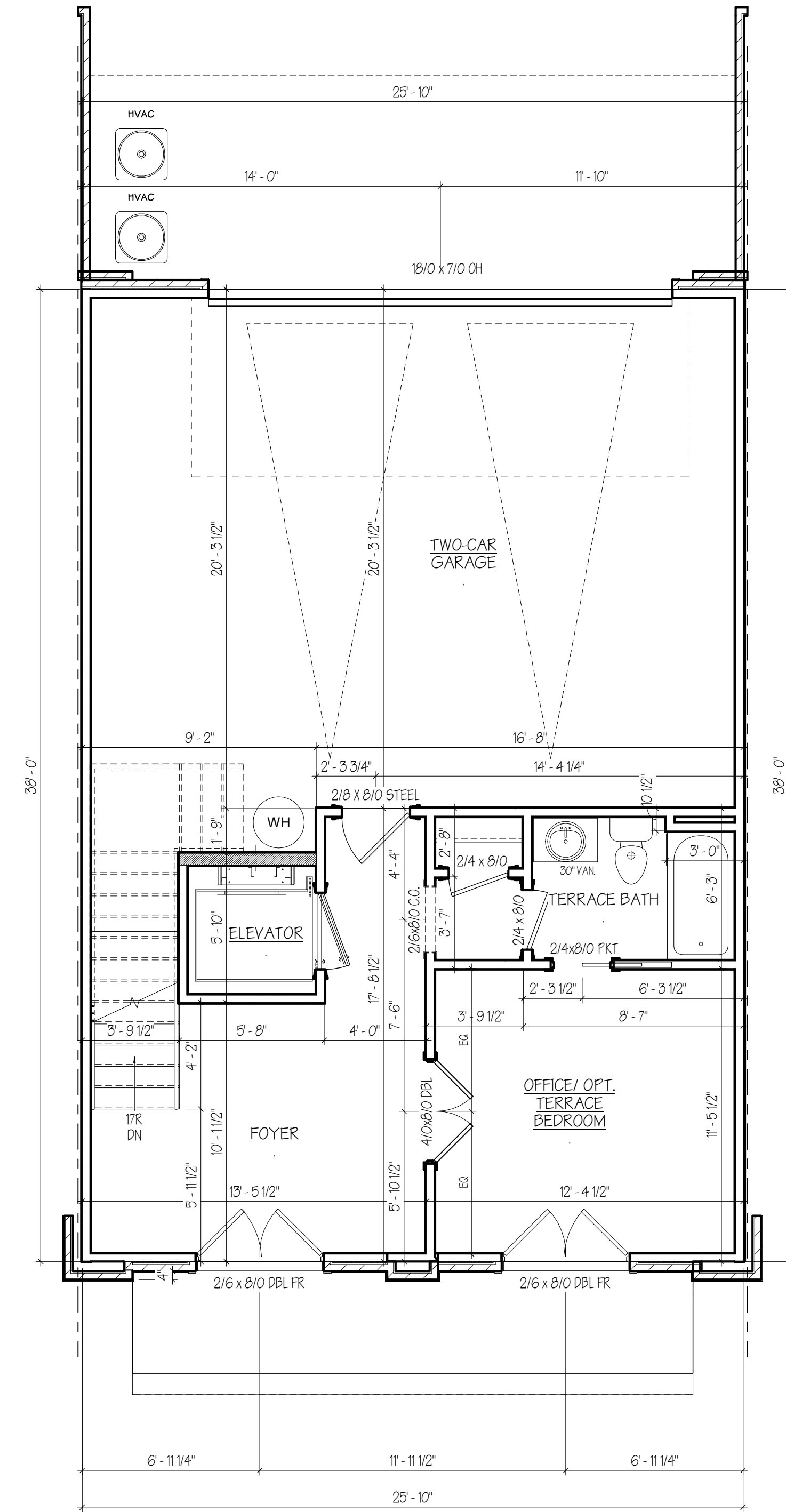
REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

REAR/ LEFT ELEVATIONS
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 2"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WxH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY

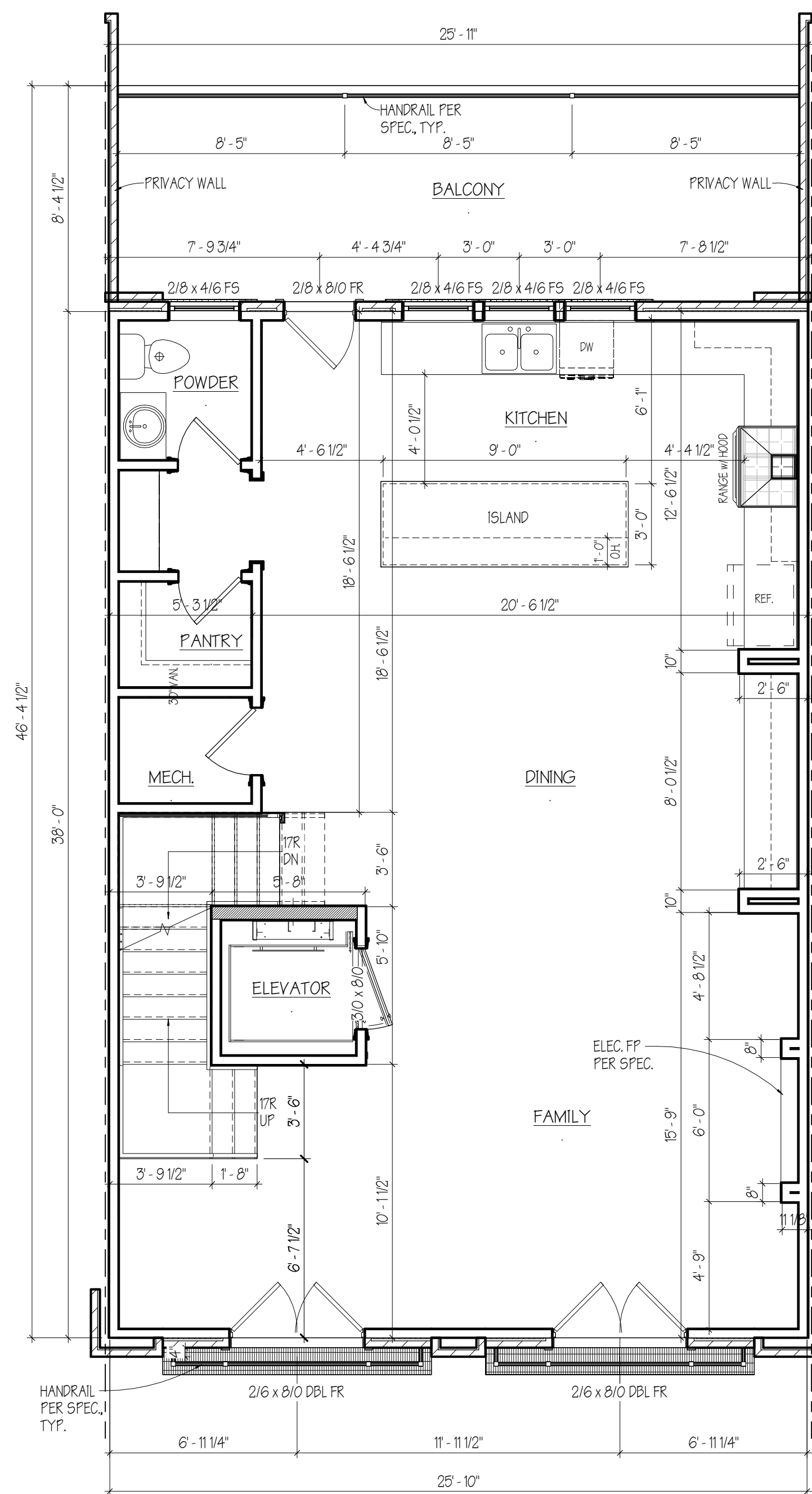


① ELEVATION 'C' - FIRST FLOOR LEVEL
1/4" = 1'-0"

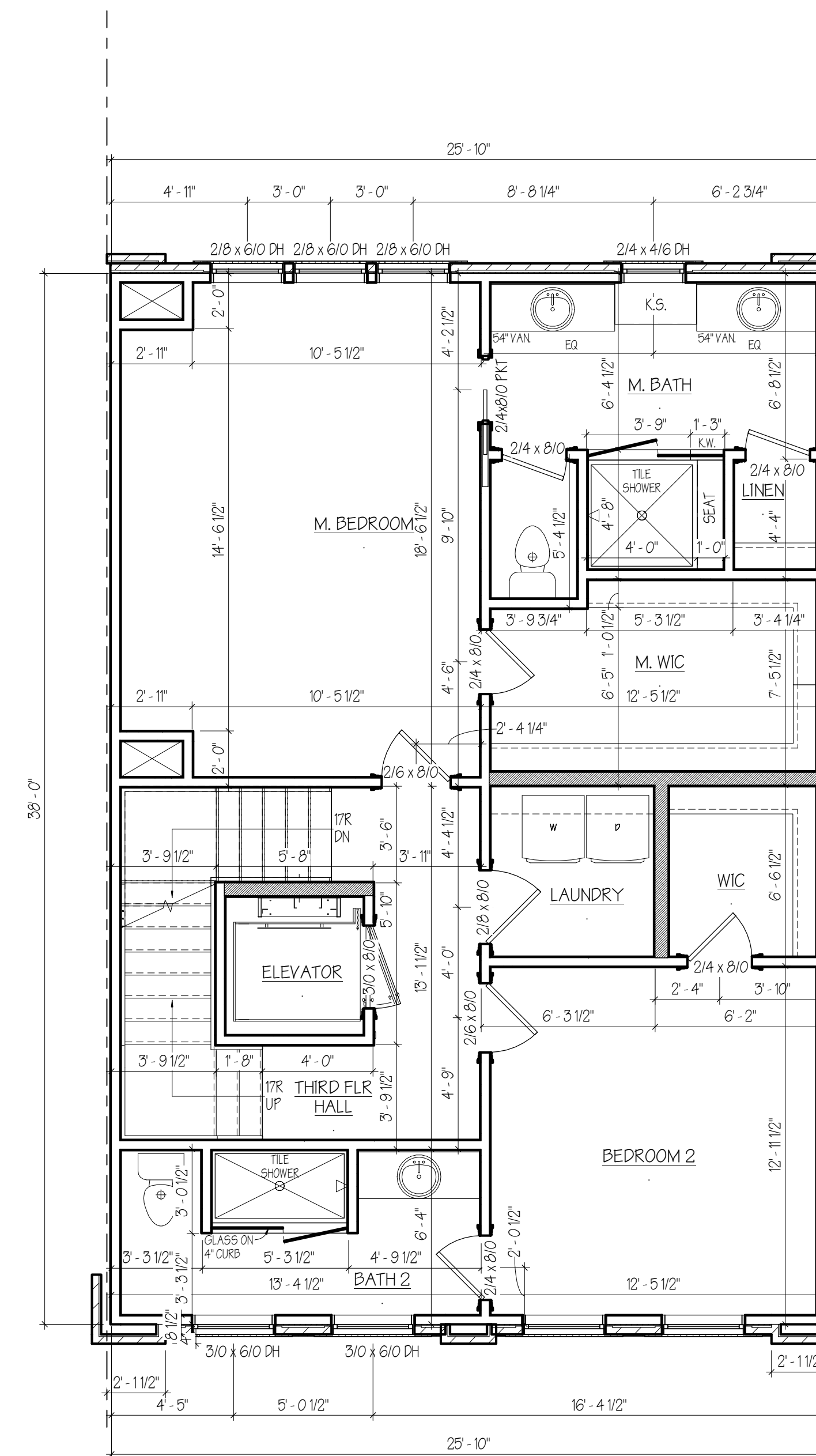
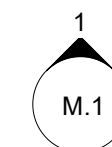
REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

SECOND/THIRD FLOOR PLANS
W MAIN STREET & S BARTOW STREET
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - FOOTSTOCK DOOR ROUGH OPENINGS ARE WIDTH + 1" HEIGHT + 5"
 - WINDOWS:
 - ALL WKK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FLR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'C' - SECOND FLOOR LEVEL
1/4" = 1'-0"



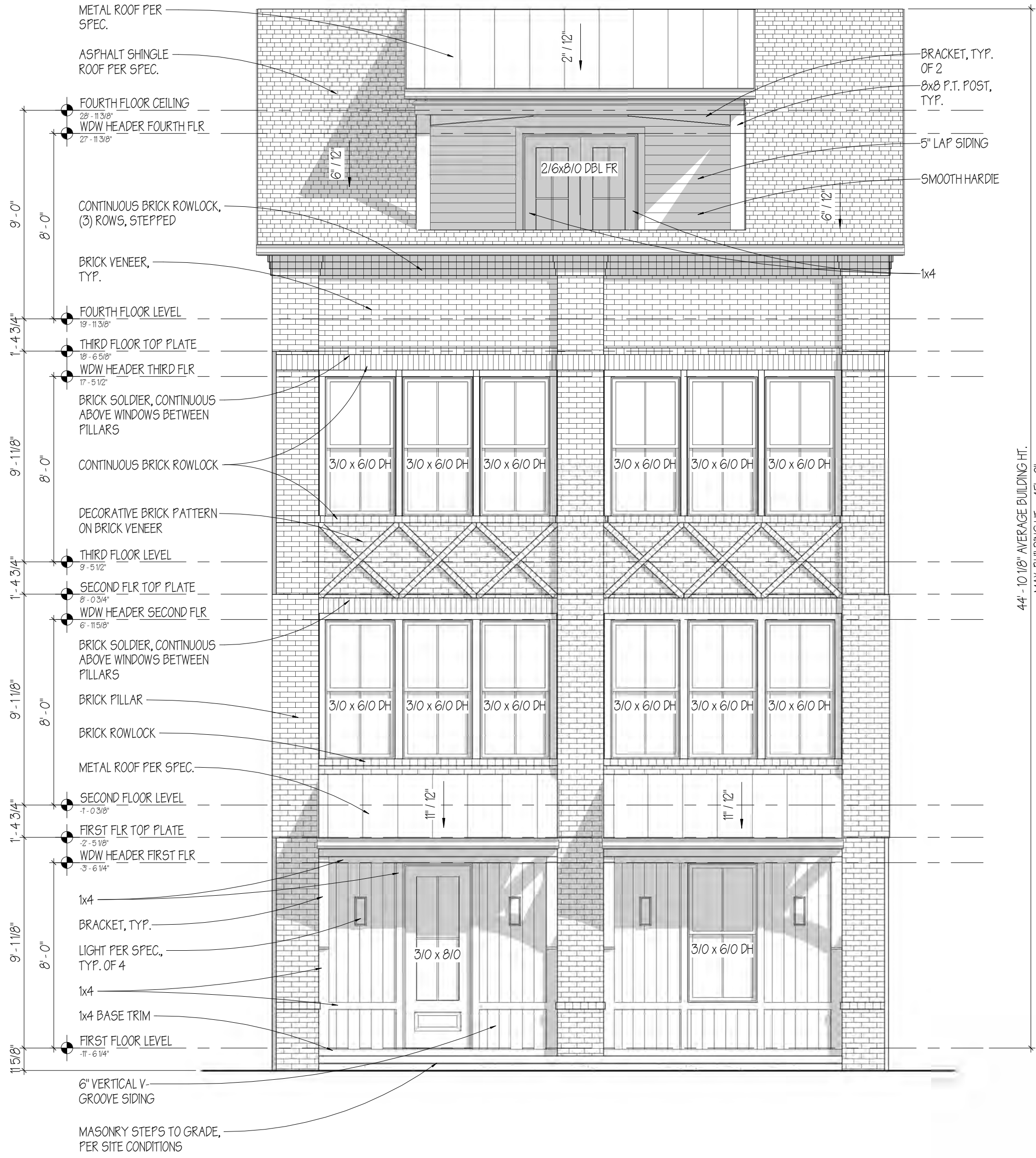
② ELEVATION 'C' - THIRD FLOOR LEVEL
1/4" = 1'-0"

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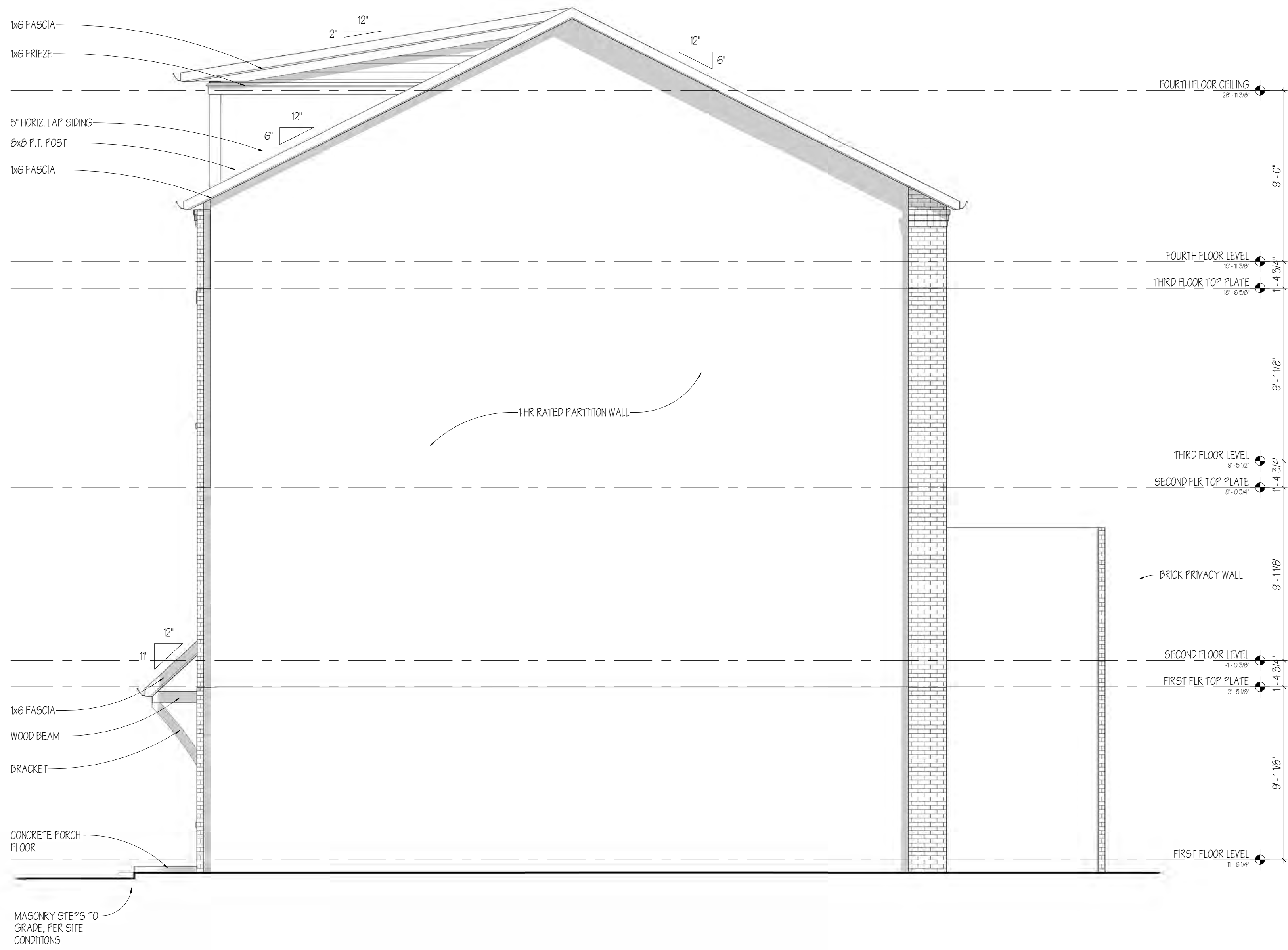
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MMDD/YYYY	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
 ADDRESS
 CARTERSVILLE, GA 30120



① ELEVATION 'B' - FRONT ELEVATION
 1/4" = 1'-0"

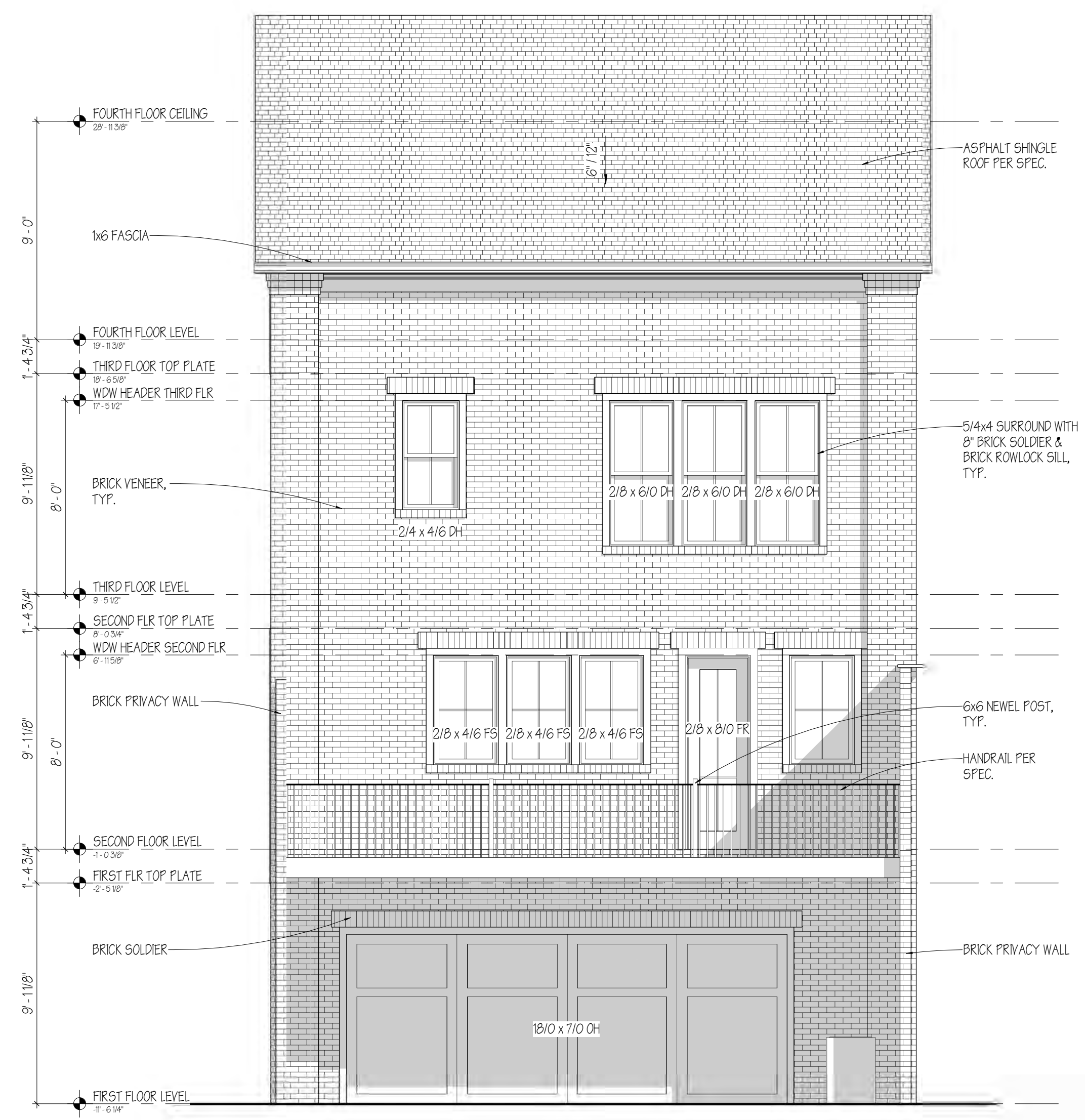


② ELEVATION 'B' - RIGHT ELEVATION
 1/4" = 1'-0"

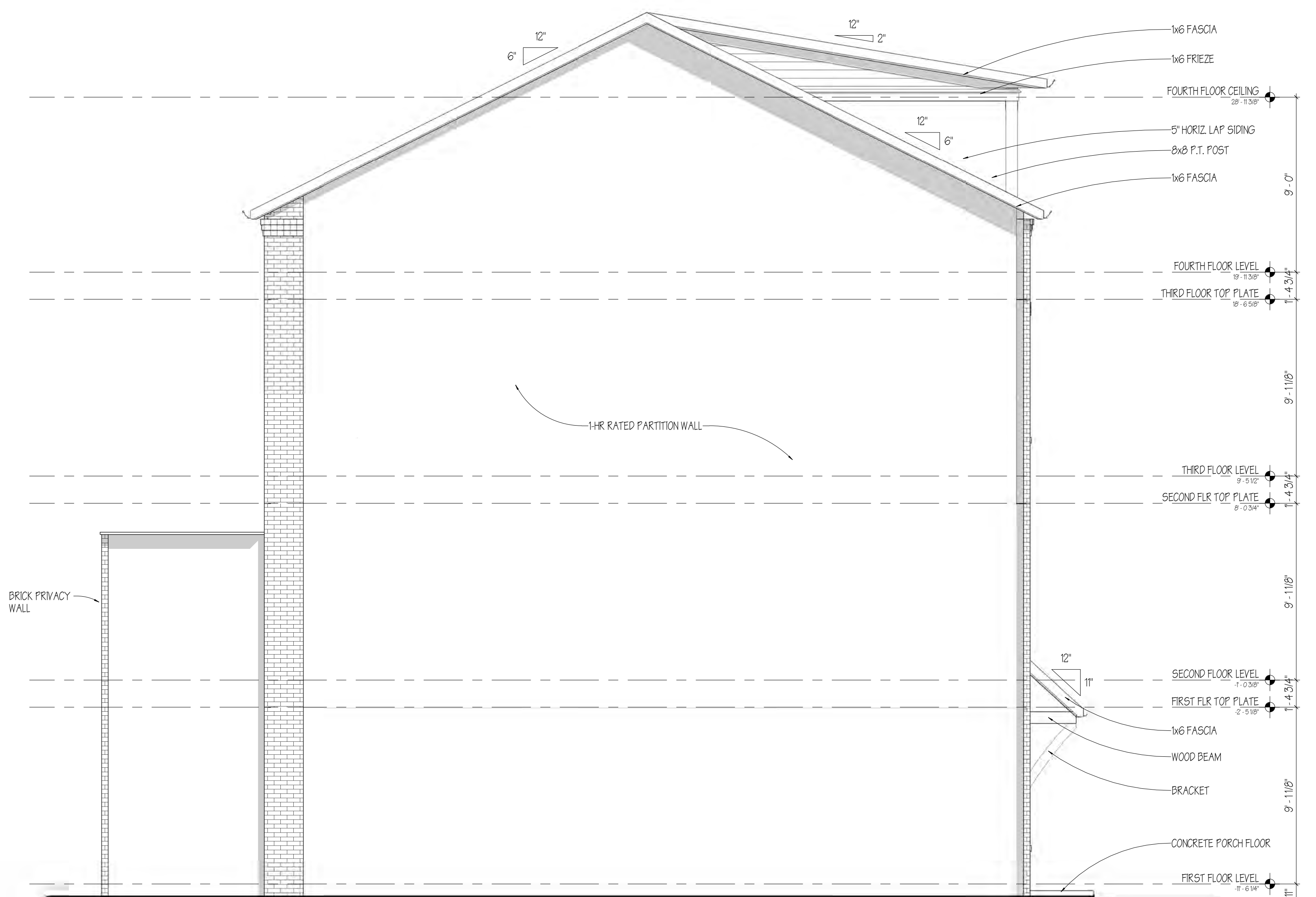
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ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT



① ELEVATION 'B' - REAR ELEVATION
1/4" = 1'-0"



② ELEVATION 'B' - LEFT ELEVATION
1/4" = 1'-0"

REAR/ LEFT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120

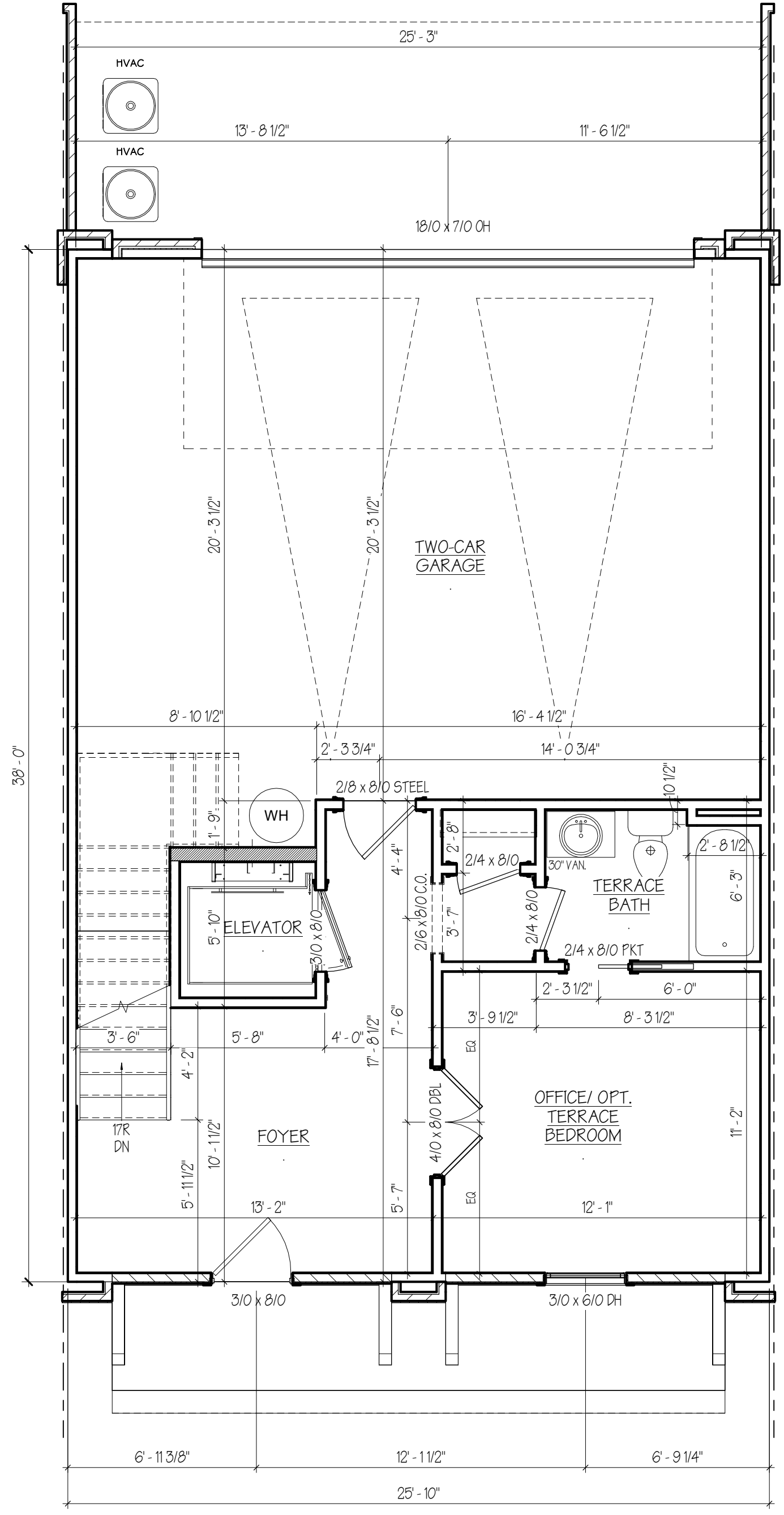
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY	DESCRIPTION
	9-1-23	DESIGN DEVELOPMENT

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-10" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - FIRST FLOOR LEVEL
1/4" = 1'-0"

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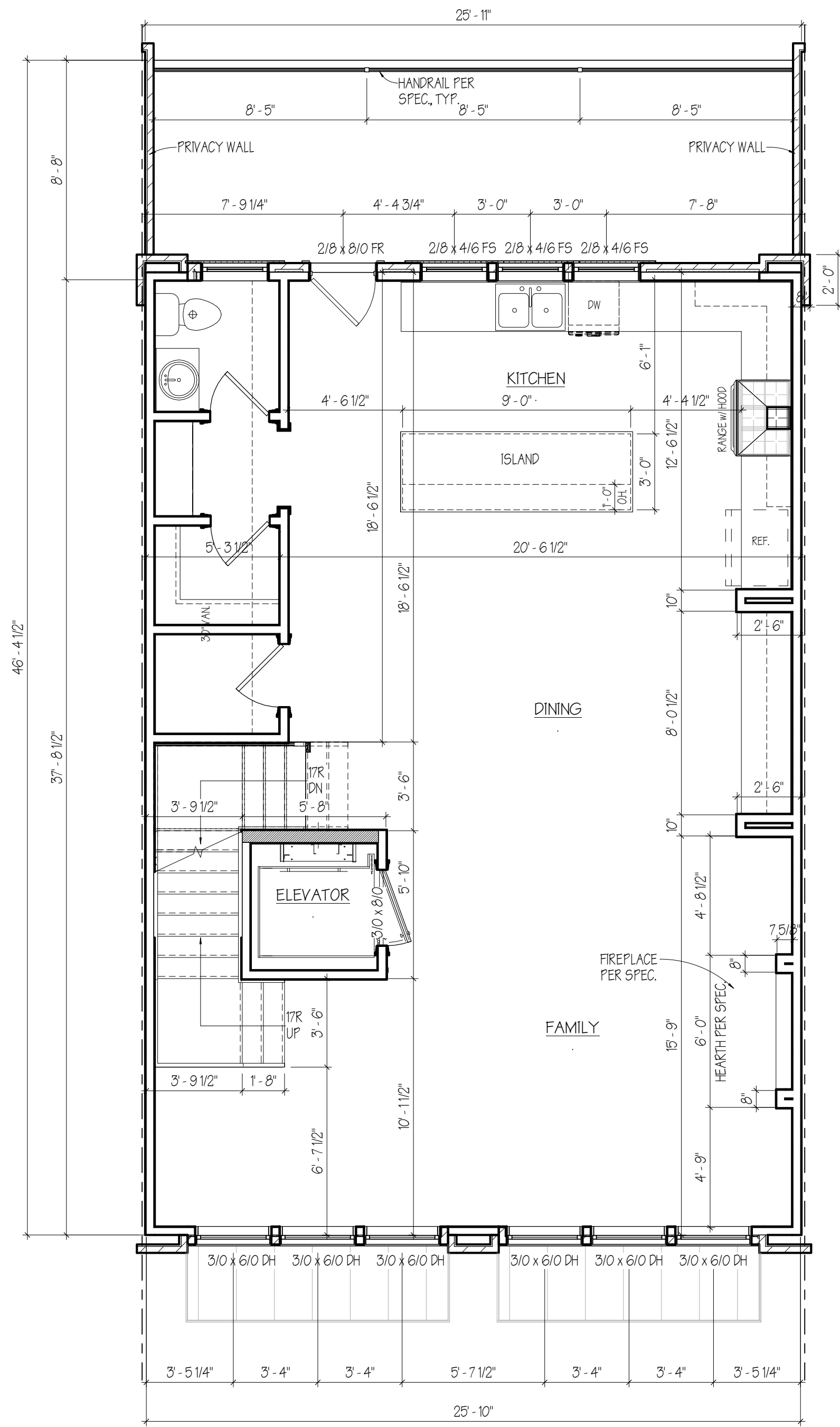
ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MM/DD/YYYY	9-1-23	DESIGN DEVELOPMENT

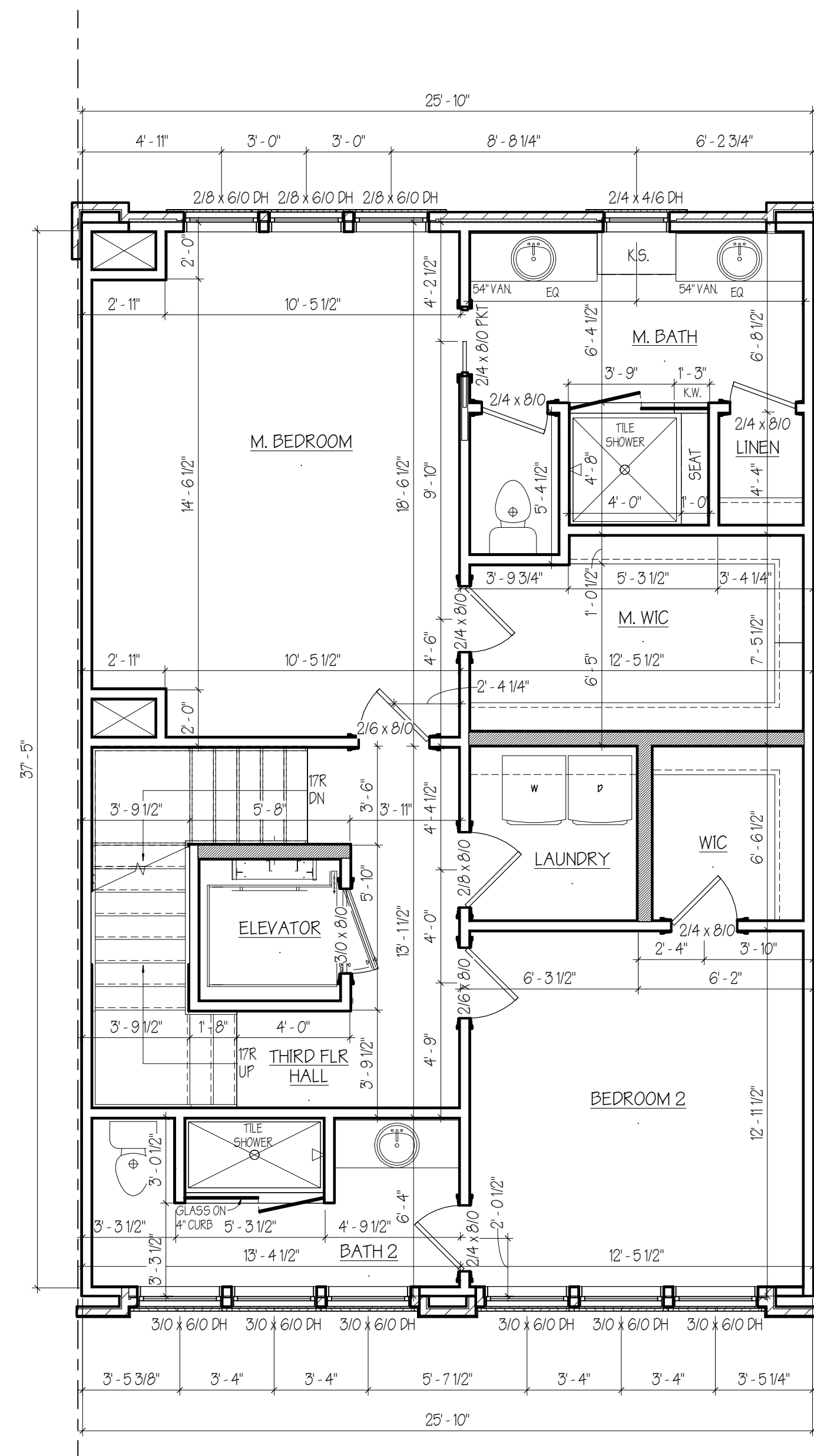
SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:**
 - ALL TERRACE LEVEL CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - ALL FIRST FLOOR CEILINGS TO BE 10'-0" HIGH (NOMINAL), UNO.
 - ALL SECOND FLOOR CEILINGS TO BE 9'-0" HIGH (NOMINAL), UNO.
 - DOORS:**
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - DOCKET DOOR ROUGH OPENINGS ARE WITH +1" HEIGHT +0"
 - WINDOWS:**
 - ALL W/CK WINDOW SIZES ARE LISTED IN FEET/INCHES (W/H).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/RRK OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.

- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'B' - THIRD FLOOR LEVEL
1/4" = 1'-0"

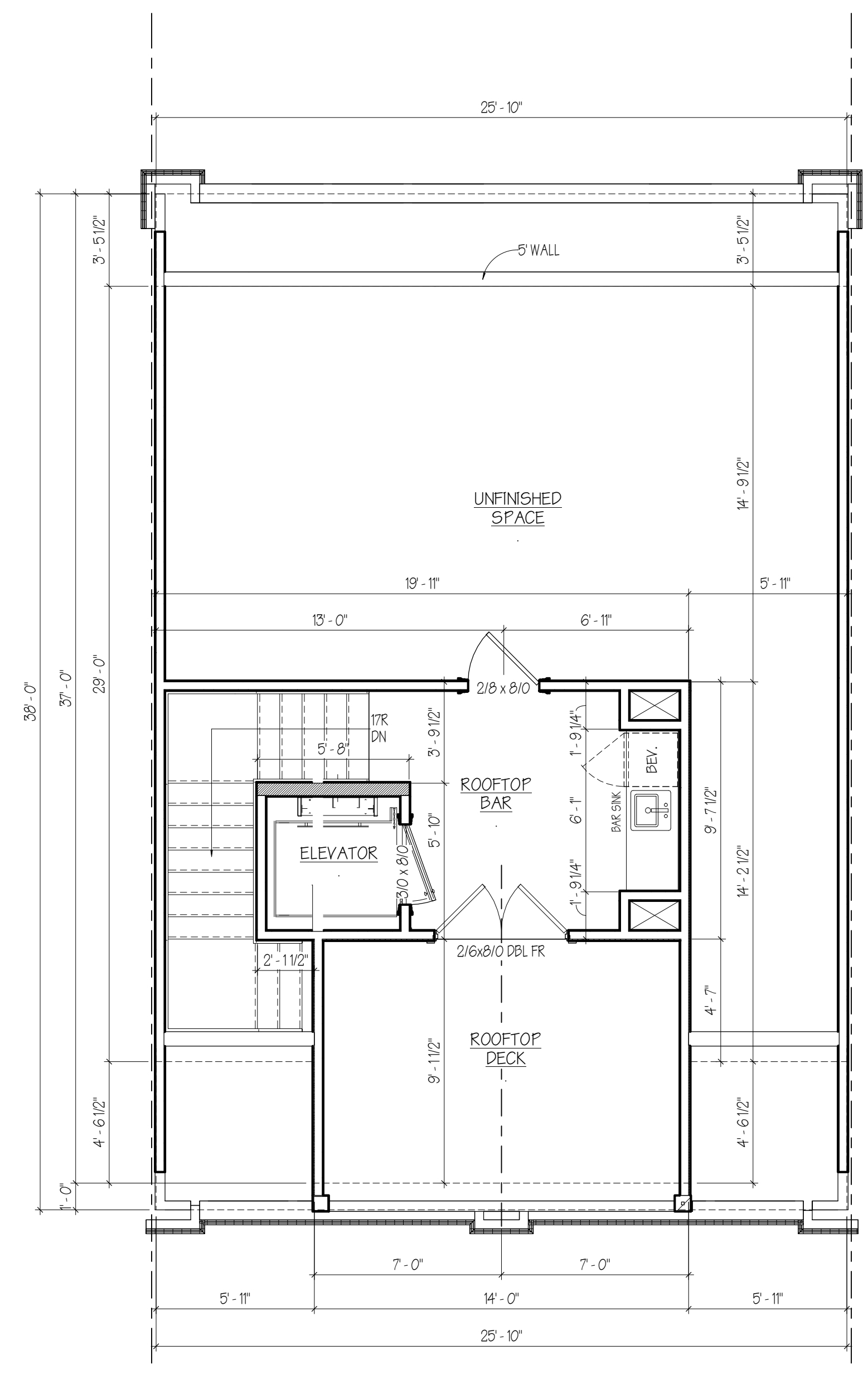
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ARCHITECT / ENGINEER SEAL

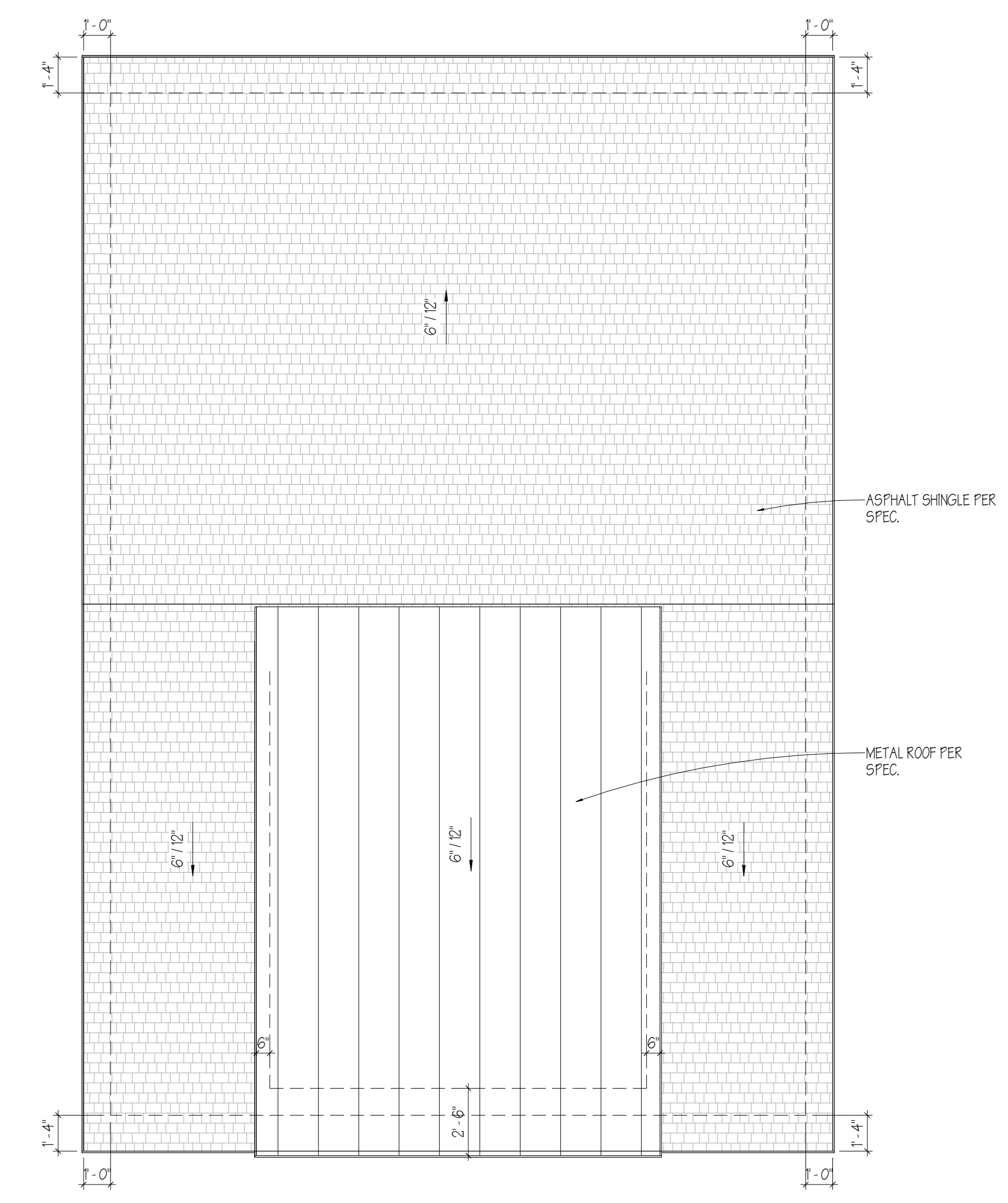
REVISION	MM/DD/YYYY	DESCRIPTION
	9-1-23	DESIGN DEVELOPMENT

FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:
 - ALL YORK WINDOW SIZES ARE LISTED IN FEET/INCHES (FH/I).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INDOOR ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'B' - FOURTH FLOOR LEVEL
1/4" = 1'-0"



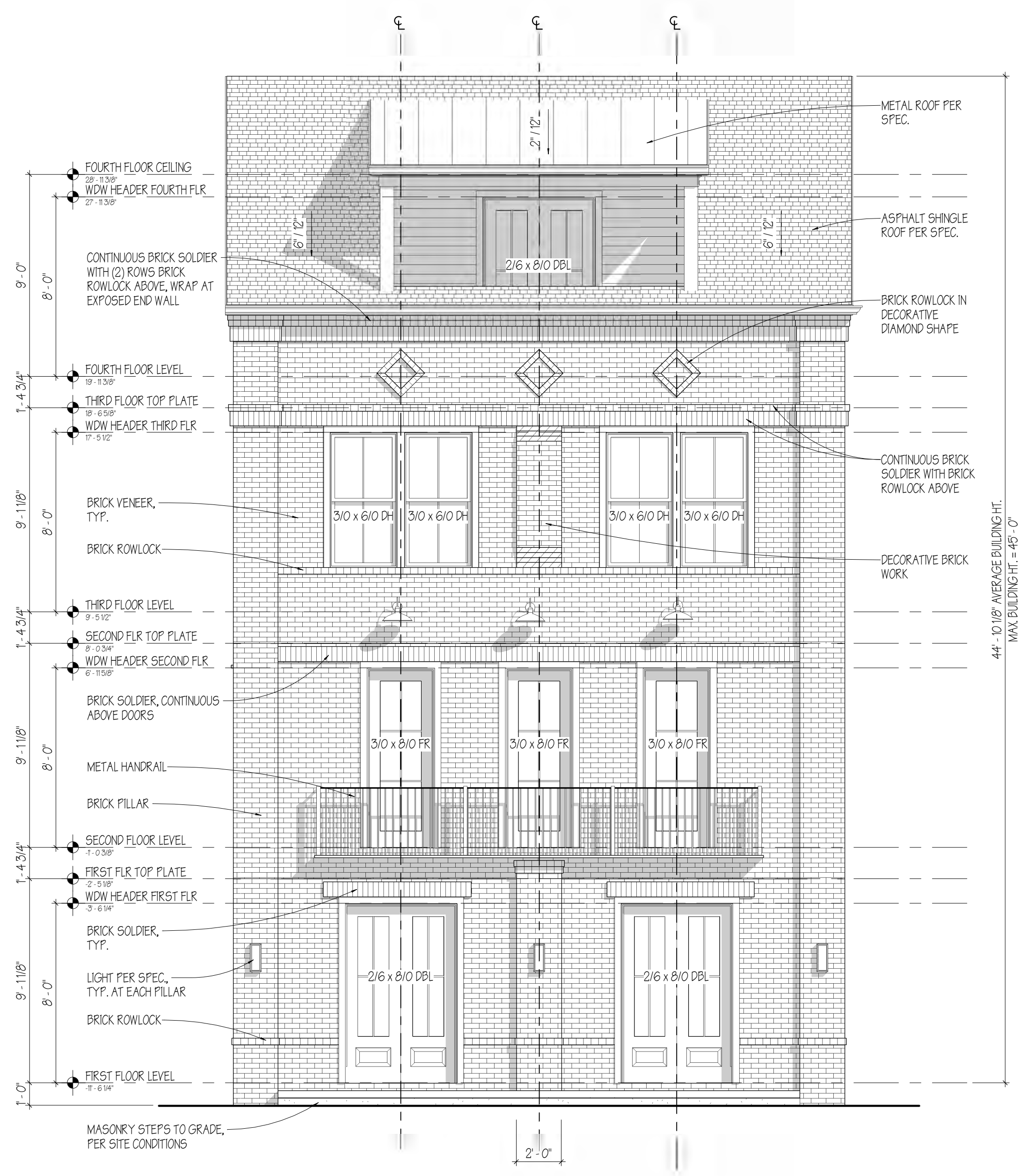
② ELEVATION 'B' - ROOF LEVEL
1/4" = 1'-0"

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ARCHITECT / ENGINEER SEAL

REVISION	DATE	DESCRIPTION
MMDDYYYY	9-1-23	DESIGN DEVELOPMENT

FRONT/ RIGHT ELEVATIONS
ADDRESS
CARTERSVILLE, GA 30120



① ELEVATION 'A' - FRONT ELEVATION
1/4" = 1'-0"



② ELEVATION 'A' - RIGHT ELEVATION
1/4" = 1'-0"

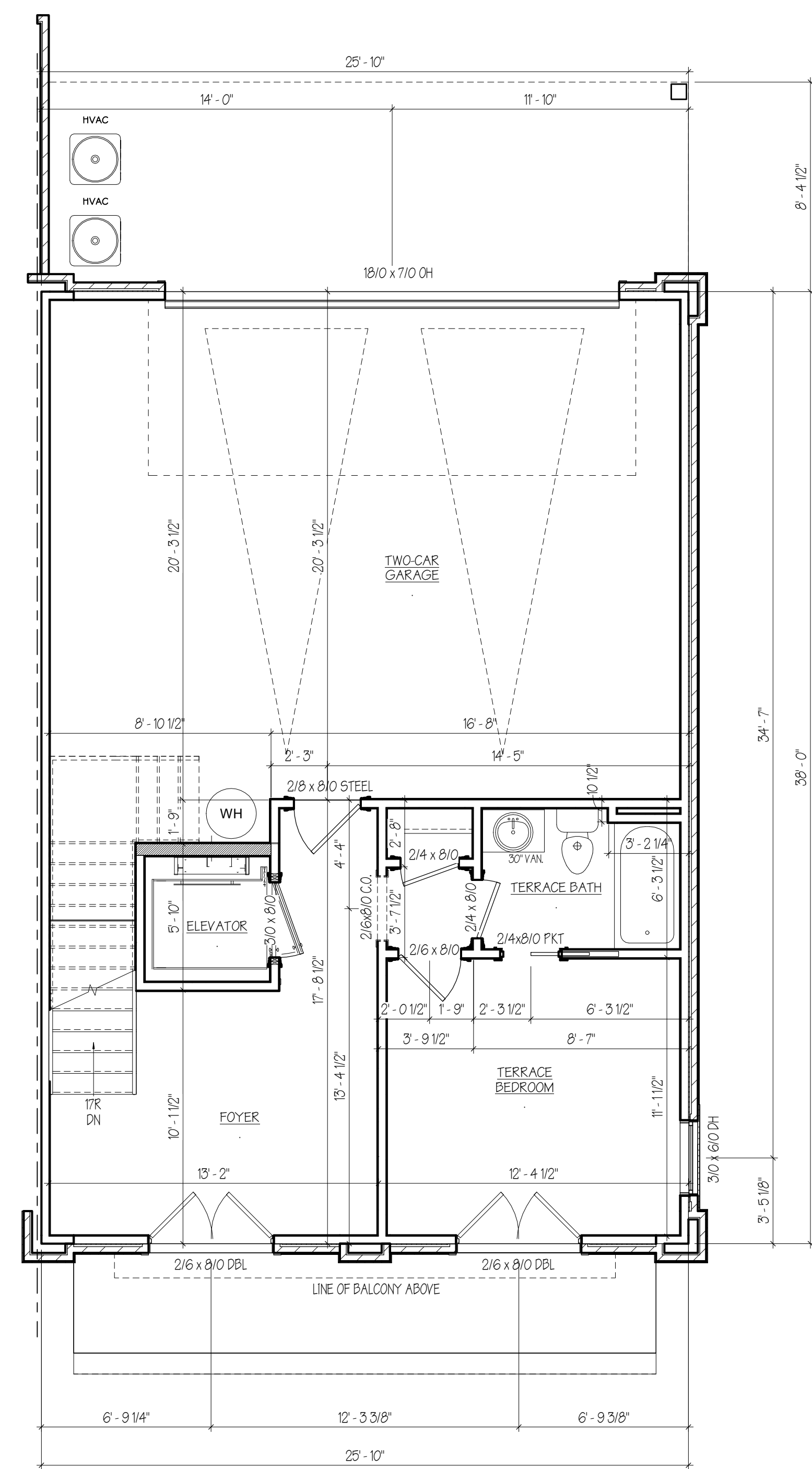
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ARCHITECT / ENGINEER SEAL

REVISION	MM/DD/YYYY
DESIGN DEVELOPMENT	9-1-23

FIRST FLOOR PLAN
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:
 - ALL TERRACE LEVEL CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) LINO.
 - ALL SECOND FLOOR CEILING TO BE 8'-0" HIGH (NOMINAL) LINO.
 - DOORS:
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL LINO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL LINO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL LINO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 0"
 - WINDOWS:
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET/INCHES (WH)
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT LINO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT LINO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT LINO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME "CALIFORNIA CORNERS" AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BOKATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - FIRST FLOOR LEVEL
1/4" = 1'-0"

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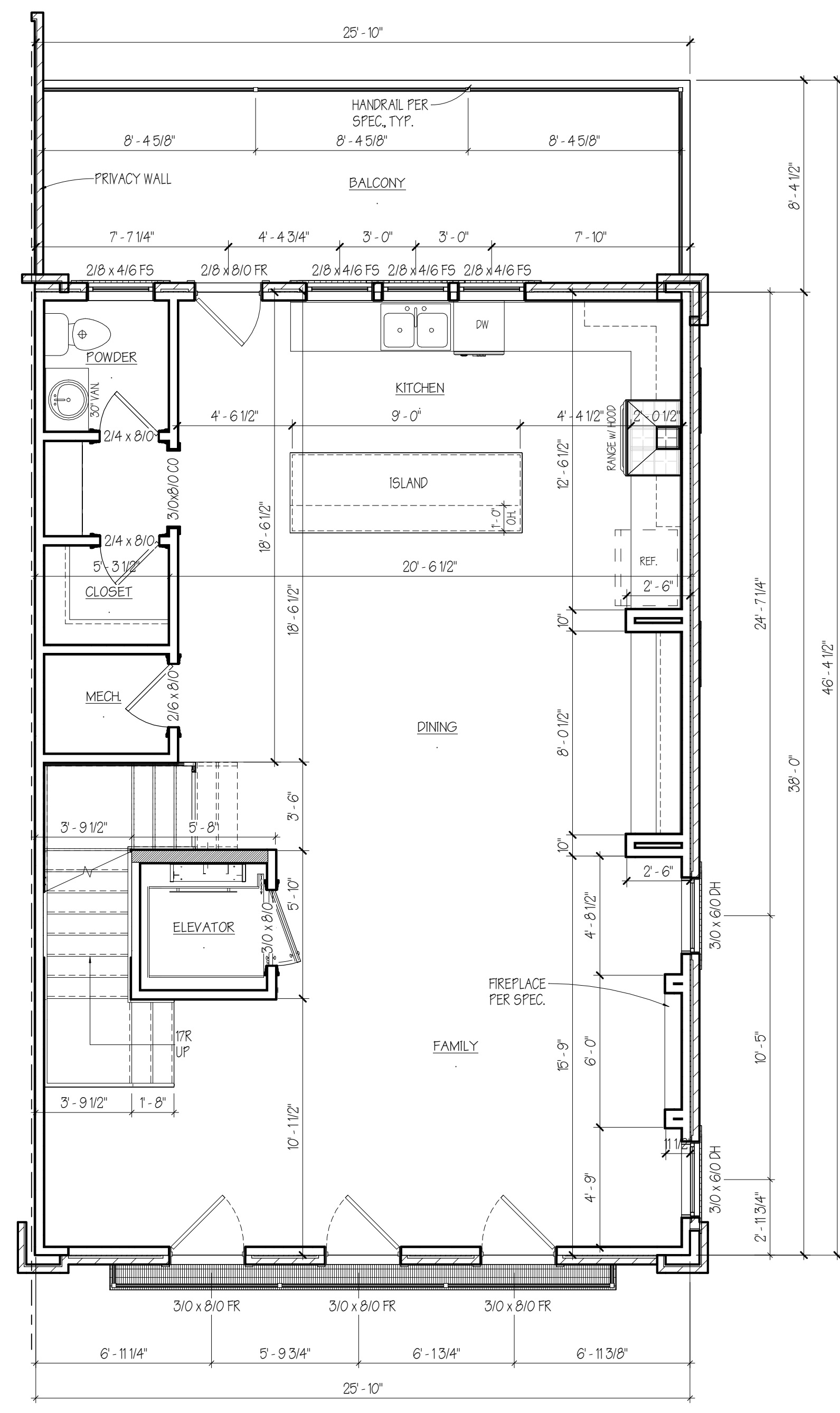
ARCHITECT / ENGINEER SEAL

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9-1-23

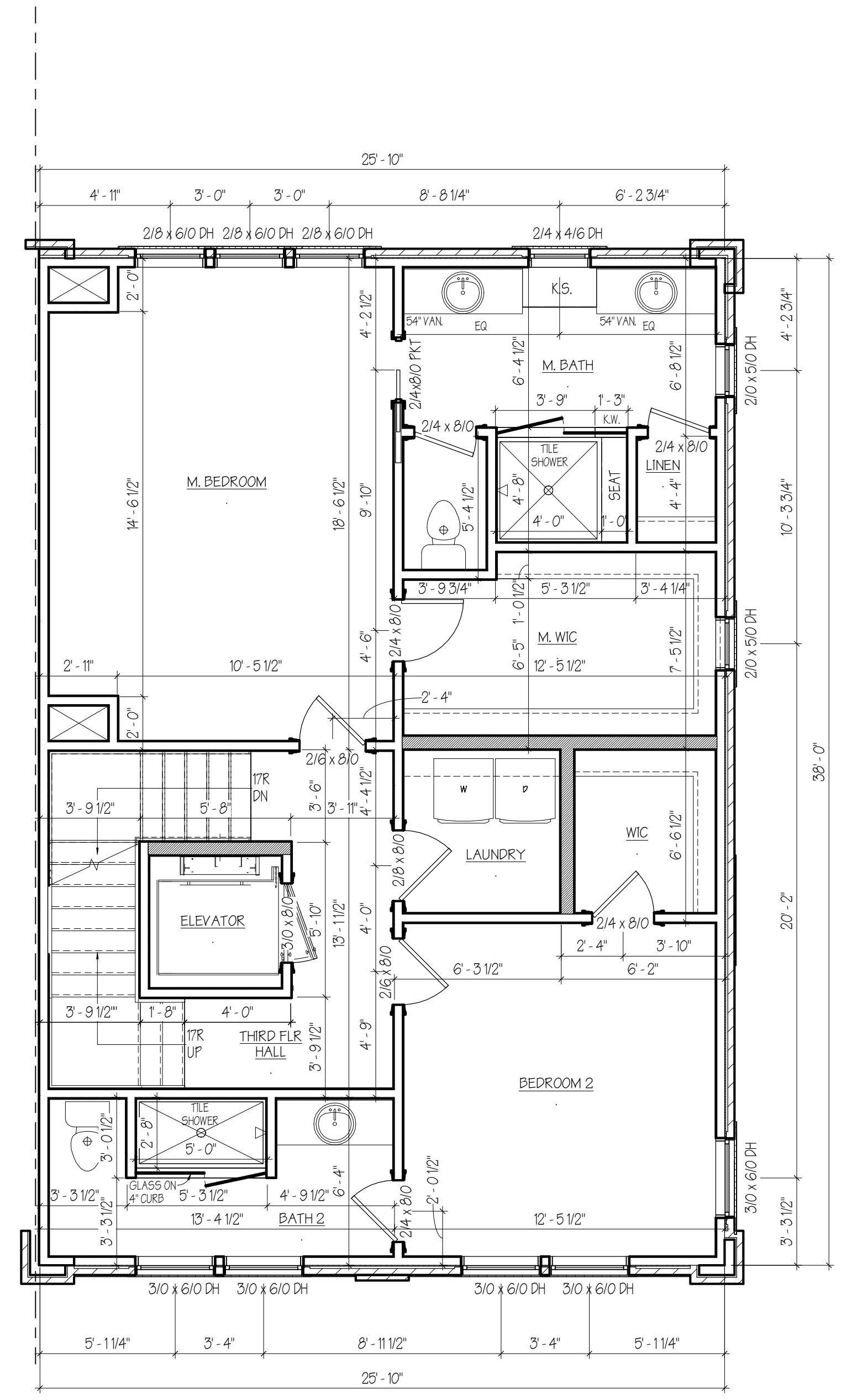
REVISION	DESIGN DEVELOPMENT

SECOND/THIRD FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

- GENERAL**
- CEILING:**
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:**
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - FOOTPRINT DOOR ROUGH OPENINGS ARE WIDTH + T X HEIGHT + 5"
 - WINDOWS:**
 - ALL YKK WINDOW SIZES ARE LISTED IN FEET (INCHES) (WH).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INSIDE ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/PLUMB OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.
- WALL LEGEND:**
- 2x4 STUD WALL
 - 2x6 STUD WALL
 - 2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① ELEVATION 'A' - SECOND FLOOR LEVEL
1/4" = 1'-0"



② ELEVATION 'A' - THIRD FLOOR PLAN
1/4" = 1'-0"

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ARCHITECT / ENGINEER SEAL

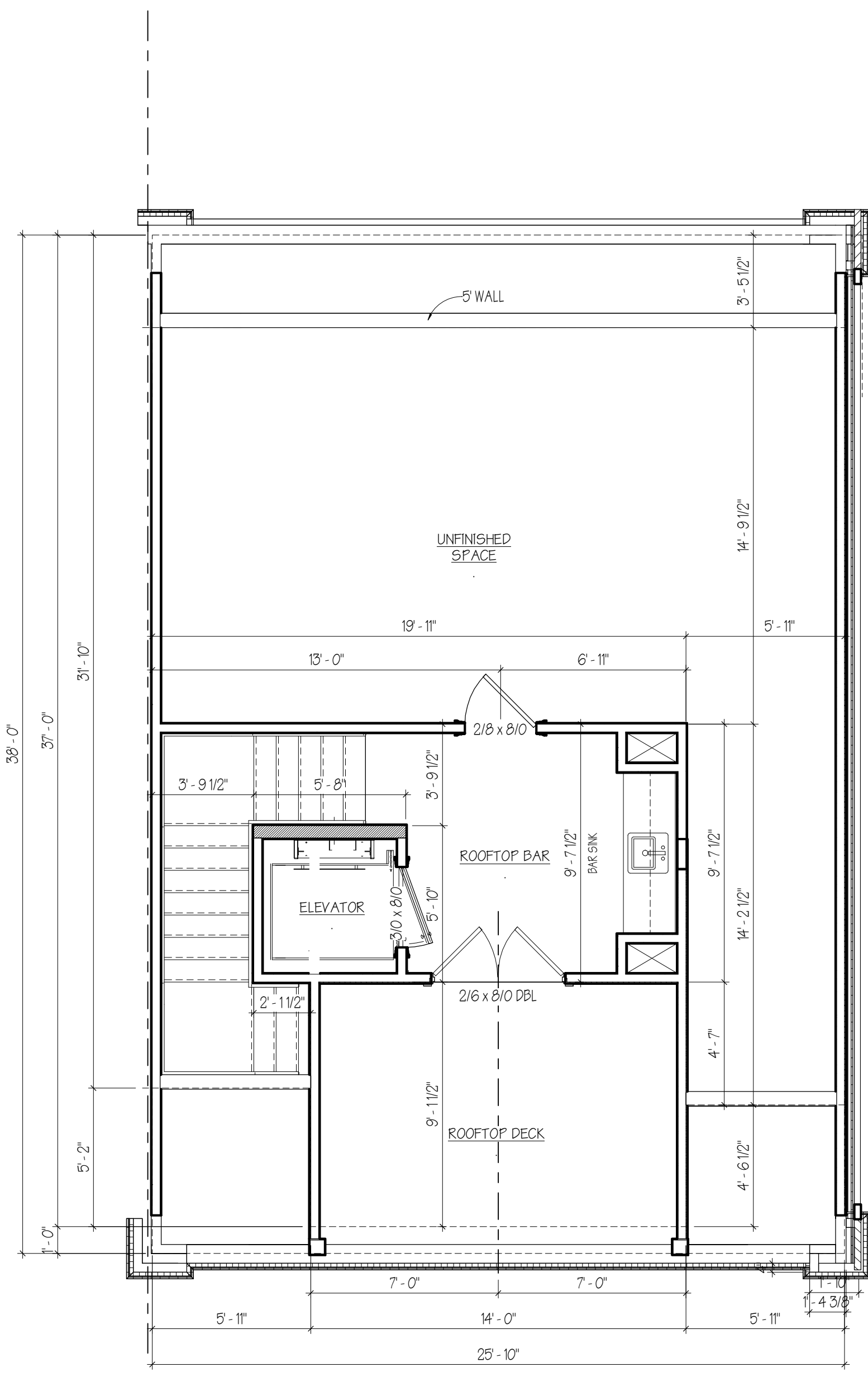
REVISION	MM/DD/YYYY	9-1-23
DESIGN DEVELOPMENT		

FOURTH/ ROOF FLOOR PLANS
ADDRESS
CARTERSVILLE, GA 30120

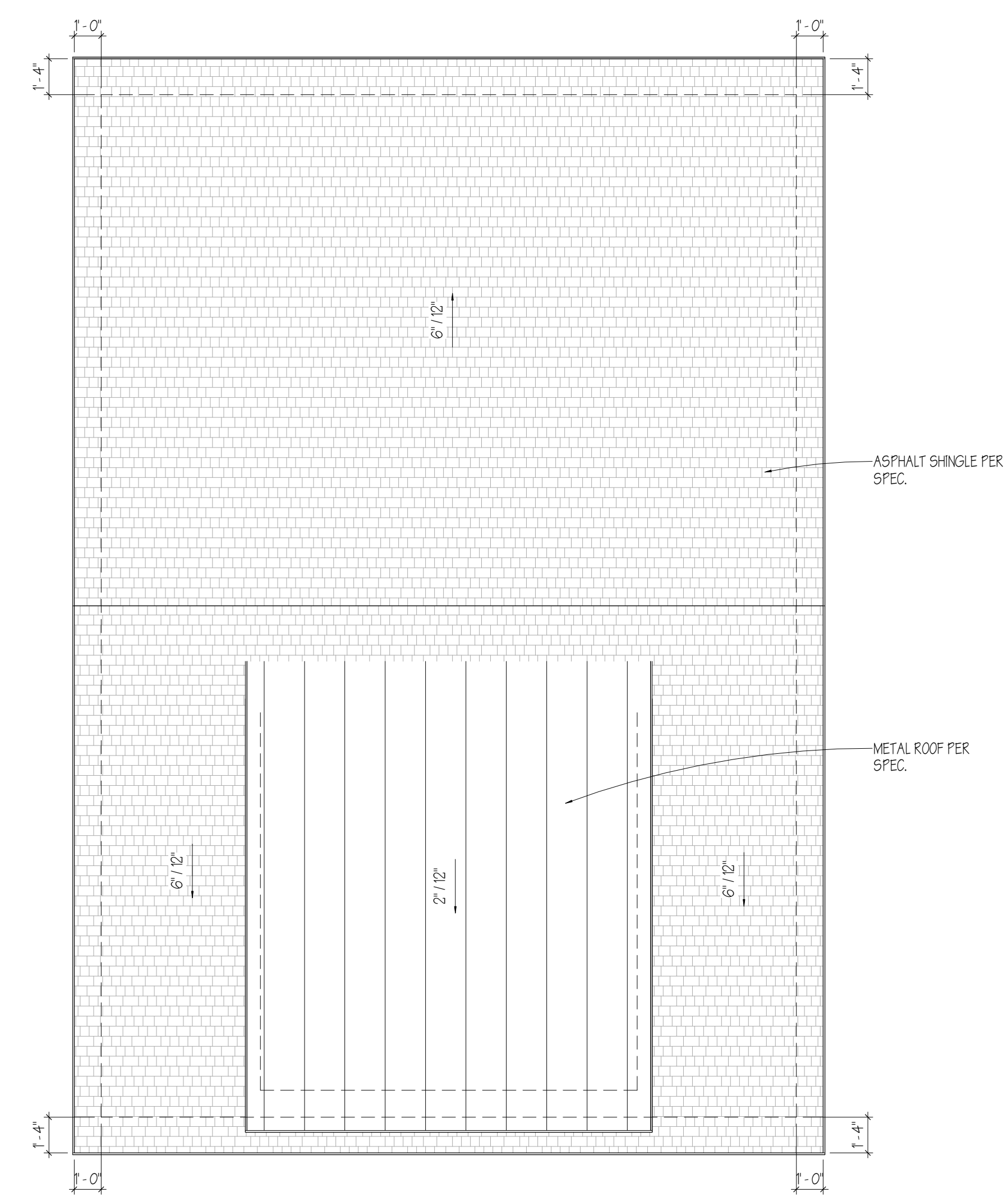
- GENERAL**
- CEILING:**
 - ALL TERRACE LEVEL CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - ALL FIRST FLOOR CEILING TO BE 10'-0" HIGH (NOMINAL) UNO.
 - ALL SECOND FLOOR CEILING TO BE 9'-0" HIGH (NOMINAL) UNO.
 - DOORS:**
 - ALL TERRACE LEVEL DOORS TO BE 8'-0" TALL UNO.
 - ALL FIRST FLOOR DOORS TO BE 8'-0" TALL UNO.
 - ALL SECOND FLOOR DOORS TO BE 8'-0" TALL UNO.
 - POCKET DOOR ROUGH OPENINGS ARE WIDTH + 1" X HEIGHT + 5"
 - WINDOWS:**
 - ALL WKK WINDOW SIZES ARE LISTED IN FEET/INCHES (Ft/IN).
 - ALL TERRACE LEVEL WINDOWS TO BE 7'-0" HEADER HEIGHT UNO.
 - ALL FIRST FLOOR WINDOWS TO BE 8'-0" HEADER HEIGHT UNO.
 - ALL SECOND FLOOR WINDOWS TO BE 7'-6" HEADER HEIGHT UNO.
 - INDOOR ROOM DIMENSIONS ARE NOMINAL.
 - CONFIRM GRADE BEAM LOCATIONS WITH TRUSS MANUFACTURER.
 - FRAME/FURR/OUT ATTIC KNEE WALLS TO 5'-1/2" FOR INSULATION.
 - FRAME 'CALIFORNIA CORNERS' AT EXTERIOR CORNERS.
 - TERMITE PROTECTION AT ALL SLABS ON GRADE. SILL PLATES TO BE BORATE TREATED LUMBER WITH SILL SEALER AND ADDITIONAL PROTECTION PROVIDED BY EXTERIOR TERMITE BAIT SYSTEM.

WALL LEGEND:

	2x4 STUD WALL
	2x6 STUD WALL
	2x4 FUTURE STUD WALL - ROUGH FRAME ONLY



① **ELEVATION 'A' - FOURTH FLOOR LEVEL**
 1/4" = 1'-0"



② **ELEVATION 'A' - ROOF LEVEL**
 1/4" = 1'-0"

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ARCHITECT / ENGINEER SEAL



① BUILDING 2 - FRONT ELEVATION
3/16" = 1'-0"

REVISION	DATE	DESCRIPTION
MMDDYYYY		

FRONT ELEVATION
CITY OVERLOOK - BLDG 2
CARTERSVILLE, GA 30120

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ARCHITECT / ENGINEER SEAL



① BUILDING 3 - FRONT ELEVATION
3/16" = 1'-0"

REVISION	DATE	BY	APP
MMDDYYYY			

FRONT ELEVATION
CITY OVERLOOK - BLDG 3
CARTERSVILLE, GA 30120

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ARCHITECT / ENGINEER SEAL



① BUILDING 4 - FRONT ELEVATION
3/16" = 1'-0"

REVISION	MM/DD/YYYY

FRONT ELEVATION
CITY OVERLOOK - BLDG 4
CARTERSVILLE, GA 30120



172 GA-61
178 W. Main St.



Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



183 GA-61

178 W Main St. Municipal Ct



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



57 S Bartow St

178 W Main St



Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



1 S Bartow St

178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Google

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



201 W Main St

178 W. Main St



Cartersville, Georgia
 Google
 Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



41 S Bartow St
178 W Main St



Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



41 S Bartow St

178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



131 Leake St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Google

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°



134 Leake St
178 W Main St



Cartersville, Georgia
Google
Street View - Jun 2022

Image capture: Jun 2022 © 2022 Google



178 W Main St

All

Street View & 360°

Temporary Banner installed on fence along W. Main Street. A second banner is installed on the fence along Bartow St. The banners are 4ft x 19ft (76sf) and are intended to remain in place until the fence is removed later in the construction process.

