



To: Plan Commission/ZBA

From: Tony Budzikowski, AICP, Community & Economic Development Director

Date: September 14, 2022

Re: Hillcrest Shopping Center Planned Unit Development (PUD) & Special Use - Armed Services Recruiting Office and Smoothie King Drive Thru

Project Details

| | | |
|----------|-----------------------|----------|
| Project | Hillcrest Center | Shopping |
| Request | PUD & Special Use | |
| Location | NWC Theodore & Larkin | |

Site Details

| | |
|-----------------|-------------------------------|
| Building Sizes | +/- 8,000 SF and 1,460 SF |
| Existing Zoning | B-2 General Business District |

Land Use Summary

| | Land Use | Comp Plan | Zoning |
|----------------|--------------------|---------------------------------|-----------|
| Subject Parcel | Commercial | Commercial | B2 |
| North | ComEd & Commercial | Community Facilities/Commercial | NA/B3 |
| South | Commercial | Commercial | B3 Joliet |
| East | Commercial | Local Commercial | B2/B3 |
| West | ComEd | Comm Facilities | NA |

Project Summary

Mr. Abe Katz, Managing Partner of the Hillcrest Shopping Center, has submitted a request for a Planned Unit Development (PUD) and Special Use for two (2) development projects proposed at the shopping center located at the northwest corner of Theodore & Larkin Avenue. The first project is the construction of a new free-standing building of 8,000 SF for the relocation of the Armed Services recruiting offices. The second project is a 1,460 SF addition for a Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place). The drive thru window requires a special use permit review as part of the development application process.

Location

The overall 26-acre Hillcrest Shopping Center is zoned B-2 General Business District and located at the northwest corner of Theodore and Larkin Avenue. The specific PUD projects are located on-site as follows: 1) Armed Services recruiting office proposed on the south side of the property just west of the 600 building which contains ATI Physical Therapy, a bakery and the newly opened Sharks Seafood restaurant and 2) Smoothie King drive thru on the east side of the property fronting Larkin Avenue and

proposed as a new end-cap unit next to Stella's Place in the 800 building. Both projects are identified more specifically in the accompanying plans submitted by the applicant.

Background

The Hillcrest Shopping Center was originally constructed/opened in 1959. At the time, tenants in this center included Goldblatt's, Boston Store, Jewel Walgreens, Richman Bros and SS Kresge. The center also once housed a movie theater and a Service Merchandise retail store. Current anchor tenants on property include a Food 4 Less and Harbor Freight Tools.

As mentioned earlier, this PUD proposal includes two (2) projects. The first project is the construction of a new free-standing commercial building for the relocation of the Armed Services recruiting offices. The second project is a new building addition for a Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place). The drive thru window requires a special use permit review as part of the development application process. Site plan(s), building elevation(s) and civil engineering plans have been submitted for the Plan Commission's review and reference purposes.

The Hillcrest Shopping Center PUD was previously before the City Council on July 25, 2022 for a Work Session to discuss the Conceptual Plan submittal and obtain direction from the City Council. At that meeting, discussion topics included parking, site circulation and signage at the shopping center. The consensus of the City Council was positive and the petition was referred to the Plan Commission for review, public hearing and a recommendation on the project.

Other pertinent information concerning the PUD and special use proposals for Hillcrest Shopping Center include the following:

- A new free-standing commercial building of 8,000 SF for the relocation of the Armed Services recruiting offices with another 1,250 SF remaining available for a future retail use.
- The Armed Services recruiting office has been at the center since 1997. Due to the size of each recruiting office and the upgraded security requirements by the Army Corps. of Engineers, their current space does not meet the new standards. An upgrade to their facility is required or they will be required to move away from the center.
- The second project is a new commercial building addition for a 1,500 SF Smoothie King with a drive thru window on the south side of the 800 building (next to Stella's Place).
- The drive thru window requires a special use permit review as part of the development application process. The Smoothie King will only operate as a drive thru and will not have any in-store customer service available at this time. No outdoor seating will be provided either.
- The shopping center consists of 240,000 SF of retail/commercial space and has approximately 1,680 off-street parking spaces.

Staff Analysis

Off-Street Parking

As discussed earlier, there are approximately 1,680 parking spaces currently located at the shopping center. The current proposal for the new Armed Service recruiting center and Smoothie King addition will result in approximately 90 parking spaces being lost as a result of the new PUD proposals. 60 spaces will be lost with the construction of the Armed Services center and 30 spaces will be lost with the construction of the Smoothie King.

In review of the City's off-street parking requirements, General Business parking is calculated at a ratio of one parking space for every 200 SF of floor area. When calculated for the entirety of the shopping center, a total of 1,200 parking spaces are required and approximately 1,590 spaces are provided.

A few other relevant points related to on-site parking are as follows:

- Parking space and drive aisle restriping will be required as part of the necessary site improvements around each new commercial building.
- A landscape island has been provided and is located parallel to the Smoothie King drive thru lane to separate customers and other users for safer vehicle circulation in and around the site.
- Two (2) new handicapped accessible parking spaces are being provided directly adjacent to and in front of the Armed Services recruiting center.
- On-going site visits at the shopping center by staff indicate that there are currently a surplus of parking spaces in the proposed project areas at varying times throughout the day. As a result, an initial review of the parking would indicate that the loss of parking spaces will be negligible and should not adversely impact the availability of on-site parking at the shopping center.

Building Elevations

- The Armed Services recruitment center building facades will be comprised of split faced concrete block, insulated aluminum frame windows/doors and EIFS fascia and soffit.
- The building elevation for Smoothie King are also comprised of similar split faced concrete block, insulated aluminum frame windows/doors and EIFS fascia and soffit.
- All proposed building facades will need to comply with Section 8.7-2 Building Facades of the Development Standards which states: a minimum of 20% of the four (4) sided building architecture (façades) shall be comprised of masonry.

Site Improvements

Although not specifically noted in the application materials, several exterior site improvements are being constructed as part of this PUD project including the following:

- The relocation of a sanitary sewer line and water line around the building footprint of the Armed Services recruitment center.

- The relocation of a storm sewer and catch basins around the building footprint of the new Smoothie King building addition. The new storm sewer and catch basins will be under pavement and will be located in an east-west direction in the area of the proposed drive thru lane.

CONCLUSION:

Staff has reviewed the submittal from A&R Katz for the Hillcrest Shopping Center PUD and special use proposals and has determined that the information provided addresses the concerns related to off-street parking, vehicular site circulation, utilities and other site conditions. The new commercial building proposals will help retain an existing, long-standing tenant and also add a new fast casual tenant to increase customer trips and enhance the marketability of the shopping center. Additional new customers will visit the shopping center and shop at local retail stores, restaurants and other service related uses in and around the center and commercial corridor.

As such, staff has reviewed the accompanying petition and is recommending approval of the PUD and special use request. This recommendation includes the six (6) conditions provided below and is also subject to the accompanying Findings of Fact (attached and prepared by A&R Katz).

If the Commission is prepared to make a recommendation, I would ask that you make a recommendation to approve the request subject to the accompanying conditions and PUD/special use standards.

- 1. Requisite parking stalls shall be restriped for on-site parking spaces immediately around each new building/project.**
- 2. Trash/recycling receptables shall either be screened and gated in accordance with the Crest Hill Zoning Ordinance or stored inside the building.**
- 3. Building Facades shall comply with Section 8.7-2 Building Facades of the Development Standards which states: a minimum of 20% of the total four (4) sided architecture (façade) shall be comprised of masonry.**
- 4. All sign proposals shall comply with applicable sign code regulations of the Crest Hill Zoning Code.**
- 5. Building permit approvals shall be subject to final civil engineering and landscape plan approvals.**
- 6. Compliance with Plans: The development, maintenance, and operation of the Property shall be in substantial compliance with the plans and documents as submitted, except for minor changes approved by the Community & Economic Development Director.**

PC/ZBA Staff Report
September 14, 2022
Hillcrest Shopping Center PUD

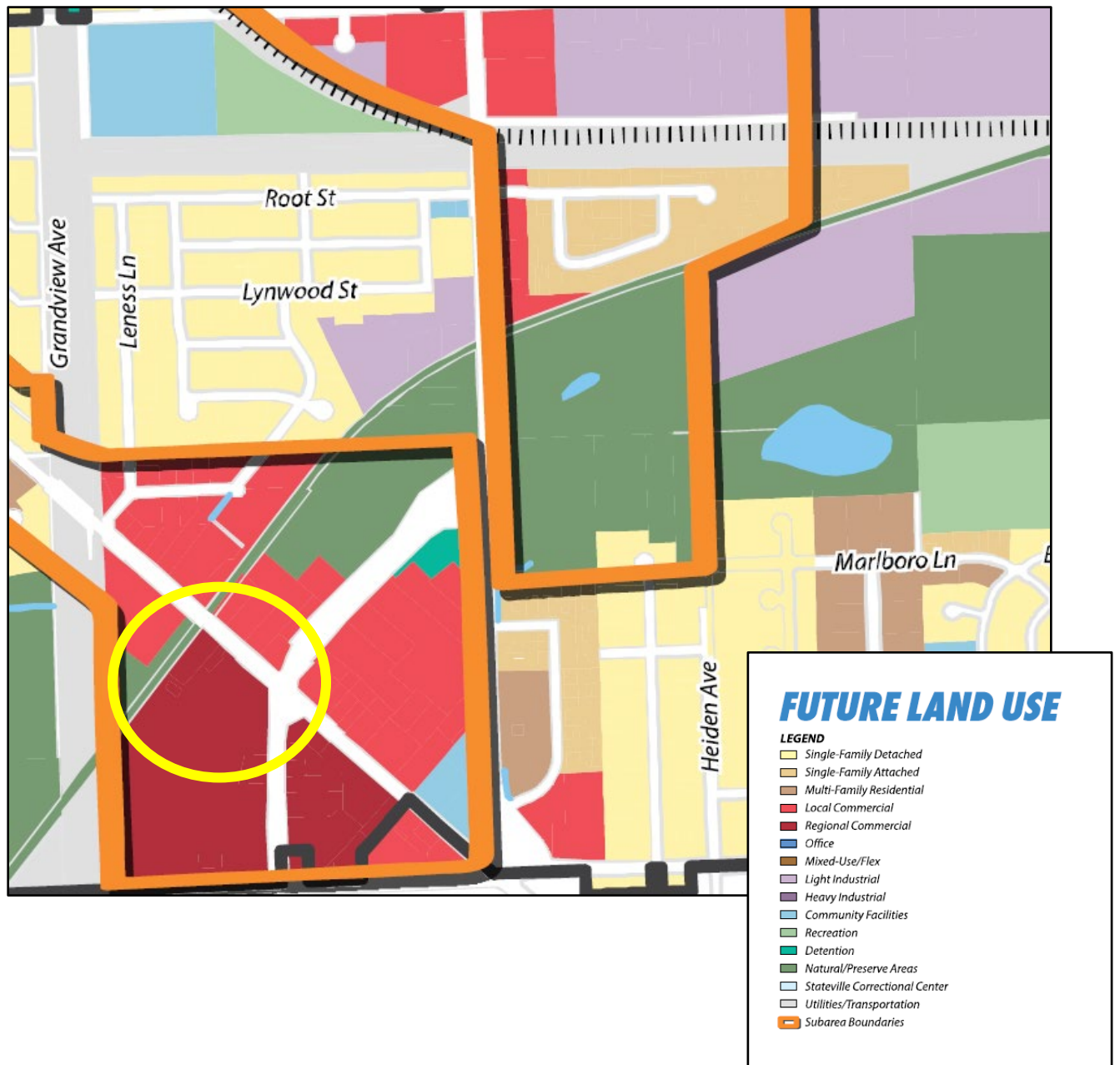
Please contact me if you have any questions. I hope that this information is helpful.

Respectfully Submitted,

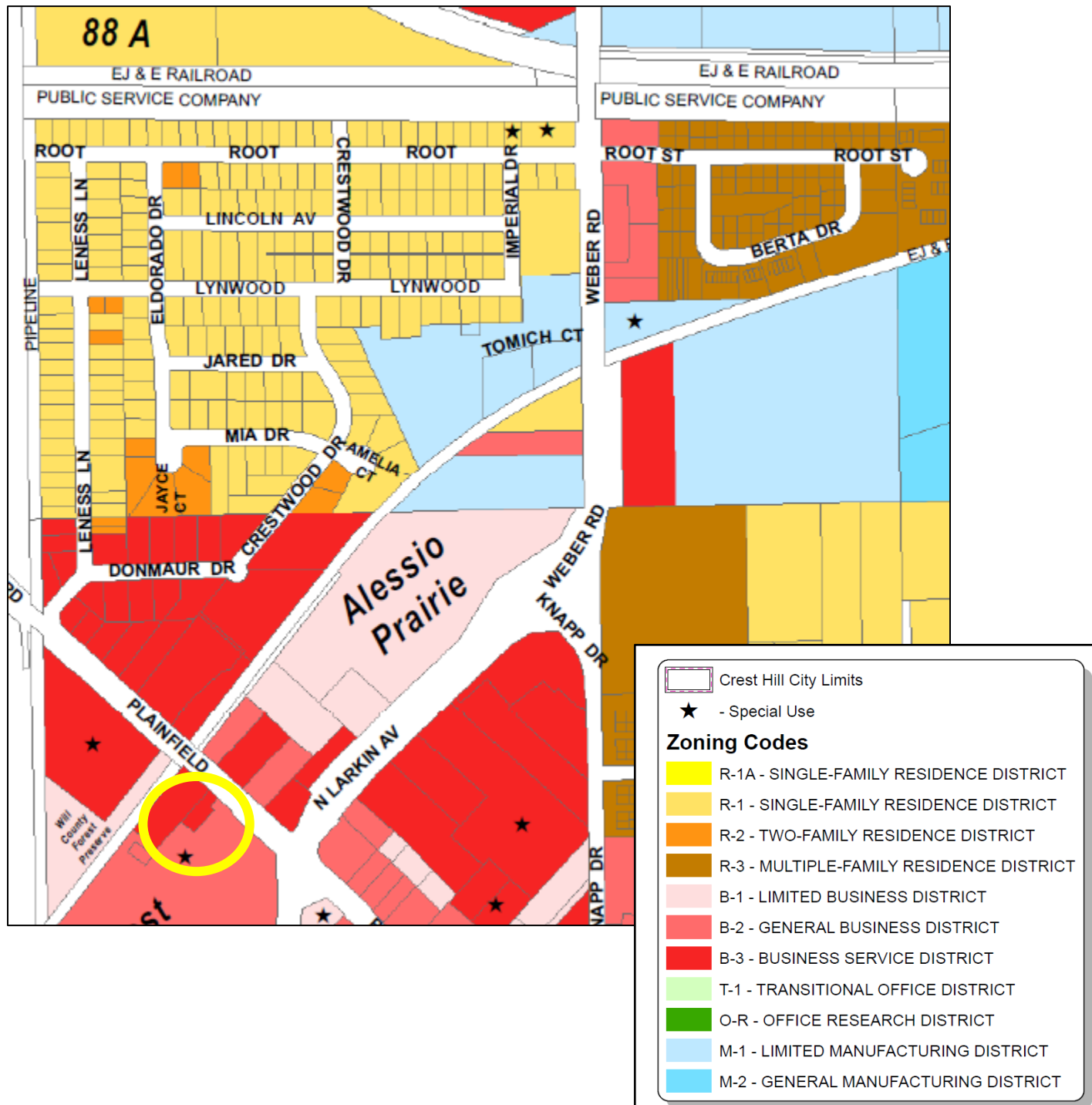
A handwritten signature in black ink, appearing to read "Tony Budzikowski".

Tony Budzikowski, AICP
Community & Economic Development Director

Encl.



ZONING MAP





3175 COMMERCIAL AVENUE, SUITE 100 / NORTHBROOK, IL 60062-1924 / PHONE (847) 205-1200 / FAX (847) 205-1212

July 12, 2022

To: Mayor Ray Soliman and City Council of Crest Hill

Re: Request for a PUD and Special Use Permit

Dear Mayor Soliman and City Council Members,

We are requesting a PUD for the purpose of building a 7980 sq. ft. free standing addition to Hillcrest Shopping Center. The majority of the building will be for the relocation of the Armed Services recruiting offices with about 1250 available for other retail use.

We will be constructing this new building on existing center property located at the south end of the center just west of our 600 building which houses ATI Physical Therapy, a bakery, and our newly opened Sharks Seafood restaurant among other tenants. The building area has been designated as a future building on our site plan attached to all our existing leases.

The Armed Services recruiting offices have been tenants of Hillcrest Shopping Center since 1997 and would like to remain in the center. However, due to the size of each recruiting office and the upgraded security requirements by the Army Corps. Of Engineers, their current space does not meet the new standards. If we cannot build the new building for their relocation, they will move out of the center.

The recruiting center provides a great service to the community and our country. They are also a draw to the center and their personnel frequent many of the stores in the center.

We are simultaneously requesting a Special Use Permit to allow a drive thru for a Smoothie King. The addition for the Smoothie King is planned as an attachment to our 800 building next to Stellas at the front of the center along Larkin Ave. Their building will be 1466 sq ft plus the drive thru. The addition of Smoothie King will add to the sales tax base and will draw additional traffic to the center.

A site plan of the center is attached to help orient you to the location of both of these projects.

We respectfully request your approval to proceed to the next phase of obtaining a PUD and Special Use Permit.

Sincerely,

A handwritten signature in black ink, appearing to read 'Abe Katz', with a long horizontal stroke extending to the right.

Abe Katz
Managing Member
Joliet Hillcrest Shopping Center, LLC

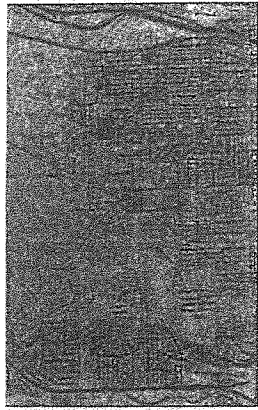


3175 COMMERCIAL AVENUE, SUITE 100 / NORTHBROOK, IL 60062-1924 / PHONE (847) 205-1200 / FAX (847) 205-1212

Findings of fact

Re: PUD and Special Use Permit for Hillcrest Shopping Center

1. The proposed plan is consistent with the stated purpose of the PUD regulation in that the design of the new building is consistent with the existing architecture of the shopping center. They will meet or exceed the environmental requirements for insulation, heating & cooling efficiency, and lighting efficiency.
2. The minimal horizontal distance between builds will meet the 30' separation distance for the new recruiters building. The Smoothie King build is being attached to an existing free standing 3 tenant building.
3. These proposed buildings do not depart from the existing zoning.
4. We have met with Maura Ritoni, the city engineer (Ron), the Director of Public Works (Mark Siefert), and the community and Economic Development Director (Tony Budzikowski) and had plans drawn to meet the requirements for vehicular traffic, landscaping, and visual enjoyment.
5. The proposed development is consistent and compatible with adjacent properties and neighborhoods.
6. The proposed development is consistent and compatible with the existing center and will maintain and enhance the appearance of the center. The addition of Smoothie King and the additional space available in the recruiters building will contribute to the sales tax base and economic well-being of the city.
7. The proposed additions of the center conform to City Objectives and increase viability of the center.

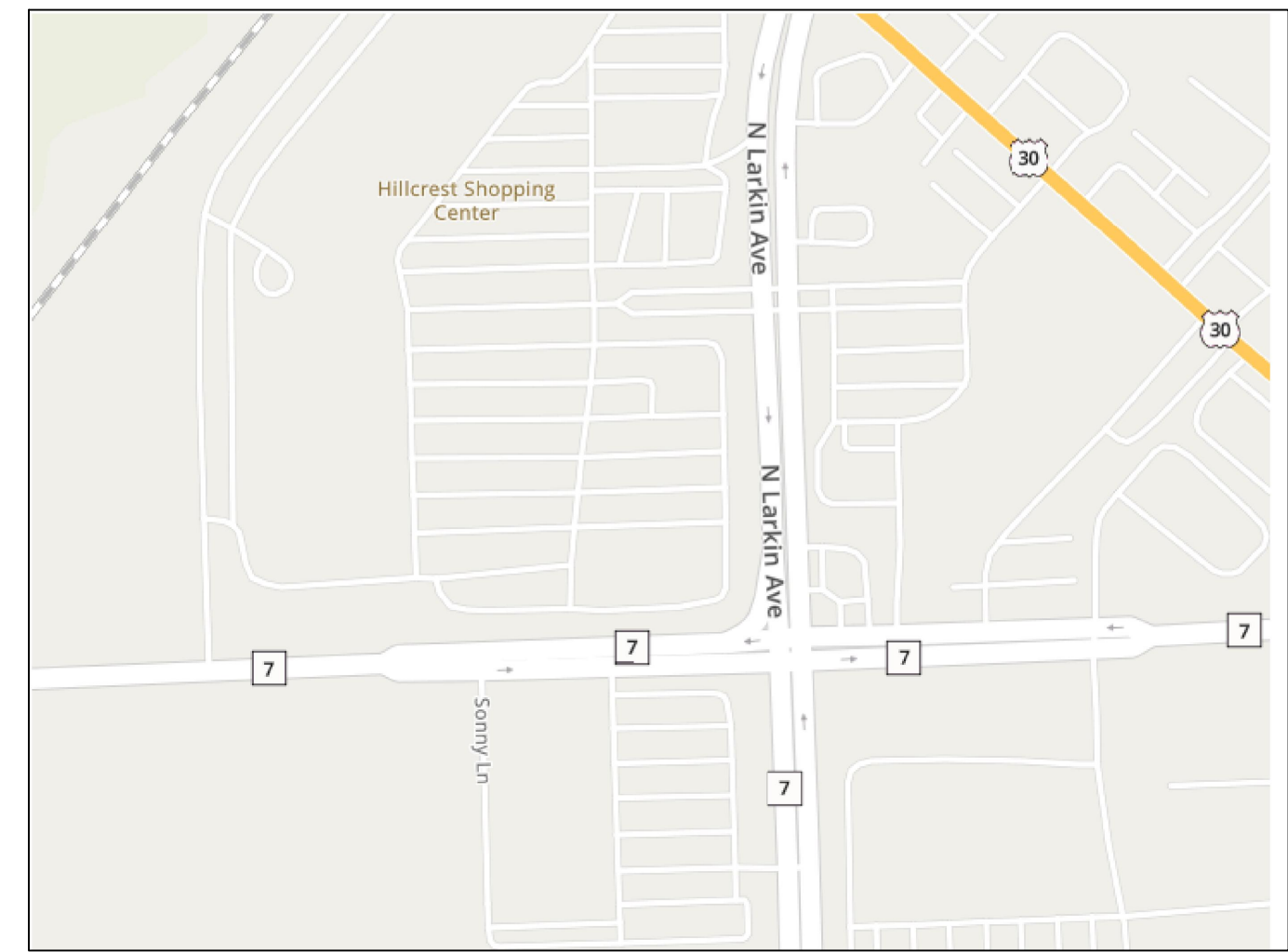
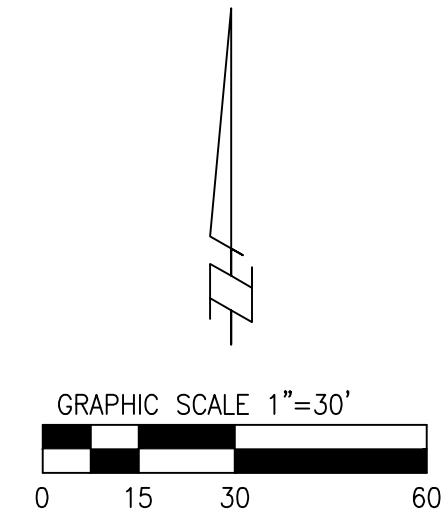
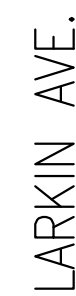


LOCATION MAP/KEY PLAN

| SITE SIGNAGE LEGEND | |
|---------------------|-------------------|
| [Symbol] | TRANSIT LIGHT |
| [Symbol] | STREET SIGN |
| [Symbol] | TENANT ENTRY SIGN |
| [Symbol] | SHOP SIGN |

| LAND & PARKING LEGEND | |
|-----------------------|---------------------------|
| NUMBER OF | 1681 SPACES |
| PARKING SPACES | 45 HANDICAP SPACES |
| TOTAL LAND AREA | 1,173,466.9 SQUARE FEET |
| TOTAL BUILT AREA | 240,368 |
| PARKING RATIO | 7.25 SPACES/1,000 SQ. FT. |

| LEASED SPACE AND SQUARE FOOT LEGEND | TENANT SPACE | TENANT SPACE DESCRIPTION | TOTAL SQ. FT. |
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LOCATION MAP

PROJECT NO. 21204
DATE: 6.23.22
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.



GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

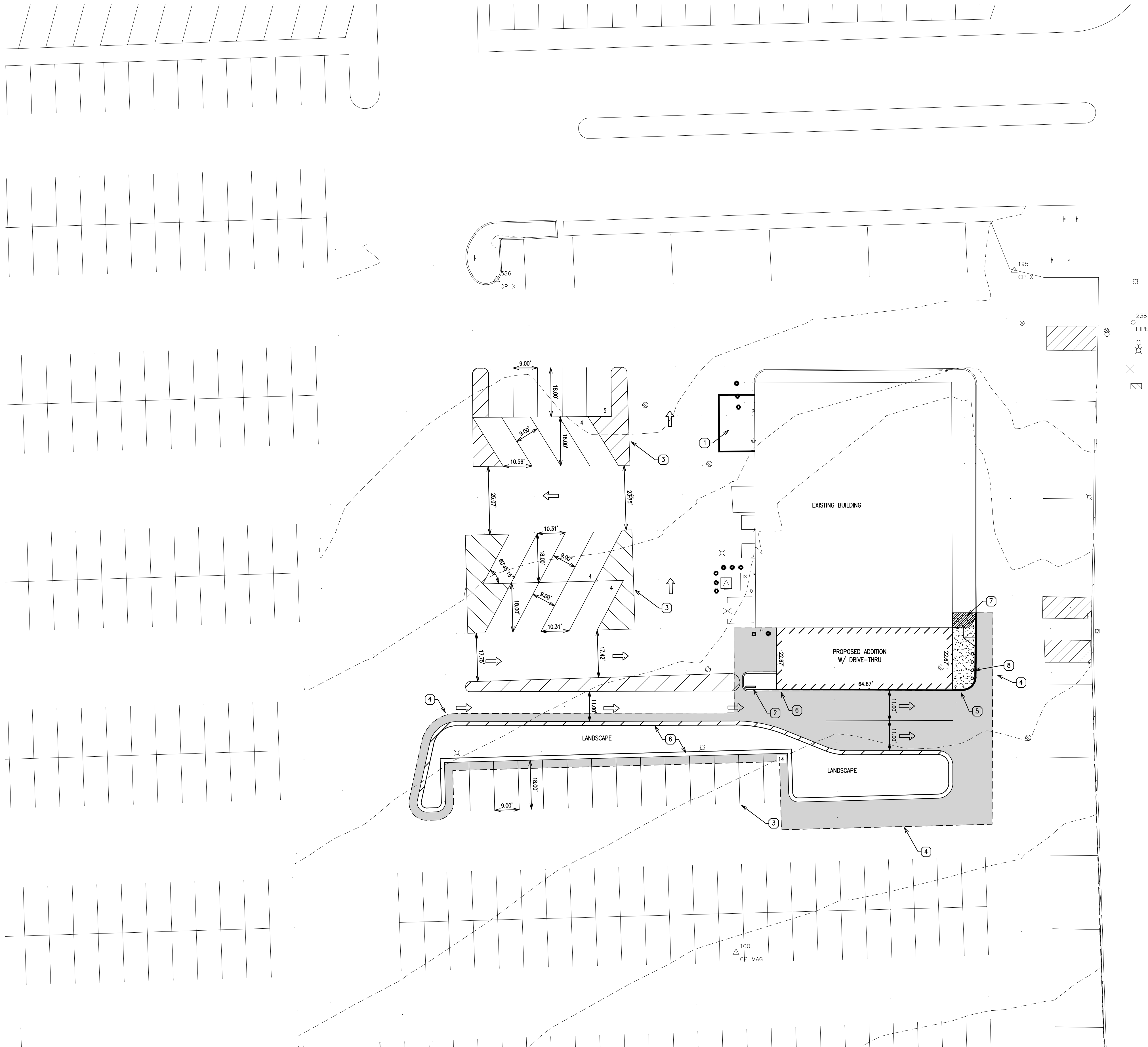
SMOOTHIE KING
HILLCREST SHOPPING CENTER - LARKIN AVE
CREST HILL, WILL COUNTY, IL

OVERALL PLAN

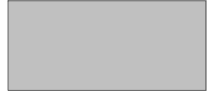
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SEAL/STAMP

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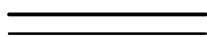
PAVEMENT LEGEND:



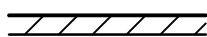
BITUMINOUS PAVEMENT (STANDARD):
1.5" HMA SURFACE, MIX D, N50
2.5" HMA BINDER, I, I19, N50
SEE NOTE 7



PCC SIDEWALK:
5" PCC, 4,000 PSI
3" AGGREGATE, CA-7



B6.12 CURB & GUTTER/BARRIER CURB
SEE CDS 4 AND 6



B6.12 CURB & GUTTER (REVERSE PITCH)



DEPRESSED BARRIER CURB
SEE CN 5

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD IDOT PAINTED YELLOW MARKINGS WITHIN A R.O.W. SHALL BE THERMOPLASTIC. DIAGONAL STRIPING SHALL BE 2-FOOT ON CENTER.
- WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, A/D.A ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE PER STANDARD IDOT DETAILS.
- CURB RAMPS FOR SIDEWALKS ADJACENT TO ACCESSIBLE STALLS SHALL BE PROVIDED AT LOCATIONS SHOWN ON PLANS, PER THE STANDARD IDOT DETAILS. CURB TRANSITIONS FROM FULL HEIGHT TO DEPRESSED, ADJACENT TO THE RAMPS, SHALL BE MINIMUM OF 6' L.F.
- ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
- EXISTING BITUMINOUS PAVEMENT TO BE REMOVED (MILLED) AND EXISTING AGGREGATE BASE ADJUSTED, AS NECESSARY, TO MEET PROPOSED PAVEMENT SUBGRADE ELEVATIONS BASED ON FINN GRADES PROVIDED ON THE GRADING PLAN. STONE SHALL BE COMPACTED PRIOR TO PLACEMENT OF PROPOSED BITUMINOUS PAVEMENT.

CONSTRUCTION NOTES:

- PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
- DRIVE-THRU SIGN.
- REMOVE EXISTING PAVEMENT STRIPING AND RE-STRIPES PER PLAN.
- LIMITS OF PAVEMENT REMOVAL FOR PROPOSED IMPROVEMENTS: PROVIDE FULL DEPTH SAWCUT ALONG ENTIRE PERIMETER OF PAVEMENT TO BE REMOVED. CONNECT TO EXISTING PAVEMENT WITH A BUTT JOINT.
- PROVIDE DEPRESSED BARRIER CURB ALONG EAST SIDE OF PROPOSED ADDITION.
- PROVIDE 6" BARRIER CURB AROUND PERIMETER OF PROPOSED BUILDING EXPANSION.
- EXISTING SIDEWALK TO BE REMOVED AND REPLACED.
- 6" BOLLARDS AT 3' SPACING, SEE DETAIL.

SEAL/STAMP

NO. DATE REVISION

SMOOTHIE KING
HILLCREST SHOPPING CENTER – LARKIN AVE
CREST HILL, WILL COUNTY, IL

GEOMETRIC PLAN

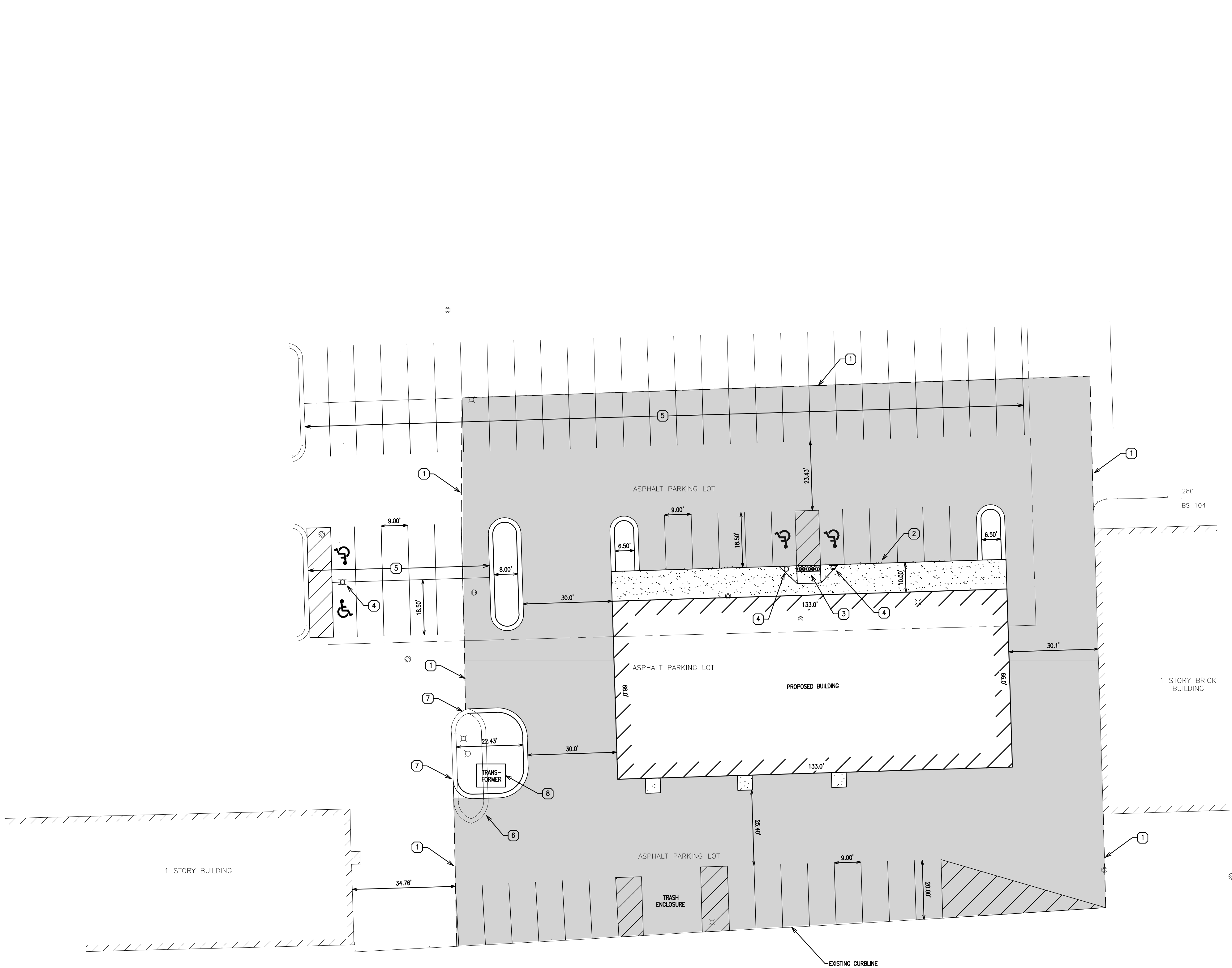
GEOTECH INC.
CONSULTING ENGINEERS – LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21204
DATE: 6.23.22
DRAWN BY: TC
CHECKED BY: CP

SHEET NO.

3

P:\Projects\G1021210\Engineering\DWG\21210 base.dwg
Pldate: 6/22/2022 10:44 AM, Layout: GEOMETRIC PLAN



PAVEMENT LEGEND:



BITUMINOUS PAVEMENT:
1.5" HMA SURFACE, MIX D, N50
2.5" HMA BINDER, IL19, N50
SEE NOTE 6

PCC SIDEWALK:
5" PCC, 4,000 PSI
3" AGGREGATE, CA7

66.12 CURB & GUTTER (REVERSE PITCH)

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING DETAILS AND DIMENSIONS. BUILDING FOOTPRINT(S) SHOWN FOR REFERENCE.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE 4-INCH WIDE STANDARD IDOT PAINTED YELLOW.
- WHERE SHOWN ON PLANS, SIDEWALKS INTERSECTING CURB SHALL BE CONSTRUCTED WITH DEPRESSED CURBS, ADA ACCESSIBLE RAMPS, AND DETECTABLE WARNING SURFACE PER STANDARD IDOT DETAILS.
- ALL CONNECTIONS TO EXISTING PAVEMENT SHALL BE PROVIDED WITH A BUTT JOINT.
- PROVIDE FULL DEPTH SAWCUT FOR ALL CURB, PAVEMENT, OR SIDEWALK TO BE REMOVED.
- EXISTING BITUMINOUS PAVEMENT TO BE REMOVED (MILLED) AND EXISTING AGGREGATE BASE ADJUSTED, AS NECESSARY, TO MEET PROPOSED PAVEMENT SUBGRADE ELEVATIONS BASED ON FINAL GRADES PROVIDED ON GRADING PLAN. STONE SHALL BE COMPACTED PRIOR TO PLACEMENT OF PROPOSED BITUMINOUS PAVEMENT.

CONSTRUCTION NOTES:

- LIMITS OF PAVEMENT REMOVAL: PROVIDE FULL DEPTH SAWCUT ALONG PERIMETER OF PAVEMENT TO BE REMOVED.
- PROVIDE COMBINATION SIDEWALK/CURB ALONG FRONTAGE OF BUILDING, SEE DETAIL.
- ADA RAMP WITH DETECTABLE WARNING PLATE, SEE DETAIL.
- BOLLARD WITH ADA SIGN, SEE DETAIL.
- EXISTING PARKING STALL MARKINGS TO BE REMOVED & REPLACED AS SHOWN.
- EXISTING CURB ISLAND TO BE REMOVED, AS NECESSARY, TO ACCOMMODATE PROPOSED CURB ISLAND.
- CONNECT TO EXISTING CURB WITH TWO DOWEL BARS. PROVIDE EXPANSION JOINT WITH PRE-MOULDED FILLER.
- PROPOSED TRANSFORMER LOCATION. COORDINATE SIZE AND PAD REQUIREMENTS WITH COMED AND ELECTRICAL PLANS.

Participating Consultants:

Project Name:

CONSTRUCTION DOCUMENTS

SMOOTHIE
KING

FOR
KATZ & KATZ
REAL ESTATE
3175 COMERCIAL AVE. SUITE 100
NORTHBROOK, IL 60062-1923

Architect's Certification:

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act [410 ILCS 28] and the Illinois Accessibility Code (71 Ill. Adm. Code 400).

Firm #: 184.001521
Expires: 04/30/2023
License: 001.021229
Expires: 11/30/2022

Signature: _____ Date: _____

The following drawings have been prepared under my direct supervision:

A5-1

Drawing Title:
EXTERIOR ELEVATIONS

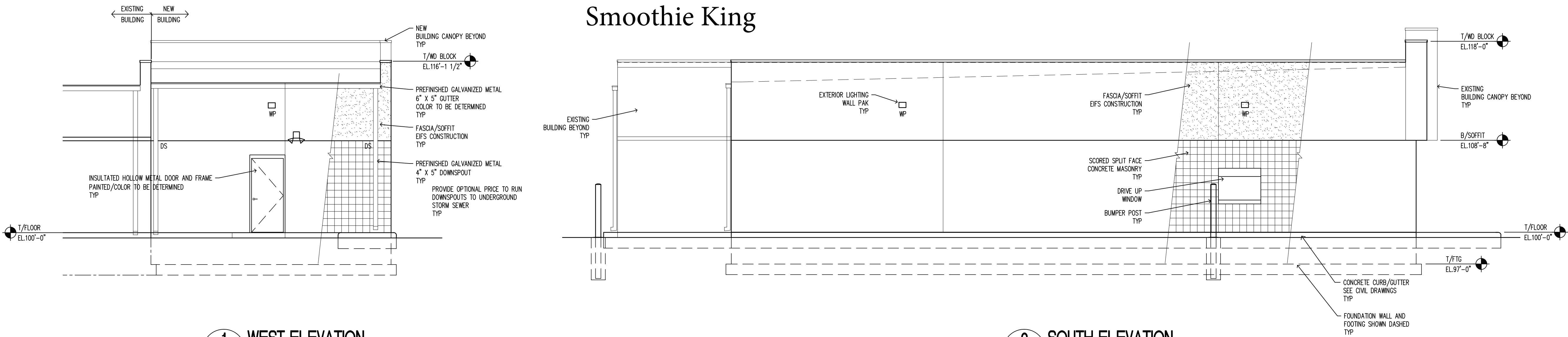
Issue/ Revision:

| No. | Date: | Description |
|-----|------------|-------------------|
| | 07/12/2022 | PUD/SUP SUBMITTAL |

Project No.: 219159-01 Date: 06/01/2022
Checked By: TCB

A5-1

Smoothie King

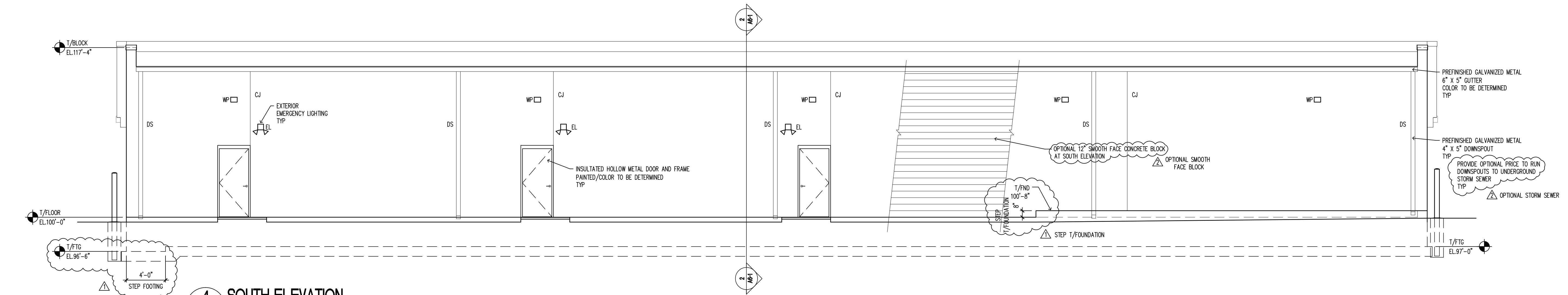
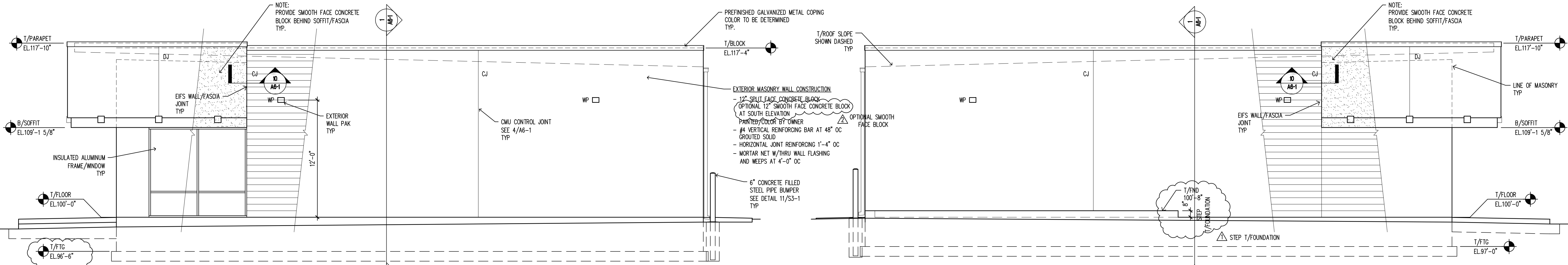
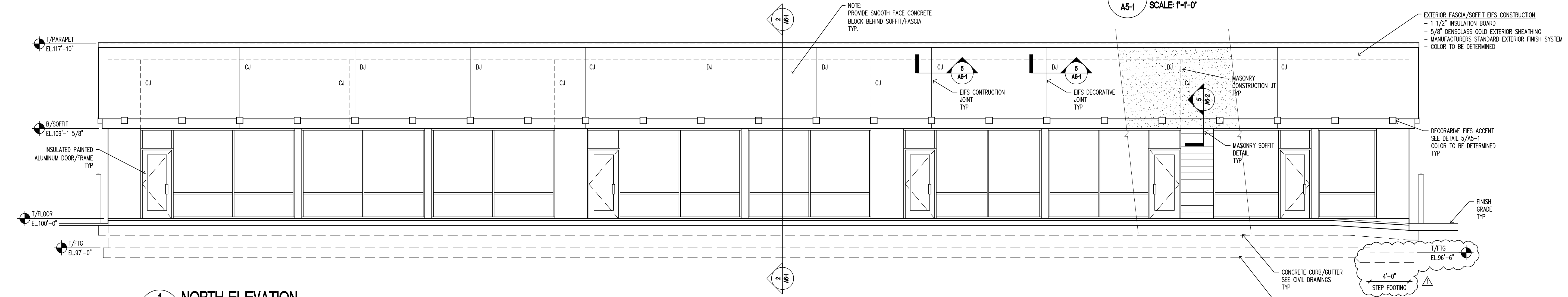
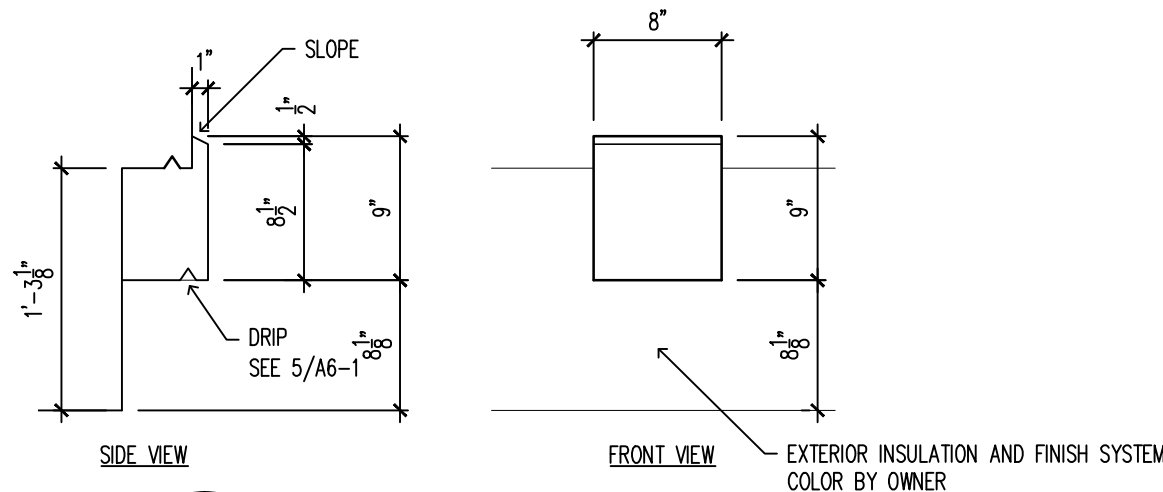


1 WEST ELEVATION
A5-1 SCALE: 3/16"=1'-0"

2 SOUTH ELEVATION
A5-1 SCALE: 3/16"=1'-0"

3 EAST ELEVATION
A5-1 SCALE: 3/16"=1'-0"

Armed Services Recruiting Center



buchar, bajt
architects, inc.

722 essington road suite d
joliet, illinois 60435
815 741-8229 FAX 815 741-8709

Participating Consultants:

K
G
Z CONSULTING ENGINEERS, LTD.
PROFESSIONAL ENGINEERING
1523 PLAINFIELD ROAD, SUITE 2
Joliet, Illinois 60435
(815) 714-2818
FAX (815) 714-2817

Project Name:

CONSTRUCTION DOCUMENTS

THE ONE THOUSAND
BUILDING

FOR
KATZ & KATZ
REAL ESTATE
3175 COMMERCIAL AVE. SUITE 100
NORTHBROOK, IL 60062-1923

Architect's Certification:

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act [410 ILCS 25] and the Illinois Accessibility Code (71 Ill. Adm. Code 400).

Firm #: 184.001521
Expires: 04/30/2023
License: 001.021229
Expires: 11/30/2022

The following drawings have been prepared under my direct supervision:

T, S0-1, S2-1, S2-2, S3-1, A2-1,
A2-2, A3-1, A5-1, A6-1, A6-2, A8-2,
A8-3

Drawing Title:
EXTERIOR ELEVATIONS

Issue/ Revision:
No. Date: Description
02/25/2022 BID SET/NOT FOR CONSTRUCTION
03/17/2022 STEP FTG/FND
03/31/2022 MASONRY/STORM SEWER
07/12/2022 PUD SUBMITTAL

Project No.: 219158-1 Date: 02/25/2022
Drawn By: JTT Checked By: TCB

A5-1

© 2022 BUCHAR, BAJT ARCHITECTS, INC.

IMPROVEMENT PLANS FOR SMOOTHIE KING - HILLCREST SHOPPING CENTER



LOCATION MAP

BENCHMARKS:
REFERENCE: COUNTY MARKER 708 - ROD IN PVC PIPE IN
INTERSECTION OF CEDARWOOD DRIVE AND CREST HILL
INTERSECTION OF CEDARWOOD STREET AND CEDARWOOD DRIVE
ELEVATION: 587.16 (NAD83) (GEOID19)
SITE: CROSS SET ON SIDEWALK IN FRONT OF EAST BUILDING ON
SITE (LA CHOCOLATE BAKERY), ELEVATION: 586.40 (NAD83) (GEOID19)

PROPERTY INFORMATION:
ADDRESS: HILLCREST SHOPPING CENTER - LARKIN AVE
MUNICIPALITY: CITY OF CREST HILL
SECTION: 31 TWP36 R10
P.LIN(5): 11-04-31-404-012

- INDEX OF SHEETS**
- 1. TITLE SHEET
 - 2. EXISTING CONDITIONS
 - 3. PROPOSED CONDITIONS
 - 4. GEOMETRIC PLAN
 - 5. GRADING PLAN
 - 6. STORMWATER POLLUTION PREVENTION PLAN
 - 7. EROSION CONTROL PLAN
 - 8. CONSTRUCTION DETAILS
 - 9. SPECIFICATIONS

CLIENT: BUCHER, BAY ARCHITECTS
722 ESSINGTON ROAD, SUITE D
JOLIET, IL 60435

WARNING



CALL BEFORE
YOU DIG

CREST HILL PUBLIC WORKS & UTILITIES
DEPARTMENTS AND BUILDING DEPARTMENT
SHALL BE NOTIFIED A MINIMUM OF 48
HOURS PRIOR TO THE START OF OR
RESUMPTION OF WORK ON THE PROJECT

| EXISTING | LEGEND | PROPOSED |
|----------|------------------------|----------|
| —>—>—>— | STORM SEWER | —>—>—>— |
| —>—>—>— | SANITARY SEWER | —>—>—>— |
| —W—W—W— | WATER MAIN | —W—W—W— |
| ⊗ | FIRE HYDRANT | ⊗ |
| ⊗ | VALVE VAULT | ⊗ |
| ⊗ | VALVE BOX | ⊗ |
| ⊗ | STORM SEWER MANHOLE | ⊗ |
| ⊗ | CATCH BASIN | ⊗ |
| ⊗ | INLET | ⊗ |
| ⊗ | FLARED END SECTION | ⊗ |
| ⊗ | SANITARY SEWER MANHOLE | ⊗ |
| ⊗ | STREET LIGHT | ⊗ |

DRAINAGE & ENGINEER CERTIFICATE

I, THOMAS CARROLL, P.E., LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH THE ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

FURTHERMORE, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF. THE DRAINAGE OF SURFACE WATERS WILL BE MAINTAINED AS SHOWN ON THESE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THE ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

DATED THIS 3RD DAY OF AUGUST, 2022

Thomas Carroll
THOMAS CARROLL, P.E.
ILLINOIS P.E. #692-052793
1000 N. WILSON AVENUE, SUITE 203
GEOTECH INCORPORATED PROFESSIONAL
DESIGN FIRM NUMBER 184-000165



GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE
CREST HILL, ILLINOIS 60403 815/730-1010

PROJECT NO. 21204
DATE: 8/3/22
DESIGNED BY: JCP
CHECKED BY: JCP

SHEET NO.

1

SMOOTHIE KING
HILLCREST SHOPPING CENTER - LARKIN AVE
CREST HILL, WILL COUNTY, IL

TITLE SHEET

NO. 1
DATE 8/3/22
REVISION ISSUED FOR PERMIT

SCALE/STAMP

2

SHEET NO.

PROJECT NO. 21204
DATE: 6.23.22
DRAWN BY: JH
CHECKED BY: CP

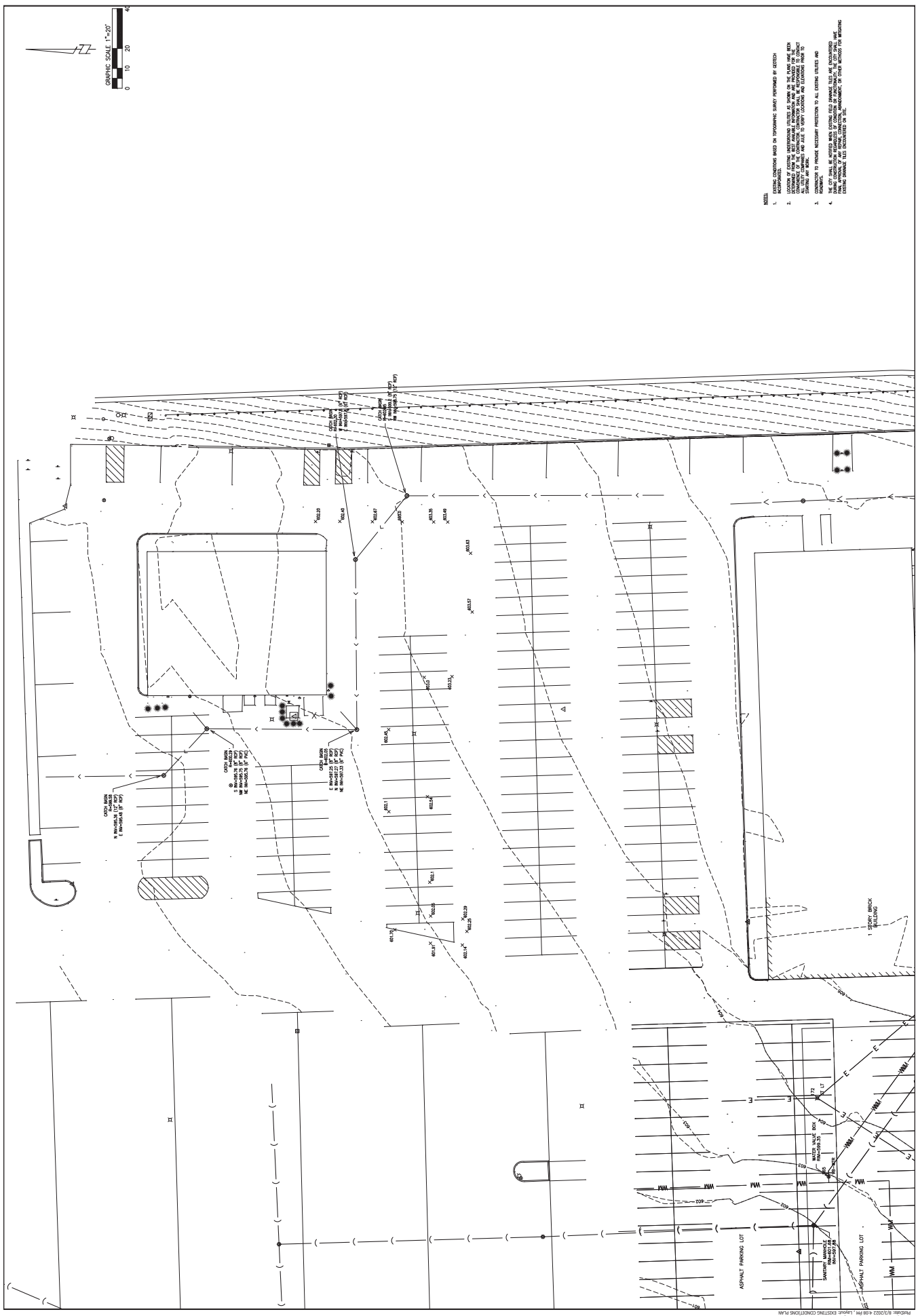
GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

SMOOTHIE KING
HILLCREST SHOPPING CENTER - LARKIN AVE
CREST HILL, WILL COUNTY, IL
EXISTING CONDITIONS PLAN

| NO. | DATE | REVISION |
|-----|---------|-------------------|
| 1 | 6.23.22 | ISSUED FOR PERMIT |

SEAL/STAMP

- NOTES:
1. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY PERFORMED BY GEOTECH INC. UNLESS OTHERWISE NOTED.
 2. LOCATIONS OF EXISTING UTILITIES SHOWN AS THEY APPEAR ON THE SURFACE. THE LOCATION OF EXISTING UTILITIES BELOW THE SURFACE IS NOT KNOWN AND IS NOT SHOWN. ALL UTILITIES SHOWN ARE BASED ON THE SURFACE LOCATION AND DEPTH. THE LOCATION OF EXISTING UTILITIES BELOW THE SURFACE IS NOT KNOWN AND IS NOT SHOWN. ALL UTILITIES SHOWN ARE BASED ON THE SURFACE LOCATION AND DEPTH.
 3. CONSTRUCTION OF PROPOSED NECESSARY UTILITIES TO ALL EXISTING UTILITIES AND EXISTING UTILITIES TO BE REMOVED OR RELOCATED.
 4. THE LOCATION OF EXISTING UTILITIES IS NOT KNOWN AND IS NOT SHOWN. THE LOCATION OF EXISTING UTILITIES IS NOT KNOWN AND IS NOT SHOWN. THE LOCATION OF EXISTING UTILITIES IS NOT KNOWN AND IS NOT SHOWN.



PROJECT NO. 21204
DATE: 6.23.22
DRAWN BY: J. J. J.
CHECKED BY: J. J. J.

1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010
GEOTECH INC. CONSULTING ENGINEERS - LAND SURVEYORS

SMOOTHIE KING
HILLCREST SHOPPING CENTER - LARKIN AVE
CREST HILL, WILL COUNTY, IL
GEOMETRIC PLAN

| NO. | DATE | REVISION |
|-----|---------|-------------------|
| 1 | 6.23.22 | ISSUED FOR PERMIT |
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SEAL/STAMP

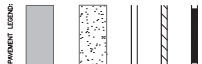
BRANDS/PARTS/STANDARD:
1" = 10' HORIZONTAL SCALE
1" = 10' VERTICAL SCALE
SEE NOTE 7

PRO. SYMBOL:
1" = 10' HORIZONTAL SCALE
1" = 10' VERTICAL SCALE
SEE NOTE 7

WALL TYPE: 6" CONCRETE
SEE NOTE 4

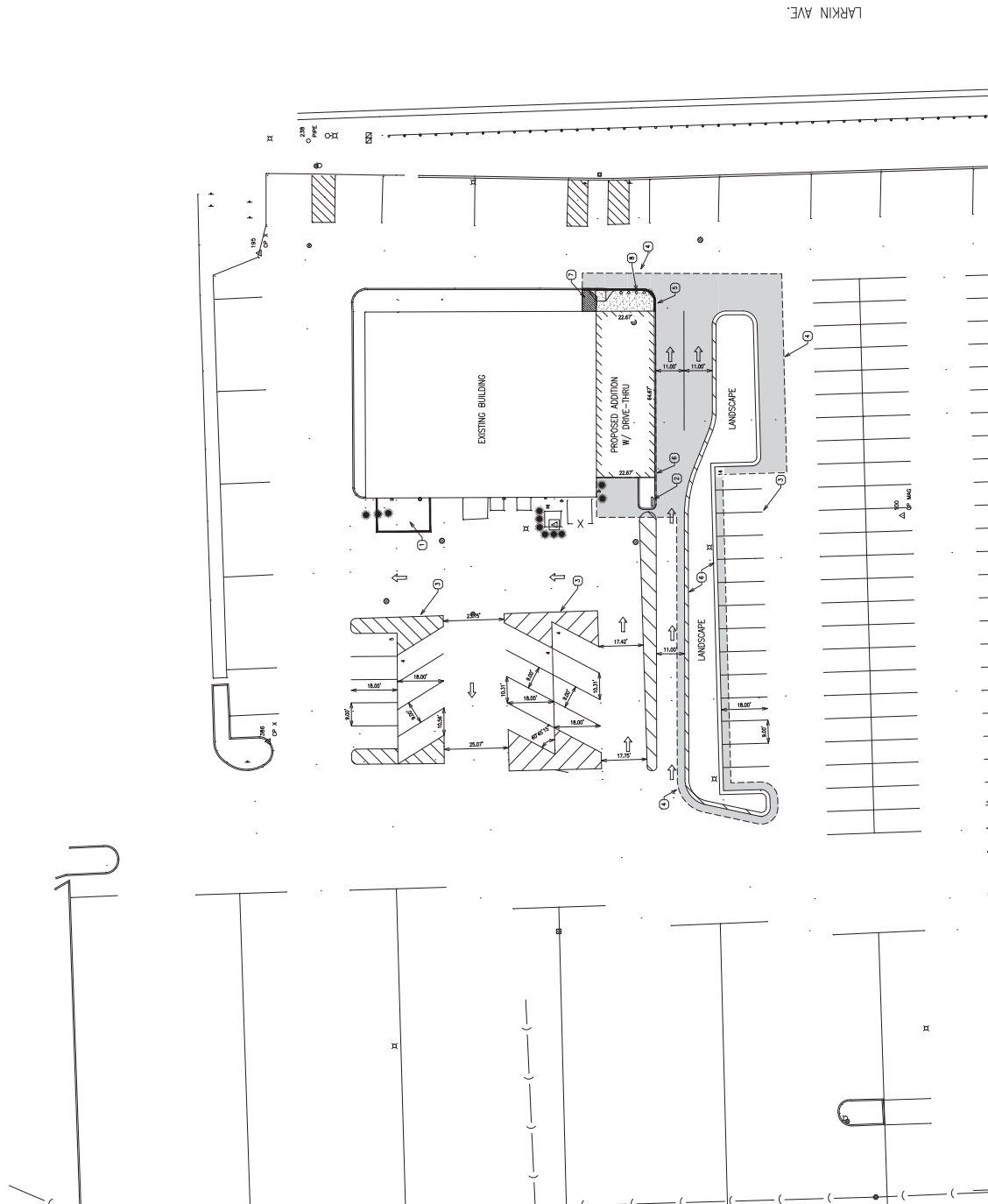
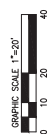
WALL TYPE: 6" CONCRETE
SEE NOTE 4

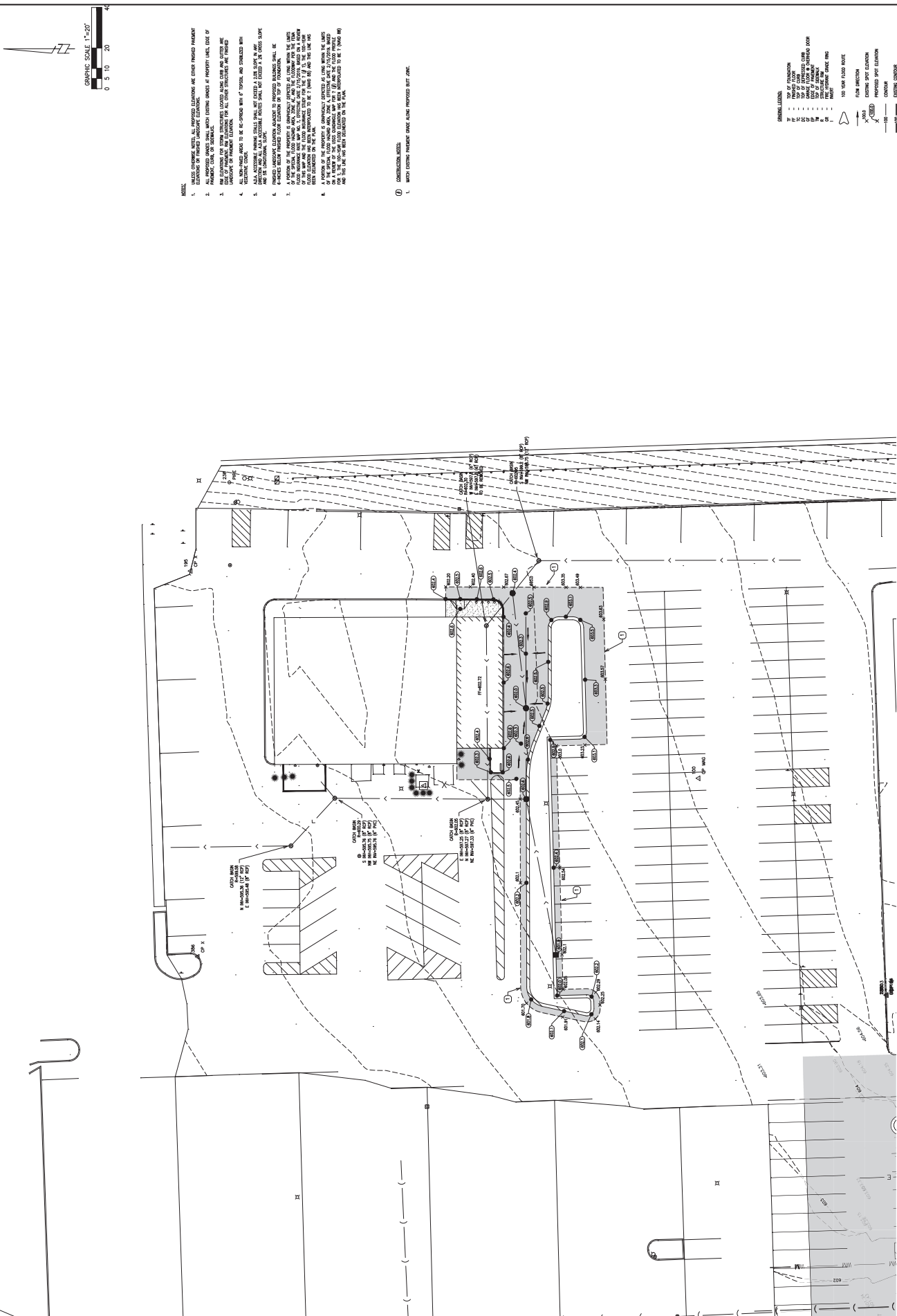
DEPRESSED DRIVEWAY CURB
SEE NOTE 5



1. PROPOSED DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
2. DRIVE-THRU: SEE DETAIL.
3. REMOVE EXISTING DRIVEWAY AND RE-CURVE PER PLAN.
4. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
5. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
6. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
7. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
8. 6" WALLS: SEE DETAIL.

1. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
2. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
3. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
4. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
5. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
6. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
7. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.
8. EXISTING DRIVEWAY: SEE ARCHITECTURAL PLAN FOR DETAIL.





SHEET NO. 7

PROJECT NO. 21204
DATE: 6.23.22
DRAWN BY: JH
CHECKED BY: CP

GEOTECH INC.
CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

**SMOOTHIE KING
HILLCREST SHOPPING CENTER - LARKIN AVE
CREST HILL, WILL COUNTY, IL**
EROSION CONTROL PLAN

| NO. | DATE | REVISION |
|-----|---------|-------------------|
| 1 | 6.23.22 | ISSUED FOR PERMIT |

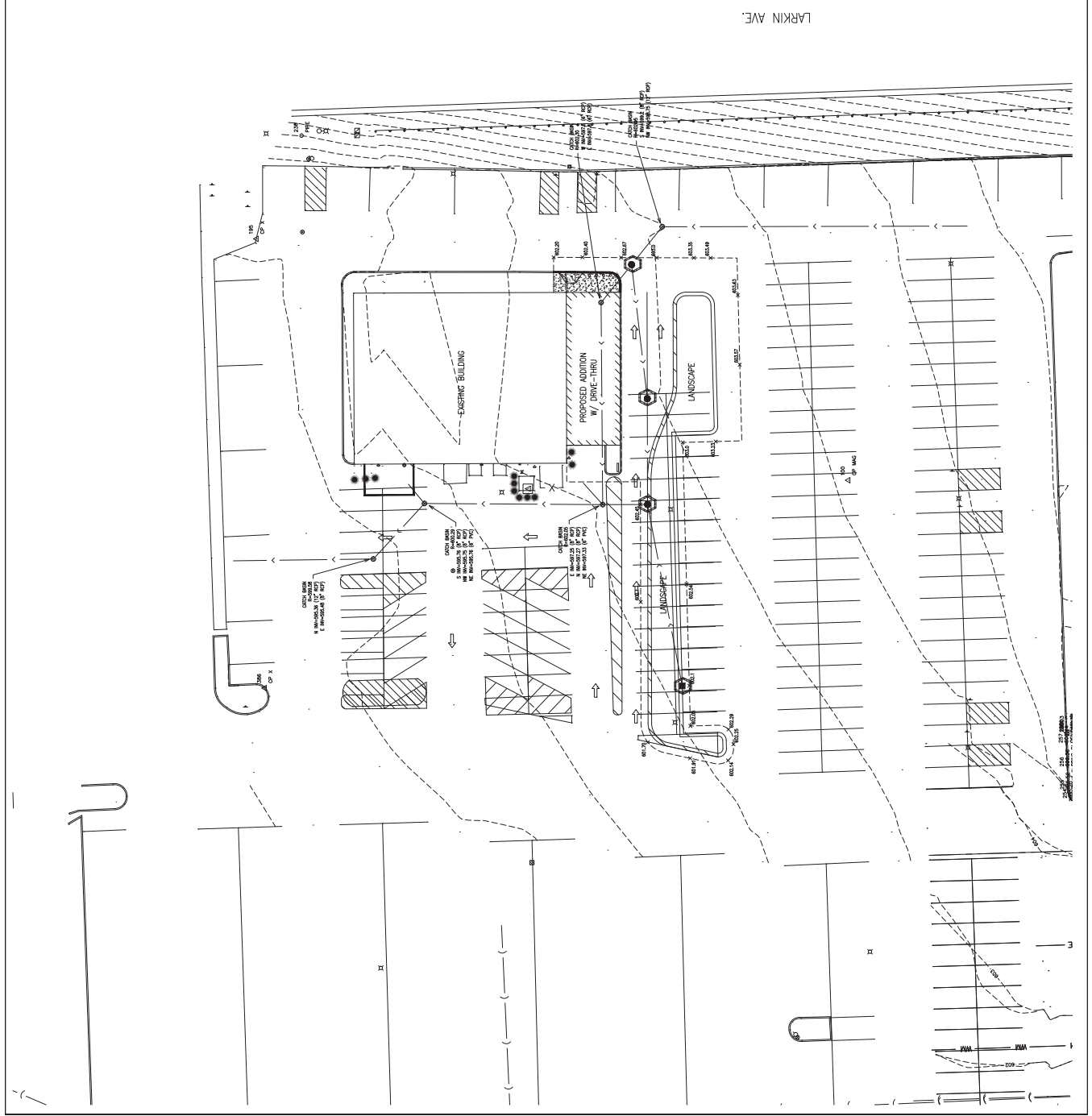
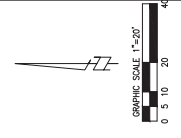
SEAL/STAMP

DESIGN CERTIFICATE
THIS EROSION CONTROL PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS. I HEREBY CERTIFY THAT THE INFORMATION AND DATA SUBMITTED TO ME WERE TRUE AND CORRECTLY RECORDED HEREIN IN USE IN THE AREA.

J. H. [Signature]
J. H. [Signature]
JULY 11, 2022
JULY 11, 2022

- NOTES:
1. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
 2. CONSTRUCTION SHALL MAINTAIN PROPER SLOPE DURING CONSTRUCTION.
 3. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.
 4. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.
 5. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.
 6. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.
 7. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.
 8. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF A RAINFALL RATE OF 0.5 INCHES PER HOUR OR GREATER.

- LEGEND
- INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - SILT FENCING
 - CLAY/SLT INLET PROTECTION - SILT FENCE
 - PIPE OUTLET TO PLAY AREA
 - ROCK CHECK DAM - SWAMP
 - DITCH CHECK - COM LOG



IMPROVEMENT PLANS FOR THE ONE THOUSAND BUILDING AT HILLCREST SHOPPING CENTER

BENCHMARKS:
REFERENCE: COUNTY MARKER 708 - ROD IN - PVC PIPE IN
INTERSECTION OF THE STREET CORNER OF THE
INTERSECTION OF HILLCREST SHOPPING CENTER AND CEDARWOOD DRIVE
ELEVATION=587.16 NAD 88 (GEOID18)
SITE: CROSS SET ON SIDEWALK IN FRONT OF EAST BUILDING ON
SITE (LA CHONITA BAKERY). ELEVATION=606.40 NAD 88

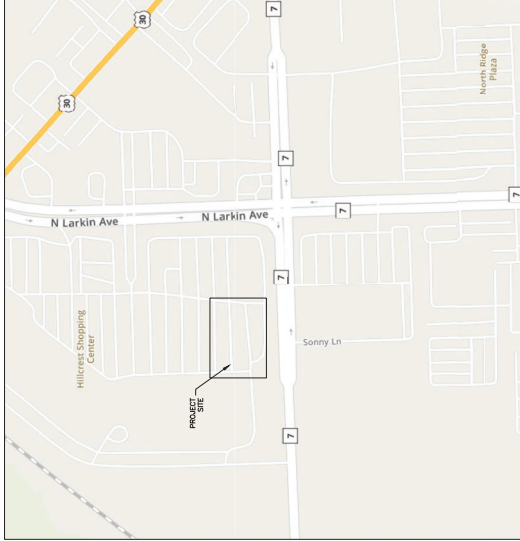
PROPERTY INFORMATION:
ADDRESS: SW CORNER LARKIN AVENUE & THEODORE STREET
MUNICIPALITY: CITY OF CREST HILL
SECTION: SEC. 31 T36N R10E
P.LIN(5): 04-31-404-012 & 04-31-404-014

WARNING



CALL BEFORE
YOU DIG

CREST HILL PUBLIC WORKS & UTILITIES
DEPARTMENTS AND BUILDING DEPARTMENT
SHALL BE NOTIFIED A MINIMUM OF 48
HOURS PRIOR TO THE START OF OR
RESUMPTION OF WORK ON THE PROJECT



LOCATION MAP

- INDEX OF SHEETS**
- 1. TITLE SHEET
 - 2. EXISTING CONDITIONS
 - 3. EXISTING UTILITIES
 - 4. GRADING PLAN
 - 5. STORMWATER POLLUTION PREVENTION PLAN
 - 6. STORMWATER CONTROL PLAN
 - 7. EROSION CONTROL PLAN
 - 8. EROSION CONTROL DETAILS
 - 9. SPECIFICATIONS

CLIENT: BUSHAW EAST ARCHITECTS
BUSHAW EAST
722 ESSINGTON ROAD, SUITE D
JOLIET, IL 60438

DRAINAGE & ENGINEER CERTIFICATE

I, THOMAS CARROLL, P.E., a duly licensed PROFESSIONAL ENGINEER, OWNER OF ILLINOIS, HEREBY AFFIRM THAT THESE DOCUMENTS HAVE BEEN PREPARED BY OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH THE ENGINEERING STANDARDS AND PRACTICES AND COMPLY WITH APPLICABLE LAWS, CODES AND ORDINANCES.

FURTHERMORE, TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE IMPROVEMENTS OR ANY PART THEREOF. THE DRAINAGE OF SURFACE WATERS WILL BE MAINTAINED AS EXISTING OR IMPROVED TO THE PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE DEVELOPER HAS THE RIGHT TO USE AND THE ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

DATED THIS 3rd DAY OF AUGUST, 2022

Thomas Carroll

THOMAS CARROLL, P.E.
ILLINOIS P.E. #492-052793
1000 N. LARKIN AVE., SUITE 203
GEOTECH INCORPORATED PROFESSIONAL
DESIGN FIRM NUMBER 184-000165



**GEOTECH INC.**
CONSULTING ENGINEERS - LAND SURVEYORS

1207 CEDARWOOD DRIVE
CREST HILL, ILLINOIS 60403 815/730-1010

THE ONE THOUSAND BUILDING AT
HILLCREST SHOPPING CENTER
1701 N. LARKIN AVE
CREST HILL, IL

TITLE SHEET

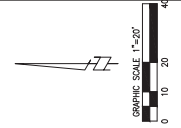
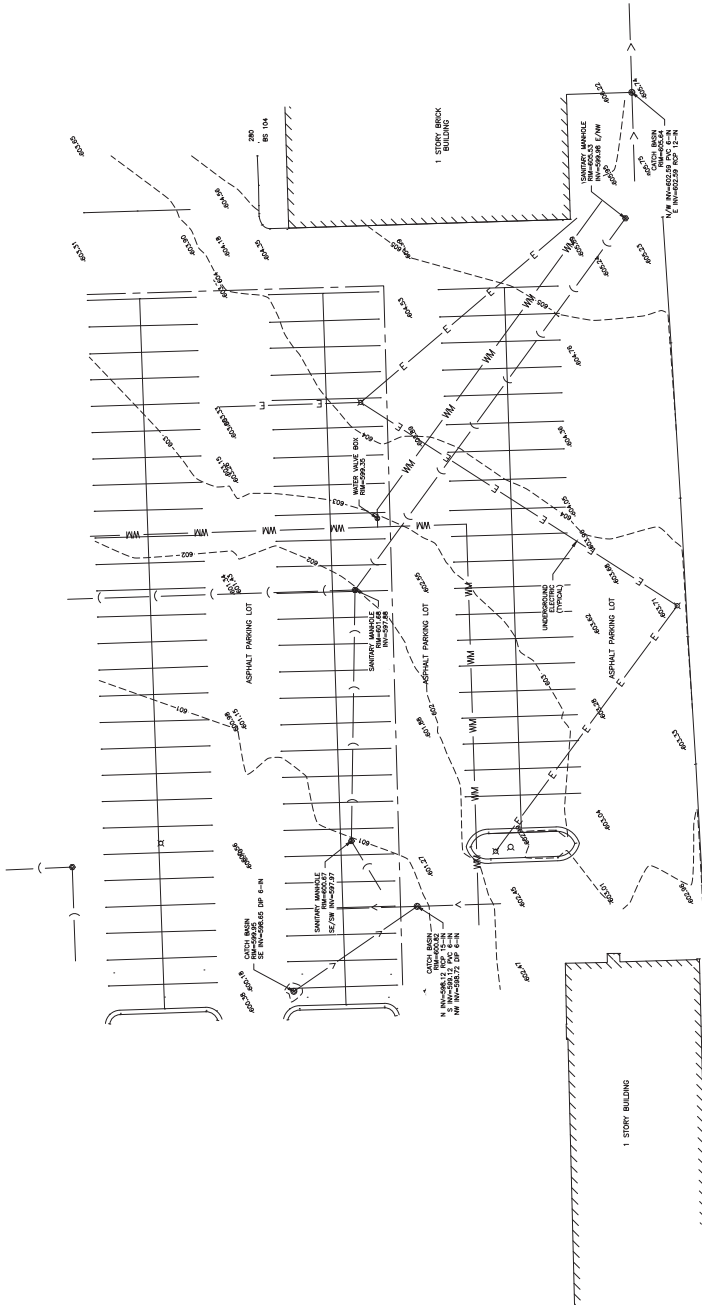
SHEET NO.
1

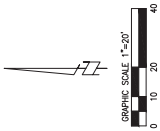
PROJECT NO. 212.0
DATE: 8/3/2022
DRAWN BY: JCP
CHECKED BY: CP

| NO. | DATE | REVISION |
|-----|----------|---------------------|
| 1 | 08.03.22 | REV. BLDG. LOCATION |
| 2 | 03.11.22 | PERMIT ISSUE |

SCALE/STAMP

- NOTES:
- EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY PERFORMED BY GUSTON SURVEYING, INC. IN 2018.
 - EXISTING CONDITIONS BASED ON AERIAL PHOTOGRAPHY AND FIELD SURVEY OF THE SITE. THE CITY OF CREST HILL HAS REVIEWED THIS PLAN AND HAS NO OBJECTION TO THE CITY OF CREST HILL'S REVIEW OF THE PLAN. THE CITY OF CREST HILL'S REVIEW OF THE PLAN IS LIMITED TO THE CITY OF CREST HILL'S REVIEW OF THE PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE CITY OF CREST HILL'S REVIEW OF THE PLAN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CREST HILL AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY PROTECTION TO ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.
 - THE CITY OF CREST HILL SHALL BE NOTIFIED WHEN EXISTING UTILITIES ARE LOCATED AND SHALL BE NOTIFIED WHEN ANY CHANGES TO THE EXISTING UTILITIES ARE REQUIRED OR ARE.





- [illegible]

[illegible]

SEAL/STAMP

THE ONE THOUSAND BUILDING AT
HILLCREST SHOPPING CENTER
1701 N. LARKIN AVE
CREST HILL, IL

GEOTECH INC. CONSULTING ENGINEERS - LAND SURVEYORS
1207 CEDARWOOD DRIVE CREST HILL, ILLINOIS 60403 815/730-1010

| | |
|-------------|---------|
| PROJECT NO. | 21210 |
| DATE: | 3.22.22 |
| DRAWN BY: | TC |
| CHECKED BY: | CP |

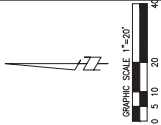
SHEET NO.



THE ONE THOUSAND BUILDING AT
HILLCREST SHOPPING CENTER
1701 N. LARKIN AVE
CREST HILL, IL
GRADING PLAN

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SEAL/STAMP

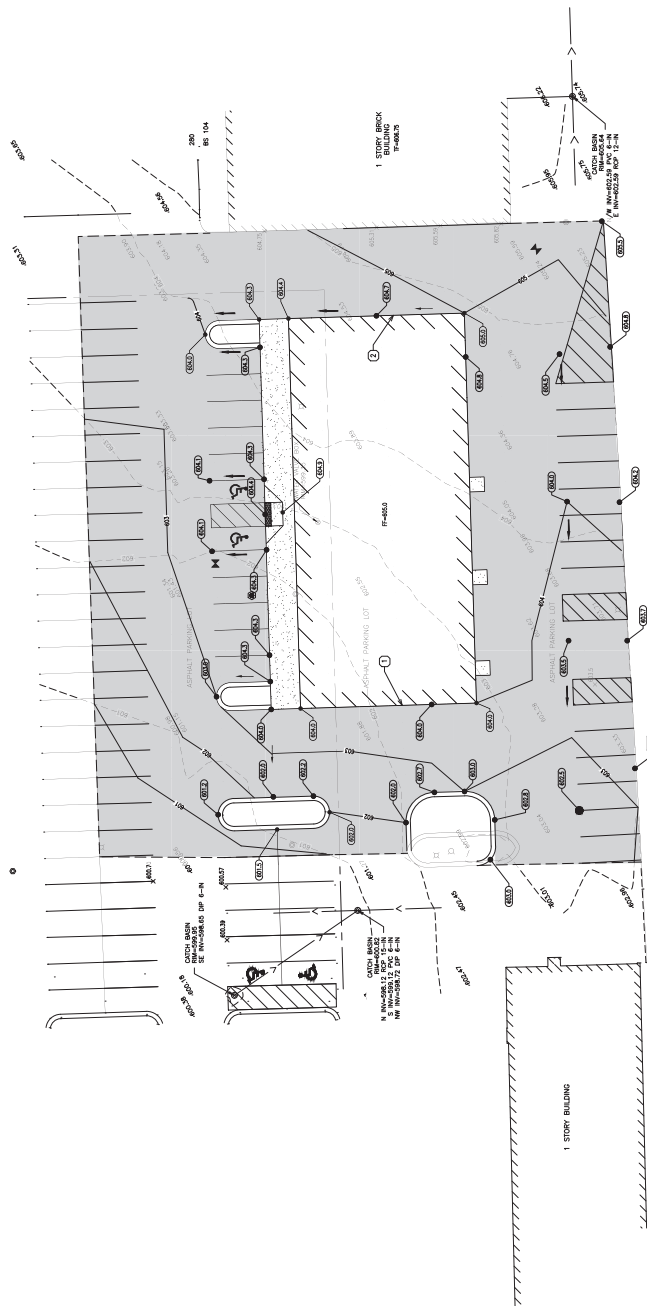


READING NOTES:

- [illegible]

CONSTRUCTION NOTES:

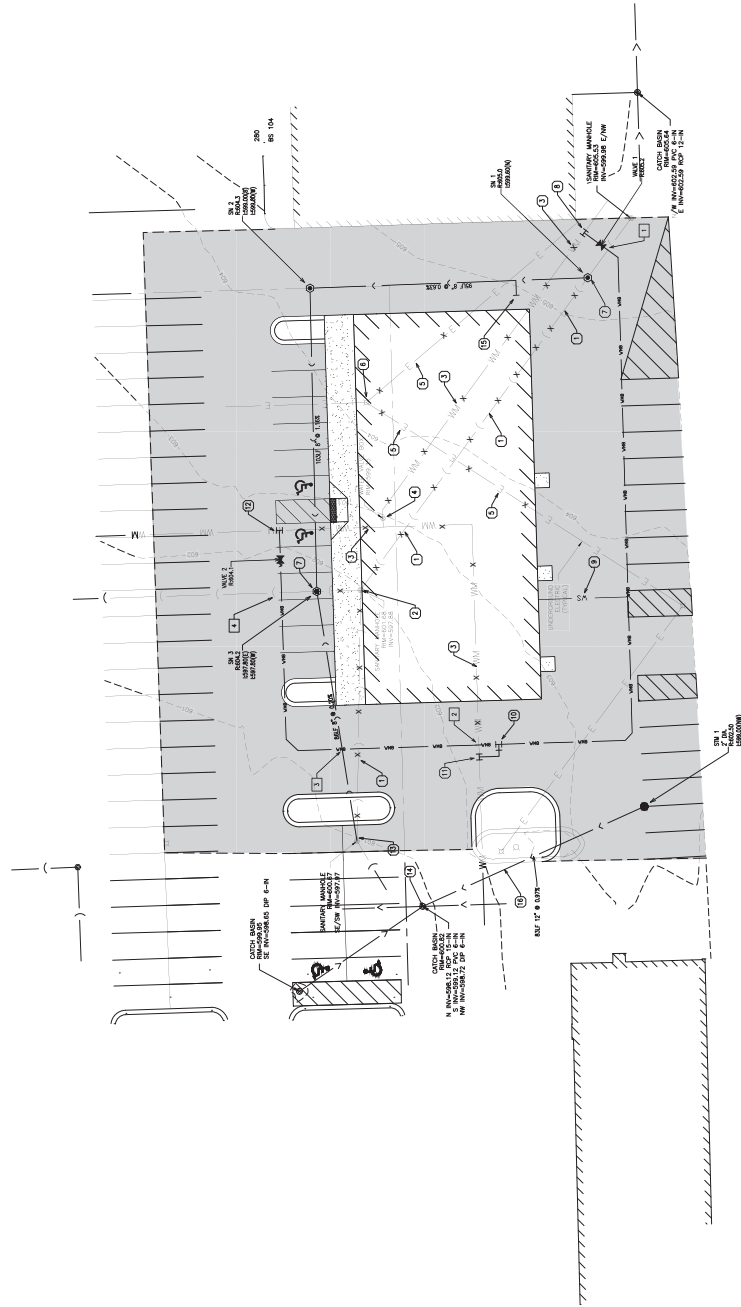
1. EXPOSED FOUNDATION WALL (WEST SIDE), FINISHABLE HEIGHT. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. FOUNDATION WALL (EAST SIDE) TO BE FINISHED A MINIMUM 6-INCHES ABOVE PROPOSED FINISHMENT FLOORLINE. SEE ARCHITECTURAL PLAN FOR DETAILS.



GRADING LEGEND:

| | |
|----|----------------------|
| TC | TOP OF CURB |
| DC | TOP OF DERESSED CURB |
| EP | EDGE OF PAVEMENT |
| TW | TOP OF SIDEWALK |
| R | STRUCTURE RIM |
| GR | FINE GRADE |
| | FINISH GRADE |

100 YEAR FLOOD ROUTE
FLOW DIRECTION
SPOT ELEVATION
CONTOUR



FRAME AND GRADE/AID LEGEND:
CONTRACTOR SHALL VERIFY MANUFACTURER & MODEL NUMBERS WITH PERMITTING
AGENCY. EQUIVALENT CASTINGS MAY BE SUBSTITUTED FOR EXISTING MODELS WITH
APPROVAL OF THE PERMITTING AGENCY. ALL LIDS SHALL BE EMPLOYED WITH
"FRONT" OR "BACK" AS INDICATED AND THE NAME OF THE

STRUCTURE

1. I/AN=594.8 (NORTH IN FIELD)
LOWER 7' NW TO ELEV. 594.3
CASE NW TO 10' EITHER SIDE OF CROSSING

2. INSTALL PROPOSED 18" UNDER EXISTING
NW VORBY EXISTING NW ELEVATION IN FIELD.

3. I/AN=597.9
LOWER 7' NW TO ELEV. 594.4
CASE NW TO 10' EITHER SIDE OF CROSSING

4. I/AN=597.8
LOWER 7' NW TO ELEV. 594.3
CASE NW TO 10' EITHER SIDE OF CROSSING

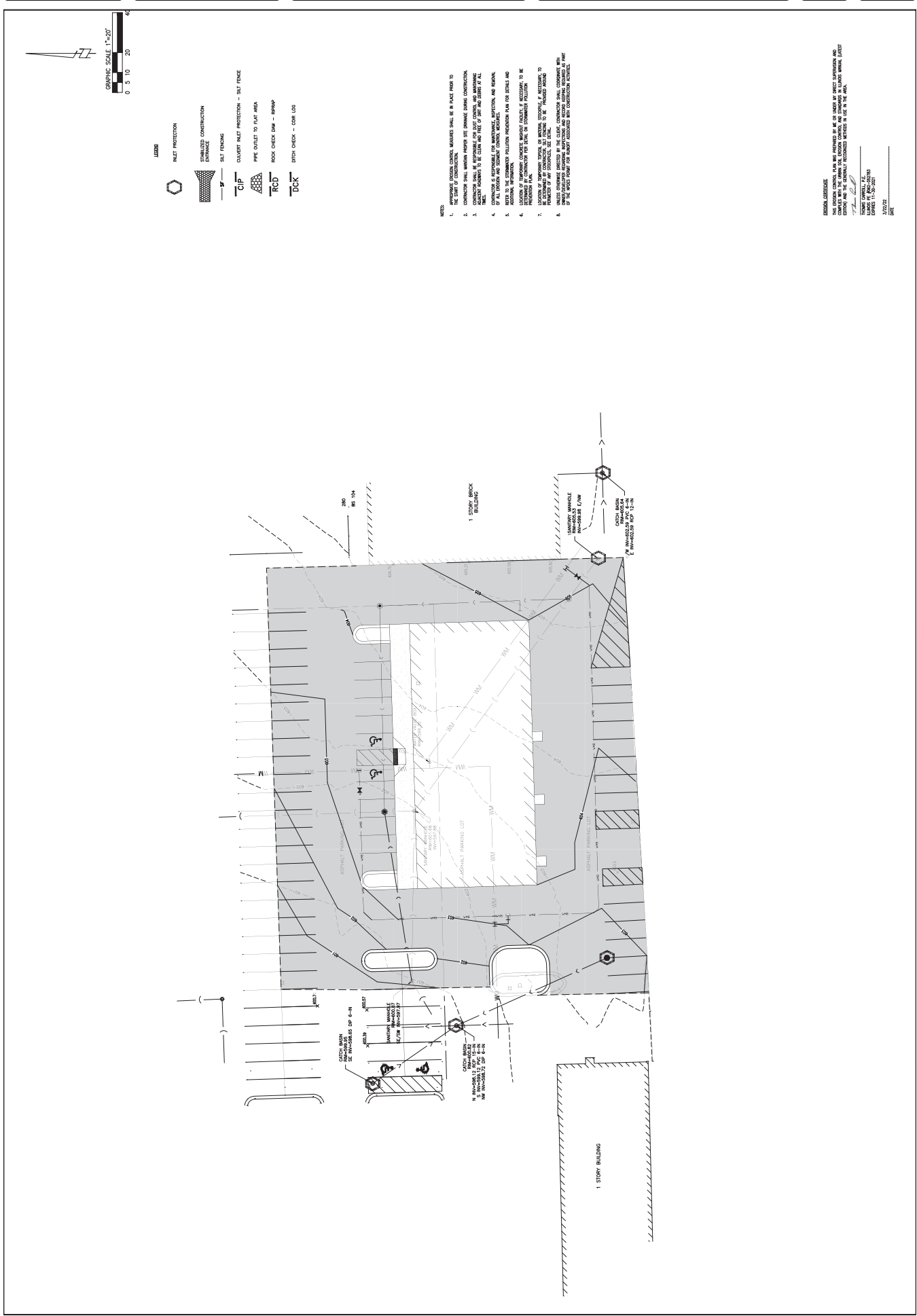
SEQUENCE OF CONSTRUCTION FOR WETLANDS

THE FOLLOWING SEQUENCE IS SUGGESTED IN ORDER TO MAXIMIZE IMPACT TO USERS ON THE DRAINING WATER MAIN. CONTRACTORS SHALL COORDINATE WORK WITH THE CITY PUBLIC WORKS DEPARTMENT TO DEVELOP AN APPROPRIATE SEQUENCE OF CONSTRUCTION.

1. INSTALL VALVE 1 AND VALVE 2 APPROXIMATELY 10' WEST OF EXISTING DUCTILE IRON WATERMAIN.
2. INSTALL PROPOSED 8" DUCTILE IRON WATERMAIN AND FITTINGS BETWEEN VALVES 1 AND

[illegible][illegible]

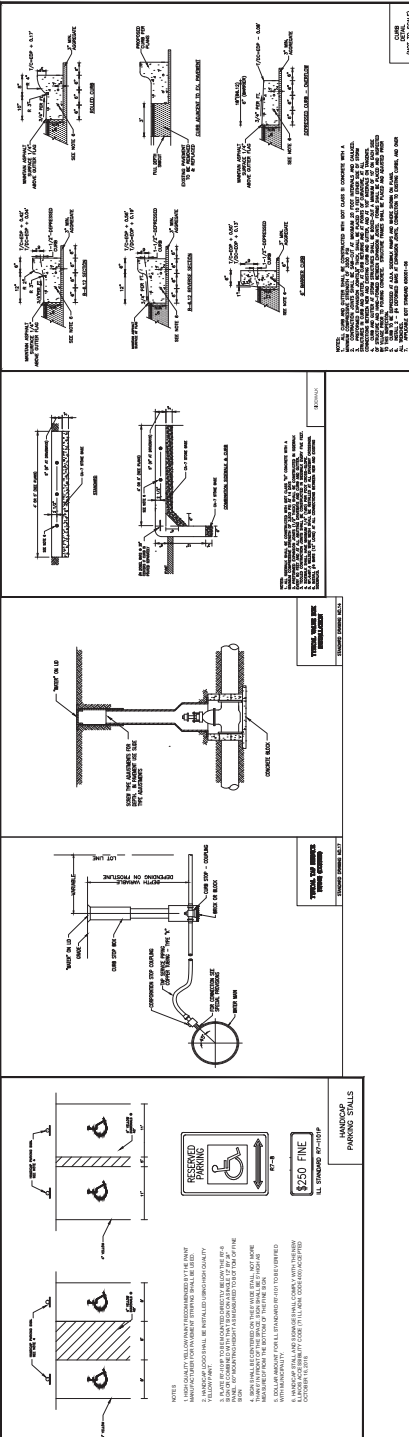
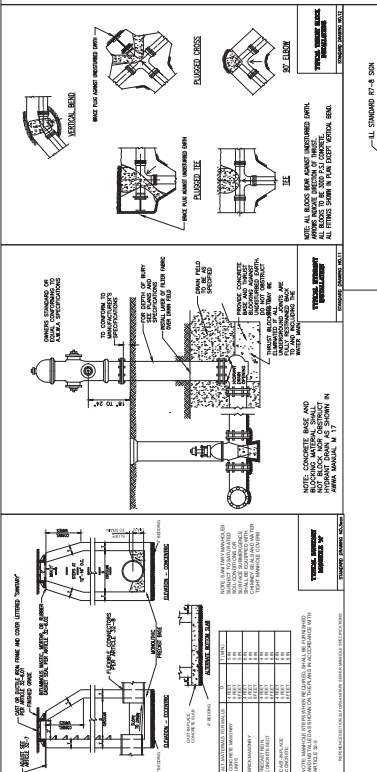
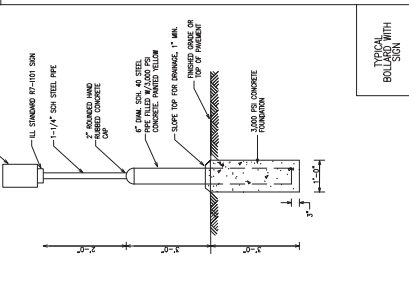
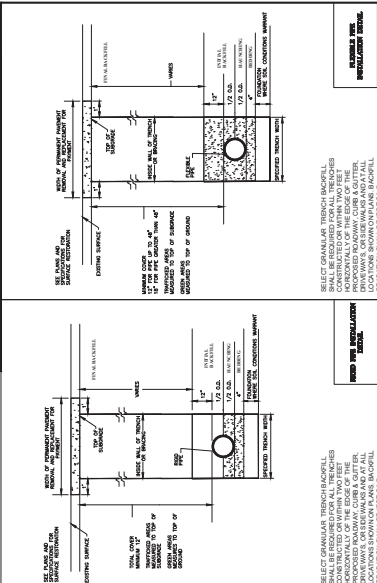
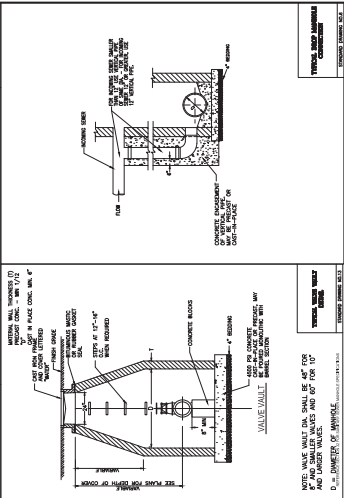
GRAPHIC SCALE 1"=20'



THE ONE THOUSAND BUILDING AT
HILLCREST SHOPPING CENTER
1701 N. LARKIN AVE
CREST HILL, IL

[illegible]

SEAL/STAMP



DEFINITION OF TERMS:

A. "CLIENT" SHALL MEAN THE PERSON OR ENTITY WITH WHOM GEOTECH INCORPORATED HAS CONTRACTED WITH TO PREPARE CIVIL ENGINEERING PLANS AND SPECIFICATIONS.

B. "ENGINEER" SHALL MEAN GEOTECH INCORPORATED.

C. "PLANS" SHALL MEAN THE CIVIL ENGINEERING PLANS AND SPECIFICATION PREPARED BY THE ENGINEER.

D. "PROJECT" SHALL MEAN ANY PROJECT LOCATED IN ANY COUNTY, STATE, OR TERRITORY OF THE UNITED STATES.

E. "JURISDICTIONAL ENTITY" SHALL MEAN ANY MUNICIPALITY, COUNTY, STATE, OR FEDERAL AGENCY OR DEPARTMENT FROM WHOM AN APPROVAL, PERMIT, AND/OR REVIEW IS REQUIRED FOR ANY ASPECT OF THE PROJECT.

- [illegible]

- [illegible]

- [illegible]

- [illegible]

- CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF CONSTRUCTION DEBRIS, WASTE MATERIAL, TRUCKS, TIES, AND OTHER MISCELLANEOUS ITEMS. EXCESSIVE MATERIAL SHALL BE KEPT FREE OF MAT AND DISPOSED AT ALL TIMES. OTHER STRUCTURES AND CURBS FORM JAMS SHALL BE CLEANED OF DEBRIS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES EXISTING ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES AND STRUCTURES EXISTING ON THE PROJECT.
17. CONTRACTOR SHALL ADJUST ALL STRUCTURES TO REFLECT ANY REQUIRED ELEVATION ADJUSTMENTS SHALL BE REQUIRED TO CORRECT ANY DEFICIENCIES IN THE CONSTRUCTION OF THE PROJECT.
18. THE MAJORITY CITY SHALL BE NOTIFIED WHEN EXISTING DRAIN DRAINAGE TIES ARE DISCOVERED DURING CONSTRUCTION. REGARDLESS OF LOCATION OF TRANSECTION, THE MAJORITY CITY SHALL HAVE

- [illegible]

- [illegible]

-

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEMOLITION WORK AND DISPOSAL OF WASTE MATERIAL. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSAL OF ALL STRUCTURES, PAVES, WALLS, FLUMES, FOUNDATIONS, ROAD, PAVING LOTS, DRAVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE REMOVED TO A MINIMUM OF 10' FROM THE EXISTING PROPERTY LINE. ALL REMOVED MATERIAL AND BROUGHT TO THE PROPOSED SUB-GRADE ELEVATION WITH SUITABLE COMPACTED MATERIAL.

- [illegible]

[illegible]

- [illegible]

10. **CONCRETE SHALL BE PLACED IN THE FORMS IN THE MANNER AND ORDER SPECIFIED BY THE SUPERVISOR. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE MATERIALS. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED.**
11. **CONCRETE SHALL BE PLACED IN THE FORMS IN THE MANNER AND ORDER SPECIFIED BY THE SUPERVISOR. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE MATERIALS. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED. THE PLACEMENT OF CONCRETE SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE FORMS FROM BEING OVERLOADED.**

[illegible]

- [illegible]

-

SANDY SEER, INCLUDING SERVICES, SHALL BE PAYABLE CHARGES (PAY) SENIOR PPE, ASTM D3242, SQR 26 WITH FLEXIBLE CUSTOMERS SHALL CONFORMING TO ASTM D3212 AND 1477.

- [illegible]

WATER MAIN ASSEMBLIES:

1. WATER MAIN PIPE SHALL BE DUCTILE IRON PIPE, CLASS 50, CONFORMING TO AWWA C150, WITH PUSH ON JOINTS, AND SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C115. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C104.
2. WATER MAIN FITTINGS SHALL BE DUCTILE IRON FITTINGS, CONFORMING TO AWWA C115, UNLESS OTHERWISE REQUIRED BY THE JURISDICTIONAL ENTITY. ALL WATER MAIN SHALL BE POLYETHYLENE ENCASED (P.E.) PIPE, CONFORMING TO AWWA C900, UNLESS OTHERWISE SPECIFIED BY THE JURISDICTIONAL ENTITY.
3. UNLESS OTHERWISE REQUIRED BY THE JURISDICTIONAL ENTITY, ALL WATER MAIN SHALL CONFORM TO THE REGULATIONS OF THE AWWA C104, POLYETHYLENE MEDICAL SNAKE, CONFORM TO THE REGULATIONS OF THE AWWA C104.
4. INSTALLATION OF PIPE AND FITTINGS SHALL BE PER AWWA C900. PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 3'-4" FROM FINISHED GRADE.
5. WATER MAIN FITTINGS (E.G. BUCKS, ELBOWS, TEES, REDUCERS, ETC.) MAY NOT BE SPECIFICALLY REFERENCED ON THE DRAWING. ALL FITTINGS SHALL BE DUCTILE IRON FITTINGS, AND SHALL BE THE IDENTICAL MAKE AND SIZE AS THE WATER MAIN.
6. WATER MAIN SHALL BE 24" IN DIAMETER, UNLESS OTHERWISE SPECIFIED BY THE JURISDICTIONAL ENTITY.
7. WATER SERVICES, 2" IN DIAMETER OR SMALLER SHALL BE TYPE K COPPER PER ASTM B88 AND ASTM B153.

- [illegible]

11. ALL WATER MAINS SHALL BE TESTED BY MEANS OF A PRESSURE TEST PER THE "STANDARD SPECIFICATIONS FOR WATER MAINS AND APPURTEANCES, SEVENTH EDITION, 1991" FOR WATER MAINS CONSTRUCTION, JUNE 1991, AND APPLICABLE ADDENDUM. 12. AFTER COMPLETION OF THE WATER MAIN TESTING, THE MAIN AND RELATED APPURTEANCES SHALL BE FULLED AND THE MAINS SHALL BE TESTED BY MEANS OF A PRESSURE TEST PER THE "STANDARD SPECIFICATIONS FOR WATER MAINS AND APPURTEANCES, SEVENTH EDITION, 1991" FOR WATER MAIN CONSTRUCTION, JUNE 1991, AND APPLICABLE ADDENDUM. 13. UNLESS OTHERWISE NOTED, CONSTRUCTION IS TO EXISTING WATER MAIN SHALL BE MADE BY A PRESSURE PIPE PER THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN LANS. THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN LANS SHALL BE COMBINED WITH THE APPROPRIATE REPRESENTATIVES OF THE ASSOCIATIONAL UNIT.
14. FORMWORK SHALL BE APPROPRIATE.
15. FORMWORK SHALL BE CONSTRUCTED FROM ONE OR MORE OF THE FOLLOWING MATERIALS AS SPECIFIED ON THE PLANS:
 - a. REINFORCED CONCRETE PIPE, ASTM C754, WITH "Y-RING" JOINTS PER ASTM C444 PIPE CLAS PER THE PLANS.

[illegible]

- [illegible]

-

1. A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE SEWER. WHEREVER WATER MAINS AND SEWERS CROSS, THE WATER MAIN SHALL BE LOCATED OVER THE SEWER. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE CROSSING. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE CROSSING. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE CROSSING. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THE ENTIRE LENGTH OF THE CROSSING.

- [illegible]

[illegible]

- [illegible]

- [illegible]

12. THE ELECTRICAL WIRING SHALL BE TURNED AND INSTALLED IN ACCORDANCE WITH SECTION 760 OF THE DOI MANUAL.
13. HANGING STALLS SHALL BE SPACED AND SIGNED IN ACCORDANCE WITH THE ELECTION ACCESSIBILITY CODE, LATEST EDITION, AND OTHER APPLICABLE AGA GUIDELINES.

LOCATING:

1. ALL WORK SHALL CONFORM WITH THE NATIONAL ELECTRIC CODE, CONSUMER/NEHA EDITION POLICES, AND THE APPLICABLE REGULATIONS OF THE JURISDICTIONAL ENTITY.
2. PLANS SHALL SHOW LOCATION OF LIGHT FIXES ONLY. THE DESIGN OF THE ELECTRIC SYSTEM REQUIRED TO POWER THE LIGHTS SHALL BE FORWARDED.
3. CABLES FOR ALL WIRING SHALL BE RUN AND ALL COTS ASSOCIATED WITH THE DESIGN, PERMITTING, AND INSTALLATION OF THE COMPLETE WIRING SYSTEM (POWER, POLICE, DATA, ETC.).

4. CLIENT AND/OR CONDUCTOR SHALL COORDINATE WITH COMMUNITYLIFE IN DESIGN, OR PREPARED FOR THE STREET LIGHTS. CLIENT SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE STREET LIGHTS.
5. IF LIGHTING SYSTEM IS CONSIDERED A PUBLIC INFRASTRUCTURE, CLIENT AND/OR CONDUCTOR SHALL COORDINATE WITH COMMUNITYLIFE DESIGN AND THE JURISDICTIONAL ENTITY REGARDING TRANSFER OF STREET LIGHT SYSTEM JURISDICTIONAL ENTITY.

[illegible]

SHOPPING CENTER
ARKIN AVE
HILL, IL
CATIONS

— LAND SURVEYORS
60403 815/730-1010

| | |
|--------|-------|
| CT NO. | 21210 |
| BY: | TC |
| ED BY: | CP |

SHEET NO. 9

Raymond R. Soliman
Mayor

Christine Vershay-Hall
Clerk

Glen Conklin
Treasurer

Ward 1
Scott Dyke
John Vershay

Ward 2
Claudia Gazal
Darrell Jefferson

Ward 3
Tina Oberlin
Mark Cipiti

Ward 4
Nate Albert
Joe Kubal



August 24, 2022

<INSERT NAME>

<INSERT ADDRESS>

<INSERT CITY, STATE, ZIP>

Dear <Insert>

Joliet Hillcrest Shopping Center, LLC will appear before the City of Crest Hill Plan Commission for a Planned Unit Development (PUD) and special use request for two (2) development projects which are as follows: 1) a new free-standing building of 8,000 S.F. to the west of La Chicanita Bakery for the relocation of the Armed Services recruiting offices and a 1,250 S.F. retail space and 2) a 1,460 S.F. addition for a Smoothie King with a special use for a drive thru window on the south side of the 800 building next to Stella's Place. The 26-acre property is zoned B-2 General Business District, consists of 240,000 S.F. of retail/commercial space and has approximately 1,680 off-street parking spaces.

The Plan Commission will hold a public hearing on the application on September 14, 2022 at 7:00 p.m. at the City of Crest Hill Municipal Building, in the City Council Chambers, 1610 Plainfield Road, at which time you may express your views in person. A copy of the application material describing the request is available at the City of Crest Hill.

If you have any questions regarding the request, please feel free to contact me at 815-741-5107 or via email at tbudzikowski@cityofcresthill.com.

Sincerely,

A handwritten signature in black ink that reads "Tony Budzikowski". The signature is written in a cursive, flowing style.

Tony Budzikowski, AICP
Community & Economic
Development Director

CITY OF CREST HILL

1610 Plainfield Road
Crest Hill, IL 60403

815-741-5100
cityofcresthill.com

NOTICE OF PUBLIC HEARING
CITY OF CREST HILL

Notice is hereby given that the Crest Hill Plan Commission will hold a public hearing on Wednesday, September 14, 2022 at 7:00 p.m. in the City Building, 1610 Plainfield Road, Crest Hill, Illinois to hear **Case No. PUD-22-2-9-2**, a petition from Joliet Hillcrest Shopping Center, LLC for a Planned Unit Development (PUD) and special use request for two (2) development projects which area as follows: 1) a new free-standing building of 8,000 S.F. to the west of La Chicanita Bakery for the relocation of the Armed Services recruiting offices and a 1,250 S.F. retail space and 2) a 1,460 S.F. addition for a Smoothie King with a special use for a drive thru window on the south side of the 800 building next to Stella's Place. The 26-acre property is zoned B-2 General Business District, consists of 240,000 S.F. of retail/commercial space and has approximately 1,680 off-street parking spaces.

PERMANENT INDEX NO: 11-04-31-404-012

LEGAL DESCRIPTION:

TRACT 1 THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT A FOUND PK NAIL AT THE S1/4 COR OF SD SEC. 31, ALSO BEING THE CENTERLINE OF THEODORE ST, & 1320.23 FT W OF SE1/4 COR OF THE W1/2 OF THE SE1/4 OF SEC. 31, & 1327.58 FT W OF THE INTERSECTION OF THE CENTERLINE OF RTE 23 (LARKIN AVE); THC N 89 DEG 33'26" E IN THE CENTERLINE OF THEODORE ST & THE SD S LN OF THE SE1/4, A DIST OF 300 FT; THC N 0 DEG 12'37" E PARL TO THE W LN OF THE SD SE1/4, A DIST OF 33 FT TO THE N'LY ROW LN OF THEODORE ST & THE POB; THC CONT N 0 DEG 12'37" E, IN THE E LN OF THE E 50 FT OF THE W 300 FT OF THE SE1/4 OF SEC. 31, OWNED BY CHICAGO TITLE & TRUST CO & DESC AS PARCEL 2 IN DOC. 755510, A DIST OF 830.38 FT TO A FOUND IRON PIN IN THE E'LY ROW LN OF THE E J & E RAILROAD RUNNING SW'LY & NE'LY THROUGH THE SD SE1/4; THC N 39 DEG 23'05" E IN THE S'LY ROW LN OF THE E J & E RR, A DIST OF 592.88 FT TO A FOUND PIPE, SD PIPE BEING 382.59 FT S OF THE INTERSECTION OF S'LY ROW LN OF THE E J & E RR & THE CENTERLINE OF US RTE 30 (PLAINFIELD RD), ALSO BEING THE SW'LY COR OF PPTY DESC IN DOC. 817473 (A/K/A MAZZUCO CONSTRUCTION CO.); THC S 46 DEG 48'31" E IN THE S'LY LN OF MAZZUCCO CONSTRUCTION CO. PPTY, A DIST OF 129.12 FT; THC N 43 DEG 09'49" E IN THE E'LY LN OF SD MAZZUCCO PPTY A DIST OF 165.10 FT TO A FOUND PIPE; THC S 46 DEG 01'43" E IN THE S'LY LN OF PPTY OWNED BY JLP REALITY PER DOC. R92-100583, A DIST OF 71.56 FT (M), 70 FT (R) FT TO A FOUND IRON PIN BEING THE SE'LY COR OF SD JLP REALITY PPTY; THC N 43 DEG 57'20" E IN THE E'LY LN OF SD JLP REALITY PPTY A DIST OF 117.73 FT (M), 117.80 (R); THC N 46 DEG 50'10" W, A DIST OF 20 FT; THC N 43 DEG 57'20" E, A DIST OF 50 FT TO THE S'LY ROW LN OF US RTE 30 (PLAINFIELD RD); THC S 46 DEG 50'10" E IN THE SD S'LY ROW LN, A DIST OF 150 FT; THC N 44 DEG 02'00" E, A DIST OF 5 FT IN THE SD S'LY, ROW LN; THC S 45 DEG 14'37" E IN THE S'LY ROW LN OF RTE 30 (PLAINFIELD RD), A DIST OF 194.48 FT TO THE INTERSECTION WITH THE W'LY ROW LN OF RTE 23 (LARKIN AVE), SD INTERSECTION BEING 50 FT LEFT OF THE CENTERLINE STATIONING ALG PLAINFIELD RD AT STATION 207 + 64.72; THC S'LY IN THE W'LY ROW LN OF RTE 23 (LARKIN AVE) TO A PT BEING S 0 DEG 09'26" W, A DIST OF 198.62 FT TO A PT BEING 63.32 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 642 + 20.00; THC S'LY IN THE SD W'LY ROW LN S 04 DEG 47'12" W, A DIST OF 371.73 FT TO A PT OF BEING 70 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 638 + 59.00; THC S'LY IN THE SD W'LY ROW LN S 0 DEG 09'26" W, A DIST OF 94 FT TO A PT BEING 70 FT LEFT TO THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 637 + 65; THC S'LY IN THE SD W'LY ROW LN S 03 DEG 25'40" W, A DIST OF 175.29 FT TO A PT BEING 80 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 635 + 90.00; THC S'LY IN THE SAID W'LY ROW LN S 0 DEG 09'57" W, A DIST OF 295.53 FT (PREVIOUSLY RECORDED AS S 0 DEG 09'26" W, A DIST OF 295 FT TO A PT BEING 80 FT LEFT OF THE CENTERLINE OF RTE 23 (LARKIN AVE) AT STATION 632 + 95.00; THC SW'LY IN THE SD W'LY ROW LN S 60 DEG 04'24" W, A DIST OF 58.02 FT (PREVIOUSLY RECORDED AS S 59 DEG 38'44" W 58.32 FT) TO A PT IN THE N'LY ROW LN OF THEODORE ST, SD PT BEING 33 LEFT MEASURED AT RIGHT ANGLES TO THE CENTERLINE OF THEODORE ST AT STATION 35 + 71.08; THC W'LY PARL TO & 33 FT DIST FROM THE CENTERLINE OF THEODORE ST IN THE N'LY ROW LN OF THEODORE ST S 89 DEG 33'26" W, A DIST OF 897.21 FT TO THE POB: (EX A PARCEL OWNED BY THE CITY OF CREST HILL PER R69-019501 DAF: THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT A PT ON THE S LN OF SD SEC. 31 AT ITS PT OF INTERSECTION WITH THE E LN OF THE CHICAGO TITLE & TRUST CO. PPTY PER

DOC. 755510; THC N'LY ALG THE SDE LN OF THE CHICAGO TITLE & TRUST CO PPTY, 863.19 FT TO A PT IN THE E'LY ROW LN OF THE E J & E RAILWAY CO, THC N 39 DEG 23'05" W 491.08 FT; THC SE'LY ALG A LN FORMING A RIGHT ANGLE TO THE LAST DESC LN 40 FT FOR A POB; THC NE'LY ALG A LN PARL TO THE E'LY ROW LN OF E J & E RAILWAY CO, 54.57 FT; THC SE'LY ALG A LN FORMING A RIGHT ANGLE TO THE LAST DESC LN, 97.31 FT TO A PT; THC SW'LY ALG A LN PARL WITH THE SD E'LY ROW LN OF SD RAILROAD CO, 54.57 FT TO A PT; THC NW'LY ALG A LN FORMING A RIGHT ANLGE TO THE LAST DESC LN, 97.31 FT TO THE POB, ALSO (EX OUT PARCEL 2: THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT THE SE COR OF THE W1/2 OF THE SE1/4 OF SD SEC. 31; THC S 89 DEG 33'26" W ALG THE S LN OF THE W1/2 OF THE SE1/4 OF SD SEC. 31, A DIST OF 122.56 FT; THC N 0 DEG 26'34" W AT RIGHT AGLES TO LAST DESC LN, A DIST OF 33 FT; THC N 59 DEG 38'44" E A DIST OF 58.32 FT TO A PT 80 FT LEFT OF STATION 632 + 95 ON THE SURVEYED CENTERLINE OF RTE 23 (LARKIN AVE); THC N 0 DEG 09'26" E, A DIST OF 295 FT ALG A LN PARL WITH AND 80 FT NORMAL DIST W'LY FROM THE SURVEYED CENTERLINE OF RTE 23 (LARKIN AVE) TO A PT 80 FT LEFT OF STATION 635 + 90; THC N 03 DEG 25'40" E, A DIST OF 175.29 FT TO A PT 70 FT LEFT OF STATION 637 + 65; THC N 0 DEG 09'26" E ALG A LN WHICH IS PARL WITH THE CENTERLINE OF SD LARKIN AVE, A DIST OF 77 FT TO THE POB, SD PT BEING ON THE W'LY ROW LN OF SD LARKIN AVE AS DEEDED TO IDOT PER R74-002851; THC CONT N 00 DEG 09'26" E, ALG SD PARL LN & SD W'LY ROW LN OF LARKIN AVE, A DIST OF 17 FT TO A PT 70 FT LEFT OF STATION 638 + 59; THC N 04 DEG 47'12" E ALG THE W'LY LN OF SD LARKIN AVE, A DIST OF 158.19 FT; THC S 88 DEG 49'10" W, A DIST OF 142.37 FT; THC S 13 DEG 30'00" W, A DIST OF 167.75 FT TO A PT OF CURVATURE; THC S'LY ALG AN ARC OF A CIR, CONVEX TO THE SW, HAVING A RADIUS OF 10 FT, THE CHORD THEREOF HAVING A BEARING OF S 38 DEG 50'30" E, & A LENGTH OF 15.83 FT, AN ARC DIST OF 18.27 FT TO A PT OF TANGENCY; THC N 88 DEG 38'48" E, A DIST OF 158.36 FT TO THE POB), & ALSO (EX OUT PARCEL 3; THAT PRT OF THE W1/2 OF THE SE1/4 OF SEC. 31, T36N-R10E, DAF: COMM AT THE SE COR OF THE SD W1/2; THC S 89 DEG 33'26" W ALG THE S LN OF SD SW1/4, ALSO BEING THE CENTERLINE OF THEODORE ST 361.72 FT; THC N 0 DEG 26'34" W, 33 FT TO THE N'LY ROW OF THEODORE ST; THC CONT N 0 DEG 26'34" W, 75.54 FT TO THE POB; THC S 89 DEG 33'26" W PARL WITH THE S LN OF SD SE1/4 137 FT; THC N 0 DEG 26'34" W 86 FT; THC N 89 DEG 33'26" E 137 FT; THC S 0 DEG 26'34" E 86 FT TO THE POB), & ALSO (EX THAT PRT TAKEN FOR RD PURPOSES (RTE 30) PER R2000-057357). REM/CONS PER PET#2005-203 NDA:

All persons in attendance at the hearing shall have an opportunity to be heard. Any person who also wishes to appear as an "interested party" with the right to cross-examine others at the hearing must complete and file an appearance with the City Clerk no later than (three business days before the date of the hearing). Appearance forms are available from the City Clerk during regular business hours.

Dated this day of August 24, 2022
Christine Vershay-Hall, City Clerk
Jan Plettau, Plan Commission Chairman
August 24, 2022

PLEASE PUBLISH THE ABOVE NOTICE IN THE LEGAL/PUBLIC NOTICE SECTION OF THE JOLIET HERALD NEWS ON MONDAY, AUGUST 29, 2022 AND SEND THE BILL FOR THE PUBLICATION TO:

Joliet Hillcrest Shopping Center
c/o Abe Katz
3175 Commercial Avenue, Suite 100
Northbrook, IL 60062

PLEASE CONTACT THE PERSON (S) LISTED ABOVE FOR PAYMENT OF THIS NOTICE:

e-mail to publicnotice@theheraldnews.com
for publication in the Joliet Herald News