

To: Plan Commission/ZBA

From: Tony Budzikowski, AICP, Community & Economic Development Director

Date: September 14, 2022

Hillcrest Shopping Center Planned Unit Development (PUD) & Special Use - Armed

**Re:** Services Recruiting Office and Smoothie King Drive Thru

# **Project Details**

Project	Hillcrest Shoppinç Center	j
Request	PUD & Special Use	
Location	NWC Theodore &	×

# Site Details

Building Sizes	+/- 8,000 SF and 1,460 SF
Existing Zoning	B-2 General Business District

# Land Use Summary

	Land Use	Comp Plan	Zoning
Subject Parcel	Commercial	Commercial	B2
North	ComEd & Commercial	Community Facilities/Commercial	NA/B3
South	Commercial	Commercial	B3 Joliet
East	Commercial	Local Commercial	B2/B3
West	ComEd	Comm Facilities	NA

# **Project Summary**

Mr. Abe Katz, Managing Partner of the Hillcrest Shopping Center, has submitted a request for a Planned Unit Development (PUD) and Special Use for two (2) development projects proposed at the shopping center located at the northwest corner of Theodore & Larkin Avenue. The first project is the construction of a new free-standing building of 8,000 SF for the relocation of the Armed Services recruiting offices. The second project is a 1,460 SF addition for a Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place). The drive thru window requires a special use permit review as part of the development application process.

# Location

The overall 26-acre Hillcrest Shopping Center is zoned B-2 General Business District and located at the northwest corner of Theodore and Larkin Avenue. The specific PUD projects are located on-site as follows: 1) Armed Services recruiting office proposed on the south side of the property just west of the 600 building which contains ATI Physical Therapy, a bakery and the newly opened Sharks Seafood restaurant and 2) Smoothie King drive thru on the east side of the property fronting Larkin Avenue and

proposed as a new end-cap unit next to Stella's Place in the 800 building. Both projects are identified more specifically in the accompanying plans submitted by the applicant.

# Background

The Hillcrest Shopping Center was originally constructed/opened in 1959. At the time, tenants in this center included Goldblatt's, Boston Store, Jewel Walgreens, Richman Bros and SS Kresge. The center also once housed a movie theater and a Service Merchandise retail store. Current anchor tenants on property include a Food 4 Less and Harbor Freight Tools.

As mentioned earlier, this PUD proposal includes two (2) projects. The first project is the construction of a new free-standing commercial building for the relocation of the Armed Services recruiting offices. The second project is a new building addition for a Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place). The drive thru window requires a special use permit review as part of the development application process. Site plan(s), building elevation(s) and civil engineering plans have been submitted for the Plan Commission's review and reference purposes.

The Hillcrest Shopping Center PUD was previously before the City Council on July 25, 2022 for a Work Session to discuss the Conceptual Plan submittal and obtain direction from the City Council. At that meeting, discussion topics included parking, site circulation and signage at the shopping center. The consensus of the City Council was positive and the petition was referred to the Plan Commission for review, public hearing and a recommendation on the project.

Other pertinent information concerning the PUD and special use proposals for Hillcrest Shopping Center include the following:

- A new free-standing commercial building of 8,000 SF for the relocation of the Armed Services recruiting offices with another 1,250 SF remaining available for a future retail use.
- The Armed Services recruiting office has been at the center since 1997. Due to the size
  of each recruiting office and the upgraded security requirements by the Army Corps. of
  Engineers, their current space does not meet the new standards. An upgrade to their
  facility is required or they will be required to move away from the center.
- The second project is a new commercial building addition for a 1,500 SF Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place).
- The drive thru window requires a special use permit review as part of the development application process. The Smoothie King will only operate as a drive thru and will not have any in-store customer service available at this time. No outdoor seating will be provided either.
- The shopping center consists of 240,000 SF of retail/commercial space and has approximately 1,680 off-street parking spaces.

# Staff Analysis

# Off-Street Parking

As discussed earlier, there are approximately 1,680 parking spaces currently located at the shopping center. The current proposal for the new Armed Service recruiting center and Smoothie King addition will result in approximately 90 parking spaces being lost as a result of the new PUD proposals. 60 spaces will be lost with the construction of the Armed Services center and 30 spaces will be lost with the construction of the Smoothie King.

In review of the City's off-street parking requirements, General Business parking is calculated at a ratio of one parking space for every 200 SF of floor area. When calculated for the entirety of the shopping center, a total of 1,200 parking spaces are required and approximately 1,590 spaces are provided.

A few other relevant points related to on-site parking are as follows:

- Parking space and drive aisle restriping will be required as part of the necessary site improvements around each new commercial building.
- A landscape island has been provided and is located parallel to the Smoothie King drive thru lane to separate customers and other users for safer vehicle circulation in and around the site.
- Two (2) new handicapped accessible parking spaces are being provided directly adjacent to and in front of the Armed Services recruiting center.
- On-going site visits at the shopping center by staff indicate that there are currently a
  surplus of parking spaces in the proposed project areas at varying times throughout the
  day. As a result, an initial review of the parking would indicate that the loss of parking
  spaces will be negligible and should not adversely impact the availability of on-site parking
  at the shopping center.

# **Building Elevations**

- The Armed Services recruitment center building facades will be comprised of split faced concrete block, insulated aluminum frame windows/doors and EIFS fascia and soffit.
- The building elevation for Smoothie King are also comprised of similar split faced concrete block, insulated aluminum frame windows/doors and EIFS fascia and soffit.
- All proposed building facades will need to comply with Section 8.7-2 Building Facades of the Development Standards which states: a minimum of 20% of the four (4) sided building architecture (façades) shall be comprised of masonry.

# Site Improvements

Although not specifically noted in the application materials, several exterior site improvements are being constructed as part of this PUD project including the following:

• The relocation of a sanitary sewer line and water line around the building footprint of the Armed Services recruitment center.

> The relocation of a storm sewer and catch basins around the building footprint of the new Smoothie King building addition. The new storm sewer and catch basins will be under pavement and will be located in an east-west direction in the area of the proposed drive thru lane.

# **CONCLUSION:**

Staff has reviewed the submittal from A&R Katz for the Hillcrest Shopping Center PUD and special use proposals and has determined that the information provided addresses the concerns related to off-street parking, vehicular site circulation, utilities and other site conditions. The new commercial building proposals will help retain an existing, long-standing tenant and also add a new fast casual tenant to increase customer trips and enhance the marketability of the shopping center. Additional new customers will visit the shopping center and shop at local retail stores, restaurants and other service related uses in and around the center and commercial corridor.

As such, staff has reviewed the accompanying petition and is recommending approval of the PUD and special use request. This recommendation includes the six (6) conditions provided below and is also subject to the accompanying Findings of Fact (attached and prepared by A&R Katz).

If the Commission is prepared to make a recommendation, I would ask that you make a recommendation to approve the request subject to the accompanying conditions and PUD/special use standards.

- 1. Requisite parking stalls shall be restriped for on-site parking spaces immediately around each new building/project.
- 2. Trash/recycling receptables shall either be screened and gated in accordance with the Crest Hill Zoning Ordinance or stored inside the building.
- 3. Building Facades shall comply with Section 8.7-2 Building Facades of the Development Standards which states: a minimum of 20% of the total four (4) sided architecture (façade) shall be comprised of masonry.
- 4. All sign proposals shall comply with applicable sign code regulations of the Crest Hill Zoning Code.
- 5. Building permit approvals shall be subject to final civil engineering and landscape plan approvals.
- 6. Compliance with Plans: The development, maintenance, and operation of the Property shall be in substantial compliance with the plans and documents as submitted, except for minor changes approved by the Community & Economic Development Director.

Please contact me if you have any questions. I hope that this information is helpful.

Respectfully Submitted,

Young Bugheweh

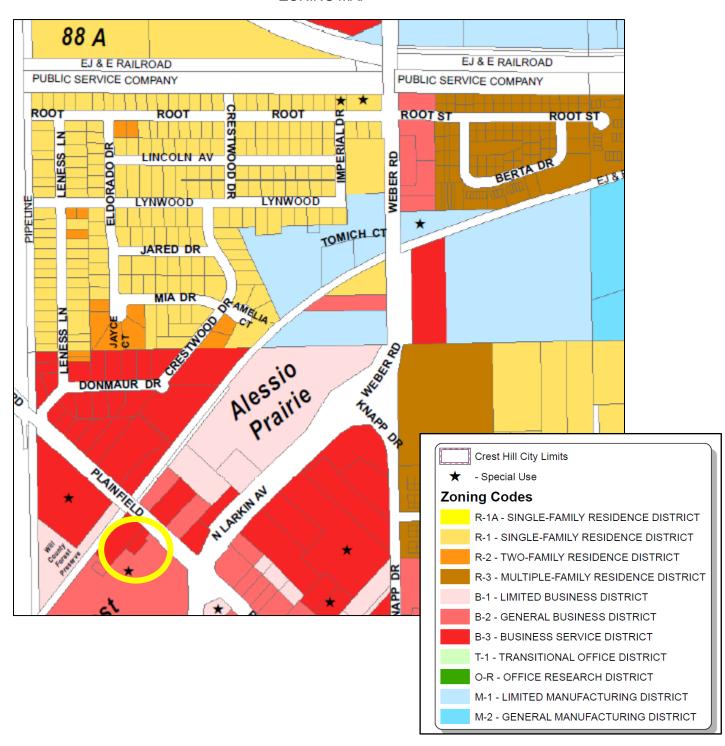
Tony Budzikowski, AICP

Community & Economic Development Director

Encl.



# **ZONING MAP**





3175 COMMERCIAL AVENUE, SUITE 100 / NORTHBROOK, IL 60062-1924 / PHONE (847) 205-1200 / FAX (847) 205-1212

July 12, 2022

To: Mayor Ray Soliman and City Council of Crest Hill

Re: Request for a PUD and Special Use Permit

Dear Mayor Soliman and City Council Members,

We are requesting a PUD for the purpose of building a 7980 sq. ft. free standing addition to Hillcrest Shopping Center. The majority of the building will be for the relocation of the Armed Services recruiting offices with about 1250 available for other retail use.

We will be constructing this new building on existing center property located at the south end of the center just west of our 600 building which houses ATI Physical Therapy, a bakery, and our newly opened Sharks Seafood restaurant among other tenants. The building area has been designated as a future building on our site plan attached to all our existing leases.

The Armed Services recruiting offices have been tenants of Hillcrest Shopping Center since 1997 and would like to remain in the center. However, due to the size of each recruiting office and the upgraded security requirements by the Army Corps. Of Engineers, their current space does not meet the new standards. If we cannot build the new building for their relocation, they will move out of the center.

The recruiting center provides a great service to the community and our country. They are also a draw to the center and their personnel frequent many of the stores in the center.

We are simultaneously requesting a Special Use Permit to allow a drive thru for a Smoothie King. The addition for the Smoothie King is planned as an attachment to our 800 building next to Stellas at the front of the center along Larkin Ave. Their building will be 1466 sq ft plus the drive thru. The addition of Smoothie King will add to the sales tax base and will draw additional traffic to the center.

A site plan of the center is attached to help orient you to the location of both of these projects.

We respectfully request your approval to proceed to the next phase of obtaining a PUD and Special Use Permit.

Sincerely,

Abe Katz

Managing Member

Joliet Hillcrest Shopping Center, LLC

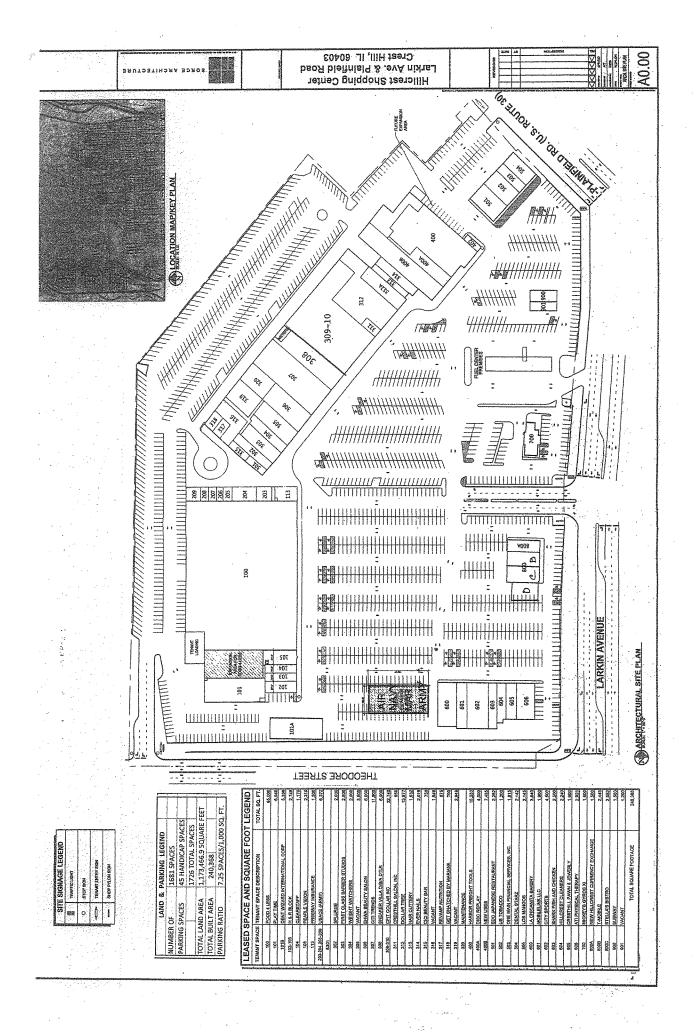


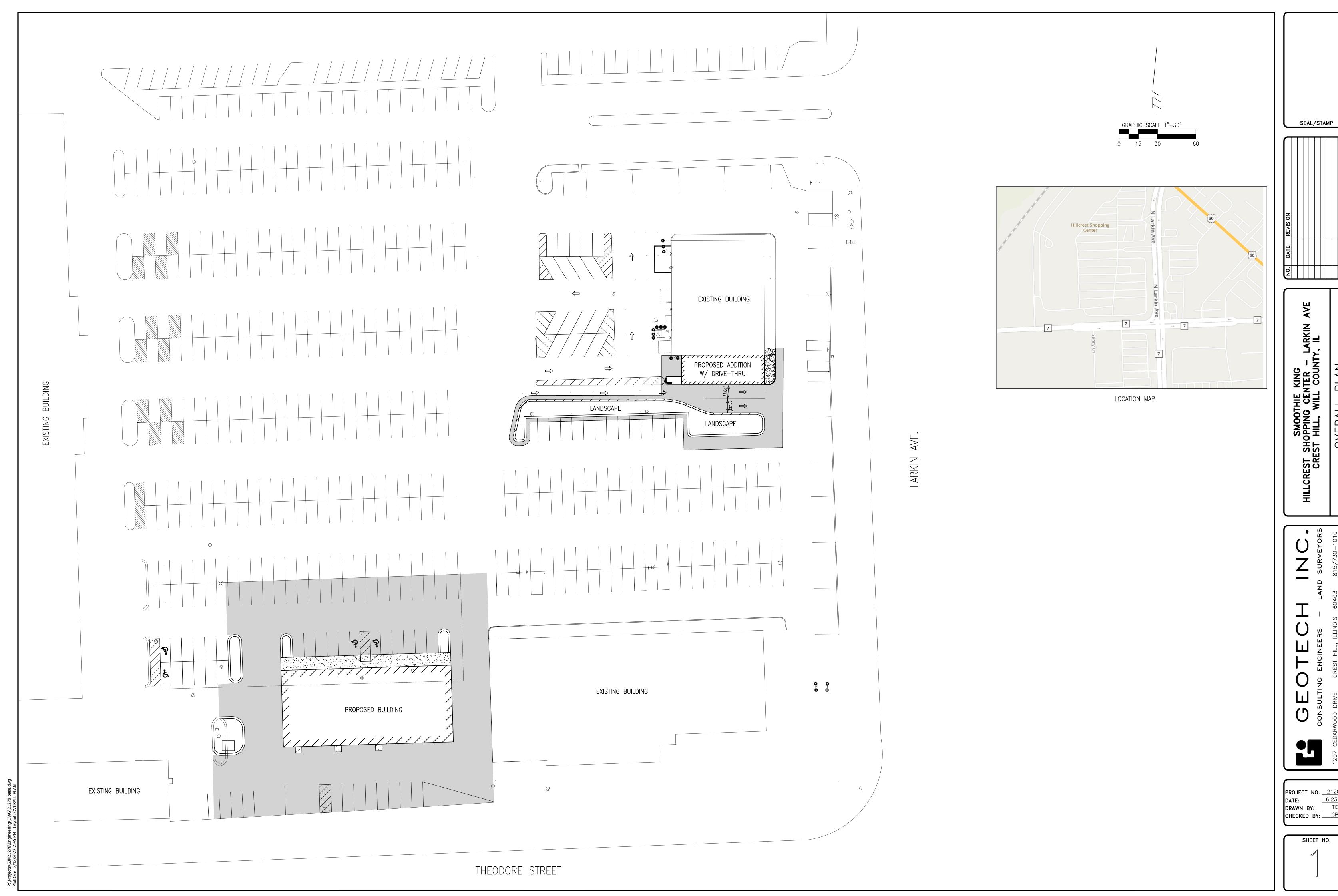
3175 COMMERCIAL AVENUE, SUITE 100 / NORTHBROOK, IL 60062-1924 / PHONE (847) 205-1200 / FAX (847) 205-1212

# Findings of fact

Re: PUD and Special Use Permit for Hillcrest Shopping Center

- 1. The proposed plan is consistent with the stated purpose of the PUD regulation in that the design of the new building is consistent with the existing architecture of the shopping center. They will meet or exceed the environmental requirements for insulation, heating & cooling efficiency, and lighting efficiency.
- 2. The minimal horizontal distance between builds will meet the 30' separation distance for the new recruiters building. The Smoothie King build is being attached to an existing free standing 3 tenant building.
- 3. These proposed buildings do not depart from the existing zoning.
- 4. We have met with Maura Ritoni, the city engineer (Ron), the Director of Public Works (Mark Siefert), and the community and Economic Development Director (Tony Budzikowski) and had plans drawn to meet the requirements for vehicular traffic, landscaping, and visual enjoyment.
- 5. The proposed development is consistent and compatible with adjacent properties and neighborhoods.
- 6. The proposed development is consistent and compatible with the existing center and will maintain and enhance the appearance of the center. The addition of Smoothie King and the additional space available in the recruiters building will contribute to the sales tax base and economic well-being of the city.
- 7. The proposed additions of the center conform to City Objectives and increase viability of the center.





OVERALL PLAN

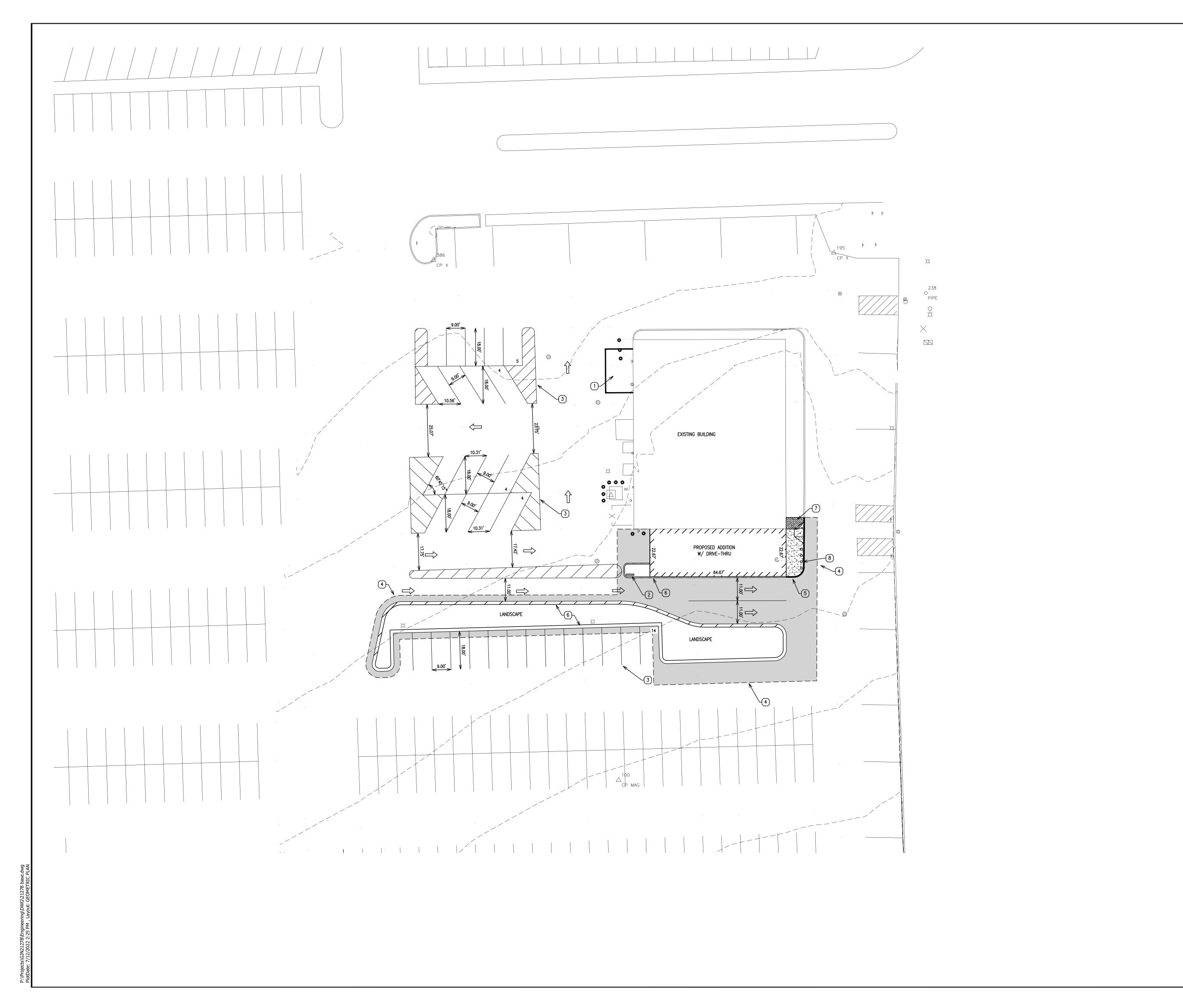
 PROJECT NO.
 21204

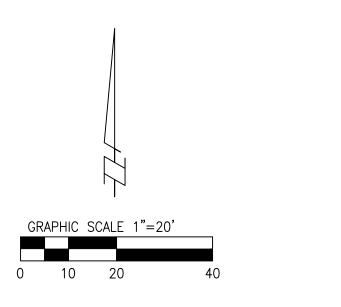
 DATE:
 6.23.22

 DRAWN BY:
 TC

 CHECKED BY:
 CP

SHEET NO.





- 1. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
- 2. UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD IDOT PAINTED YELLOW. MARKINGS WITHIN A R.O.W. SHALL BE THERMOPLASTIC. DIAGONAL STRIPING SHALL BE 2-FOOT ON CENTER.
- WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, A.D.A ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE PER STANDARD IDOT DETAILS.
- 4. CURB RAMPS FOR SIDEWALKS ADJACENT TO ACCESSIBLE STALLS SHALL BE PROVIDED AT LOCATIONS SHOWN ON PLANS, PER THE STANDARD IDOT DETAILS. CURB TRANSITIONS

FROM FULL HEIGHT TO DEPRESSED, ADJACENT TO THE RAMPS, SHALL BE MINIMUM OF

- 5. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- 6. PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE
- 7. EXISTING BITUMINOUS PAVEMENT TO BE REMOVED (MILLED) AND EXISTING AGGREGATE BASE ADJUSTED, AS NECESSARY, TO MEET PROPOSED PAVEMENT SUBGRADE ELEVATIONS BASED ON FINAL GRADES PROVIDED ON THE GRADING PLAN. STONE SHALL BE COMPACTED PRIOR TO PLACEMENT OF PROPOSED BITUMINOUS PAVEMENT.

# # CONSTRUCTION NOTES:

- 1. PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- DRIVE-THRU SIGN.
- 3. REMOVE EXISTING PAVEMENT STRIPING AND RE-STRIPE PER PLAN.
- LIMITS OF PAVEMENT REMOVAL FOR PROPOSED IMPROVEMENTS. PROVIDE FULL DEPTH SAWCUT ALONG ENTIRE PERIMETER OF PAVEMENT TO BE REMOVED. CONNECT TO EXISTING PAVEMENT WITH A BUTT JOINT.
- 5. PROVIDE DEPRESSED BARRIER CURB ALONG EAST SIDE OF PROPOSED ADDITION.
- 6. PROVIDE 6" BARRIER CURB AROUND PERIMETER OF PROPOSED BUILDING EXPANSION.
- 7. EXISTING SIDEWALK TO BE REMOVED AND REPLACED.
- 8. 6" BOLLARDS AT 3' SPACING, SEE DETAIL.

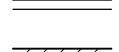
PAVEMENT LEGEND:



BITUMINOUS PAVEMENT (STANDARD): 1.5" HMA SURFACE, MIX D, N50 2.5" HMA BINDER, IL19, N50 SEE NOTE 7



PCC SIDEWALK: 5" PCC, 4,000 PSI 3" AGGREGATE, CA-7



B6.12 CURB & GUTTER/BARRIER CURB SEE CNs 4 AND 6

B6.12 CURB & GUTTER (REVERSE PITCH)



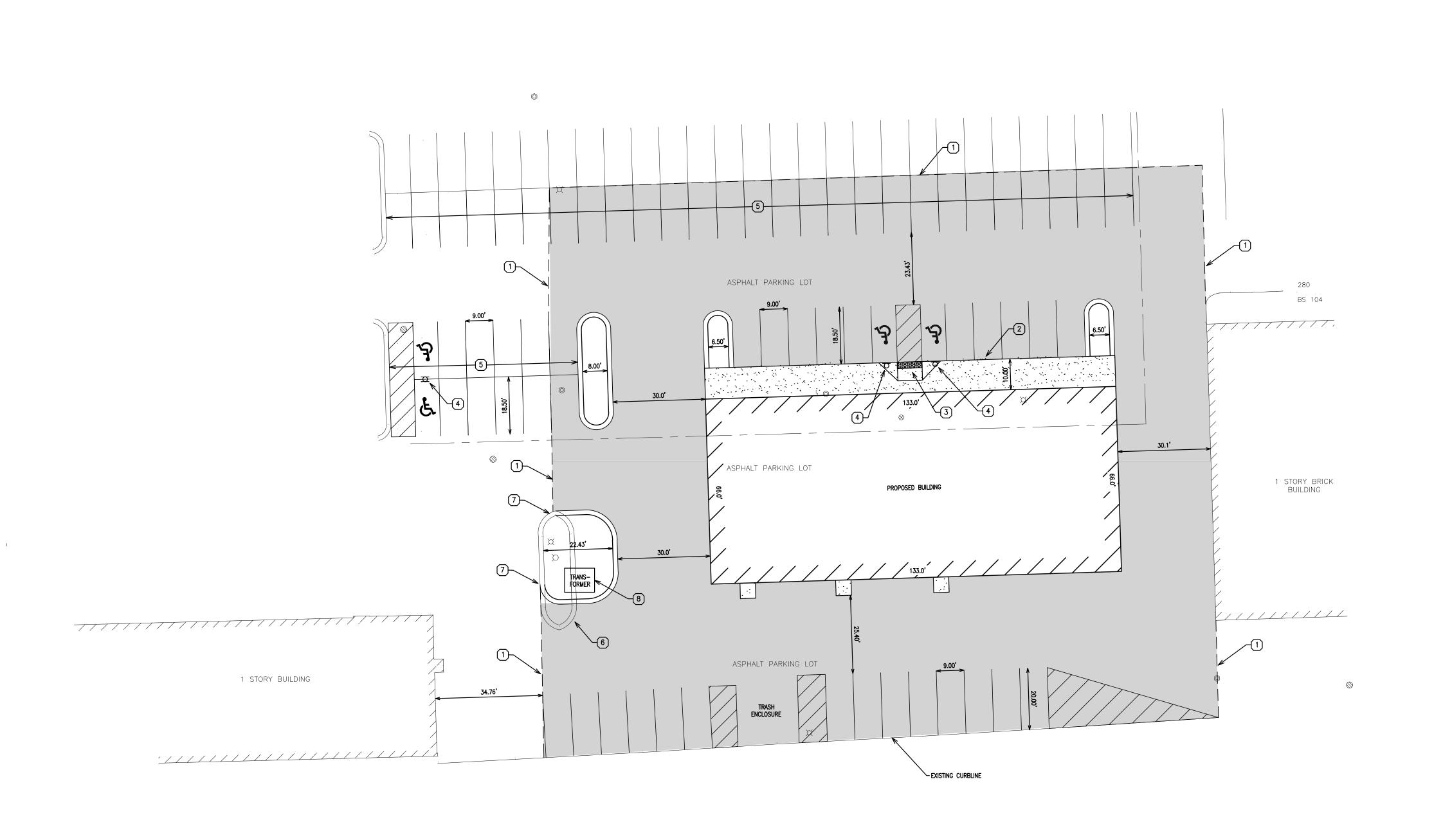
DEPRESSED BARRIER CURB SEE CN 5

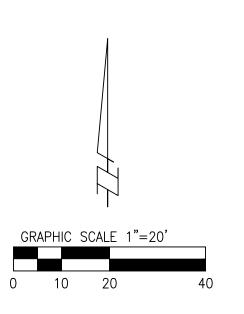
SHEET NO.

SEAL/STAMP

SMOOTHIE KING SHOPPING CENTER – LARKIN EST HILL, WILL COUNTY, IL GEOME<sup>-</sup>

PROJECT NO. <u>21204</u> DRAWN BY: TC
CHECKED BY: CP





- 1. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD IDOT PAINTED YELLOW.
- 3. WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, A.D.A ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE PER STANDARD IDOT DETAILS.
- 4. ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
- 6. EXISTING BITUMINOUS PAVEMENT TO BE REMOVED (MILLED) AND EXISTING AGGREGATE BASE ADJUSTED, AS NECESSARY, TO MEET PROPOSED PAVEMENT SUBGRADE ELEVATIONS BASED ON FINAL GRADES PROVIDED ON GRADING PLAN. STONE SHALL BE COMPACTED PRIOR TO PLACEMENT OF PROPOSED BITUMINOUS PAVEMENT.

# # CONSTRUCTION NOTES:

- LIMITS OF PAVEMENT REMOVAL. PROVIDE FULL DEPTH SAWCUT ALONG PERIMETER OF PAVEMENT TO BE REMOVED.
- 2. PROVIDE COMBINATION SIDEWALK/CURB ALONG FRONTAGE OF BUILDING, SEE DETAIL. 3. ADA RAMP WITH DETECTABLE WARNING PLATE, SEE DETAIL.
- 4. BOLLARD WITH ADA SIGN, SEE DETAIL.
- 5. EXISTING PARKING STALL MARKINGS TO BE REMOVED & REPLACED AS SHOWN.
- 6. EXISTING CURB ISLAND TO BE REMOVED, AS NECESSARY, TO ACCOMMODATE PROPOSED CURB ISLAND.
- 7. CONNECT TO EXISTING CURB WITH TWO DOWEL BARS. PROVIDE EXPANSION JOINT WITH PRE-MOULDED FILLER.
- 8. PROPOSED TRANSFORMER LOCATION. COORDINATE SIZE AND PAD REQUIREMENTS WITH COMED AND ELECTRICAL PLANS.

SEAL/STAMP

THE ONE THOUSAND BUILDING AT
HILLCREST SHOPPING CENTER
1701 N. LARKIN AVE
CREST HILL, IL
GEOMETRIC PLAN



**PROJECT NO.** 21210 3.22.22 DRAWN BY: TC
CHECKED BY: CP

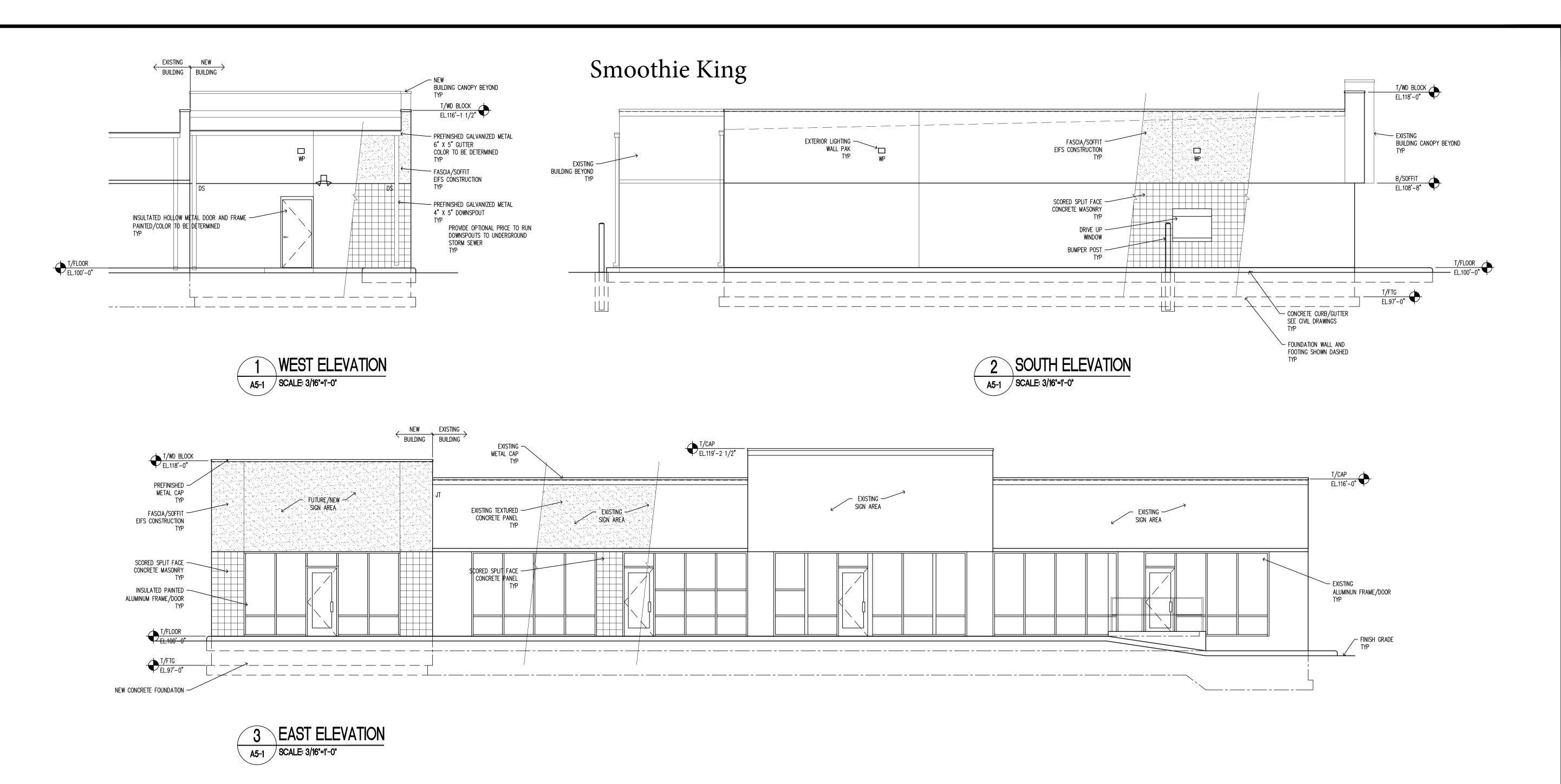
SHEET NO.

PAVEMENT LEGEND:

BITUMINOUS PAVEMENT: 1.5" HMA SURFACE, MIX D, N50 2.5" HMA BINDER, IL19, N50 SEE NOTE 6

PCC SIDEWALK: 5" PCC, 4,000 PSI 3" AGGREGATE, CA7

B6.12 CURB & GUTTER (REVERSE PITCH)



buchar, bajt architects, inc.

722 essington road suite d joliet, illinois 60435 815 741-8229 FAX 815 741-8709

Participating Consultants:

Project Name:

CONSTRUCTION DOCUMENTS

SMOOTHIE KING

FOR
KATZ & KATZ
REAL ESTATE
3175 COMERCIAL AVE. SUITE 100
NORTHBROOK, IL 60062-1923

Architect's Certification:

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act [410 ILCS 25] and the Illinois Accessibility Code (71 III. Adm. Code 400).

Firm #: 184.001521 Expires: 04/30/2023

License: 04/30/2023
License: 001.021229
Expires: 11/30/2022

The following drawings have been prepared under my direct supervision:

A5-1

Drawing Title:
EXTERIOR ELEVATIONS

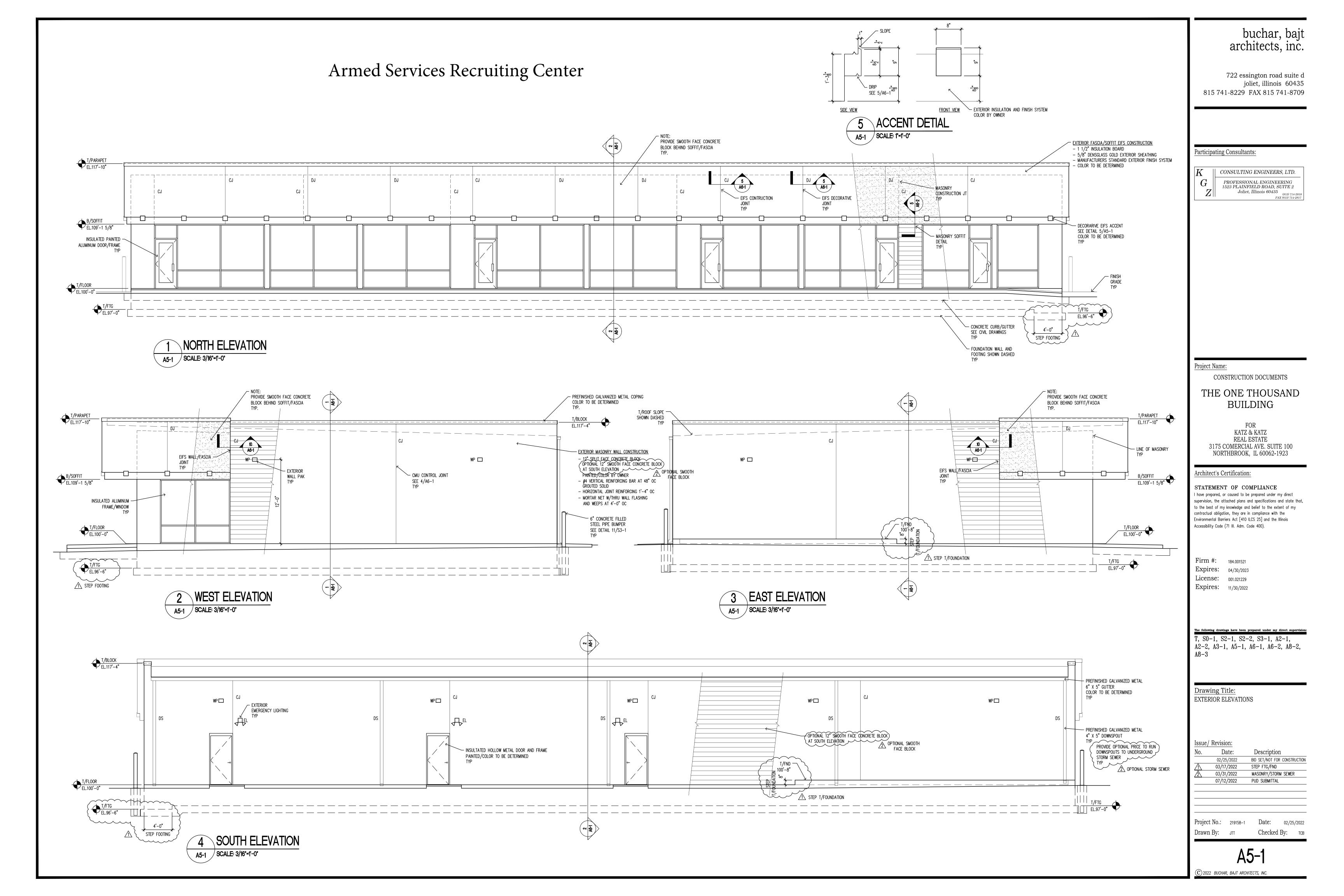
Issue/ Revision:

o. Date: Description
07/12/2022 PUD/SUP SUBMITTAL

Project No.: 219159-01 Date: 06/01/2022 Checked By: TCB

Δ5-1

© 2022 BUCHAR, BAJT ARCHITECTS, INC.



SEAL/STAMP

TITLE SHEET

SMOOTHIE KING HILLCREST SHOPPING CENTER – LARKIN AVE CREST HILL, WILL COUNTY, IL

PREVENTION PLAN

INDEX OF SHEETS

INC

**CEOTECH** 

I, THOMAS CARROLL, A LUCASED PROFESSIONAL, ENGINEER OF LILANGS, HERBEY AFFIGH THAT LEED COLUMNS IN AME, EERN PREPARED IN FOUR UNIVERNITY AND THE EERST OF WIT KNOWNEDER, AND BELLEY, THESE DOCUMENTS WHIS EERN PREPARED IN WITH A PROJUMENT AND THE PREPARED IN WITH PREPARED IN WITH A PROJUMENT AND THE PROJUMENT AND THAT A

DATE: 6.23.22
DRAWN BY: TC
CHECKED BY: CP

062-052783 REGISTERED PROFESSIONAL ENGINEER

# SMOOTHIE KING - HILLCREST SHOPPING **IMPROVEMENT PLANS** CENTER



SITE: CROSS SET ON SIDEWALK IN FRONT OF EAST BUILDING ON SITE (LA CHICANITA BAKERY), ELEV=606.40 (NAVD88) (GEOID18)

REFERENCE: COUNTY MARKER 706 – ROD IN PVC PIPE IN SIDEMAL, LOCADED AT THE SOUTHEAST CORNER OF THE MITTERSCRIPO OF THEODORE STREET AND CEDARWOOD DRIVE, ELEV=587.16 (NAVD88) (GEODIS).

ADDRESS: HILLGREST SHOPPING CENTER – LARKIN AVE COUNTY: WILL WILL COUNTY: WILL SECTION: 31 TWPAS RO. P.I.N.(S): 11-04-31-404-012

PROPERTY INFORMATION:

CLIENT:

LOCATION MAP

BUCHAR, BAJT ARCHITECTS THOMAS BAJT 722 ESSINGTON ROAD, SUITE D JOLIET, IL 60435

STORM SEWER

LEGEND

VALVE VAULT
VALVE BOX
STORM SEWER MANHOLE CATCH BASIN FIRE HYDRANT

SANITARY SEWER MANHOLE FLARED END SECTION STREET LIGHT INLET 4 🔘 🛭

SANITARY SEWER WATER MAIN

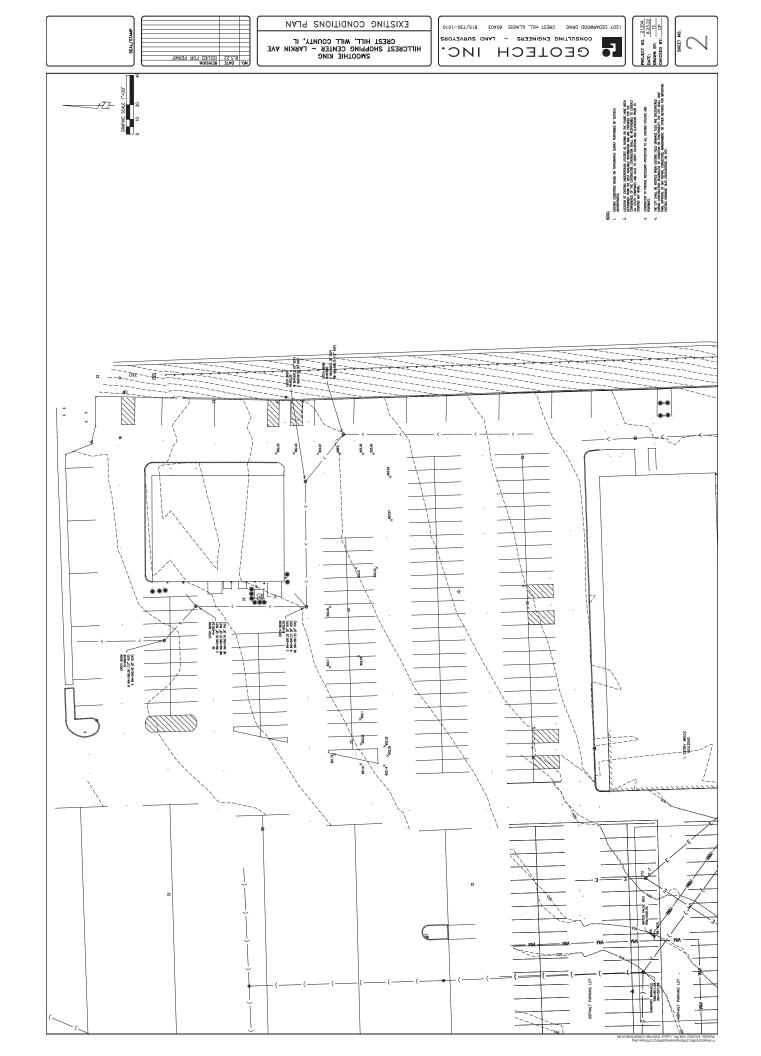
WINTERWORKED TO ESECTO OF OWN OWNEDGES AND BELIEF THE DEMANGE OF SURFACE WINTERS WILL 10'D BE CHANGED BY THE CONSTRUCTION OF THESE WINDERSONS ON SECULATION OF THESE WINDERSONS HAVE BENNESSED SECONABLE TO WARDER DEMANGE THE EDWARDER PRESONABLE PROVINCE OF PRINTER RESONABLE PROCESSIONS HAVE BEEN ANDER FOR THE COLLECTION AND DISCHARGE OF SURFACE WITTEN MILE FOR THE COLLECTION AND DISCHARGE OF SURFACE WITTEN WILL BE PLANNED FOR IN ACCORDANCE WITH GENERAL PROFILES ON A TO REMANDE THE PROPERTY RECORDANCE WITH GENERAL PROFILES ON A TO REMANDE THE WARDER OF THE MANGET FOR THE FOR THE FOR THE MANGET FOR THE MANGET FOR THE FOR THE FOR THE MANGET FOR THE FOR THE MANGET FOR THE FOR TH DATED THIS 3RD DAY OF AUGUST, 2022

The land

THOMAS CARROLL, P.E.
ILLINOIS P.E. #062-052783
LICENSE EXPIRES 11-30-2023
GEOTECH INCORPOPATED PROFESSIONAL
DESIGN FIRM NUMBER 184-000165

CALL BEFORE
YOU DIG
CREST HILL PUBLIC WORK & UTILITIES
DEPARTMENTS AND BULDING DEPARTMENT
SHALL BE NOTIFIED A MINIMAM OF 48
HOURS PRIOR TO THE START OF OR
RESUMPTION OF WORK ON THE PROJECT

WARNING

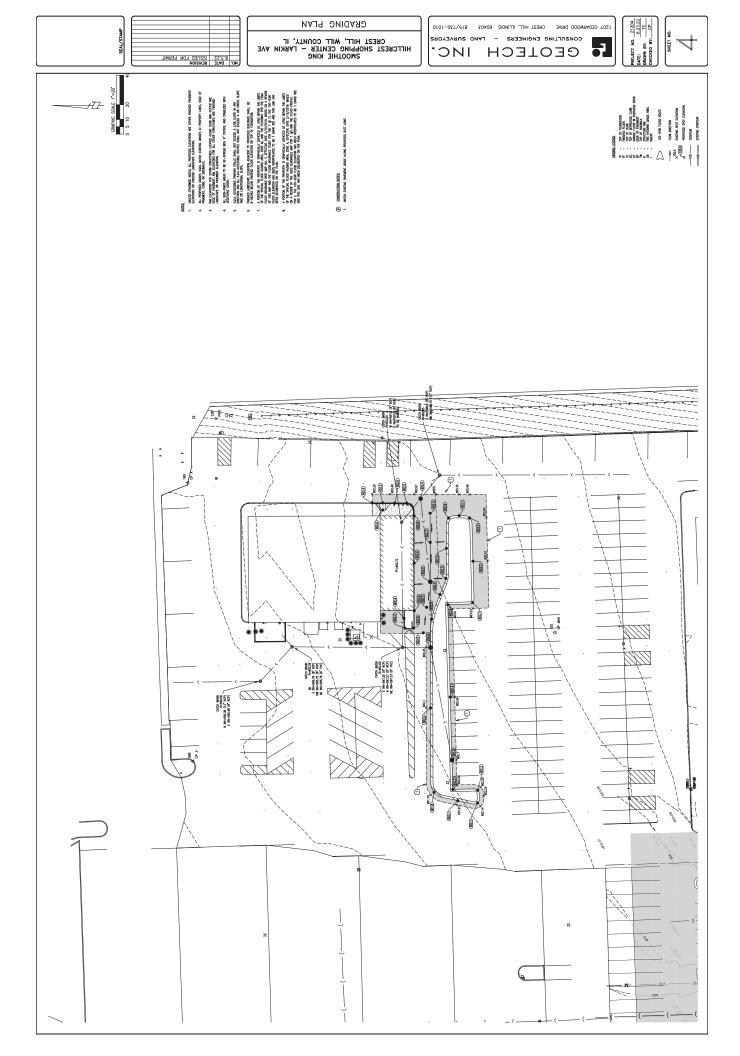


GEOMETRIC PLAN CREST HILL, ILLINOIS 60403 815/730-1010 SMOOTHIE KING CENTER – LARKIN AVE HILLCREST SHOPPING CENTER – LARKIN AVE INC **CEOTECH** 1. THE PROMISSION AND IN THE PROPERTY HAVE NO PROCESS.

2. DATE OF THE PROPERTY OF THE PROPERY ALL CONSCINCE TO DETINE PRODECT SHALL BE PRODECT WITH A BUTT ADMI.

FROMTO.

FROM THE DESIRE SHALL TO BE EXCEPTED LINES OF STORMET TO BE BUTTOOM TO BE EXCEPTED. BE EXCEPTED THE SHALL SHA 6K.12 CURB & CUTTE/AMERIK CURB 2EE CMs 4 AND 6 6K.12 CURB & CUTTER (NOUNSE PTICH) POC SEEMUN: 5" POC, 4,000 PS 3" AGDREGNE, CA-7 DEPRESSED BARRER CURB SEE CM 5 LARKIN AVE. a°g o¤ 91 PROPOSED ADDITION W/ DRIVE-THRU



NAJ9 YTIJITU CREST HILL, ILLINOIS 60403 815/730-1010 SEAL/STAMP SHEET NO. SMOOTHIE KING CENTER – LARKIN AVE CENTER – LARKIN AVE INC **CEOTECH** NO. DATE REVISION

8.3.22 ISSUED FOR PERMIT THE THE PROPERTY OF THE PROPER SOME THE OWNER THE OWN THE OWNER THE Construction wills
 Control your agents for action.
 Control your agents for action.
 Control your agents for action.
 Control your proper deep over profits stress great at an-east.
 Dates grown arrows for actions. M - WLYE BOX

STORM MWHOLE ₽ ~ 4 × | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 100 8 ± 0x - 8 : Q Q CUCH BESH 8-602.05 8 MH-607.27 (8' RCF) 1 MH-697.37 (6' RCF) CATCH BESSN N INV-505.36 (12" RCP) E INV-505.48 (8" RCP)

SHEET NO. 0

PROJECT NO. 21204

DATE: 6.23.22

DRAWN BY: TC

CHECKED BY: CP

DW-StD

**CEOTECH** 

INC

TEMPORARY SOIL STOCKPILE DETAIL

	T	Г	Г	ī	Г	_	1	1						9
	T.	L	L		L		Ľ.	L						1007
	L												5	ě
_	Ť	•	H	T	H	_	H	Н	ĕ				9	ě
i	L		L		L		L	Ц	9				M	9
١	l		1	H	ľ	1			R 18		3	-	BING	9
t	t		t	Н	t	t	t	Н	8 16		3	5	8	0
1	L	_	L	Н	L	L	L	Ц	8		3	į	4 NEB	9
i	l								It. WHENT OR COPEUL PIE 150 LBS/ACRE	8	SECOND OF THE PARTY OF THE PART	i	ARCOTON NEEDED DURING JUNE AND JULY.	277.00
ţ	T		1	ı	T	T	T	П	ž	2				:
+	╀		H	Н	H	H	H	Н						
	l			Ш				Ш	,	ď				
T	Т		Г	П	Г	Г	Г	П	i	Š		2000000000	į	
1	╀	-	⊦	Н	å	⊦	⊦	Н	300	2	ĕ.	,	ì	
4	l.	۱	l*	1	ľ	٠		Ш	991	ŝ	35	ı	1	,
	Γ	Γ	Γ		Γ		Γ	П	NOMINORY BLLEDRISS 90 LEG/MORE	Ę	CULDINGS 135 URS/ACM	ì	ŝ	-
_	H	H	H	-	H	-	H	Н	MESS	5	0000			5
	ı.	L					L	U	900	\$	ò	200	1	200
	l								DG.		E S	ŀ	3	and the sale and comme of
SEEDW)	Į,	2	198	SEEDING	١,	è	ŀ	ì	4		æ			•
	900	SEEDING	Ě	ě	ı	NO.	ľ	MCC-886						
_	_		_	_	_		-	_						

Ĕ	Ī	É	i	í	ĺ	1		ì	į		i	É	į	
PERMINENT	Г		ľ	Y						ı				_
300000	Ī			Ţ						١				_
DOMANG	ľ		ľ		Ĺ			Γ			ľ		1	_
SEEDING	٦			ĺ	Ī								1	_
TEMPORARY	Г		ľ	9,			1			ı				_
SCEDOS	Ī			I			4			١				_
000000	Γ		ľ	Ł						ı				
SOUTH	Ī			Ţ						۱				_
	Γ		ľ					Γ			ľ		ŀ	
MCCORP	Ī												۱	
٠,	SOUTH	XY BUE	6 55655	A. NDRUCK BLEDNSS 90 LBS/ADE	3		4	HEGT CR	0000	D. WHENT OR CENEUR PIE 150 LBS/MONE	166/1096			
	9				4	š	4	8						

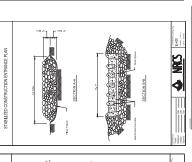
OF.	STRELEONON TIPE	386.	1834	me.	APP.	NO.	300	AUC.	AUS.	201	120	7/08	'39g
	PERMINENT			4						ı			
	SEEDING			Ī						١			
	DOSMAC							Г	Γ				1
	SEEDING			١				Ī					1
	TEMPORMEY			٥,			1	۰		1			
	SEEDING			I				Г		١			
	CONTRACT			£						ı			
	SAUCHA							П		۱			
	COLUMN TO SERVICE STATE OF THE PERSON STATE OF												ı
													֡

	PERMANENT		Г	٧		Ī		Ī		1	Г	Г	Г	
	SEEDING		Ī	Ī			Ī	Ī		1				
	DOSWART		Γ	١.		Ī	Г	Г			Г			
ENI	SEEDING		Ī	1								Γ	1	
	TEMPORARY		Γ	4	Γ	Ī	Ī		Γ	1	Γ	Γ	Γ	
•	SEEDING		Ī				Ì	П		l				
	commen		Γ	Ł						1	Γ	Γ		
	SAUCHA				Γ	Ī	Ī	Γ	Γ	1				
			Γ	Γ	Γ	Ī	Ī	Γ	Γ		Γ	Γ	ľ	
	MCCORP.							П					۱	
2														
	A NEGLECKY BLLESPASS SO LING/ACRE	one one	59KS 90	186/108		,	2	HEGT 08	1000	IN WHENT OR CEPEUL PRE 150 LBS/ACRE	3604/98			
ATA.	OT STATE	2	4	ŝ	o URAN	ď	4	8						
	A KOTO	Difficer auto	NY BUILDINGS 135 URS/ACHE	) N	×			THE STATE OF THE PARTY OF	20.00	200,000				
	200	30/100 3	TOWN CTEMPS		SECULO SEE					1				
	-	-	-			1		MACHINE	ususan a	NAME AND POST OFFICE ADDRESS OF THE PARTY OF	411	2		

¥	FEB.	'ann	APP.	/ion	300	AUC.	AUS.	5D4.	OCT.	NON.	398
L		Y				Ī		ı		Г	
					ı	Ī		l			
			Г		Г	Г	Г				1
		١				Ī					١
		s,			7			1		Г	
					ı			l			
		£						1		Г	
								ı			
											1
											١
			١,			1					
	*	- NA	188 188 189 189 189 189 189 189 189 189	887 41	g .	26	26	26	26	26	10 10 10 10 10 10 10 10 10 10 10 10 10 1

	1960:	Г		A	Γ		Г
	NON.	Г		Ţ	Γ		Г
	OCT.				Γ		
	30%	ı	١		1	١	ı
	AUS.	Ī	П		П		
CHART	AUC.	ŀ	Ī				
CTION CHART	or ser						
PROTECTION CARRT	ANY ANY						
SOL PROTECTION CHART	ATTE THE						

	SILI PENUE PLAN
AN INCIDENT OF NON-COMPLUNCE (ION) MUST BE COMPLIED AN SUBMITED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FALS.	A Flar Stee
A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SUBMITTED TO THE IEPA WHEN ALL PERMINATE ROSGON CONTROL MEASURES ARE IN PLACE WITH A TOXE ESTABLISHMENT OF	Control Control
DUST CHINDS SHALL BE FROUNDS IN ACCORDANCE WITH SECTION 107.26 of The STANDARD SPECIALIZES FROUD AS REDGE CONTENT OF APPROXIMATE MEASURES INCLUDE SPRINGING ARROWS INCLUDE.	WW.Z
STE SPECIFIC INFORMATION	
AMEA = 0.63 ACMES TO THE DAMES AMES = 0.44 ALMES RIVER SUNNO WITHER = 0.46-JAMES RIVER	NOTAVALIA NOTAVALIA
SEQUENCE OF EVENTS AND ESTIMATED CONSTRUCTION SCHEDULE.	
	Part Foto: Deploy Co Pak
SIIIDNOE ELANDOSCHARION (TO TIOREN T. 2022 BADONE TEMPORARY EROSON CONTROL. NOVEMBER 1, 2022	
MATED SOHEDULE SHOWN FOR REFERBING ONLY, ACTUAL DATES WILL BE DETERMIND BY THIT MACINE MEED LUCHWILLIPLE FACTORS, ESTIMATED THAT CLEARED AREAS MAY BE EXPOSED FOR PROXMATELY 45 DAYS.	Corporate Incett
LONG TERM (POST CONSTRUCTION) MAINTENANCE	FABRIC ANCHOR DITAIL
DESCRIPTION OF SETUMENTS AND AMMERIEST ASSESSED FOR CLICTION STREET, AND ESCRIPTION AND AMMERIEST AND AMMERIEST AND AMMERIEST AND AMMERIEST OF SETUMENT AND NO NO SHORT OF THE SETUMENT AND AMMERIEST AND AMME	NOTES: professed fector and be residing level to any parity uses in the sear that the search of the
LITTER AND DEBINS SHALL BE CONTROLLED THROUGHOUT THE STE. LANDSCAPE, AREAS SHALL BE MANTAINED WITH REGULAR MOMING AND RESTORED WITH	are an instrument of the contract of the contr
APPROPRIATE SECONOLYTICETATION AS NECESSARY. Rippada Areas Salale Be Repared with the Addition of New Riprap, as necessary, of Salan are style and salare	of field 30 for retorneyed and 40 for women.  3. Fence opens shall be after a standard state or wood post with a retorney removement removement from a resolution areas of 30 for in-
INSPECT ANY SIDE SLOFE/EMBANOVENTS IN DETENTION BASIN OR ALONG FLOW ROUTE FOR	
STILL MAD AND ROOM AND REPARK AS INCREMENT.	DA SANG GRECOWAY

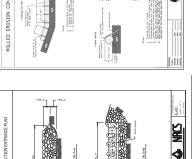


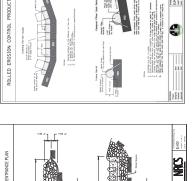
MAJOR AMENDMENTS OF THE STE DEVELOPMENT OR EROSION AND SEDMENTATION CONTROL, PLANS SAME, LEGS SUBMENTS TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE MANUER NA THE ORGANAL PLANS.

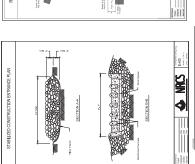
ALL TEAPORARY AND PERMANENT EROSON AND SEDIMENT CONTROL PRACTICES MUST BE DAWNING AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENED.

ALL ACCESS TO AND FROM THE CONSTRUCTION STE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.

MAY SEDMENT REACHNG A PUBLIC OR PRIVIT ROAD SHALL BE REMOVED BY SHOVELNG OR PROPRETS CLEANNE (NOT ELLEGANG) SETVORE THE END OF EACH WARGAAY AND TRANSPORTED TO A DETAILS SEDMENT DESCRIAL. all Topporaty Endson and Sedment Control, Mexicaes Shall be disposed of Within 30 proxy after the Final Site Stablezation is acheved with Pernament 301, stablezation mexicaes.



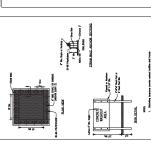


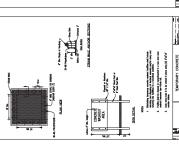


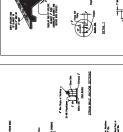


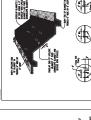
SES 4

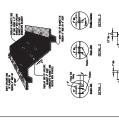
_	-		_
Construction of the contract o	The state of the s	The second of th	

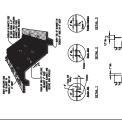


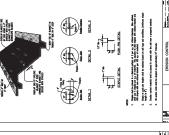


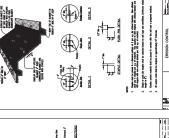


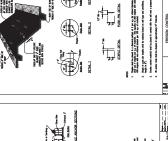












Of the state of th	THE	STATE STATE	MITS:  Stehn skil to based or Stehn Mod.  Stehn skil to based by the Stehn Ste
Amen on the second of the seco	THAN BALL ANCIDES	of majors	y control national facilities and beings by a foreign section section of the con- trol to a foreign medition, stay and

41 D	
A desired to the second to the	
THE RESERVE THE PARTY OF THE PA	
The state of the s	

The state of the s	MASHOUT FACULTY - STRAM BALE
8 955 24	

		STRAW BALE ANGION		form and below
A Service of Service o	ELAN. VER	AREA ( P. Mayer)  ODUCKET WASAUT WASAUT AFTER AN ANCHOR	250 CETAL	MCES 1. Tablobis Imperty counts welfant needto de dippelig of better see

ANALYS AND ANALYS ANALYS AND ANALYS ANALYS AND ANALYS ANALYS AND ANALYS AND ANALYS AND ANALYS AND ANALYS AND ANALYS AND A	SEAL SETAL	1. Editional to a series of the series of th
A for both was a follow when a for the state of the following the state of the	Pa =	
Trends	Prietre Douglan Of Plan goal Douglan IIII Treated Backli	hallpades bases gains of

ee (Char)			UN-620
TOTAL STATE OF THE PROPERTY OF	We have a second of the second	To be shown the service of the servi	

ANDADBIA	+	T T T T T T T T T T T T T T T T T T T	
	ENCE PLAN	COLUMN CONTRACTOR CONT	

uw.z	11 =		APAREGROUPS
(O(1) O(1) O(1) O(1) O(1) O(1) O(1) O(1)	WALLO MONDAY - SHIPP A STORY A	OTES.  The control of	30000

TO SECURE MESSAMING  THE WAS A SECURE OF THE SECURI OF THE SECURE OF THE SECURI OF THE SECURI OF THE SECURI OF THE SECURIOR OF THE SECURI OF THE SECURI OF THE SECURIOR OF	AS NECESSARY, TO ENSURE PROPER PERFORMANCE, AT A MINIMUM THE FOLLOWING MEASURES SYALL BETAKEN TO RESURE THE SYSTEMS OPERATE AS DESIGNED AND THE DESIGN VOLUME OF ANY DETENTION FACILITIES ARE MANTANED:
--	---

SYSTEM NO N	¥
MARCH /	ESTORED
NENTS OF THE STORMMATER MANAGEBRY FACULES, STORMMATER COLLECTION SYSTEMS A "PACED ACCESSATION DAKES SALVEL OR INSECTION TO PROBLICALLY TO RESURE MANOR ILLOSING TO BROME AT SYSTEMS OFFENTIL AS DESCRIED AND THE DESCRIA VICUUE, OF ANY TES ARE MANTANED:	AND SHALL BE CONTROLLED THROUGHOUT THE SITE. AND SHALL BE MANIFANID WITH FIGURAR MONNG AND RESTORED WITH PROPERTY AND SHALL BE MANIFANID WITH FIGURAR MONNG AND RESTORED WITH
S, STORMY MODICALLY MINIMUN ND THE D	DAT THE
FACUTES TED PERI E. AT A SIGNED A	THROUGH
AGEMENT SE INSPEC FORMANC TE AS DE	TAINED W
S SHALL S OPER PER	BE MAIN
STORWWA ED AREA SSURE PR E SYSTED UNED:	AS SHALL
S OF THE SAN, TO B NSURE THE RE WANT	CAPE ARE
TO BE SEE	ESS

TAKEN TO ENSINE THE SYSTEMS OPERATE AS DESIGNED AND THE DESIGN VOLUI FACILITIES ARE MAINTAINED:	LITTER AND DEBRIS SHALL BE CONTROLLED THROUGHOUT THE SITE. ANDSCAPE AFEAS SHALL BE MANIFAMED WITH REGULAR MORNIG AND RES ANDROGEN THE PERSON AND AND AND AND AND AND AND AND AND AN	ALL BE REPAIRED WITH THE ADDITION OF NEW RIPRAP, A	SLOPE/EMBANOVENTS IN DETENTION BASIN OR ALONG F	ENGLINE AND REPAIR AS RELESSANT.
ACUTIES ARE MAINTAINED:	L LANDSCAPE AREAS SHALL	SIPRAP AREAS SHALL BE	. INSPECT ANY SIDE SLOPE	
- 4		0	-	L

LITTER AND DEBRIS SHALL BE CONTROLLED THROUGHOUT THE SITE, LANDSCAPE AREAS SHALL BE MAINTAINED WITH REGULAR MOWING AL	APPROPRIATE SEEDING/VEGETATION AS NECESSARY. RIPRAP AREA SHALL BE REPAIRED WITH THE ADDITION OF NEW RIP	OMICHE SEE AND SHAFE.  INSPECT ANY SDE SLOPE/EMBANGMENTS IN DETENTION BASIN OR ALL  SETT EMBAT AND EXPERTANT AND DEPARTMENT OF ANY SPECIAL AND SPECIAL	ENSURE NO OBSTRUCTION AME BLOCKING THE EMERCENCY OVERFLO INSPECT THE RESTRICTOR MANHOLE TO ENSURE SEDIMENT OR DEBRI	INSPECT ALL DETENTION AND VOLUME CONTROL FACULTIES TO ENSUR
46	ن	á	шu	ď

	ᇦ	Ę	æ		₹		23		æ		
	Ĕ	₹	¥		g		7		۵	APPROVED PLANTING PLAN.	
	쑱	9	E		8		3		₹		
	ö	S	g		₹		5		ž		
	붓	₹	8		3		×		á		
	w	u	æ		줐		ğ		띪		
	ž	ž	2		¥		ä		ⅎ		
	ž	٥	š		ž		3		ž		
	٥	Z	8		50		ē		o,		
	23	욽	눥		E		ä		ఫ్ల		
	Ę	ì	Z		Ş		٥		₹		
	ğ	ದ	ş		된		š		š		
	٤	జ	ವಿ		8		釜		8		
	졅	6	ä		럎		윱		8		
	×	×	쭙		3		చ		ä		
	Ö	3	쌇		S		Ě		3		
	Ħ	8	3		贫		ā		ś		
d	8	ŝ	₹		క	쑱	₹		8		
ť	?	G	ř		Ŧ	ž	ü		တ		
	ž	Š	చై		S	쓩	ś		క	ź	
	×	á	ā		℅	ž	7		ą	5	
3	Ĕ	ĸ	8		Ę	ş	Ħ		器	8	
þ	B	ş	걸	닡	Z	ż	3		٥	Ê	
2	2	á	2	i	3	벌	3		Ē	3	
ě	₹	3	Ę	3	g	æ	ğ	ż	3	-	
2	+	È	8	병	5	w	ũ	3	Œ	띪	
Š	ĕ	3	3	ゑ	ĕ	٤	٤		ĕ	쏥	
ÿ	2	50	z	E	ø	Я	ล	쯟	≥	Œ.	

STABILZATION THPE	386	1833	me.	APP.	ADD.	300	au.	AUS.	30%	OCT.	100	.390
TIGHNORE			4						1		Γ	
SEEDING						ı	Γ	Г	Ī			
DEMAC				Γ		Γ	Γ	Γ		Γ		ľ
SEEDING			Ĺ								Γ	1
TAPOBARY				Γ		ŀ		Γ	1	Γ	Γ	
SEEDING						•			I			
COMMEN			£						ı	Г	Г	
-						Г	Г	Г	Ī			
				Γ		Γ	Γ	Γ		Γ	Γ	1
MCC-099												1
ACMINIVA BLICKSHOP ON 180 /A/40	DAY BUE	20000	20/00/1			•	07 17378	2000	A MARKET AND PARKET BAR 150 / 150 / AVEC	20/4/00		

DEPTH OF RIP RAP Y (IN)	15	15	15	15	15	15	15	20	20	20	28	28	32
APRON LENGTH, L(FT)	10	12	14	15	16	41	18	20	22	24	28	32	40
APRON WIDTH, W2(FT) 3D+L	13.00	15.75	18.50	20.25	22.00	23.75	25.50	29.00	32.50	36.00	41.50	47.00	58.00
APRON WIDTH, W1(FT) 3D	3.00	3.75	4.50	5.25	00.9	6.75	7.50	9.00	10.50	12.00	13.50	15.00	18.00
IDOT ROCK GRADATIO N	RR3	RR4	RR4	RR4	RR5	RR5	RR6						
PIPE DIAMATER D (IN)	12	15	18	21	24	27	30	36	42	48	54	09	7.2

STABILIZED CONSTRUCTION ENTRANC	Expense of the control of the contro	June 2
ARGES	FIGHTNG ACTIVITIES, SQUICES OF NON-STORM WATER THAT INVIER DISCHARGES ASSOCIATED WITH THE ACTIVITY ADDRESSED IN THIS	TROC FOCERATIVE GROWTH FOR SEEDING, ETC., MINISTER (FROM IN SHATERIC ACTIVITIES)

CULVERT INLET PROTECTION - SILT FENCE

OTHER LANDSCAPING MATERALS, SQL EROSION AND SEDMENTATION MEASURES AND OTHER ACTIVITIES MAY BE NECESSARY TO PROTECT ADJACENT AND DOWNSTREAM WATER COURSE FROM DAMAGE.	The Experting September of Authoritis but will cust ageneral representation by the Percent September of Authoritis but will cust ageneral representation by the Percentage of Continent Review of Continent Re	THE ESTAMATIS STREWARTS BARDET CORFERENCE AND CONTRACTION IN THE PROJECT DESCALA WITHOUT STREAM THE LICOLA ACRIFICATION WHITE THE PROJECT REPRESENTED WITH THE LICOLA ACRIFICATION STREAM THE REPRESENTED COMPANY THE PROJECT RESIDENCE AND CONTRACTION OF THE PROJECT PROSENTATION STREAM TO CONTRACT THE PROJECT DESCAN MARKING, WHO IS ROOSPINGATION.
Ë	SEST SEST SEST SEST SEST SEST SEST SEST	S S S
€.,	285	≨¥g
βŘ	중심역으로	2,48
ĕ≨	8E38	X 2F 2
50	465E88	200
일	3242	들을받
25	좋었당범택	진목단표
RES	AST TATE	중독독원
88	25 E E E E	Z F S F
<u>ٿ</u>	7968#	독립으문
<b>FB</b>	39057	z 2 9 2
윤울	얼굴등문로	9023
€a.	285 E.S	\$0.00
到短	254 <sup>2</sup> 5	T S G L
<u>⊕</u> ≅	50000	용극조일
%§	247158	#유유
₹5	599999	7550
χ₹	TESO DES	잡프로프
۶Ę.	*SMES*	운양받조
23	2468Ex	\$8 <b>≦</b> 0.
≓3.	547562	0.768
ఠ≾	€8°+≥8°	5063
Sign	455425	3280
20	948333	2,544.8
#5	92KH2E	Exer.
<b>≥</b> β	23.43.500	\$\$500 t
ĕĕ	SUBEE.	8495
38	22497	PE = 55
88	E68900	2002
3×	현실하다록로	25555
88	252557	E2858
₽¥	#87.8E	3895
02	F4085₽	Exco
	4	44

Comment of the c
---

ENT CONTROLS.  S. EOSTING VICETATIO S. EOSTING VICETATIO BUT IN NO CASE LOW BUT IN NO CASE LOW VENT OR MORE. W VENT OR LOW VENT OR VENT OR LOW VENT OR VENT OR LOW VENT OR VEN	THE ENGINEN AND SEDMI TABLIZATION PRACTICES MEAS SHOULD BE STA SEDMINITY CASED, MELL NOT RESULE FOR IN CONDITIONS PREMIT, IN CONDITIONS PREMIT, THE FOLLOWING INTERNA THE FOLLOWING INTERNA THE POLLOWING INTERNA THE FOLLOWING INTERNA THE FOLLOW	4	
A SHOLD BE PRESENTED SECURE, SEA SHOULD BE PRESENTED SECURED SHOULD ACTIVITIES HAVE BEEN ON SHOULD BE SHOULD SECURED STABLED SHOULD STABLED SHOULD SEA SHOULD BE SHOW CASH PER SHOULD SEA S	THE CORPUSE, AND SHOULD BE PRESENTED AS LONG AS PARTICULAR AS PARTICULAR AS PARTICULAR AND ASSOCIATION ASSOCIA	IL FORDINA ME STRUKTU CONTROL SERVICE	IN THE PRINCIPLE OF THE PRINCIPLE SECURIOR SECUR
N SHOULD BE PRESD OSSBILE. STABLUZATIN ER THAM 14 DAYS IN EBE SHOW COVER PR STABILIZATION MEAS! BILIZATION PRACTICES	CONTROLS.  CONTROLS.  DO STATE AND S	LE DOSON NA BAZINETH CONTROL.  EL DOSON NA BAZINETH CONTROL.  FULLIZARIO PROCEESE DESTINO VEZETATION SOLUD DE PRESENTATION  MARCH S SOLUD DE FERRILLO PROCESSA CONTROL.  FULLI MATERISARIO PROCESSA CONTROL.  EL MATERISARIO PROCESSA CONTROL.  FULLI MATERIARIO PROCESSA CONTROL.  FULL	A SEL BOOK AND REMAINST COMES AND RESIDENCE
	SHT CONTROLS.  EDGSTRIC WOOTATH RECED AS SOON AS PORTIONS OF THE 38 BUT IN NO CASE LOS ED ANYS OR MORE. W ENT INPLEMENTATION AND PERMANENT ST AND PERMANENT ST	H. ENGORN AND SEZUBATH CONTROLS. MARILLAINE PRACTICES. EDISTROL WORTH. MEAS SHALD BE STREATED AS SOON AS DOON AS PRACTICAL, IN POPERAGE OF THE SY PERMANDAL SHALL SHALL SHALL SHALL ME FOLLOWING SHERM!  FOR CONDITIONS PRIME!  FOR CONDITIONS	A. SOL FROM AN DESIGNED CONTROLS.  1. STABLIATION PARCITICIS: DISTRIBUTION VICENTA- STABLIATION PARCITICIS: DISTRIBUTION VICENTA- PERSOAMBRITY CRASED, PARCITICIS: DISTRIBUTION AND CARE. For MAIN LAND FESSIONE STABLISH OF NO. FOR ADMINISTRATION OF STABLISH OF NO. FOR ADMINISTRATION OF STABLISH OF NO. FOR ADMINISTRATION OF STABLISH OF STABLISH OF NO. ADMINISTRATION OF STABLISH

F DEWATERNO DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM ENDIGON, ALL PRINCED DISCHARGES SHALL BE ROUTED THROUGH APPROPRATELY DESCRED SIDMENT TRAYS FOR ASSIS.

ALL STORM SEWER FRAMES AND ORATES/LDS SHALL BE WARKED WITH "DUAP NO WASTE" AND "DRAMS TO CREDK". THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO CONTROL WASTE SUCH AS BILLDNG WITHDAWS, CONCRET BROCK WASHOOT, DEBLOLISE, LITERA NO SMALTHEW WASTE AT THE CONTRIBUTION STEP THAT MAY CAUSE, ÉPOFESE IMPACES TO WATER CAULLY.

A NOTICE OF INITITY (NO) MUST BE SUBMITTED TO THE NOCES PERMITTHIS AUTHORITY AND POSSIBATION. TO LEGIS DO DUE PROPER CAMBURDATION OF ANY IN NOK CAS-TOTE FOR ALL COMMISSIONED ANY THE NOTION STREAM THE NOTION THE NOTION THE NOTION THE NOTIONED AND THE NOTIONED AN

DISTURBED AREAS SHALL BE STABLIZED WITH TEMPORARY OR PERMANENT WEASJRES WITHIN 7 CALENDAR DAYS FOLLOWING THE DUD OF ACTIVE DISTURBANCE OR REDISTURBANCE.

REMAINS FOR SER IN THE SER OF THE PROPERTY OF THE SER OF THE SERIOR THE SER OF THE SER O	<ol> <li>STRUCHINA, PARCIDICAS, THE FOLIDIBNO STRUCTURAL PROJECTS SHALL BE BALLADINED TO THE EXTENT POSSBEE TO DIVERT FLORE THOM EPONDED SOLS, STORE FLORE OR OTHERWISE LIAT REMOFF AND THE DISCHARGE OF POLLUTATIS FROM THE DIVOSED: STORM STRIPS, STORM WRITE CONVEYNICE CHARBLES AND</li> </ol>
--	--

THE FOLDWING RITERA AND PERANANTS TISHERIZATINON PAGATICES, AS A MAMUM, SHALL BE ELMOOTS TO STABLIZE SOFTWARD AFEAS, PERANANENT SEEDING, WOETATINE FLIERS, STABLIZED CONSTRUCTION EMPRANCES, AND BARRIER FLIERS.	PROCEEDING MACHINES HE FOLKOMEN STRUCTURAL PROCESS SHALL BE INCLUDED TO THE TRICKY AND THE POSSELE. TO PRINCE TAKEN FROM LEGISONS, STORE TORSE OF OTHERWISE LINET RANCH AND THE PROCESS. STORE ALORS OF OTHERWISE TAKEN THE PROCESS. STORE STORE STORE WITTER CONFERNMENT STORE THE PROCESS. STORE STO	STORM BATER MANAGEMENT
--	--	------------------------

STORM PERM	STRECTIVE, PRACTICES: THE CELEGRAD STRECTIVE PRACTICES STATE, OR PREFIXED TO THE CETTER! PRESENT TO DRIVET IN THE PROSENT STATE OF THE TRAVET AND THE DESCHARGE OF PALLIVARIS FROM THE EPPOSEDS STORE TICKE OR OTHERWISE LIMIT RANGE WAS THE PROMISED STORE STATE.	STORM WATER MANAGEMENT	THE FOLLOWING MEASINES WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL OWING THE OMESING THE OFFICE OF THE OWNER WITHED THE DESIDENCE OF THE OWNER WITHED THE DESIDENCE OF THE OWNER WITH TH
	STRUCTURA POSSIBLE DISCHARGE PERMANEN	STORM WAT	DE FOLLO CONTROL P OPERATIONS

IN TESTS, AND STORN WERE THE STATE OF THE ST
--

STOR WITH MANAGORIT CONTO, NOLIGES, RP-46P FOR OUT!! PR- DIPL/CAMBEL, CHECK STEEDS.  ONER CONTROLS. WAST DEPOSED, ASCA, WITH WITH SHILLINGS TWO, CONTRICTED, TO COSTRUCTED MANAGORITH THESE SHILLINGS AND OTHER THESE SHILLINGS AND WITH STORY AND
--

AUTHORIZED BY APPROPRIATE PERMITS. THIS PLAN SHALL COMPLY WITH ALL APP LOCAL WASTE DISPOSAL, SANITARY SEWER AND/OR SEPTIC SYSTEM PEOLLATIONS	<ol> <li>SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS PROVIDED BY THE OF TWO TIMES PER WEEK TO AVOID OVERFLOWING AND MAINTAIN SANITARY COND</li> </ol>	<ol> <li>ALL PETROLEUM PRODUCTS STORED ON-SITE SHALL BE STORED IN APPROVED CO SOURCES SHALL HAVE SPILL IOTS IMMEDIATELY AVAILABLE.</li> </ol>
33	MRY 00	SOVED
	-8	e
₹3	ě.	8
18	81	ş
単品	38	Αb
58	ęδ	ž
P. S.	N. N.	ē
80	띃	×
글을	53	64
<b>≸</b> &	46	, ĕ
200	절절	2,3
₹8	20	∌≳
29	8 ₹	表テ
22.	₹5	교련
Ē g	# E	2.≥
25 2	28	Ťē
₹ 05	E.C.	౭౾
82	식성	8.0
ΞΞ.	ᅻᅐ	85
본종	00	52
\$ ∞	×.	∞ಕ
8 4	-8	20
20	33	정보
5 4	あ名	¥Ξ
	μÆ	
£00		
STE D	WES	랿
WASTE D	TIMES	ROLEU S SH
L WASTE D	WO TIMES	PETROLEU
JTHORIZED BY	NITARY WAS	L PETROLEU
AUTHORIZED BY LOCAL WASTE D	SANITARY WAS OF TWO TIMES	ALL PETROLEU SOURCES SHA
AUTHORIZED BY LOCAL WASTE D	2. SANITARY WAS OF TWO TIMES	3. ALL PETROLEU SOURCES SHA
AUTHORIZED BY LOCAL WASTE D	2. SANITARY WAS OF TWO TIMES	3. ALL PETROLEU SOURCES SHA
AUTHORIZED BY LOCAL WASTE D	2. SANITARY WAS OF TWO TIMES	3. ALL PETROLEU SOURCES SHA

Sources Shall livide that Livid Realization To Authorize Care in environment of consecrat more shall not see that the season who went of the consecrat more shall not see that the consecrat more shall not see that the consecrat more shall not see that the consecration of the consec

SOURCES SPALE HAS  4. CONCRETE TRUCKS S  MACSH MATER ON TH  AND PROVIDED WITH  CONTAMINE OF EAST  DE-WATERNO OF EN	SURRESS SOME, HAVE SENTED REMODELENT TANALARES.  A CORPORET TRACES SOME, AND RE PERMITTO TO MAKE OUT OF RESONANCE AND THE OWNERS OF THE SENTED AND THE OWNERS SOME OF THE SENTED SENTED SOME OF THE SENTED SE
--	--

CONTAINED AND CLEANSED BEFORE ENTDRING THE SITE STORM	6. DE-WATERNO OF EXCAVATIONS AND OTHER SPACES, USING PU OF WATER OTHER THAN SIT OR SEDIMENT SHALL BE I SEDIMENT BASIN TO ASSAME ALL SUSPENDED SOLDS ARE REAL CONSTRUCTION SIT.	B. APPROVED STATE OR LOCAL PLANS.

WASH WATER ON THE SITE. SPECIFIC REEKS FOR THIS ACTIVITY SAN AND PROVIDED WITH ADDIQUATE RETRATION BESINGS AND OTHER FAC CONTAINED AND CLEARED BEFORE ENERGING THE SITE STORM WATER	6. DE -WITSHA OF EXCANATIONS AND OTHER SPACES, USING FAUPES SEZIMONT MANNETED WITH SIT ON SEZIMONT SHALL BE MORE SEZIMONT BANNET ON ASSAME, ALL SUPPLICED SOLUS AND REMOVED CONSTRUCTION SITE.

3. MANTEDANCE. THE FOLLOWING PROCEDURES SHALL RE USED TO MANTARI, IN GODD CONDITION, SEDBANTIAN CONNEX MASSHES, AND OTHER PROTECTIVE MEASURES DRIVING. STRONGO SYCOTICATION OF

HE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES FAND POLLUTION PREVAVINGS IDENTIFED IN SECTION 2. ABOVE THAT AS SOON AS PRECIDENT ATTENDED IN SECTION, ANY CHANGES HE REQUIRED INTENT SOON INSPECTION.

N. HAME(S) AND CUALFICATIONS OF PERSONNE.
THON JAMOR GESERVATIONS RELATING TO THE
IN ACCROUNCE WITH SECTION AS SHALL BE MADE
THEMEE (3) YEARS ATTRY THE DATE OF THE
CONTRACTORS DESIGNATED "QUALIFED INDIVIDUAL" > For an ALLATION CONTROLL WE REPRODUCE TO BE A DESCRIPTION OF A DESCRIPTION

THE STRAMMATER POLLUTION PREVENTION PLAN (SWEPP) HAS BEEN PREPARED TO COMPLY WITH THE PROVISIONS OF NEPER LIAR COMPRIATION CRETEAL PROFILE ISSUED CONSTRUCTION AGENCY. PROFILE ISSUED CONSTRUCTION SITE ACTIVITIES.

































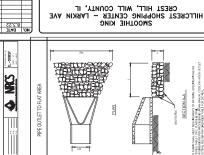
				_
				_
				_
TIMBE	FOR F	ISSUED	52.2.8	_
		KEAIZION	3TAG	ON.
				_
				-
			1 1	
			L. I	
			88	

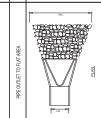


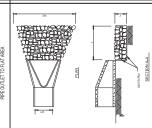
		$\mathbf{H}$
ISSUED FOR PERMIT	\$5.5.8	
KEAIZION	3TAG	ON)
KEAIZION	3TAG	ON
KEAIZION	31AG	ON
KEAIZION	31AQ	
BEAIZION	31A0	

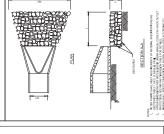


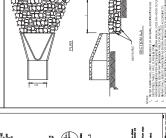


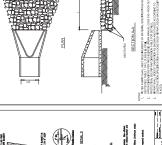


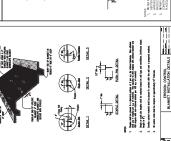


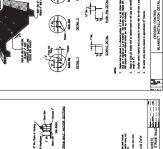


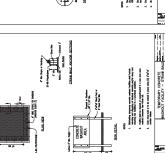


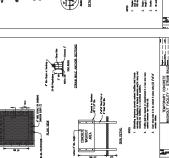


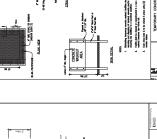


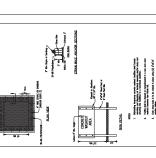


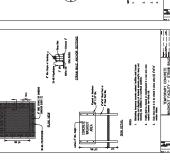


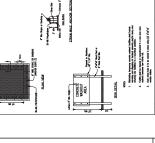














	* *** ********************************	+	3,00
(044) (044) (044) (044) (044)	Transfer of the state of the st	con section have set as within two in regulations and an expectation of the control of the contr	100 (200 ) 100 (200 )

Notice and an artist and an artist and an artist and an artist and artist artist and artist and artist a	2000 000
overy sediment is area to be posted and state between the control of the control and control of the control of 20 for control of the control of the control of the control of the control of the control of the control of the	Supple Supple

PPROVED PLANTING PLAN.	PLANT	No Pu	ž									
				Ø	SOL PROTECTION CHART	CTION	OWRI					
NOUS	386.	1834	'ann	APR.	JAM.	300	anc	AUS.	20°L	120	NON.	1960:

APPROVED PLANTING PLAN.	VEGETATION, EROSION AND ED IN THIS PLAN AND THE	NO WITH ADDITIONAL STORES	MANCE, ADJACENT PUBLIC PERMINE		DOMMAG	DOLANDIT	C VENETATIVE COVER GUALL BE	
ED PLANT		×						
25 N		£	Г	Ī	Ī		Г	
5 2		3	Υ.	Ī		1	9,	֡
	8	APR. 1857			Г			
5	SOL PROTECTION CHART							
á a	CTION	ane aux					1	
ĕ	CHART	à	Ī	Ī	Г	Ī		
ŝ		405						
9								

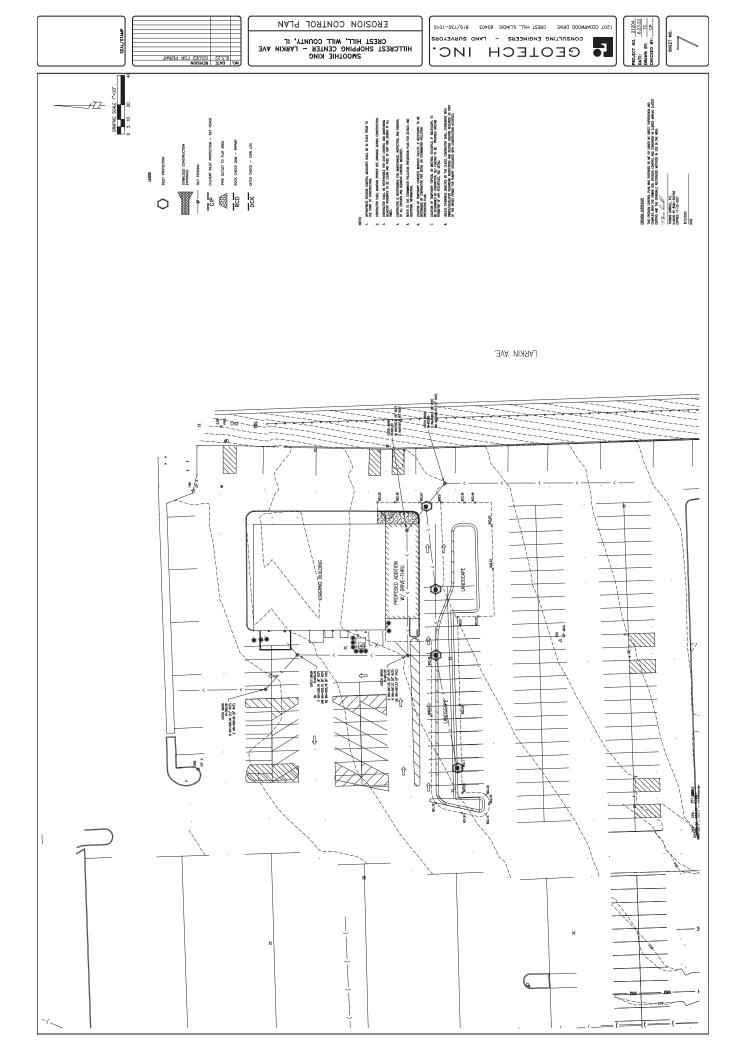
MEET THE OI NECESSARY.	MEET THE ORIGINAL DESIGN INTENT OR REMOVED AND REPLACED AS NECESSARY.
A. RIP-RAP. THE RIP.	RIP—BAP CUTLET PROTECTION: IT SHALL BE INSPECTED AFTER HIGH FLORE FOR ANY SCOUR BENEATH THE RIP—RAP OR FOR STOKES THAT HAVE BEEN DISLOCAZO. IT SHALL BE REPARED MAIZHATELY.
4. INSPECTIONS.	
UNLESS OTHERWISE PROVIDE QUALFED BEEN FINALLY STAB SITE. SUCH INSPEC 24 HOURS OF THE I	HARES OFFERENCE BOTTOD PET HEARE, THE CONTROLLER'S SEPRESTANTIVE SHALL STREET OFFERENCE AND SEPRESTANTIVE SHALL SHALL CANDER CANDER FRESHOLD IN RESIST DESIDENCE AND SEPRESTANT SHALL SHAL
A. DISTURBED AR	A. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION

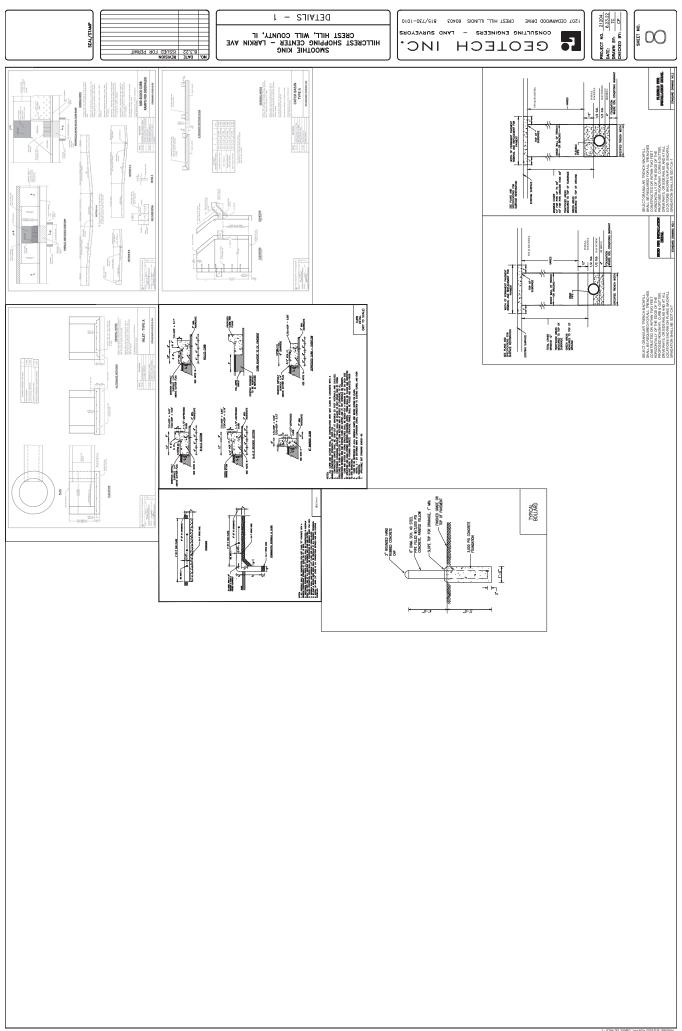
EAST CNCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN HES OR GREATER OR EQUIVALENT SNOWFALL.	CHE OF MITTHEAST THAT WE EXPOSED TO PRECENTATION OF PROPERTY THE PROPERTY OF PROPINITY OF PROPIN
SITE. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE IND OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SHOWFALL.	A DESIGNADE DAGE AND AREA SERVICE OF REPORTS, OF REPORTS OF REPORT

BASED ON THE RESULTS OF THE DENTIFED IN SECTION 1 ABOVE SHALL BE REVISED AS APPRODE TO THIS PLAN RESULTING FROM DAYS FOLLOWING THE INSPECTION.	A REPORT SUMMARIZNG THE S MAJONG THE INSPECTION, THE I IMPLEMENTATION OF THIS PLAN AND RETAINED AS PART OF THI INSPECTION. THE REPORT SHA COPIES FORWARDED TO THE EN	IF ANY VOLATION OF THE PRO CONSTRUCTION WORK COVERED COMPLETE AND FILE AN THORD
oci	d	á

WANNON THE INSPECTION, THE DATE(S) OF THE INSPECTION INPLEMENTATION OF THIS PLAN, AND ACTIONS TAKEN IN AND RETITORS. THE PROPERTY OF THE PLAN FOR ALL LESST THE INSPECTION. THE RESPORT SHALL BE SURED BY THE CONCORDER TOWNER HE DEBANKER AND OWNER.	O. IF ARY VICLATION OF THE PROVISIONS OF THIS PLAN IS I CONSTRUCTION WROSE COMPEDIES IN THE PLAN. THE CONTROLLED OF INSTRUCTION OF CONTRUCTIONS SERVED ENVIRONMENTAL PROTECTION ACROST AND SALL INCLUDING WHICH WISE TAXABLE IN OPEROPERATION TO PROVISE WHICH IS ADMINISTRATION OF PRESENTATION OF THE PROVISION SALL INCLUDING THAT IN THE MANCE THE MAN

DAYS FOLLOWING THE INSPECTION.	C. A REPORT SUMMARIZNG THE SODE MANDED THE DATE IN THE	D. IF ANY WOLATION OF THE PROVISIC CONSTRUCTION WORK COVERED BY COMPLETE AND FILE AN "NICIDING CONTRACTOR'S IN





JECT NO. 21204 IE: 6.23.22 SHEET NO.

SMOOTHIE KING
CREST SHOPPING CENTER – LARKIN AVE
CREST HILL, WILL COUNTY, IL

**CEOTECH** INC

> CONTRACTOR SAUL ADJUST ALL STRUCTURES TO ETHER EXISTING OR PROPOSED ELEMENDAS, ADJUSTMENTS SAUL RE CONSEREED INCIDENTA, ADJUST TO PRINCED DEVICE WILL NOT ALLEWITE THE CONTRACTOR FROM A TAY ADDITIONAL ADJUSTMENTS AS RECURSED DERIVE FIVE, RESPECTIVE. FOR DISTURBANCES EXCEEDING ONE AZRE, A NOTICE OF INTERFE SUBMITTED BY THE BIGNERS.
> TO CRITATIVE THE EIRSY SUBMISSER, MARKE SPORTIN NEW STORMEN STORM SOUTHER CONTINUE LINE OF ALL ENGINEERS, TO CHARACTURE SHALL BE SECROPAGE FOR THE INSTALLATION AND MANIBURNEE, OR ALL ENGINE CONTINUE LINESPECTORISE SHALL ASO, OR RESPONSEE FOR ALL INSPECTIONS. AND RECORD KEEPING SECRETION SHALL S ALL PROPOSED ELEMITORS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEMITORS, UNLESS OTHERWISE SPECIFIED. THE VILLAGE/CITY SHALL BE NOTHED WHEN EDGING FRED DRAWAGE TLES ARE ENCOUNTERED.
>
> FINAL MEDIC SCHEMISTER SERVERS SEE CAROLININ OR HENDALMIST. THE LITERACE STORY SHALL HAVE
> FINAL HAPRIAN OF ANY REPARE, DOMESTICH, ABRONNERST, OF OTHER METHODS FOR MITIGAINS.
>
> FOR THE SERVEN FROM STEED SED DRAWING ON SEE, CORRESPONDED AND ASSESSED OF ALL SZES AND
>
> LOCATIONS OF DECONATION FOR THE SERVEN SHALL RESPONDED OF ALL SZES AND
>
> LOCATIONS OF DECONATION FOR SERVEN.

irbich Ecomation, Bedong, Hamohing, And Inting, Bockfill (DOT CA-7) FOR Tremches Shall be Provided Na scorbwice with the Applicable Tremch Section Detal and Shall be considered Incidental to the The Pape. SELECT GRANLAR TRENCH BLOKFILL (DOT CA-7) SYALL BE REQUIRED FOR ALL SERIER AND WATER MAN TREACES LYING UNDER ESTRING OR PROCESSE STREAMS, SPARKWE, LOTS, CURB AND GATTER, SUSBAULCS, AND MINH FIRE FEET THERSOF, AND WHERE MOTED ON PLANS.

EMER AND WATER MAIN GENERAL NOTES

when proof it cannot a fund and make a procedure or precision and real man when proof it cannot a fundamental procedure and proc CONTRACTOR SHALL PROVIDE TESTING AND PROOF-ROLLING AS REQUIRED BY THE CLIDAT AND JURISDICTIONAL WINSTINGLE AREA BROOMINGTOD DRAWN ESTING SHALL BE REDUYED AND REPLACED BITH SUTNAMINETAL APPROVED BY THE SOILS CONSULTANT AND RETESTED.

ALL SMITHAY SERIES, STONE SCRIEGS, WITER WINS AS WELL AS THER SERVICES AND OTHER RELATED PROVINCINGS SMILL OF LOUSINGUIDE DUI STEED IN ACCORDANCE WITH THE LIGHTS EDITING OF THE "SECREPORATE SECREPTIONS FOR WITER AND SERIES CONSTRUCTION IN LLARGES" AND "DOT'S STRUCTION SECREPORATIONS FOR AND BEGGE CONSTRUCTION" IN ACCIDING TO THE REQUIRED.FATS OF THE APPLICA

UNSUITAGE SOL CONDITIONS BELOW THE DEPTH OF THE TREADY BEDDING, AS DETERMINED BY THE SOLES/ SOUTSWARD, PROMISED, DUNANTIESD, DAVINE THEORY FORWARD YNSULL BY SENDING THE REPORT OF THE BASINGENERAL WITH VERTOW MITHOUGH, OF DRESTED BY THE SOLES/SOUTCHARD, EDABLES, OR COMPACTOR SALL ER RESPONSEE FOR DEBUTERING ANY TREICH DIOMATIONS FOR THE INSTILLATION OF MICHEROLOUS WAYS AND APPRITUMENTS. DEMETRING SALL DE CONSCIENTED MODERALL. THE CONSCIENT OF MICHEROLOUS SALL DE USED WHEN CONNECTING SALLER FIFES OF DOSAMILAR MUTERAL.

REQUESTION OF STREAM ON HOWER PRINCES, AS MELL AS LINDOHN SETTION OF GROUND HAVE WE RECHEST SHELL AS LINDOHN SETTION OF GROUND HAVE WE RECHEST SHELL AS LINDOHN SETTION HAVE AN ADMINISTRATION OF SHELL, AND THE STREAM LISTS HAVE AND THE STREAM LISTS HAVE WE NOT STREAM OF STREAM LISTS HAVE ASSESS HAVE ASSESS

THE CONTRACTOR SHALL PRESENTE ALL CONSTRUCTOR STAKES UNTL. THEY ARE NO LONGEN REEDED, ANY STAKES ESTINGEN OF DESTURINGED BY THE CONTRACTOR PROPER OF THE CONTRACTOR PROPERTY O

WAY DESIDE SASE, LIGHT SAMPAGE, AND/OR UTILITY POLIS WHEN UNRETISES WITH ADDRESSING OPENDING OPENDING WAY DESIDE WITH DEPOSIT SALL BE READED, NO REST BY THE CORRECTION, WHICH SHALL BE READED, NO REST BY THE CORRECTION, WHICH SHALL BY THE CORRECTION, WHICH SHALL BY THE CORRECTION, WHICH SHALL BY THE CORRECTION OF THE

CORRECTOR OF AUGUSTAN TO AUGUSTAN THE AUGUST TRANS AUGUSTAN TO AUGUST AU

COMPACTOR SHILL WARE THE LOCATONS OF THE BOSS OF SERVICE STUBS WITH 4"A" WOOD POSTS DITBODING A MANUAL WHITE DEBTH POSTS SHILL EFF WANTS DEBTH DEBTH POSTS SHILL EFF WANTS DEBTH POSTS SHILL EFF WANTS DEBTH POSTS SHILL EFF WANTS DEBTH DESTH POSTS SHILL EFF WANTS DEBTH EXCURS OF SERVICE SOMEOTH LOCATORS, MANUAL MET POSTS SHILL EFF WAS SHILL STUBS OF SERVICE SOMEOTH LOCATORS, MANUAL SHIPL STANCES. HIS SHILL STUDIES THE SHILL STANCES. ALL STUBS SHILL SHIPL STANCES. ALL STUBS ALL SWITNEY STREPS, STORM STREPS, WINTER WAN AS WELL AS THEIR SERVICES AND OTHER RELATED PROMISETEWAYS SAULL BE THOROUGHE'T CLEMED PROR TO INSPECTION AND TESTING AND AT THE END OF THE PROPERTY. ALL STRUCTURES INCLUDIO BUT LIMITED TO FRAMES AND GRATIS/LIDS, CLEMBUTS, ETC., SHALL BE ABJUSTED TO THE FIRE THE DELEMBUTOS, CONVOKETE ADJUSTING KINGS, WHERE INCESSIARY, SHALL BE LUMITED TO THOLY TO THE DOTH OFF THAN EDIFF. CONTRACTOR SAUL COORDINATE INSPECTIONS, TESTING, AND TELEMSING WITH THE APPLICABLE JURISDICTIONAL BUTTY. THE COST OF CLEAVING, TESTING, AND TELEMSING SHALL BE CONSIDERED INCIDENTAL.

AL LECTURES NA DETECTO GREEND, ENT. LA PAY RECENT CREEMEN BY A RECENT OF THE SECURIOR OF A RECENT OF THE SECURIOR OF TEXT OF THE SECURIOR OF TEXT OF THE SECURIOR OF TEXT OF THE SECURIOR OF THE CONTROL OF TEXT OF THE SECURIOR OF THE SECURI

THE DIRECTS WITH VERSIONS CHART OF MET CONTROL OF THE CONTROL OF T

COMPACIOS SALL MANA CAPROSADAS CADRAL ALEITA TRADARZA TORRACE CAPADAGON NO ELEGATOR NO ELEGATOR MADORES DE CONTROLLOS ANOS ELEGATOR PROGRAMA TO PROSECUE DE CONTROLLOS ANOS ELEGATOR PROGRAMA TO PROGRAMA TO THE CONTROLLOS ANOS ELEGATOR PROGRAMA TO THE CONTROLLOS ANOS ELEGATOR ELEGATO

MIN SUP, LOW, AND PULLOIT RATES PER OSM, REQUIREMENTS.

SANTARY SEWER PIPE, INCLUDING SERVICES, SHALL BE POLIYMAN, CHLORIDE (PIV.) SEWER PIPE, ASTA 03034 SOR 26 WITH FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTA 03212 AND F477.

DOTTEN (18) MEST ABOUT HE SERVATION FOR A SERVE SO THAT IS WHERE A MINE DOTTEN (18) MEST ABOUT HE CONN OF THE DANN OF SERVE WHERE WHITE MEST ABOUT HE CONN OF THE DANN OF SERVE CONSCIOUS. HE WITHOUT STORM THE WARRY STAND, WE WANTED WHITE STAND IN WHITE MEST ABOUT THE DANN OF SERVE ABOUT STAND OF THE DANN OF SERVE ABOUT STAND OF THE DANN OF SERVE ABOUT STAND OF THE STA

(A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL, SEPERATION AS DESCRIBED IN (1) ABOVE; OR (B) THE WATER MAIN PASSES UNDER A SEMER OR DRAIN.

(1) CASING OF ETHER THE WATER MAN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING THE SEWER IN WATER MAIN EQUIVALENT PIPE.

3.4 VERTOLA SEPARATION OF EDHETRA (16) MACUES ENTERNA THE MERETOR THE RESIDENCE (DESCENSE) WHERE A WITTEN WANT OF THE STRONG OF THE WATER WAS SHALL BE MANTANED WHERE A WITTEN WANT OFFICENCES AND STRONG OF THE MANTANED WHERE A WITTEN WAS TO SHOWN ON THE PLANS OR SA APPROVED BY THE EDIANTER. 4. CONSTRUCTION OF WATER WAN QUALITY PIPE SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICILLAR DISTANCE FROM THE WATER MAN TO THE SENER OR DRAIN LINES TEM (10) FEET.

2. WATER MANS MAY BE LOCATED CLOSER HAN TEN (10) FEET TO A SEMEN LINE WIEHE.

(A) LOOLL CONDITIONS PREVENT A LATERAL SERVATION OF TEN (10) FEET; AND

(B) THE WIETER MAN WRET E. AT LEST EDHTEEN (18) NOVES ARONE THE GROWN OF THE (C) THE WATER MAIN IS ETHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

CARRA MO CATTER SAMLER, AS SPECIFED ON THE PLAKE AND SAML RE RACKELLED AFTER ITS CONSTRUCTION AND PROPER TO THE PLACEMENT OF THE BASE COURSE, COMPACTED AGORGAIE UNDER THE CLIRE SAMLE ACCOUNT STANDARD CONTROLLED FOR UNIFORMINS AND ALLA, HAMPS SAMLER, INSTALLED PER THANS AND DOIS STANDARDS. THE COMPACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE COMPACTION AND PREPARATION TO THE PROPOSISIBISANCE ELEMITORS SHOWN ON THE PLANS.

portland caught concrete (PCC) paralaght shall be class py with 646-WZ-9-WZ-9 weided wire fabrix Nam construction per scribin 420 of the dot standard specificators, all conspete work shall be tabled with a broad fines.

Contractor Shall shall care dotted baces of all bisting parellat adalest to any proposed contractor than systematic constant of shall shall be here shall be from the tops that is free for lods lateral, a proper preventive but shall not written by the shall be provided.

THE TESTING OF THE SUBGROUSE, ADDRECATE BASE COLURSE, BITLAMNOUS BASE COLURSE, BRIDGE COLURSE, SURFACE, SUBGRE, MO COLURSE, AND COLORIES, MO COLORIES, MO COLORIES, MO COLORIES, MO COLORIES, MO COLORIES, MIT THE IDDI STANDARD SPECERATIONS AND REQUIREMENTS OF THE JARSCATIONAL BRITTY.

FRREN D. NE. REXALLATION OF THE REMORD COMES. THE ADSTRUCTURE BOST COMES CALL OF FOREIGN D. M. REAL OF STEELING THE CLEAR ADD TH

PAVENENT MARKNIC SHALL BE FUBNISHED AND INSTALLED IN ACCORDANCE WITH SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS AND MATCO.

THE STATE OF THE S

STORM SEMER PPE SHALL BE CONSTRUCTED FROM ONE OR NORE OF THE FOLLOWING NATERALS AS SPECIFED ON THE PLANS.

TORN SEWER & APPLICTENANCES:

WHER WATER WAN QUALITY PPE AND JOINTS ARE REQUIRED, STORM SENER PIPE SHALL BE CONSTRUCTED FROM ONE OR MORE OF THE FOLLOWING MATERIALS AS SPECIFED ON THE PLANS.

FLAED DIO SETITON SHUL RE PRE-CAST REPIYENCED CONCRETE DIO BLOCK PER DOT STANDARO 542301. DOT SHAVARO 542311, FOR STORM SERENS 12" IN DIMETER OR LAKARS SHUL RE INSTALLED WITH A GAME PER DOT SHAVARO 542311.

RP-RAP WITH FILTER FABRIC PER SECTION 281 OF THE IDOT STANDARD SPECIFICATIONS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS.

STORM SENIER AND APPURTEMANCES SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTIONS

DONNECTION OF STORM SENEN TO EDISTING STRUCTURES OR SENEN MANS SHALL RE MADE WITH A SENEN TAP MACHINE, SENEN SHALL BE FORNECTED USING NON-SHAMK MORTHA. SENEN SHALL RE CAIT FLUSH WITH THE WORD WILL OF THE EDISTING STRUCTURE OR SENEN MAN.

MANHOLES, INLES, AND CATCH BISINS SHALL BE PREDAST CONDRAINE TO ACTH CAT'S AND CONSIDERING THE WIRESOUTHOUR THE WIRESOUTH DRITT STANDARD BIT THE WIRESOUTHOUR LE MAY SHALL BE MAND WILL BE WIRE OF THE WIRESOUTHOUR LE THE WIRESOUTHOUR BIT STORY.

PLANS SHOW LOCATION OF USERF POLES ONLY. THE DESIGN OF THE ELECTRIC SYSTEM REQUIRED TO POWER THE USER'S SHALL BY OTHERS.

F LIGHTNG SYSTEM IS CONSIDENED A PUBLIC MPROYEMENT, CLEMT AND/OR CONTRACTOR SWALL COORDINATE AMERICANDAM AND THE LURISON AND THE LURISOCITOMAL ENTITY RECARDING TRANSPER OF STREET LIGHT SYSTEM TOS AMERICANDAM, SMALL

NTER MANS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SWITHY SERVENS, STORM SENERS, TABRIED SERVENS, HOUSE SERVER COMMECTIONS AND DRAWS IN ACCORDANCE, WITH SECTION 41 OF THE TARBARD SPECIFICATIONS FOR WITER AND SERVER CONSTRUCTION IN LLINOIS AS FOLLOWS:

2. BOTH THE WATER MAIN AND SEARTS SHALL BE CONSTRUCTED OF SUP-ON OR MECHANICAL TOWNLEY WHITE MAIN STANDARDS OF CONSTRUCTION WHERE. OR PUC PIPE EDUNALEY OF WATER MAIN STANDARDS OF CONSTRUCTION WHERE.

MANIAN CORR ORB SWITHY SOUR INES AND SERVICE SWILL RET HREE FEET.
SWITHY SERVE LIKE SIZE SWILL BE G-MUN DAWETR FIPE, SWIE MITERAL AND LONE'N OF RESWITHY
SCHOOL OF MINERARD FEET SWIEST SIZES SWILL BE CAPPED WITH A MIETINGAT FLUG, PROPERLY
SCHOOL OF MINERARD FEET SWIEST ITST PRESSMILE.

CONTRACTOR SWALL COORDINATE WITH JURISDICTIONAL BATHY AND UTILLY COMPANIES RECARDING THE REDIZINAL OI SESTINGLE UNES CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND CHARGES ASSOCIATED WITH DISCONNECTION OF DOSINIOS SERVICES.

CONTRACTOR SHALL DENELOP AND MANTAIN A DUST CONTROL PLAN IN ACCORDANCE WITH JURISDICTIONAL, BRITTY REQUIREMENTS:

CONTRACTOR SHALL CORROWATE WITH JURISDICTIONAL DWITY AND CLENT TO ENSURE PROTECTION AND MANITEMANE OF SHARM FAD WITH PART OFFILIES AND FROMES STORM WITH REPORT OFFILIES THE CONTRACTOR OFFILIATION OF STORM WITH CONTRACTOR OFFILIATION OF STORM WITH CONTRACTOR OF STORM AND PLACED IN OPERATION.

REMOVAL AND/OR ARMDONAISHT OF ANY WELLS, SEPTIC TAMES AND/OR FIELDS, AND GREASE TRAPS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE JURISDICTIONAL ENTITY.

Processing in a second control and a second control

ALL DISTING UTILITY LINES AND CANDUIST LOCATED UNICER PROPOSED BULDINGS, ROLDBINS, DRIES, PANGLISTS WAS ARREST, SOUTH OF SOUTH OF SECRET OF PROPERTY BULDINGS SHALL BE LEFT IN FLACE. TOWARTHE MITTHEN, ALL STRING THE WAS TRANSPECTED WAS SHALL BE LEFT IN FLACE, AND FULGESS IN LAND STRUCKINGS SHALL BE EXCHAINED BY ROCKITED BY HE ROLDBING TOWARD TO CONTRICTIVE SHALL SOUTHWEST SHALL BE EXCHAINED BY ROCKITED BY THE APPROPARIE CUITY CONTRICTIVE SHALL STRUCK SHALL SOUTHWEST WAS THE APPROPABILE CUITY CONTRICTIVE.

COMPACTOR IS RESPONSEE FOR IGNOLITING, REDUNE, AND DESPOSA, OF ALL STRUCTURESS, PLOCK, WILLS, STRUCTURES, TO NOW THE PACES, FOR THE THE STRUCTURES, TO NOW THE PACES OF THE PA CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEMOLFTION WORK AND DISPOSAL OF WISTER MATERIAL. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIRED

"Togging with a principle of definition of definition with the control of the principle of the control of the principle of the control of the

CONTRACTOR ACKNOMEDICES AND AGRESS THAT THE USE AND RELIANCE OF THE PLANS IS SUFFICIENT CONSIDERATION FOR CONTRACTOR'S CONENANTS STATED HERBIN.

MUNICLES SHILL BE PREDIST CHARGETE CONFORMUR TO ASTIA CAPA AND CONSTRUCTED PRR THE STANDAR STREAMS, WANTED TO SENT BY STREAMS, WERTHER TO SENT BY CONFORMUR STREAMS AND THE WASTEST BY THE STREAMS AND THE WASTEST BY THE STREAMS AND THE STREAM CONNECTIONS SHILL BE PROVIDED ON ALL SWATTER WASTEST AND WANTELS SHILL BE WISTERNEY.

WHERE WATER MAIN QUALITY PIPE AND JOINTS ARE REQUIRED, SANITARY SENER PIPE SHULL BE PIPC PIPE. ASTM D2241, SDR 26, WITH ELASTOMERIC GASKET JUNITS CONFORMING TO ASTM D3339 AND F477.

an dtenau, drop wandle swal ee proveed where the difference retwen invents is greater or equal to tho feet. See applicable detail

SANTAPY SEMEN SEMONE RISERS SHALL BE RISTALLED WHERE THE MANUINE SEMEN DEPTH IS GREATER THAN TRELIE FEET OR IN LOCATIONS INDICATED ON THE PLANS.

SANTARY SENERS SHALL BE PRESSURE TESTED PER THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS WATER MAD SENER ODGESTROOM'S LABELED EDRICAL THE MAXIMAL MALLOMBLE RATE OF RITINATION OF PERFORM WITH MAXIMAL SENERAL OF PREFORM OF PERFORM OF PERFORM WITH SANDARD SPECIFICATION SPARL NOT EXCEED 200 GALLLONS PER MAY DAMETER OF PREFORM LIFE OF PREFORM DATE.

SEAL/STAMP

THE STORM SEMER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE LISING PLEDIBLE GASCIES JOHNS, VASIN CSBL CASA) INSTRUCTO OF CONSTRUCTING THE STORM SEMEN WITH WAITER JAIN EGUINALIST PIPE OR CASING PIPE.

1. WATER JUANE SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALT FROM ANY EDISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, CONEDINO. STRANGE CONNECTION.

OWNET/DRY TO DETAIN STREET WAS WALL BY TO NOTING STREET STIR. OR MANDE WHOSE PRODUCES TOR WE THE OR MANDE WHOSE PRODUCES TO NOTING STREET STRE

CONNECTION TO AN EXISTING STATES WAN BY MEAST OFFER THAN AN EXISTING STANCE STUD, BYTE, TIE, ON CONNECTION TO AN EXISTENCE TO BYTE STANCE OF THE STANCE THAN BY STANCE STANCES. STREAMING THE AND STANCES STANCES. STREAMING STANCES AND STANCES AND STANCES. WITHOUT STANCES AND STANCES AND STANCES AND STANCES. WITHOUT STANCES AND STANCES AND STANCES AND STANCES AND STANCES AND STANCES. WITHOUT STANCES AND STANCES AND STANCES AND STANCES AND STANCES AND STANCES AND STANCES.

ASMITMY MANDED SWILL BETSEN FOR WIRETHONESS ISBNO. A LEAVED ETSIN A COORDINAS WITH ASTN COSO = "YAMANDO PRUTILE DE METHANDA NA DISTRACIAN ACEPTIMAT ETSIN OF BISKLILD PRELAZIO DONCRETE STREN PRELAZION (1244 - "YAMANDA IEST METHOD FOR CONCRETE SERIEN MANDLE BISKLILD FRELAZION FRELAZION FOR CONCRETE SERIEN MANDLE BISKLILD FRELAZION FRELAZI

COPIES OF SUI, BORNES AND REPORTS, IF SUCH BORNES WERE TWEN BY THE CLERF, SHOULD BE WATER AMALES OF THE CLIEF TO THE THE THE SURVEYS BY THE SURVEYS THE WATER WATE 

CONTRACTOR SHALL TELEVISE ALL NEWLY CONSTRUCTED SHALLARY SENERS IN ACCORDANCE WITH APPLICABLE RECOLUBERITS OF THE UNDERSOCROBAL BETTER PROPERTY OF THE UNDERSOCROBAL BETTER PROPERTY OF THE VIDEO SHALL BETTER PROPERTY.

WATERY CHRES WILL BE DELICIONE TEXTOD IN COORDINATE WITH PET SMANDAGE FOR WHITE AND SCENE CONTROLLED IN CONTROLLED

WHEN THE MEMORETE TO WETT (1) OR (2) ADDONE SEEN THE WINTER MAN AND DRAWN OR SHEEN SHEET WAS DESCRIBED TO SUCH OR RECHARMAL INTO MASTER WAS DETITIE. BINA THE SHEETSED CONNECTED THE CAP HOS ECHMANAL INTO WAITER WAS DESCRIBED TO MAN OF SHEETS SHEETS SHEET SHEETS SHEETS SHEETS SHEETS SHEETS SHEETS SHEETS SHEETS SHEETS TO THE WANNAM EMPERITATION.

UNESS OPPERMES FROUND BY THE JURISDICTIONAL BUILTY, ALL WATER WAN SHALL BE POLYSTIM-LDE DICASED. IN CONFORMACE WITH AWAR, C105, POLYSTIM-EDIC SHALL CONFORM 107 THE REGULATIONS OF THE MANAGEMENT.

WATER WAR FITTINGS (I.e. BENDS, ELBOWS, TEES, REDUCENS, ETC.) WAY NOT BE SPECIFICALLY REFERENCED ON THE LINEAR FOOTINGE COST OF THE WATER WAY.

INSTALLATION OF PIPE AND FITTINGS SHALL BE PER AWAR 0800. PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 5'-6" FROM FINISHED GRADE.

COMPACTION OF EXCHAITED MATERIAL AND OTHER SUTFIGE WITSHILL SHALL BE AT LEGST 86% OF THE STANDARD THE PERSTAY MINING STREAMING THE MAKES (MILLON FOR DAMEDIS). SERVEN, FICT, MAY OFF THE STANDARD FROCKUP FOR INDIVIDUAL MESS (JOAKS, LANDS-FICT).

THE TO THE UNCERTAINT OF SUSCIMIL DOUGHD WHEN THREE AND THE CERTHICALL CONDITIONS AFFECTIVE WORNING THE THREE THREE SUSCIENCE FOR THE MEMORY THREE THREE SUSCIENCE FOR THE MEMORY THREE THREE SUSCIENCE FOR THE SUSCIENCE FOR THREE SUSCIENCE FOR THE SUSCIENCE FOR THREE SUSDING MEMORY OF GROUND WITH ON THE PROPOSAL MEMORY OF GROUND WITH ON THE

THE PARK WE RESTRUCTED TO STREAM THE PROBLEMS BY ON THE ESSURPCINED WITH DESIRES OF WORTHOOD STREAM TO STREAM THE PROBLEMS THE REPORTING SHAWN THE CLEAN MALINE ORDINGCINES SHAWN THE CLEAN MALINE WAS REPORTED. THE PROBLEM THE RESTRUCTIONS SHAWN THE CLEAN MALINES AND RESTRUCTIONS OF THE RESTRUCTION THE PROBLEMS THE RESTRUCTIONS OF THE REPORTMENT OF THE PROBLEMS THE STRUCTIONS OF THE REPORTMENT SHAWN THE PARK THE CLEAN THE PROBLEMS THE STRUCTIONS OF THE REPORTMENT OF SHAWN ON THE PARK THE CLEAN THE PROBLEMS THE STRUCTION OF THE REPORTMENT OF THE PROBLEMS THE STRUCTION OF THE REPORTMENT OF THE PROBLEMS THE STRUCTION OF THE STRUCTION OF THE PROBLEMS THE STRUCTION OF T

THE COMPACTOR SHALL PROVIDE ALL SONS, CALLAGE, AND DESCRIPE, AND DESCRIPE ALL STATES OF SHALL PROVIDE ALL SONS, CALLAGE, AND DESCRIPE AND THE STATES OF CALLAGE TO GHORE, TO ANY ACCESS SHALL DESCRIPE CAN THE DESCRIPE CALLAGE AND ANY ACCESS SHALL DESCRIPE CALLAGE. AND ANY ACCESS SHALL DESCRIPE CALLAGE.

TREES NOT SCHEDULED TO BE RELIGIOD SHALL BE PROTECTED FROM DAMAGE. TREES SHALL NOT BE RELIGIOED WHITESS REQUESTED BY THE CLIBIAT.

THE CONTRUCTOR SALL BE RESPONSIBLE TO ARRANGE FOR THE RELOCATION OR BROCKNG OF EXISTING UTILITY POLIS THAT MAY BE IMENI THE WRINNED MINTS OF THE CONTRUCT, ALL WORK AND COSTS CONNECTED WITH THE RECOCATION OF MANIETYMES SHALL BE THE RESPONSIBILITY OF THE CLEHT OR CONTRUCTOR. RESTRATION OF DAMAGE TO PRIBLE OR PROMITE PROPERTY OUTSICE THE LIMITS OF THE PROJECT SMILL BE PROVINGED IMMEDITED TO PROMI DAMED TO THE UNION, LEGGES SMILL BE RESTRICTED AS PROSMED. TO THER GRANNL CONTOIN OR BETTER AND SMILL INCLUDE BY THE TOTAL WARRAND LIMITS TO MANIMARD THAN SMILL WHIST WARE, CO. TO THE STEAMURS, POREIGNS, POREIGNS, LIMITS THAN SMILLS WELGORS, SEITERS, WHISTON, SMILLS SMILLS AND SMI

THE COMPACTOR AND ADDRESS OF ACTORISES, AND ALL COMPACT, ADDRESS OF ACTORISES OF AC

CONNECTION WITH SCALE WONDERTHY RESOURCE FOR THE CONNECTION OF THE ASS IN PRINCIPAL STATE OF ALL PRICES AND PREFETCH LOBER IN PRINCIPAL STATE OF ALL PRICES AND PRICE

CONTRACTOR SHALL AT ALL TIMES KEEP THE STIE FREE FROM ACCOUNTAINED OF CONSTRUCTION DEBROS, WASTE MATERIAL FROST, ON OTHER MESSAL MODION SHEEP FREE FOR MUD. AND DEBROS ALL TIMES UTILITY STRUCTIONES AND CURBE FLOW WITH SHALL TIMES UTILITY STRUCTIONES AND CURBE FLOW WINES SHALL BE CLEAVED OF DEBROS.

INSTITIBLE, MATERIAL SHALL BE CONSIDERD AS MATERIAL WHICH IS NATI SITINALE FOR THE SUPPORT OF PROJECTION FOR DELIANO FORWARD TO SHARM TO TOSAL CHARGE ARROYDES AND STANKING TOSAL E. BEARDED AND SPRANCED MITH METERAL PROPOSED IS THE STANKING TOSAL E. BEARDED AND SPRANCED MITH METERAL PROPOSED IS THE STANKING TOSAL CHARGE AND TO WHAT ESTEN SHALL BE MADE BY A STALL SOCIOLARLY AND THE CLIBAT.

CLEDIF SHALL AT THER POSPETIVE CHARGE AND CONSULTANT AND TETRAC FIRM TO BUSING THE PROCESSION THE PROPERTY CONSTRUCTOR TO SUPPORT THE PROPERTY CONSTRUCTOR TO SUPPORT THE PROPERTY CONSTRUCTOR TO SUPPORT THE PROPERTY OF THE SOLID SUPPORT THE SOLID

DOWNTON NO PACKEDEN OF SURVEL FILL MUTBOL SYALL BE WITHIN THE PROJECT LUNTS AND TO THE DESCRIBE ENABLY REVOIDED ON THE PACKES ILL MUTBOL SAVIL BE FACED IN LOOSE LITS NO EXCELLING ENABLY OF WARRES IN HUMBOUS SOON THE CANADA THE ALL AND THE PACKED ON THE REQUIRE THE MUTBOL IN A LOOSE STATEMENT OF THE PACKED ONE THROUGH THE CONTROL OF THROUGH ON THROUGH WITHOUT AND THROUGH AND THROUGH OF THROUGH ON THROU

HON COMPLENO OF EDUCINON AND STE CERRON, ALL TOPSOL, GRANIC WITHOUT, ON OTHER UNSUFFICE STATEMENT SMALL ESPECIAL STATEMENT SMALL ESPECIAL STATEMENT THAN SPECIAL THE STREAMENT SMALL COST SET WITHOUT TO BE LUMBOYPED AND FILL IN AN OFFICE SMALL COST SMALL SMALL SET SMALL S

ALL STIRBLE DOWNED MATERIALS SHALL BE HALLED, PLACED (MOSTURE CONDITIONED) IF NECESSARY) AND COMPACTED IN LITE ASSES, CONDICIONED MAILE ALL DEBATERIOS, TEMPORARY DITCHES AND CALLERTS.

The stie shull be cleared, grubbed, and trees and studies reducing where designified on the plans or specified by the clear, trees designated to redain shull be protected from damage.

THE CASE ALLE WERROWS PRESENT WE HELD THE WERROWS CATE MAY WERROWS THE WERROWS CATE WERROWS THE WERROWS OF THE

CONSTRUCTOR OF WORR PREPIECED BY THE FAMOS SHALL BE COMPLETED IN ACCORDANCE WITH, AND MATERNAL COSTS SHALL BE TO COMPANIES THE LUSTS TOTANGE TO THE VERY STATEMENT OF THE "STAMPON SPECIFICATIONS OF RE ROLD MAD STAMPON SPECIFICATION FOR ROLD MAD SHOWER, DEPORTING THE WORLD SHALL SHAL

ALL WORK HERSH PROPOSED SHALL RE COMPLETED IN ACCIONANCE WITH ALL RECURRELISTS OF ANY LANGOWS HER ALL SCHAFFERENT INST. SIGNATURES, CORMANSES, AND THE LOSS SHALL RE CONCRETED TO BE A NAT OF THESE BLOCK IS A DESCRIPTION. IS NOTED BETHEM THE PLANK AND RECURRELISTOR SHALL IMPEDIATELY BUTTLY. THE CLERT AND/OR CONTRACTOR SHALL IMPEDIATELY NOTEY CONCRETE.

WHER SERVICES BY DAWFIER OR SAMLIE SHALL EE THPE K ODPFER PER ASTN 888 AND ASTN EGGS; SERVICE 2023 3-ANCH AND U-WARR SHALL EE DICTLE FROM THE DEFINED ELOCATION OF RESTRUCTION OF RESTRUCTION OF RESTRUCTION OF ALL WATER WARRS AT ALL TIES, BLOWS, BUYES, EFG.

WATER WAN SHALL BE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO AMMA, C151 WITH PUSH ON CONTS GOWGONING TO AWMA, C110. IN EACH TRINNSS SWALL BE DUCTILE RION CONFORMING TO AWMA, C110. PIPE, AND FITHINGS SWALL BE CENERY LINED IN CONFORMING WITH AWMA C104.

BETUMNOUS BROGER AND SURFACE COLORSE SHALL RE HOT-MAX ASPHALT (HAM) OF THYE AND COMPACTED PHOCORDS, SAS SHOWN ON THE PLANS IN ACCORDING. MIN SECTION 406 OF THE DOT SPECIFICATIONS. ALXING MATERIALS, AND MICES SHALL RE DOT CERTIFIED.

SPECIFICATIONS

M. R. PARTS, CORPORATION STORY, SCHOOL PROTEST, THPING STORS, AND OTHER WITEN WAN EASTED PARTICIPANTS SHILL CORFORM TO APPLIESE. INSTRUCTIONAL DRITT RECURSIONS. CONTINUENTS SHILL VERY CALCY MODE, STILE, THE, AND MANIFICIARER REQUIRED PRICE TO GREENING.

MFIRE COMPLETION OF THE WORTEN WAN TESTING. THE WAN AND RELATED APPRICADANCES SHALL BE FLUSHED SCENEY ON DISPRECIDE OF CHORANDED IN ACCORDANCE THE "METER AND SERVED SCENEY (MATERIAL MAY AND APPLICABLE, UNISSUCTION, ENTITY EXCUREDISTS. UNESCOPEMBER NOTIC COMPENDED TO AN EXERCISE WITHER WAY USE WELL BY A PRESSING THE PER THE REQUESTIONS OF THE STANDARD SPECIFICATIONS FOR MITTER AND SEMES CONSIDERING IN ILLINOS, MINISTRUM, THE THINKS SHALL BE COORDINATED WITH THE PPPROPRIATE REPRESENTATIONS OF THE MINISTRUM, THINKS SHALL BE COORDINATED WITH THE PEPPROPRIATE REPRESENTATION OF THE

ALL WITE MAN SHALL BE TESTED BY MEMS OF A PRESSURE TEST AND LEXAGE TEST PRE THE "STANDARD SPECIFICATIONS FOR WATER AND SEMEN CONSTRUCTION", AWAY C600, AND APPLICABLE JURISDICTIONAL ENTITY RECURSALISTS.

WALE WALTS SHALL BE PREDIST CONDETE CONFIDENCE OF AND CONSTRUCTO PRE THE STANDOD DETAIL WALE BOXES SHALL BE CONSTRUCTOD IN CONFIDENCE STANDAND DETAIL WALE ROLES SHALL BE CONFIDENCE OF THE CONSTRUCTOD IN CONFIDENCE OF WITH THE STANDAND DETAIL FRAME AND LUS SHALL BE MITRINGTO MIT "MATRY".

FPE HYDRANTS SHALL CONFORM TO AMMA CSOZ (DRY BARREL) AND THE REQUIREMENTS OF THE JURISON ENTITY. HYDRANTS SHALL BE INSTALLED WITH AN AJOLUHRY WALE AND WALVE BOX.

WHER WINE SHALE BERLEATH MORE GATE WALCE CONFIGURATION TO MAKE CASE AND THE EXCLUSIONS OF THE JURISOCIAMAL BRITIS BITTERIY WAIKS CONFIGURATION TO MAKE CASE SHALL BE PROVIDED FOR ALL WHITE WAN TO ARRAY CASE SHALL BE PROVIDED FOR ALL WHITE WAN TO ALLOW SHALL BE SHALL BE NON-YESNO STEM AND CLOSE OF THRONG CLOSMISE.

PURPORT ONLY OF COUNTRY ON THE CONTRY ON THE

FERDING TO THE COMMENSAGE OF WE PROME, CANTER, A PROSE, CALL OF THE SHE-GAS SHALL BE PROSENDED FOR THE COMMENTER AND PROSENDED

FREE OF THE RESILUZION OF THE ACCIDITED EXCOURTED THE SERBORD SHALL BE REPERFOR DESIGNATIONS, SERBORD SHALL BE COMPACTED AND REPRESENT IN BITHN IN-11 OF THE PROCEDURE CHANNING, SERBORD SHALL BE COMPACTED TO A IMMINIA OF 95% OF THE STANDARD PROCEDURE DISIST FER ASTRU DISS.

FROR D' NESTALIDION DE SURFACE COLORSE, CONTRACTOR SAWL, PATCH AND REPARE ALL DAMAGED AND FALLES.
ARROCHOME. HERRES COLORSE, CONTRACTOR SAWL, ON THE CARRESTOR SAWL STRUKKTON OF PIEC.
ARROCHOMEL ENTH AND UMBER, SHACKOTORS MITHAN THE PAREADER SAWL. RE AGUISTED TO PARK, SAWLS,
CANDE, CONTRACTOR SAWL, CLEAN AND HOME THE BRIGGE COLORSE, AT A NATE OF LOCK GALLONS PER STAMES.

HANDICAP STALLS SHULL BE STRIPED AND SCANED IN ACCORDANCE WITH THE ILLINOIS ACCESSBUITY CODE, LATES EDITION, AND OTHER APPLICABLE. AGA GLIDELINES.

ALL WORK SWAL CONFORM WITH THE NATIONAL ELECTRIC CODE, COMMONIFIATH EDISON POLICIES, AND THE APPLICABLE REGULATIONS OF THE JURISDICTIONAL ENITTY.

CLIENT AND/OR CONTRACTOR SHALL CORRONATE WITH COMMONMEATH EDSON, AS NECESSARY, RECARDING DISTRING FOR PORPOSED POMER TO THE SITE, CLERT MILL BE RESPONSIBLE FOR ART AND ALL COSTS ASSOCIATED MITH COMMONMEALH TOSIS SUSPLINIS POWER TO THE SITE. CLENT SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE DESIGN, PERMITING, AND INSTALLATION OF THE COMPLETE LIGHTING SYSTEM (POWER, POLES, LIGHTS, ETC.).

TITLE SHEET THE ONE THOUSAND BUILDING AT HILLCREST SHOPPING CENTER 1701 N. LARKIN AVE CREST HILL, IL

INC

**CEOTECH** 

MATE: 3.22.22
MATE: TC
MAWN BY: TC
MECKED BY: CP

62-052783 REGISTERED PROFESSIONAL ENGINEER

# THE ONE THOUSAND BUILDING AT HILLCREST SHOPPING CENTER IMPROVEMENT PLANS FOR

SEAL/STAMP



THE SHEET CONDITIONS

FOR COND

ADRESS: SW CORNER LARKIN ARNUE & THEODORE STREET COUNTY: WILL STATE RED FOR STREET COUNTY: WILL STATE RED FOR STREET FOR STATE RED FOR STATE R

PROPERTY INFORMATION:

SITE: CROSS SET ON SIDEWALK IN FRONT OF EAST BUILDING ON SITE (LA CHICANITA BAKERY). ELEV=606.40 NAVD 88 REFERENCE: COUNTY MARKER 706 – ROD IN PVC PIPE IN DEMANAL, CLOCATOR AT THE SOUTHEAST CORNER OF THE INTERSECTION OF THEODOBE STREET AND CEDARWOOD DRIVE. ELEY=587.16 NAVD 88 (GEOID18)

INDEX OF SHEETS

BUCHAR, BAJT ARCHITECTS THOMAS BAJT 722 ESSINGTON ROAD, SUITE D JOLIET, IL 60435 CLIENT:

I, THOMAS CARROLL, A LICENSED PROFESSIONAL, ENGINEER OF LILANGS, HERBEY AFFINA THAT LISE EDOLUMEN'S RAW, BEEN PREPARED IN FOL WINES. WE TO ENGINEEN WE BEST OF WIT KNOWLEDGE, AND BELLEF, THESE DOCUMEN'S WAY, BEEN PREPARED IN WITH PAPEL AND THE PREPARED IN WITH PAPEL AND THE PROPERTY AND THE PROP

WINTERWARD TO BE EST OF ONE WORLDEGG AND BELLET THE DEMANGE OF SURFACE WINTERS WILL VIOL BE CHANCED BY THE CONSTRUCTION OF THESE WINDERSONS HAVE BENEAVED THE CONSTRUCTION OF THE CHANCED PRESONABLE PROVISIONS HAVE ETH OF THE COLLECTION AND DECHARGE OF SURFACE WITTEN WINDERSONS HAVE EACH WORLD FOR THE COLLECTION AND DECHARGE OF SURFACE WITTEN WINDERSON WORLD THE REALT TO USE AND THAT SUCH SURFACE WITTEN WILL BE TANNED FOR IN ACCORDANCE WITH EMENT OF THE PROPERTY BECAUSE OF THE CONSTRUCTION OF THE WINDERSON OF DAMAGE TO THE ADJOINING

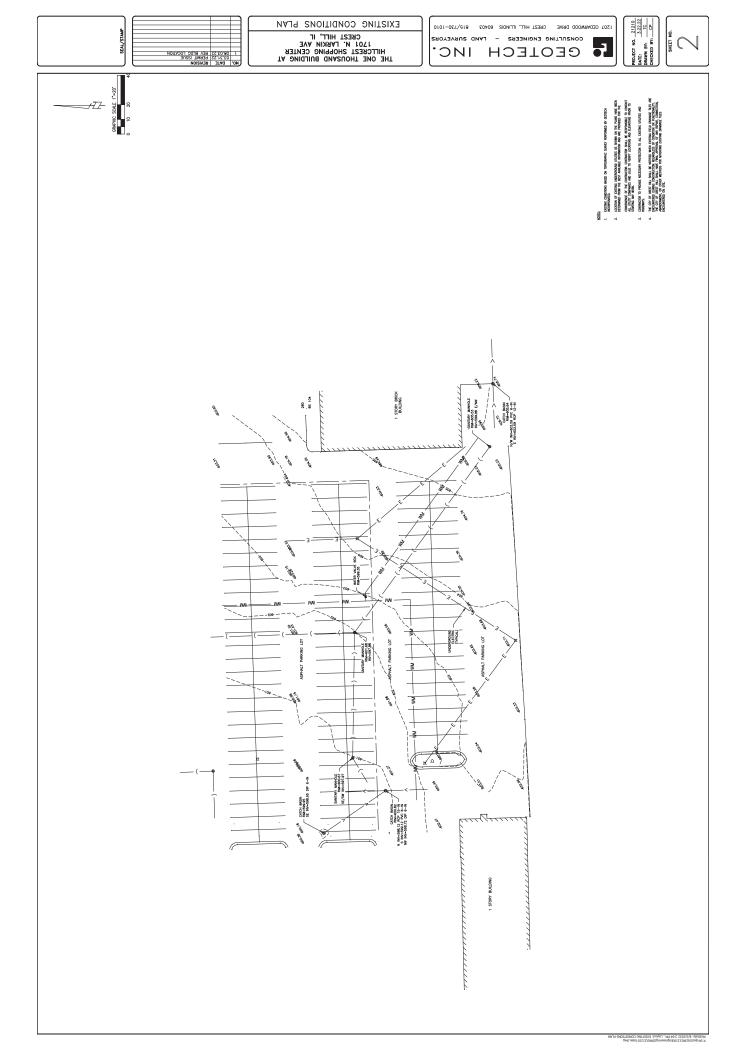
DATED THIS 3rd DAY OF AUGUST, 2022 The land

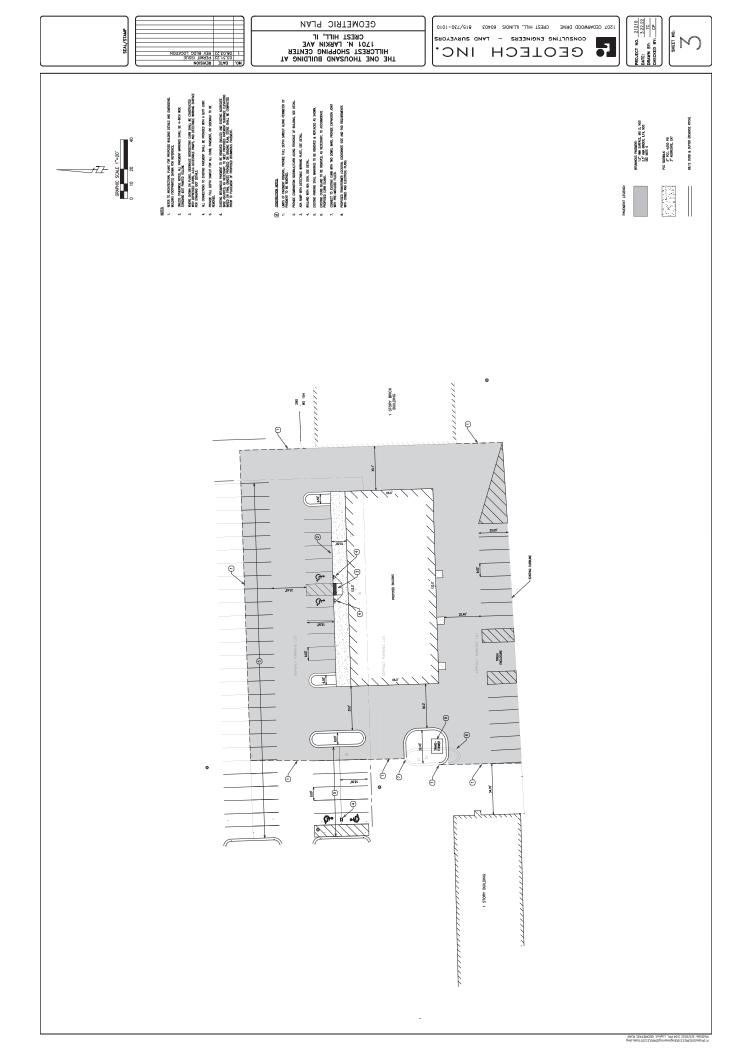
THOMAS CARROLL, P.E.
ILLINOIS P.E. #062-052783
CECTESE EXPRES 11-30-2023
GEOTECH INCORPOPATED PROFESSIONAL
DESIGN FIRM NUMBER 184-000165

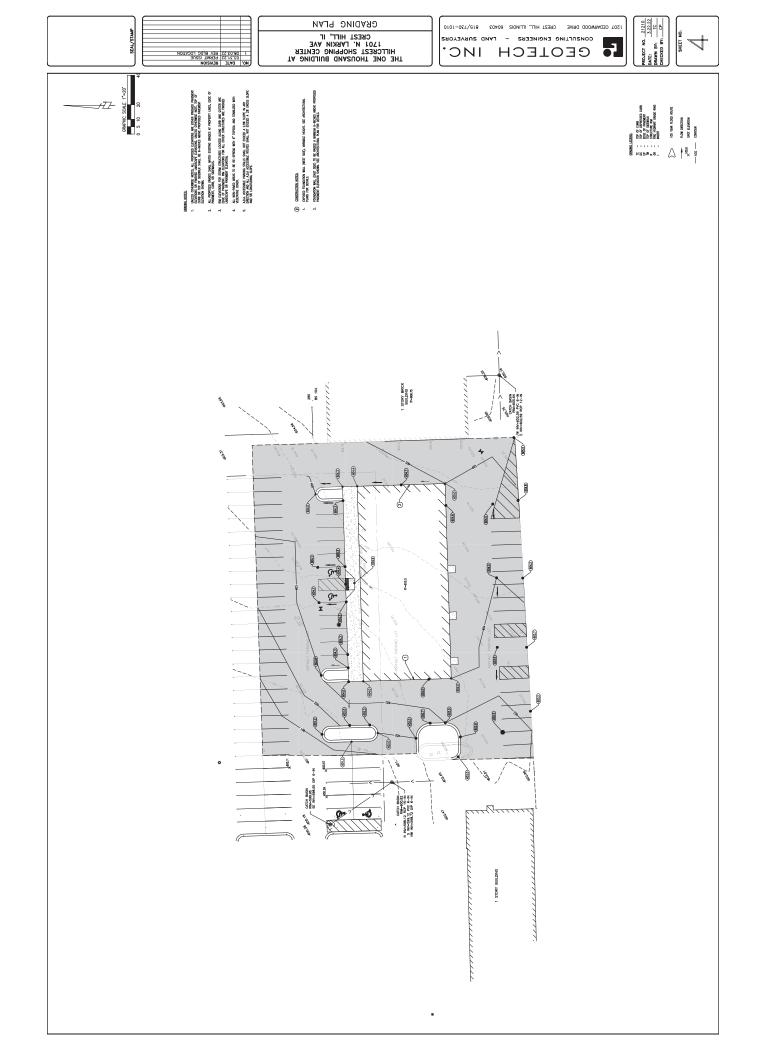
VALVE VAULT
VALVE BOX
STORM SEWER MANHOLE SANITARY SEWER MANHOLE FLARED END SECTION SANITARY SEWER WATER MAIN CATCH BASIN FIRE HYDRANT STREET LIGHT INLET 4 ⊘ ×

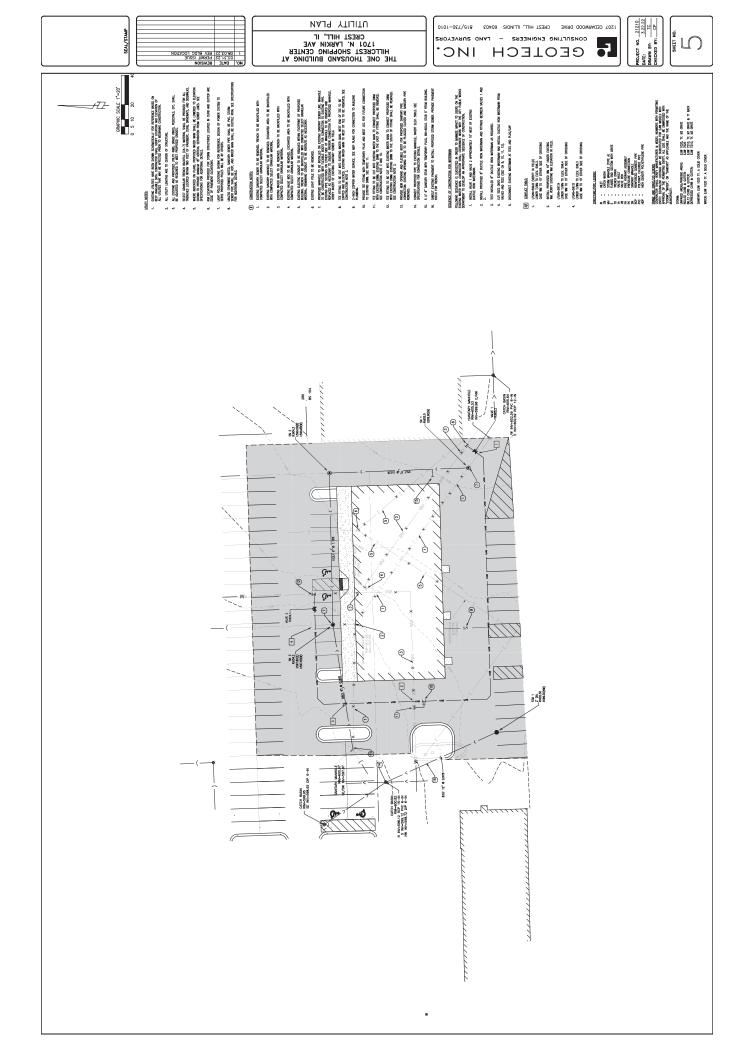
STORM SEWER LEGEND

CALL BEFORE
YOU DIG
CREST HILL PUBLIC WORK & UTILITIES
DEPARTMENTS AND BULDING DEPARTMENT
SHALL BE NOTIFIED A MINIMAM OF 48
HOURS PRIOR TO THE START OF OR
RESUMPTION OF WORK ON THE PROJECT









PROJECT NO. 21210 SEAL/STAMP THE ONE THOUSAND BUILDING AT HILLCREST SHOPPING CENTER 1701 N. LARKIN AVE CREST HILL, IL SHEET NO. CONSTITUTE ENGINEERS - CEOLECH 0 INC CULVERT INLET PROTECTION - SILT FENCE DIVESTO III ON THE III CONTRACTOR III CONTRA MOTION

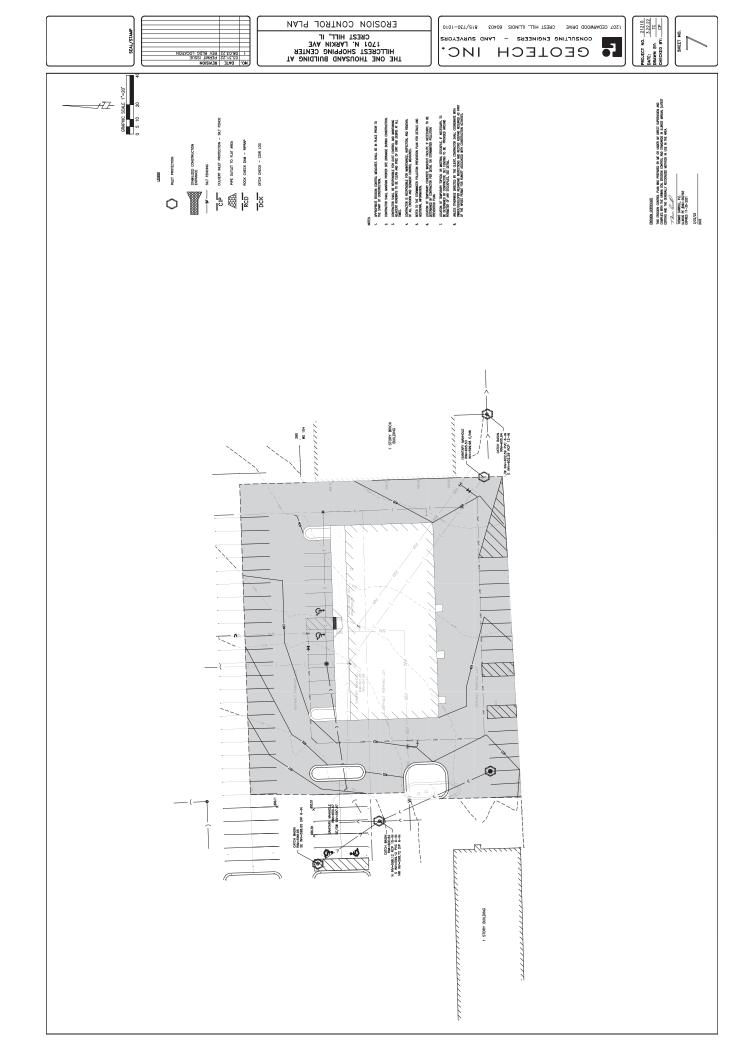
1. IT THE MARK SHALL MEST BOOMBROWN OF WITHOUT SPECIFICATIONS.

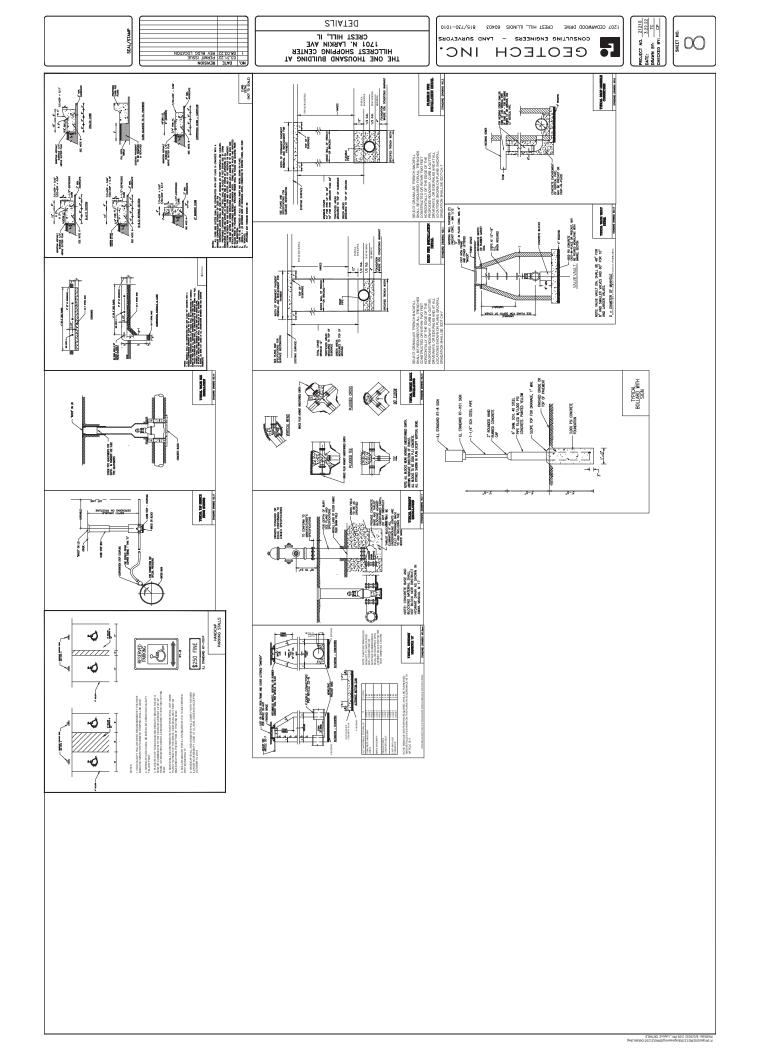
1. AND THE MARK SHALL MEST BOOMBROWN OF WITHOUT SPECIFICATION OF A MARK REMEMBERS THE MEST LIMITED SHALL MARK TOTE THE COTTON OF THE MARK SHALL MEST SHALL MEST SHALL MEST SHARK MARK THE MEST SHALL MEST SHALL MEST SHARK MARK THE MEST SHALL MEST SHALL MEST SHARK MARK THE MEST SHALL MEST SHALL MEST SHALL MEST SHARK MARK THE MEST SHALL MEST SH PIPE OUTLET TO FLAT AREA SECTION A-A TEMPORARY SOI. STOCKPILE DETAIL Powerp or not in since the selection of the Areas of these of well-the common owns or it is not to be a selected by the selection of the forecast and not according to the selection of the country of the book of the selection o THE STATE OF THE S ROLLED EROSION CONTROL 1000 CORTIFY USER THAT OF ALL WITH CONTRIBUTION OF THE WORKSHIP OF THE CORTIFICATION OF THE CORTIF TEMPORARY CONCRETE
MASHOUT FACILITY - STRAW BALE L. Blockel, transport comes beautiful followed in his control per depend on the second and the control seconds in the final to a tendent section, for any control per in primary control to the control control per in primary for a tendent on the latest format to close his NRCS NRCS INSPECTOR'S ADDRESS & 24-HR TELEPHONE CONTACT WNER'S NAME CGENT WARRAN ENGER PRAUTY OF LAW THAT I UNBESTSAME IN TERSEA NO COMPITIONS OF THE MUTHAN ENLINED RESIDENCY INSTEAL WITHOUT DESINGE LAMACION STITL (MORES) PERMIT (MOTHAN ENLINED RESIDENCY DESINED AND THE DESINED AND THE PROPERTY OF THE CENTRAL AND THE MOTHAND AS NAME OF THIS CENTRAL AND THE THIS ASSETT OF THE T ■ ◆ NRCS SILT FENCE PLAN Phys.
Phys.
Delyyd
Delyyd
Delyyd
Agynd
Del For uncome, the company of the control with a control of the contr MAJOR AMENINENTS OF THE SITE DEPLICIPALIST OF BROSON AND SEDMENTATION CONTROL PLANS SALL LEE SUBMITTED TO THE DEPARKENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SALVE MANER NA THE ORGUNAL PLANS. A NOTICE OF WITH (NO) MUST BE SUBMITTED TO THE NOTES PERMITTING JUTHORITY AND DEMONSTORY ILLES TO MAKE BEEN COMMISSIONED OF ANY WINNESS OF A SUBMISSION WITH AND SHELD THE THE PROPERTION WITH AND SHELD THE THE STREAM THE WILL STREAM THE CONTINUED THE APPROPRIATE BANKS TO MINIMATE THE DESCRIPTION OF THE WILL STREAM THE CONTINUED WILL TOR FLOWS FROM FIRE-FIDENTING ACTIVITIES, SOURCES OF NON-STORM WATER THAT BE CONDUISIND WITH THE ACTIVITY ADDRESSED IN THIS REF AS FOLLOWS. ANY SERIET CLANN (NOT LUSHING) BEFORE THE BIO OF EACH WORGAY AND TRANSPORTED TO A COMPRELLED SERVET GENERY (OF TUSHING) BEFORE. THE BIO OF EACH WORGAY AND TRANSPORTED TO A COMPRELLED SERVET OF SERVET. if dewaterno devoce are used, discharge locatoris shall be protected from eroson. All paredd descharges shall be routed phrocopa appropriately descared sediadat traps (8 bases). ALL TEMPORARY ENGINE AND SEDMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 MANY AFTER THE FINAL SITE STABLIZATION IS ACHEVED WITH PERMANENT SOL STABLIZATION MANAGES. AN INCIDENT OF NON-COMPLIANCE (104) MUST BE COMPLETED AN SUBMITTED TO THE IEPA IF, AT ANY TIME, AN EROSION OR SEDIMENT CONTROL DEVICE FALS. STRAITED SCHEDULE SHOMN FOR REFERBINGE ONLY, ACTUAL DATES WILL BE DETENANED BY CONTRACTOR BASED LIVEN MULTIPLE FACTORS, ESTIMATED THAT CLEARED AREAS WAY BE EXPOSED FOR PROCRAMEDLY 46 DAYS. all access to and from the construction site is to be restricted to the construction definition  $\epsilon_{\rm c}$ all topogary and perhanent erobion and sediadn't control practices wist be maintened and repared as needed to assure effective performance of their intended tometion: A NOTICE OF TERMINATION (NOT) MUST BE COMPLETED AND SHBATTED TO THE EPSA WHEN ALL PERSANDIATION. BIOSEON CONTROL MEASURES ARE IN PLACE WITH A 700 ESTABLISHMENT OF APPONENTS OF THE STORMANTER MANAGENET FACULTES, STORMANTEN COLLECTION SISTED, AND MODERNE, WORKEN STORMAND AREA SMALL OF INSPECTOR PROJUCILY TERRIBEN MACHINA DIVENERS, STORTSSAM, "TO DESIGNE FROM FREGUENCE SMALL AT A MANIAL THE TOLLOWING MELSHESS SMALL TO DESIGNE FROM STREAM SOFTENEYS SMALL WARRAND." A. WEDT ON COSSA. POE 150 LEG/ADM.
E. 500
F. STAW MALCH 2 TONS/ADM.
F. STAWN MISTED COSSA. LONG ADM.
F. STAWN MISTED COSSA. HE POLLITION MEASURES SPECIFIED IN THE PLAN SHALL BE IMPLIBETION FOR MON-STORM WATER CARROCHESTS OF THE DISCHARGE EXCEPT THAT ERGISIN DUE TO BRIGATION OF SEEDING SHALL RE DISTUBBED AREAS SHALL BE STABLIZED WITH TEMPORARY OR PERMANENT WEASJRES WITHIN 7 CALENDAR DAYS FOLLOWING THE DUD OF ACTIVE DISTURBANCE OR REDISTURBANCE. ALL STORM SEWER FRAMES AND GRATES/LDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREDK". THE CONTRACTOR SHALL TAKE THE INCESSARY STEPS TO CONTRICE WASTE SUCH AS BUILDING WATERALS, CONTRICION STEFFANT WASTE. AT THE CONSTRUCTION STEFFANT, MAY CAUSE, MAYONS TO WATER CAULTY. HISTALL TRAPOLARY EROSION CONTROL. APRIL 1, 2022
HISTALL CHIRD AND AGDREGATE BAR. MAY 1, 2022
HISTALL CHIRD AND AGDREGATE BAR. MAY 1, 2022
SELDING & LANDSCAPPIG
AND TRAPOLARY AND AGDREGATE BAR. AND AGDRE LONG TERM (POST CONSTRUCTION) MAINTENANCE A. NEWLOOY BLEESHES SO LISCACRE MINED W/ PERSMAN, FITE GRASS 30 LISCACRE R. HOTHICHY BUILDANCE 135 LIE/ACE MEED W/ PEDSMAL FIT DONS 46 LBS/ADSE + 2 TONS STRIM MALCA/ADSE. C. SPRING DATS 100 LBS/ADSE IE AREA = 0.73 ACRES STURBED AREA = 0.73 ACRES CONNO MATERS = DES PLANES RIVER SECULNICE OF EVENTS AND ESTIMATED IDOT ROCK GRADATIO N The control of the co MAN SERVICE SAME MAN EXCENT OF THE MESTERON, MAN SERVICES OF REQUESTIONS OF PRESENT.

WAS DESCRIBED THE DATE OF THE MESTERON, MAN'S RESENTANCE RELINEOUS THE SERVICES. THEN MAY CHEMISTON OF THE WAS DESCRIBED THE OFFICE OF THE WAS DESCRIBED THE SERVICE OF THE WAS DESCRIBED. HE SERVICES THE SERVICE OF THE WAS DESCRIBED. HE SERVICE SAME IS SOMEON TO THE WAS DESCRIBED AND WAS DESCRIBED. THE SERVICES DESCRIBED TO WHE DASHESS AND WARRE. A JANSTON OF THE CONTRACT OF THE CHARLES OF CONTRACTS OF STABLIZED CONSTRUCTOR PREMISCRE THE PRINCES SALLE IN PRESENT RACKING OF STABLISCUS OF STREETS. THIS BILL ES DONE BY THE DESISSION BITH ADDITIONAL STORES. STREETS AND STREETS OF STREETS OF MACHINE THE TRIMATE, ADDITIONAL STREETS STREETS SHELL BY SMELT BY PROCUPITY, IF NOT DAILY, TO CLIMATITE DOST AND SEDIMENTS. THE ESTIMATED STORMINTER RANGET COEFFICIENT ME CONTANED IN THE PROJECT DESCHI MARKHANG ON FEE WITH ELECOM, ADDITION OR ONE THE SECURITY RECEIT, RECOGNING OF STORMINTER RANGE AND CONTAINED IN THE PROJECT DESCHI MARKHAND THE RESTIDENCE, AND MACK A PART OF THE PARK. WORTANE TROOP CORTING MACSHES, THE WORTANE CONTUNE THE MATCHANT OF THE PRODUCALLY AND SPEAKANINT SPEROCALLY AND SPEAKANINT CHANNELS, RICETANE ELTIP, FITC. SHALL BE MANTANIE OF PRODUCALLY AND SIPPLY ACCOUNTS WITHING AND FERRILIZE. THE VEGETANE COVER SHALL BE RELOVED AND RESEDED AS MICESSAM. THE STORMWITE POLLUTON PRENEUTION PLAN (SMPPP) HAS BEEN PREPARED TO COMPLY WITH THE PROVISION FOF INPESS LING CONSTRUCTION GENERAL PERMIT SEASO BY THE LLINGS BUNGOMENTAL PROTECTION AGENCY FOR STORWAMTEN SCHOLANGES FIRST CONSTRUCTION STELL ACTIVITIES. STORY WITH WINDOWS CONTROL WINDOWS WHICH FOR OULT INTERTED AND DITTORY OWNER, CONTROL WINDOWS RIP—RAP CUTLET PROTECTION: IT SHALL BE INSPECTED AFTER HIGH FLOWS FOR ANY SCOUR BEINGATH. THE RIP—RAP OR FOR STONES THAT HAVE BEEN DISLOCED. IT SHALL BE REPAIRED INMEDIATELY. STRUCTURA, PRACTICES THE FELLOWING STRUCTURA PROFICES SALE, IRE WASTERNETTO TO THE PETENT PROSENEE. TO DIRECT ALCOHOLING SOLE, STORE LONGS OR OTHERWISE, LANT BRACKT AND THE CONCENTRY AND THE PROMADER OF PETENT SEEDING.

FERNAMENT SEEDING. SANTARY MAST SHALL BE COLLECTED FROM PORTABLE UNTS PROVIDED BY THE CONTRACTOR A MINMAN AND THE TWO THIS STATE WILLY TO AVOID OMPOTOMICS AND MAN SANTIARY COMPITIONS. AND WHY THE THE STATE OF THE STATE CONCRETE PROLES SHALL NOT BE ENSEMEDT ON MAY GOLD OF BECAM-FOR SHORES CONCRETE OR DAILS WASH WITH CONTROL FOR THE SELECTION AND PROVIDED THE SELECTION AND PROVIDED THE PLANTING REASON OF THE TAXILLEE TO SECURATE ON THE CONTROL OF THE SELECTION AND DESCRIBED AND CLEAVED BEFORE PRESENT HE SET STORM WHER SYSTEM, AS MLT IN TRESS. THE SEDMENTS SAULT BE RELOKED WERN SO PERCENT OF THE TOTAL ORIGINAL CHAPACITY SCHOOL BY THE SELECTION OF THESE ANY DAMAGED AREAS SAULT BE REPARED MET THE SHARP FROM A REPLACED AS REPLA CONTRACTOR BASED ON THE RESULTS OF THE INSPECTION, THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES.

TO THE REVISED AS APPROVADED CLUTCHALE ATTINS SOUR RESISTING THE ATTINS SOUR RESISTING. ANY CHANGES TO THE REVISED AS APPROVADED TO THE REVISED AS APPROVADED TO THE REVISED AS APPROVADED THE ATTINS SOUR RESISTING. ANY CHANGES OF THE REVISED AS ANY OF RECURSIONS SAIL RE INFORMED WHIN 7 CALIDION CONTRACTOR TO THE RESISTING. THE FOLLOWING PROCEDURES SHALL BE USED TO MAINTAIN, IN GOOD CONDITION, VEGETATION, EROSION AND STEMBLISHING, MASSIRES, AND OTHER PROTECTIVE WEASINESS EIGHTHIND IN THIS PLAN AND THE STANDARD SPECIFICIATION. GE-HUERDO CEDULANDOR AND OHNE RESCIS, UNIDED USING STORES OF CITED AND STORES. TO ENSANCH SELECTION OF STORES OF STORES OF STORES OF STORES OF STORES OF STORES. TO STORES OF STORES. TO STORES OF STORES. TO STORE STORES OF STORES. THE FOLLOWIG INTERIA AND PEDBAANDYI STABLIZATION PRACTICES, AS A MINAULA, SYALL BE-BEHOVED TO STABLIZE DETINEBRE MACKES, PERMARHT SEEDING, VEGETATIVE FILTERS, STABLIZED OVERTHUGHON BYTERANCES, AND BARRIER FILERS. THE PLAN ADDRESSES VARIOLS CONTROLS THAT BUST BE IMPLEMENTED FOR EACH OF THE MALKNE STRANSOLPHA ANTHRES ESCORBED MORE, FOR EACH OF THE CONTROL PRICKES ENDOWN THE CONTRACTIONS SAILLE BE RESPONSIBLE FOR TIS MALLIAGURATION, LOCK CONTRACTION HAS SHORT THE ANA ADDRESSES RESPONSIBILITY FOR THE MALLIAGURATION AND ONCORPE JUNITIANING. OF THIS PLAN. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DECIMANG LOCATIONS AND ALONG THE LEAST OF ANY OUTSTAND AND ALONG THE ACCUTATION OF ANY OUTSTAND AND ANY DECIMANY. TO ASSING A NOVEL-DESCRIP, CALCOTT TAKEN ANY STRUCTURE TO A WINTERCURES SO THAT THE MATTRACT PHYSICAL, AND BIOLOGICAL, CHARACTERISTICS AND FUNCTIONS OF THE WATERCURESE ARE MANTANED AND PRINCETEN. STON WITH MANAGERY
THE CLUBBLE MANAGERY OF CONTROL PROCESS OF ON PROCESS OF OUR PROCESS OF ON PROCESS OF ON PROCESS OF OUR PROC INCLUDE: SILT FILTER FENCE, BARRIER THE STORM WATER POLLUTANTS CONTROL MEASURES PLTERS, AND STORM SEMER SYSTEMS.





**CEOTECH** INC

irbach excamitor, bedong, hamohing, and nitha, backtil. (Dot CA-7) for tremches shall be provided to the considered incidenta. To the considered incidenta. To the UNSUITAGE SOL CONDITIONS BELOW THE DEPTH OF THE TREADY BEDDING, AS DETERMINED BY THE SOLES/ SOUTHWARD, PREMIEWED, THOUSANDED TOWARD THE CONDITION SHALL BY SENDING THE REPORT OF THE BASEDING THE STATE OF THE SOLES ALL SMITARY SERIES, STORM SERIES, WITER WAYS AS WELL AS THER SERVICES AND OTHER RELATED PROPRIENCES SMLL OF CONSIGNOUTED IN STEED IN ACCOUNTED, THE MAN OF THE SERVICES OF THE "SENDEND SECTION OF THE WITER AND SERIES CONSIDERING IN ILLINOS" AND "DOIS STRUMAN SECTION OF THE WAY OF THE WAY OF THE SECURIOR IN A LODIN TO THE REQUIREMENTS OF THE APPLIA INTEGRATIONAL ERROR. SELECT GONALLAR TREINCH BACKTIL (100T CA-7) SHALL BE REQUIRED FOR ALL SEMEN AND WATER ANN STERMUSS, AND MADER EXCHING ON PHOPOSED STREETS, DIPROMYS, PRIEMAL LOTS, CARB AND GUTTER, STÉRMUSS, AND BITHN FIFE TETT THEREOF, AND WHERE MOTED ON PLANS. CONTRACTOR SHALL ADJUST ALL STRUCTHRES TO ETHER EXISTING OR PROPOSED ELEWITORS, ADJUSTURENTS SHALL AND CONTRACTOR FROM A MY ADDITIONAL ADJUSTURENTS AS REQUIRED URINOR FINAL INSPECTION. FOR DISTURBANCES EXCEEDING ONE AZRE, A NOTICE OF INTERFE SUBMITTED BY THE BIGNERS TO CORTIN THE EBYS SUBMITTED BY THE BIGNERS TO CORTIN CLIVING THE STORM WHISE INSTRUMENT SHE CONTINUED THE ESCHOLARIE FOR THE INSTRUMENT OF WILL BESTONDIATE FOR THE INSTRUMENT OF WILL SHE CONTINUED THE STORM SHE FOR ALL INSPECTIONS AND RECORD KEEPING SECRETION SHE FOR ALL INSPECTIONS AND RECORD KEEPING SECRETION SHE FOR ALL INSPECTIONS.

THE VILLAGE/CITY SHALL BE NOTIFIED WHICH COSTON FRED DRAWAGE TILES ARE ENCOUNTERED.

FINAL MADE COSTONATION BE READRESS OF COLORING OF MATURATION TILE ALL MADE COSTONATION FOR THE MADE OF THE STATE AND CONTINUES OF DECOMING OF THE STATE AND COSTONATIONS OF THE STATE AND COSTONAT

ALL PROPOSED ELENTIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELENTIONS, UNLESS OTHERWISE SPECIFIED.

THE CONTRACTOR SHALL PRESENTE ALL CONSTRUCTOR STAKES UNTL. THEY ARE NO LONGEN REIDED, ANY STAKES ECTSTRUCTOR OF STUTINBED BY THE CONTRACTOR PROPER OF THE CONTRACTOR PROPERTY WAY DESIDE SASE, LOST SANDAGES, AND/OR UTILITY POLIS WHEN UNRETISES WITH ADDRESSING OPENDON OPENDON WAY DESIDE WITH DEPOSAL SALL BE READED, NO RESET BY THE CORRECTION, WHICH SHALL BY THE CORRECTION OF THE CO

REQUESTION OF STREAM ON NORTH PRINCES, SER LLS, LESTONEN SETTION, GOOGHOUT, HAIV RE RECURSED SHALL OF THE SERVICE AND THE CONSULTED AND SHALL AND THE CONSCRIPT DISH WOW. IN BEDDINGSON, AND WITH SHARL WITH CONSULTED AND SHALL AND THE CONSCRIPT DISH WOW. IN PRODUCED AND SEER AND WITH SHALL ON THE CONTROLLED AND LITTLE STREAM LISTS HAND THE SHALL (FOR PREVIOUR OF THE BOCKELL WITH COMPACTED GOSHOUT STORE, PROPREY PROBED OF THE BOTTON OF THE PRE-CORRECTOR OF AUTHORITY OR THOUGH TO BE AUTHORITY THE AUTHORITY OF AUTH THE DIRECTS WITH VERSIONS CHART OF THE CHART OF THE CHARTON'S WAR, WE SHALL SELECT HE ELIBORITY OF THE CHARTON'S TOWNS WE SHALL SELECT. THE CHARTON'S TOWNS WE SHALL NOT SELECT. THE CHARTON'S TOWNS WE RESOURCE TO THE CHARTON'S TOWNS WE DIRECT SHALL NOT SELECT. THE CHARTON'S WE PROMISE TOWNS WE WAR THE CHARTON'S WE PROMISE TOWN THE CHARTON'S WE PROMISE TOWN THE CHARTON'S WE WANT OF THE CHARTON'S COMPACION SALL MANIA CAPRESCARRA CEDRAL MELITA TRADAREZ Y ROMANEZ CAPARDEZ NA MO PROPINZIONE NEGLI PROSPANCE NEGLI DEPENDANCE L'INSTITUTIONE PROSPANCE SON SERVE SET TOURNE DISCUSSIONE NE MANIA CAPARDEZ DE L'ARRONNE DE PROSPANCE SON SERVE SET MANIA DISCUSSIONE DE MANIEZ DE PROSPANCE DE PRO

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEMOLITION WORK AND DISPOSAL OF WASTE MATERIAL. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIRED.

"Togging with a principle of depth with a proposal principle of the principle

CONTRACTOR ACKNOMEDICES AND AGRESS THAT THE USE AND RELIANCE OF THE PLANS IS SUFFICIENT CONSIDERATION FOR CONTRACTOR'S CONFRANTS STATED HERBIN.

SANTARY SEWER PIPE, INCLUDING SERAGES, SHALL BE POLYMAN, CHLORDE (PIC) SEWER PIPE, ASTA 03034 SOR 26 WITH FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTA 03212 AND F477.

WHERE WATER MAIN QUALITY PIPE AND JOINTS ARE REQUIRED, SANITARY SENER PIPE SHULL BE PYC PIPE. ASTM D2241, SDR 26, WITH ELASTOMERIC GASKET JUNITS CONFORMING TO ASTM D3339 AND F477.

ALL DISTING UTILITY LINES AND CANDUIS LOCATED UNIORS PROPOSED BULDINGS, ROLDBINS, DRIES, PANALDRI MESS, AND SCORMUS SWILL BE ERRORDED IN PROPERTY BUCKLIDE THIS STRUCTURE, CONNETION BURNELLY DESIGNATION TO STRUCTURE AND SWILL BURNEL SWILL DESIGNATION AND SWILL BURNEL SWILL BURNEL SWILL SWILL BURNEL SWILL S COMPACTOR IS RESPONSEE FOR IGNOLITION, REDUNE, AND DESPOSA, OF ALL STRUCTURESS, PLOCK, WILLS, STRUCTURES, TOWN OF PRESENCE STRUCTURES, CITICAL STRUCTURES, TO SERVICE STRUCTURES, AND RECOLUMENT OF THE PROPOSED SUB-CANCE EXAMINE WITHOUT STRUCTURES. WHITH STRUCTURES, AND RECOLUMENT OF THE PROPOSED SUB-CANCE EXAMINE WITH STRUCTURE.

an dotemul drop wande symline proyded where the opference betwen impris is greater than or equal detail. SWIDAY SERVIC LINE SZE SHUL BE 6-INCH DAMETER PPPE, SAME MATERAL, AND JOHN'S AG THE SWATARY SECURED AT A 10'M MANIMUM SLOPE ALL STRONG SYSTES SHALL BE CAPPED WITH A WATERTISHT PLUS, PROSPERI. SECURED TO MANIESTAND THE REGURED TEST PRESSURES.

MINIMUM COVER OVER SANITARY SENER LINES AND SERVICES SIVAL BE THREE FEET.

MUNICLES SHILL BE PREDIST CHARGETE CONFORMUR TO ASTIL CAPA AND CONSTRUCTED PRR. THE STANDAR STELLAR, SANCTED LOS STILL OS STILL STANDAR STANDARS STANDARS AND FE WARE OF THE ALRECOTORY, BUTTER, THE CONFUENCIAL STANDARS AND THE WARE OF THE ALRECOTORY, BUTTER, THE CONFUENCIAL STANDARS STANDARS AND STANDARS

SANTAPY SEMEN SEMONE RISERS SHALL BE RISTALLED WHERE THE MANUNE SEMEN DEPTH IS GREATER THAN TRELIE FEET OR IN LOCATIONS INDICATED ON THE PLANS.

SANTARY SENERS SHALL BE PRESSURE TESTED PER THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS WATER MAD SENER OMERICATION" LATESTED EDITION. THE AWARMA ALLIAMMER MALE OF INTENDION OF PERFORM THE OFF PER MAJ DAMPERS OF PIPE TRY MILE OF PIPE PER DAY.

CONTRACTOR SWALL COORDINATE WITH JURISDICTIONAL ENTEY AND UTILEY COMPANIES REGARDING THE REDIONAL OI SERVICE UNES CONTRACTOR IS RESPONSIBLE FOR ALL FEES AND CHARGES ASSOCIATED WITH DISCONNECTION OF DISSING SERVICES. CONTRACTOR SHALL DENELOP AND MANTAIN A DUST CONTROL PLAN IN ACCORDANCE WITH JURISDICTIONAL ENTITY REQUIREMENTS. REMOVAL AND/OR ARMDONAISHT OF ANY WELLS, SEPTIC TAMES AND/OR FIELDS, AND GREASE TRAPS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE JURISDICTIONAL ENTITY.

CONTRACTOR SHALL CORROWATE WITH JURISDICTIONAL DWITY AND CLENT TO ENSURE PROTECTION AND MANITEMANE OF SHARM FAD IN MAINT PAIN WHITE UNITED, A RESESSENT AND PROMES STORM WHITE CONTRIVANCE OWILL HER FAJLISS. ARE CONSTRUCTED, TESTED, AND PACASO IN OPERATION.

COPPES OF SUIL BORNES, MAD REPORTS, IF SUCH BORNES WERE TWEN BY THE CLERF, SHOULD BE WAVE MANABLE OF THE CLERF, SHOULD BE WAVE SHOWNED BY THE CHARACTER CHAR

OWNERTING TO DETAIN STREET WAS WALL BY TO NO DETAINS STREET STREET BY WHOSE WHOSE PRODUCED STREET BY THE OR WHALLE WHO PROVIDED STREET OWNERS TO MAD DOTING SWITTON WHATE SHALL BE WHONE OTHER TO DETAIL BY THE OWNERS OF THE OWNE ASMITMY MANDED SWILL BETSELD FOR WIRETHONESS DRAW A LEMORE TST IN COORDINATE WHI ASSU-CORNETE STREET PREVIOUS OF RETURNING WAD DISTRACTION ACCEPTING TESTING OF BUSINED PREDAST THE KENNING PREVIOUS OF AND THE VALUE OF THE WASHING TEST METHOD FOR CONCRETE SERIES WANDLE OF THE KENNING PRESSARE (MACHINA) TEST PRORY TO BACKFILL. WARTHY STRES WILL B GELECONN TEXED IN COORDINARY MIT HE "SAMADAGE SCENOLONDS FOR WHITE AND SCENE CONSTRUCTIVE, LATEST EDITION, DETECTION SHALL NOT EXCED THE WANKFATHER'S ECOLARDOOD HE WANKE AND STRESS OF THE WITHOUT BY WHICH STRESS OF THE WITHOUT BY WHICH STRESS OF THE PIPE, WH CONTRACTOR SHALL TELEVISE ALL NEWLY CONSTRUCTED SHALLARY SENERS IN ACCORDANCE WITH APPLICABLE RECOLUBERITS OF THE UNDERSOCROBAL LEFT PROVES TO THAIL SERVENCIONAL PHITTY. FARMER THE ROMERT DOST AN ESME SENORISHIN FOR THE POSSBULT THE DIREC CONFERENCY.

SOME IESTONISBULT TO WHATING WE EDITEDED THAN HUNTION KITHER DOST THE PROMEST.

CONFERENCE MET AND PRODUCED WE SOLVE AND GROUNDINGS HI LOCATIONS ESTIMELY BORNES. THE 

CHARGOLISM MET AT THE PROSECTION AND CONFERENCE OFFICE AT 

OR DETENMES SOLVE AND ORDING WHITE COMMITTIES. The stie shull be cleared, grubbed, and trees and studies reducied where designified on the plans or specified by the clear, trees designated to redain shull be protected from damage.

CONNECTION TO AN EXISTING STATES WAN BY MEAST OFFER THAN AN EXISTING STATES STATE, BTT. ITT. ON MEASTER THAN THAN EXISTENCE TO THE STATES THAN BE STATES THOSE STATES TO THE STATES THAN BE STATES THOSE STATES THE STATES THAT STATES THE STATES THAN BE STATES. WESTER-PITE, BOOK STATES AND STATES AND

UPON COMPLETON OF EBSULTION NO STE CLEARIC, ALL 109501, ORGANIC WITERAL, OR OTHER LINGLINE. TO ACCOUNT IN L. SIMPROJUMENT STAN LES PACKED STOCKNES NO LEGAL STANSON TO MAKE OWN THIN AREA TO BE LANGOMED AND THE WAY STOCKNES NO LEGAL ILL EXCESS REPORT WITE OWN THING STOCKNES NO LEGAL ILL EXCESS REPORT WITE OWN THE STEWN OF STANSON THE STEWN THE CONTROLLED STANSON THE STEWN THE

THE CASE ALLE WERROWS PRESENT WE HER OFFICE THE WERROWS CATE NO MINISTER CASE ALL WERROWS CATE NO MINISTER CASE ALL WERROWS CASE ALL WEAR THE EXPERTITE THE CASE WAS THE WEAR ALL WE WERROWS CASE ALL WEAR THE WEST ALL WE WERROWS CASE ALL WEAR THE WEAR ALL WE WERROWS CASE ALL WEAR THE WEST ALL WE WERROWS CASE ALL WE WERROWS CASE ALL WE AND THE WEST ALL WE WERROWS CASE ALL WE WERROWS CASE ALL WE WERROWS CASE ALL WE WERROWS AND WERROWS WE ALL WE WAS ALL WE WERROWS AND WERROWS WE ALL WE WAS ALL WE WAS ALL WE WERROWS AND WERROWS WE ALL WE WAS ALL WE WAS ALL WE WERROWS AND WE WERROWS WE ALL WE WAS ALL WE WAS ALL WE WAS ALL WE WERROWS AND WERROWS WE ALL WE WAS ALL WE WANTED AND ALL WE WANTED ALL WE WAS ALL WE WAS ALL WE WANTED AND AND AND AND AND AN

OMSTRUCTION OF WORK PROPOSED BY THE FLANS SHALL BE COMPLETED IN ACCORDANCE, WITH, AND METERAL STATIONS SHALL BE IN CONFIDENCE STATIONS OF THE STATIONS OF THE

ALL WORK HEREN PROPOSED SHALL RE COMPLETED IN ACCIONANCE WITH ALL RECURRELISTS OF ANY CONCUSIONED BITH, AND ALL SCH PERMISENT MAS, ENGINES, CORRANGES, COMMENCE SHALL BETHERN WITHOUT RECURREMENTS OF ANY JURISOCHOMAL BUTHY, THE CLERT AND/OR CONTRACTOR SHALL IMPEDATELY NOTIFY CONCUSION.

ALL STIRBLE DOWNED MATERIALS SHALL BE HALLED, PLACED (MOSTURE CONDITIONED) IF NECESSARY) AND COMPACTED IN LITE ASSES, CONDICIONED MAIN STATE ALL DEMANDERS TO THE ASSES, CONDICIONED AND DILLY WAYS.

WATER WAN SHALL BE DUCTIE IRON PIPE, CLASS 52 CONFORMING TO ANNA, C151 WITH PUSH CN. ALCONING SOCKERONING TO ANNA C111. ALL PRINCES SMALL BE DUCTIE RIND NO CONFORMING TO ANNA, C110, PIPE, ARD FITHINGS SMALL BE CELERAT LINED IN CONFORMING WITH ANNA C104.

UNESS OFFERRES FEQURED BY THE JURISDICTIONAL BUILTY, ALL WATER WAN SHALL BE POLYTIMEDE EDEASED. IN CONFORMACE WITH AWAR, C105, POLYTIMEDE MATERAL, SHALL CONFORM TO THE REGULATIONS OF THE MATERAL BUILTY. WATER WAR HTTINGS (I.e. BENDS, ELBOWS, TEES, REDUCENS, ETC.) WAY NOT BE SPECIFICALLY REFERENCED ON THE LINEAR FOOTINGE COST OF THE WATER WAY. INSTALATION OF PIPE AND FITINGS SHALL BE PER AWAR 0800. PIPE SHALL BE INSTALED WITH A MINIMUM COVER OF 5'-6' FROM FINISHED GRADE.

COMPACTION OF EXCHAIRD MATERIAL AND OTHER SUTNIGHE MATERIAL SHALL BE AT LEGST 86% OF THE STANDARD OFFICION BY THE STANDARD STANDA

THE TO THE WASHINGTON SYSTEM, WHEN THEIS AND THE GERMINOLL CONDITIONS AFFECTIVE THE WASHINGTON THE WASHINGT THE THE WASHINGT WISH THE WASHINGT FOR THE WASHINGT OF GROUND WHERE ON THE PROPERTY OF GROUND WHERE ON THE WASHINGT FOR THE WASHINGT FOR

THE PARK WE REST REPROPED THE DEBATES BEST ON THE ESSENTIANT MET DESIRES OF WARTHER ASSUMEDTED STREAM TO SEPPORT THE REPOSED HEM RESTRICTION OF SHARINGE WHITE DESIRE THE RESTRICTION OF SHARINGE WHITE ASSUME WAS RESTRICTION OF THE RESTRICTION OF THE RESTRICTION OF THE WASHINGER, WHITE ASSUME WE RESTRICTION OF THE MEMORIPHISM, SHOWN IN THE PARK THE CASE, THE STREAM OF THE MEMORIPHISM OF THE WASHINGTON OF THE STREAM OF THE WASHINGTON OF THE STREAM OF THE WASHINGTON OF THE STREAM OF THE WASHINGTON OF THE WASHINGTON

TREES NOT SCHEDULED TO BE REDIONED SHALL BE PROTECTED FROM DAMAGE. TREES SHALL NOT BE REJNONED UNESS REQUESTED BY THE CLERK.

THE CONTRACTOR SWILL BE RESPONSIBLE TO ARRANGE FOR THE RELOCATION OR BROONG OF EXCENDING THE TREATMENT HE WARRANGE LINES OF THE CONTRACT BL. FLOKE AND COSTS. CONNECTED WITH THE RELOCATION OF MEETING CONTRACTOR. THE CLIEF OF CONTRACTOR. RESTRATION OF DAMAGE TO PRIBL. OR PROMITE PROPERTY OUTSICE THE LIMITS OF THE PROJECT SMILL BE PROVINGED IMMEDITED TO PROMI DAMED TO THE WORK, AREAS, NELL BE RESTRICTED AS PROSME. TO THER GRANAL CONTONING OR EITER AND SMILL MICLIDE BIT MOST LIMITS TO, MANIMARD LIMITS AND MANIMARD LIMITS TO, MANIMARD LIMITS AND MANIMARD LIMITS AND MANIMARD LIMITS, WILLDRESS, SURFACE, SU

THE COMPACTOR IS AGREEN AN PROPRIES AND ALL COMPACTOR AND ALL PER STATE OF THE WASH OF THE PROPER OF THE PROST OF THE PROS

INSTITIBLE, MATERIAL SHALL BE CONSIDERD AS MATERIAL WHICH IS NATI SITINGLE FOR THE SUPPORT OF PROJECTS OF NO BILLIANG FORSTRICTION, IT FORWARD THOSE LITERAL RADIOGRAP REPORTS OF SHALL BE REALINED WIN BEHAVIOR THOSE TO SHALL BE REALINED WIN BEHAVIOR THOSE TO SHALL BE REALINED WIN BEHAVIOR THOSE OF SHALL BE REALINED WIN BEHAVIOR THOSE OF A SHALL SHALL BE LIDER.

CLEDIF SHALL AT THER POSETTIAN DIJECTA A SOUS CHASLIJAAT AND TETRIKE FRAN TO DASHET THE PROCESSOUS THE SHALL AND THE PROPESSOUS THE PROPERTY CHASTRICTED TO SUPPORT THE PROPESSOUS THE PROPERTY CHASTRICTED TO SUPPORT THE PROPERTY OF THE SOUS CHASTRICTED THE SOUS TO SUPPORT THE SOUS CHASTRICTS THE SOUS CHASTRICTS THE SOURCE THE SOUS TO SUPPORT THE SOUS CHASTRICTS THE SOURCE THE SOURCE

DOWNTON NO PACKEDON OF SURVEE FIL MATERAL SMALL OF WITHIN THE PROJECT LUNTS AND TO THE DESCRIBE ENABLY OF WORDED ON THE PACKE ILL MATERN SAVIL OF FACES, IN LOGGE LITS NO EXCELLING ENAT (I) MASES IN HONORYS, NO THE WIRTS CONTINS SAVIL OF ACCUSED TO ARABIC REQUIRE TOWNSTATION, IN AGE COSTONING STRACTION, FILL FILL MATERN, SMALL NOT BE PACKED OVER 1975CL OF OTHER UNSTANDER, MATERIAL.

WHITE SERVICES IN DAMETER OR SAMLIE SHALL BE THEY K ODPFER PER ASTN 4886 AND ASTN 78515, SERVICE 2023 3-ANCH AND UMBER SHALL BE DIGHLE FROM THE DEFENSE RECOVER OF RESTRUCTION OF RESTRUCTION OF RESTRUCTION OF ALL WATER MANS AT ALL TIES, BLOWS, BUYES, BUYES, BUYES, FITC. WHER WINE SHALE BERLEATH MORE GATE WINE CONFIGURATION TO MAKE CASE AND THE REQUESTIONS OF THE JURISOCIAMAL BRITISHY MUSE CONFIGURATION TO MAKE CASE SHALL BE PROVIDED FOR ALL WHITE WAN TO E-ARCH DIMETER AND LARGER, VALLES SHALL BE NON-YESNO STEAM AND CLOSE BY THRING CLOSHINGS.

WAVE WALTS SHALL BE PRECIST CONCRETE CONFORMING TO ASTM CA78 AND CONSTRUCTED PER THE MANAGO DETAIL. WAS BOSTES SHALL BE CAST RIMA PETENSIANS DESIZE THE CONSTRUCTED IN CONFORMINCE WITH THE STRANGED DETAIL. FRAME AND LOSS SHALL BE METHINGD WITH "MATRE". "MATRE". FPE HORWITS SHALL CONFORM TO AWAY CSOZ (DRY BARREL) AND THE REQUIREMENTS OF THE JURISON ENTITY. HYDRANTS SHALL BE INSTALLED WITH AN AJOLUMPY WALE AND WALVE BOX.

ALL R-BOXES, CORPORATION STORY, SCHOOL PROFESS, THENGE STORY, THORN CENTERS, AND OTHER WATER WANN TEACH PARTICIPANTS. SHALL CORPORATION TO APPLIESE. INSTRUCTIONAL DRITT RECURSIONS. CONTINUATION SHALL YERY CALCY MODE, STILE, THE, AND MANIFACTURER REQUIRED PRIOR TO GREENING. al witre wan saml ee testid of veaks of a pressure test and leakage test per ne 'samdago Predictions for water and seier construction', awan coo, and applicable jurisdictional entity Redictions.

when proof it cannot be used that the control on preof store and head seems to control on the control of the co

CONNECTOR WITH SCALE WONDERTHY SECREDIES FOR PER CONNECTOR OF PER ASS IN PRINCIPAL STATE OF ALL PRICES AND PREFET LIBERAL PRINCIPAL STATE OF ALL PRICES AND PREFET LIBERAL PRINCIPAL STATE OF ALL PRICES AND PRIC

CONTRACTOR SAUL AT ALL TIMES KEEP THE STE FREE FROM ACCUMULATION OF CONSTRUCTION DEBUGS, WASTE MATERIAL, TRACK OLD AND OTHER WESCHLANDOOR TRACK ACKNET FROM KEEP FREE OF MLD AND DEBUG SILL THE TIMES TRACKTORES AND CHIRD FLOW UNISS SAULL BE CEAVED OF DEBUGS.

CONTRACTOR SHALL PROVICE TESTING AND PROOF-ROLLING AS REQUIRED BY THE CLIDAT AND JURISDICTIONAL WINSTINGLE AREA BENOUNDED DRIVEN ESTING SHALL BE REDUVED AND REPLACED BIRTH SUITEM WHEREAL APPROVED BY THE SOILS CONSULTANT AND RETESTED.

EMER AND WATER MAIN GENERAL NOTES

PARTIENT CONTRACTOR CO

MFIRE COMPLETION OF THE WINTERTHO. THE JUAN AND RELATED APPRICADANCES SHALL BE FLUSHED DECLARAD NO INSPRIEDTION OF CHORANIED) IN ADORBING THIS IN THE "SYMBOLOGO SOCIETIONS FOR WAITH AND STREAM CONTINUEDTION". AMIN, 6000, AND APPLICABLE UNISSURIDING FORM WITH ADDRESSING CONTINUED THIS PROJUBELISMS. NAES OFFINISE NOTIO, CONNECTION(S) TO AN DOSTING WATER MAN SWALL BE MUSE BY A PRESSURE TAP THE RECENTION OF WITH STANDARD OFFICIATIONS FOR MAIN THE ARREST WAS RECENTRICITION IN LIMINAS, HERSELFER AND STANDARD OFFI THE COCCOUNTION WITH HIS PRESCRIPTION OF THE STANDARD OFFI HERSELFER AND STANDARD OFFI THE COCCOUNTION WITH HIS PRESCRIPTIONS OF THE

TORM SEWER & APPLICTEMANCES:

STORM SEMER PPE SHALL BE CONSTRUCTED FROM ONE OR NORE OF THE FOLLOWING NATERALS AS SPECIFED On the planes

REPRESENTATION OF THE THE TOTAL THIN WY, WAS COUNTED THE OFFICE THE COUNTED TH WHER WATER WAN QUALIY PPE AND JONTS ARE REQUIRED, STORM SENER PPE, SHALL BE CONSTRUCTED FROM ONE OR WORE OF THE FOLLOWING MATERALS AS SPECIFED ON THE PLANS:

A cross the strong for the country of the country o

FLAED DIO SETTION SHUL RE PRE-CUST REPIYENCED CONCRETE DIO BLOCK PER DOT STANDARD 542301. DOT SHAVARD 542311; PRE STORM SERENS 12" IN DIMETER OR LARGER SHUL RE INSTALLED WITH A GAME PER DOT SHAVARD 542311. MANHOLES, NLETS, AND CATCH BASHS SHALL BE PREDAST CONDRAINE TO ASTA CATS AND CONSIDERING THE JURISDICTIONAL BRITTY AND SHALL BE AS APPROVED BY THE JURISDICTIONAL BRITTY AND SHALL BE MENOTED BY THE JURISDICTIONAL BRITTY AND SHALL BE INSTRUCTIONAL BRITTY AND SHALL BRITTY AND SHAL RP-RAP WITH FILTER FABRIC PER SECTION 281 OF THE IDOT STANDARD SPECIFICATIONS SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS.

OMINACION SIALL MAR. THE LOCATORS OF THE BASS OF SERVICE STIBES WITH 4"A" WOOD POSTS DETBONG A MANUEL, WHITE FOR STIME, A MOBILE FOR WHITE COMPACTION STORM, EMERITED GESTS RESEARCH STORM, AND BLIE FOR WHITE COMPACTION STORM, AND BLIE FOR WHITE COMPACTION CANCELL ACTION STORMER. STANCES, ALL STIBES AND STANCES THE STANCES, ALL STIBES SHALL STANCES. ALL STIBES

COMPACTOR SHILL BE RESPONSED FOR DEBUTERING ANY TRENCH DEMANDING FOR THE INSTILLATION OF MICHAELAND WAS AND APPRITUMENTS. DEMETRING SHILL BE CONSIDERED INSCRIPTION. THE CHARGE OF THE CHARGE OF SHILL BE USED WHEN CONNECTING SHILL PRISE. THE ST. OF DESIMAL WITHOUT.

ALL SWITNEY STREPS, STORM STREPS, WINTER WAN AS WELL AS THEIR SERVICES AND OTHER RELATED PROMISETEWAYS SAULL BE THOROUGHE'T CLEMED PROR TO INSPECTION AND TESTING AND AT THE END OF THE PROPERTY.

CONTRACTOR SAUL COORDINATE INSPECTIONS, TESTING, AND TELEMSING WITH THE APPLICABLE JURISDICTIONAL BRITTY. THE COST OF CLEMING, TESTING, AND TELEMSING SHALL BE CONSIDERED INCIDENTAL.

AL LECTURES NA DETECTO GREEND LY BLILL AR WITCHERY CREECING BURNE REQUISED SEA A RESELL OF USING ON PLEICHIN AND THE SEAL OF USING ON PLEICHIN HERCITCH SEAL OF SERVING OF IT CONNECTOR IN CONNECTOR IN A ADMINISTRATION OF THE CONNECTOR IN A DESCRIPTION OF THE CONNECTOR IN A DESCR

MINIOLE STEPS SHALL BE GREY CAST ROW ASTIM AMB OR POLYPROPYLENE COATED STEEL REINFORCING RODS WITH SUP, LOND, AND PULLDUT RATES PER OSAN REQUIREMENTS.

ALL STRUCTURES INCLUDIO BUT LIMITED TO FRAMES AND GRATTS/LIDS, CLEMBUTS, ETC., SHALL BE ABJUSTED TO THE FIRE THE CLEMBUTOS, CONVERTER ADJUSTING RINGS, WHERE INCESSIAN, SHALL BE LUMITED TO TINGLY ONT MARE THAN EDIFF (S) INCRES IN HEIGHT.

DODANECTION OF STORM SENER TO EDISTING STRUCTURES OR SENER MANS SWALL BE MADE WITH A SENER TAP MACHINE. SENER SWALL BE UNDERSOLD USING NAME-DRANK MORTHA. SENER SWALL BE COT FLUSH WITH THE NESSENEY OF THE SENER SWALL.

STORM SENER AND APPURTEMANCES SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTIONS

DOTTEN (18) MEST ABOUT HE SERVATION FOR A SERVE SO THAT IS WHERE A MAN DOTTEN (18) MEST ABOUT HE COMM OF THE DAM OF SERVE WHERETH WITH WHITHOUS STORM SHAPES, SAMENT SHEEPS OR SERVE OF SERVED ONE THIS METHORS, STORMERS SHAPEN TO SERVE OF SERVE OF SERVED ONE THE SHAPE OF METHORS, STORMERS SHAPEN TO SERVE OF SERVED OF

2. BOTH THE WATER MAIN AND SEMEN SHALL BE CONSTRUCTED OF SUP-ON OR MECHANICAL MONTER AND INSTANCTION OF PICE. ON PICE FOR THE PRESENCE CONCRETE PIPE, OR PICE PIPE EQUIVALENTO WATER AND STANDARDS OF CONSTRUCTION WHERE

(B) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.

3.4 VERTOLA SEPARATION OF EDHETRA (16) MACUES ENTERST THE INSECT OF THE SENER C BANK WO. THE CHOWN OF THE WALTER JAM'S SHALL EE MANTANED WHERE A WITE WAIN BECKSES HARRY AS SHOWN ON THE PLANS OR AS APPROVED BY THE EDIANTER. THE STORM SEWER CAN BE CONSTRUCTED WITH REINFORCED CONCRETE PIPE LISING PLEDIBLE GASCIES, JOHNS, VASIN CSBL CASA) INSTRUCTO OF CONSTRUCTING THE STORM SEWER WITH WITHER JAHN EDUNALENT PIPE OR CASING PIPE.

2. WATER MANS MAY BE LOCATED CLOSER HAN TEN (10) FEET TO A SENER LINE WIEDE.

(A) LOOLL CONDITIONS PRECIPIT A LATENLA SEPARATION OF TEN (10) FEET; AND

(B) THE WINSTER WAN WRET IS AT LEST EDHTERN (19) NOVES ARONE THE GROWN OF THE (C) THE WATER MAIN IS ETHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

CARRA MO CATTER SAMLE RE, KS SPECINED ON THE PLAKE AND SAML RE REACRELED AFTER ITS CONSTRUCTION AND PROPER TO THE PLACEMENT OF THE BASE COURSE, COMPACTED AGORGAIE UNDER THE CLINE SAMLE ACCOUNT SAMEWARDS.

PORTLAND CAUGHT CONCRETE (PCC) PAREADHT SHALL RE CLASS PY WITH 6:45-11/2-34/12-9 WELDED WIRE FABRIC WARD CONSIDERED PER SECTION 4/20 OF THE DOIT STANDARD SPECTHCATIONS. ALL CONCRETE WORK SHALL BE PARSHED WITH A RODAL PRICE.

Contractor Shall sub-cut the Drosed Diges of All Busting Parelidat Adalestif to Any Proposed Contractor (April Stephen, Coir And Online), of Substant of Dromote, a Suddin Light Edge (Bog. Hall Is free for Lodge Mariela, a Profest Promesting Butt, Joint Mo/for there shall, be Promed.

NESSEY IN THE RECOVERY OF THE USE OF THE ADMINISTRY OF THE CONTRACT OF THE CON

CONCRET STREAM, WHI, BE CONTRICTED TO HE WITH AN IDNOCESS STREAM, SCHOOL, SCHO

HANDGA STALLS SHUL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE ILLINOIS ACCESSBUITY CODE, LATES EDITION, AND OTHER APPLICABLE AND ALDELINES. PAVEMENT MARKING SHALL BE FUBNISHED AND INSTALLED IN ACCORDANCE WITH SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS AND MATCO.

PLANS SHOW LOCATION OF LUGHT POLES ONLY. THE DESIGN OF THE ELECTRIC SYSTEM REQUIRED TO POWER THE LUGHTS SHALL BY OTHERS. ALL WORK SWAL CONFORM WITH THE NATIONAL ELECTRIC CODE, COMMONIFIATH EDISON POLICIES, AND THE APPLICABLE REGULATIONS OF THE JURISDICTIONAL ENITTY.

CLENT SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE DESIGN, PERMITTING, AND INSTALLATION OF THE COMPLETE LIGHTING SYSTEM (POWER, POLES, LIGHTS, ETC.).

F LIGHTNG SYSTEM IS CONSIDERED A PUBLIC IMPROVEMENT, CLENT AND/OR COMPACTOR SHALL COORDINATE MITH COMMONINALTH EXISON AND THE JURISDICTIONAL ENTITY RECARDING TRANSFER OF STREET LIGHT SYSTEM TOS MISCHOTTANAL METH.

NETE MANS AND MATER SERVICE LINES SHALL BE PROTECTED FROM SMITHEY SENEISES, STORM SENEISES, SAURENS SHORES, BRUCES, STORM CONNECTIONS AND DAMES IN ACCORDANCE, MITH SCITCIN AT OF THE TRANSPORS PECETIVATIONS FOR WITER AND SEMER CONSTRUCTION IN LLANDS AS POLLOWS:

(A) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPERATION AS DESCRIBED IN (1) ABOVE, OR

SEAL/STAMP

(1) CASING OF ETHER THE WATER MAN OR SEWER PIPE IS ACCEPTABLE IN LIEU OF PLACING THE SEWER IN WATER MAIN EQUIVALENT PIPE.

4. CONSTRUCTION OF WATER MAIN QUALITY PIPE, SHALL EXTEND ON EACH SDE OF THE CROSSING UNIT, THE PEPERSOLOLULAR DISTANCE. FROM THE WATER WAIN TO THE SEMERY OR

1. WATER MANS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALY FROM ANY EDISTING OR PRESED DRAIN, STORM SEWER, SANITARY SEWER, COMEDIDA. SERVICE CONFECTION.

A, WHEN IT IS MACROELE TO WATER (1) OR (2) ADDONE SEEN THE WINTER MAN AND DRAWN OR STREET HAN AND DRAWN OFFICE MAN AND STREET HAS A RECEIVED FOR STREET HAS A RECEIVED H

SPECIFICATIONS

THE ONE THOUSAND BUILDING A HILLCREST SHOPPING CENTER 1701 N. LARKIN AVE CREST HILL, IL

THE TISTING OF THE SUBGROUGE, ADDRIGATE BACE COUNSE, BITLAMBOUS BASE COUNSE, BROBES COUNSE, SUBGROUS AND COUNSE, MAD COUNSEL WHICH THE DOT STANDARD SPECIFICATION AND ESCURPERATS OF THE JURISOCIONAL SMITTY.

PROPERTY OF THE DISTRIBUTION OF THE ACCIDITED ENCY COUNCER THE STREAMS CANAL, BEENERGO THE STEELS OF THE OUT STEELS OF THE CONTRIBUTIONS, SURGEOTS SHALL BE COMPACTED AND PROPERTY OF THE OUT STEELS OF THE STANDARD PROPERTY OF THE STANDARD PROCESS OF THE STANDARD PROCESS OF THE STANDARD PROCESS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE COMPACTION AND PREPARATION TO THE PROPOSISUBGRADE ELEMITORS SHOWN ON THE PLANS.

BETUANNOUS BROER AND SURFACE COURSE SHALL RE HOT-MAX ASPHALT (HAM) OF TYPE AND COMPACTED PHIOROGENES. S SHOWN ON THE PLANS IN ACCORRANCE WITH SECTION 406 OF THE DOT SPECIFICATIONS. ALL WANNE MATERIALS AND MOSS SHALL RE 1007 CERTIFIED.

FERRORE OT THE COMMENCEMENT OF WE PROME, CANTER, A PROSECUL OT THE SUB-ROLE OF SULF OF

FROR D'ANSTALIDION DE SURFACE COLORSE, CONTRACTOR SAWIL PATCH AND REPAIR ALL DAMAGED AND FALLES.
ARROCCIONAL ESTIME SOND SAN CONTRACTOR SAN CONVENIENT PANGENT DIS SUSPECTATION OF PIEC.
ARROCCIONAL ESTIME AND UMBEZ, SIGNACIORES MITIAN THE PANGENGT SAMIL SE AULISTED TO PANAL SAME SAN COLORSE AI A FAIL DE ANAL SAN SEN SAN COLORSE AI A FAIL DE ANAL CALLORS PER SYDIMES.

CLENT AND/OR CONTRACTOR SHALL CORRONATE WITH COMMONMEATH EDSON, AS NECESSARY, RECARDING DISTRING FOR SHEE FOR ANY AND ALL COSTS, ASSOCIATED MITH COMMONWEALTH EDSINS SUPPLYING POMER TO THE SITE.

# Raymond R. Soliman

Mayor

**Christine Vershay-Hall** 

Clerk

August 24, 2022

<INSERT NAME>

<INSERT ADDRESS>

<INSERT CITY, STATE, ZIP>

Dear < Insert>

Joliet Hillcrest Shopping Center, LLC will appear before the City of Crest Hill Plan Commission for a Planned Unit Development (PUD) and special use request for two (2) development projects which are as follows: 1) a new freestanding building of 8,000 S.F. to the west of La Chicanita Bakery for the relocation of the Armed Services recruiting offices and a 1,250 S.F. retail space and 2) a 1,460 S.F. addition for a Smoothie King with a special use for a drive thru window on the south side of the 800 building next to Stella's Place. The 26-acre property is zoned B-2 General Business District, consists of 240,000 S.F. of retail/commercial space and has approximately 1,680 off-street parking spaces.

Crest Hill

CITY OF NEIGHBORS

The Plan Commission will hold a public hearing on the application on September 14, 2022 at 7:00 p.m. at the City of Crest Hill Municipal Building, in the City Council Chambers, 1610 Plainfield Road, at which time you may express your views in person. A copy of the application material describing the request is available at the City of Crest Hill.

If you have any questions regarding the request, please feel free to contact me at 815-741-5107 or via email at tbudzikowski@cityofcresthill.com.

Sincerely,

Tony Budzikowski, AICP Community & Economic

Tony Budhowsh

**Development Director** 

# Glen Conklin

Treasurer

Ward 1 Scott Dyke

John Vershay

Ward 2

Claudia Gazal Darrell Jefferson

Ward 3

Tina Oberlin Mark Cipiti

Ward 4 Nate Albert Joe Kubal

CITY OF CREST HILL

1610 Plainfield Road Crest Hill, IL 60403 815-741-5100 cityofcresthill.com

# NOTICE OF PUBLIC HEARING CITY OF CREST HILL

Notice is hereby given that the Crest Hill Plan Commission will hold a public hearing on Wednesday, September 14, 2022 at 7:00 p.m. in the City Building, 1610 Plainfield Road, Crest Hill, Illinois to hear Case No. PUD-22-2-9-2, a petition from Joliet Hillcrest Shopping Center, LLC for a Planned Unit Development (PUD) and special use request for two (2) development projects which area as follows: 1) a new free-standing building of 8,000 S.F. to the west of La Chicanita Bakery for the relocation of the Armed Services recruiting offices and a 1,250 S.F. retail space and 2) a 1,460 S.F. addition for a Smoothie King with a special use for a drive thru window on the south side of the 800 building next to Stella's Place. The 26-acre property is zoned B-2 General Business District, consists of 240,000 S.F. of retail/commercial space and has approximately 1,680 off-street parking spaces.

PERMANENT INDEX NO: 11-04-31-404-012

# LEGAL DESCRIPTION:

TRACT 1 THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT A FOUND PK NAIL AT THE S1/4 COR OF SD SEC. 31, ALSO BEING THE CENTERLINE OF THEODORE ST, & 1320.23 FT W OF SE1/4 COR OF THE W1/2 OF THE SE1/4 OF SEC. 31, & 1327.58 FT W OF THE INTERSECTION OF THE CENTERLINE OF RTE 23 (LARKIN AVE); THC N 89 DEG 33'26" E IN THE CENTERLINE OF THEODORE ST & THE SD S LN OF THE SE1/4, A DIST OF 300 FT; THC N 0 DEG 12'37" E PARL TO THE W LN OF THE SD SE1/4, A DIST OF 33 FT TO THE N'LY ROW LN OF THEODORE ST & THE POB; THC CONT N 0 DEG 12'37" E, IN THE E LN OF THE E 50 FT OF THE W 300 FT OF THE SE1/4 OF SEC. 31, OWNED BY CHICAGO TITLE & TRUST CO & DESC AS PARCEL 2 IN DOC. 755510, A DIST OF 830.38 FT TO A FOUND IRON PIN IN THE E'LY ROW LN OF THE E J & E RAILROAD RUNNING SW'LY & NE'LY THROUGH THE SD SE1/4; THC N 39 DEG 23'05" E IN THE S'LY ROW LN OF THE E J & E RR, A DIST OF 592.88 FT TO A FOUND PIPE, SD PIPE BEING 382.59 FT S OF THE INTERSECTION OF S'LY ROW LN OF THE E J & E RR & THE CENTERLINE OF US RTE 30 (PLAINFIELD RD), ALSO BEING THE SW'LY COR OF PPTY DESC IN DOC. 817473 (A/K/A MAZZUCO CONSTRUCTION CO.); THC S 46 DEG 48'31" E IN THE S'LY LN OF MAZZUCCO CONSTRUCTION CO. PPTY, A DIST OF 129.12 FT; THC N 43 DEG 09'49" E IN THE E'LY LN OF SD MAZZUCCO PPTY A DIST OF 165.10 FT TO A FOUND PIPE; THC S 46 DEG 01'43" E IN THE S'LY LN OF PPTY OWNED BY JLP REALITY PER DOC. R92-100583, A DIST OF 71.56 FT (M), 70 FT (R) FT TO A FOUND IRON PIN BEING THE SE'LY COR OF SD JLP REALITY PPTY; THC N 43 DEG 57'20" E IN THE E'LY LN OF SD JLP REALITY PPTY A DIST OF 117.73 FT (M), 117.80 (R); THC N 46 DEG 50'10" W, A DIST OF 20 FT; THC N 43 DEG 57'20" E, A DIST OF 50 FT TO THE S'LY ROW LN OF US RTE 30 (PLAINFIELD RD); THC S 46 DEG 50'10" E IN THE SD S'LY ROW LN, A DIST OF 150 FT; THC N 44 DEG 02'00" E, A DIST OF 5 FT IN THE SD S'LY, ROW LN; THC S 45 DEG 14'37" E IN THE S'LY ROW LN OF RTE 30 (PLAINFIELD RD), A DIST OF 194.48 FT TO THE INTERSECTION WITH THE W'LY ROW LN OF RTE 23 (LARKIN AVE), SD INTERSECTION BEING 50 FT LEFT OF THE CENTERLINE STATIONING ALG PLAINFIELD RD AT STATION 207 + 64.72; THC S'LY IN THE W'LY ROW LN OF RTE 23 (LARKIN AVE) TO A PT BEING S 0 DEG 09'26" W, A DIST OF 198.62 FT TO A PT BEING 63.32 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKINAVE) AT STATION 642 + 20.00; THC S'LY IN THE SD W'LY ROW LN S 04 DEG 47'12" W, A DIST OF 371.73 FT TO A PT OF BEING 70 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 638 + 59.00; THC S'LY IN THE SD W'LY ROW LN S 0 DEG 09'26" W, A DIST OF 94 FT TO A PT BEING 70 FT LEFT TO THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 637 + 65; THC S'LY IN THE SD W'LY ROW LN S 03 DEG 25'40" W, A DIST OF 175.29 FT TO A PT BEING 80 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 635 + 90.00; THC S'LY IN THE SAID W'LY ROW LN S 0 DEG 09'57" W, A DIST OF 295.53 FT (PREVIOULSY RECORDED AS S 0 DEG 09'26" W, A DIST OF 295 FT TO A PT BEING 80 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 632 + 95.00; THC SW'LY IN THE SD W'LY ROW LN S 60 DEG 04'24" W, A DIST OF 58.02 FT (PERVIOUSLY RECORDED AS S 59 DEG 38'44" W 58.32 FT) TO A PT IN THE N'LY ROW LN OF THEODORE ST, SD PT BEING 33 LEFT MEASURED AT RIGHT ANGLES TO THE CENTERLINE OF THEODORE ST AT STATION 35 + 71.08; THC W'LY PARL TO & 33 FT DIST FROM THE CENTERLINE OF THEODORE ST IN THE N'LY ROW LN OF THEODORE ST S 89 DEG 33'26" W, A DIST OF 897.21 FT TO THE POB: (EX A PARCEL OWNED BY THE CITY OF CREST HILL PER R69-019501 DAF: THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT A PT ON THE S LN OF SD SEC. 31 AT ITS PT OF INTERSECTION WITH THE E LN OF THE CHICAGO TITLE & TRUST CO. PPTY PER

DOC. 755510; THC N'LY ALG THE SDE LN OF THE CHICAGO TITLE & TRUST CO PPTY, 863.19 FT TO A PT IN THE E'LY ROW LN OF THE E J & E RAILWAY CO, THC N 39 DEG 23'05" W 491.08 FT; THC SE'LY ALG A LN FORMING A RIGHT ANGLE TO THE LAST DESC LN 40 FT FOR A POB; THC NE'LY ALG A LN PARL TO THE E'LY ROW LN OF E J & E RAILWAY CO, 54.57 FT; THC SE'LY ALG A LN FORMING A RIGHT ANGLE TO THE LAST DESC LN, 97.31 FT TO A PT; THC SW'LY ALG A LN PARL WITH THE SD E'LY ROW LN OF SD RAILROAD CO, 54.57 FT TO A PT; THC NW'LY ALG A LN FORMING A RIGHT ANLGE TO THE LAST DESC LN, 97.31 FT TO THE POB, ALSO (EX OUT PARCEL 2: THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT THE SE COR OF THE W1/2 OF THE SE1/4 OF SD SEC. 31; THC S 89 DEG 33'26" W ALG THE S LN OF THE W1/2 OF THE SE1/4 OF SD SEC. 31, A DIST OF 122.56 FT; THC N 0 DEG 26'34" W AT RIGHT AGLES TO LAST DESC LN, A DIST OF 33 FT; THC N 59 DEG 38'44" E A DIST OF 58.32 FT TO A PT 80 FT LEFT OF STATION 632 + 95 ON THE SURVEYED CENTERLINE OF RTE 23 (LARKIN AVE); THC N 0 DEG 09'26" E, A DIST OF 295 FT ALG A LN PARL WITH AND 80 FT NORMAL DIST W'LY FROM THE SURVEYED CENTERLINE OF RTE 23 (LARKIN AVE) TO A PT 80 FT LEFT OF STATION 635 + 90; THC N 03 DEG 25'40" E, A DIST OF 175.29 FT TO A PT 70 FT LEFT OF STATION 637 + 65; THC N 0 DEG 09'26" E ALG A LN WHICH IS PARL WITH THE CENTERLINE OF SD LARKIN AVE, A DIST OF 77 FT TO THE POB, SD PT BEING ON THE W'LY ROW LN OF SD LARKIN AVE AS DEEDED TO IDOT PER R74-002851; THC CONT N 00 DEG 09'26" E, ALG SD PARL LN & SD W'LY ROW LN OF LARKIN AVE, A DIST OF 17 FT TO A PT 70 FT LEFT OF STATION 638 + 59; THC N 04 DEG 47'12" E ALG THE W'LY LN OF SD LARKIN AVE, A DIST OF 158.19 FT; THC S 88 DEG 49'10" W, A DIST OF 142.37 FT; THC S 13 DEG 30'00" W, A DIST OF 167.75 FT TO A PT OF CURVATURE; THC S'LY ALG AN ARC OF A CIR, CONVEX TO THE SW, HAVING A RADIUS OF 10 FT, THE CHORD THEREOF HAVING A BEARING OF S 38 DEG 50'30" E, & A LENGTH OF 15.83 FT, AN ARC DIST OF 18.27 FT TO A PT OF TANGENCY; THC N 88 DEG 38'48" E, A DIST OF 158.36 FT TO THE POB), & ALSO (EX OUT PARCEL 3; THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT THE SE COR OF THE SD W1/2; THC S 89 DEG 33'26" W ALG THE S LN OF SD SW1/4, ALSO BEING THE CENTERLINE OF THEODORE ST 361.72 FT; THC N 0 DEG 26'34" W, 33 FT TO THE N'LY ROW OF THEODORE ST; THC CONT N 0 DEG 26'34" W, 75.54 FT TO THE POB; THC S 89 DEG 33'26" W PARL WITH THE S LN OF SD SE1/4 137 FT; THC N 0 DEG 26'34" W 86 FT; THC N 89 DEG 33'26" E 137 FT; THC S 0 DEG 26'34' E 86 FT TO THE POB), & ALSO (EX THAT PRT TAKEN FOR RD PURPOSES (RTE 30) PER R2000-057357). REM/CONS PER PET#2005-203 NDA:

All persons in attendance at the hearing shall have an opportunity to be heard. Any person who also wishes to appear as an "interested party" with the right to cross-examine others at the hearing must complete and file an appearance with the City Clerk no later than (three business days before the date of the hearing). Appearance forms are available from the City Clerk during regular business hours.

Dated this day of August 24, 2022 Christine Vershay-Hall, City Clerk Jan Plettau, Plan Commission Chairman August 24, 2022

PLEASE PUBLISH THE ABOVE NOTICE IN THE LEGAL/PUBLIC NOTICE SECTION OF THE JOLIET HERALD NEWS ON MONDAY, AUGUST 29, 2022 AND SEND THE BILL FOR THE PUBLICATION TO:

Joliet Hillcrest Shopping Center c/o Abe Katz 3175 Commercial Avenue, Suite 100 Northbrook, IL 60062

# PLEASE CONTACT THE PERSON (S) LISTED ABOVE FOR PAYMENT OF THIS NOTICE:

e-mail to publicnotice@theheraldnews.com for publication in the Joliet Herald News