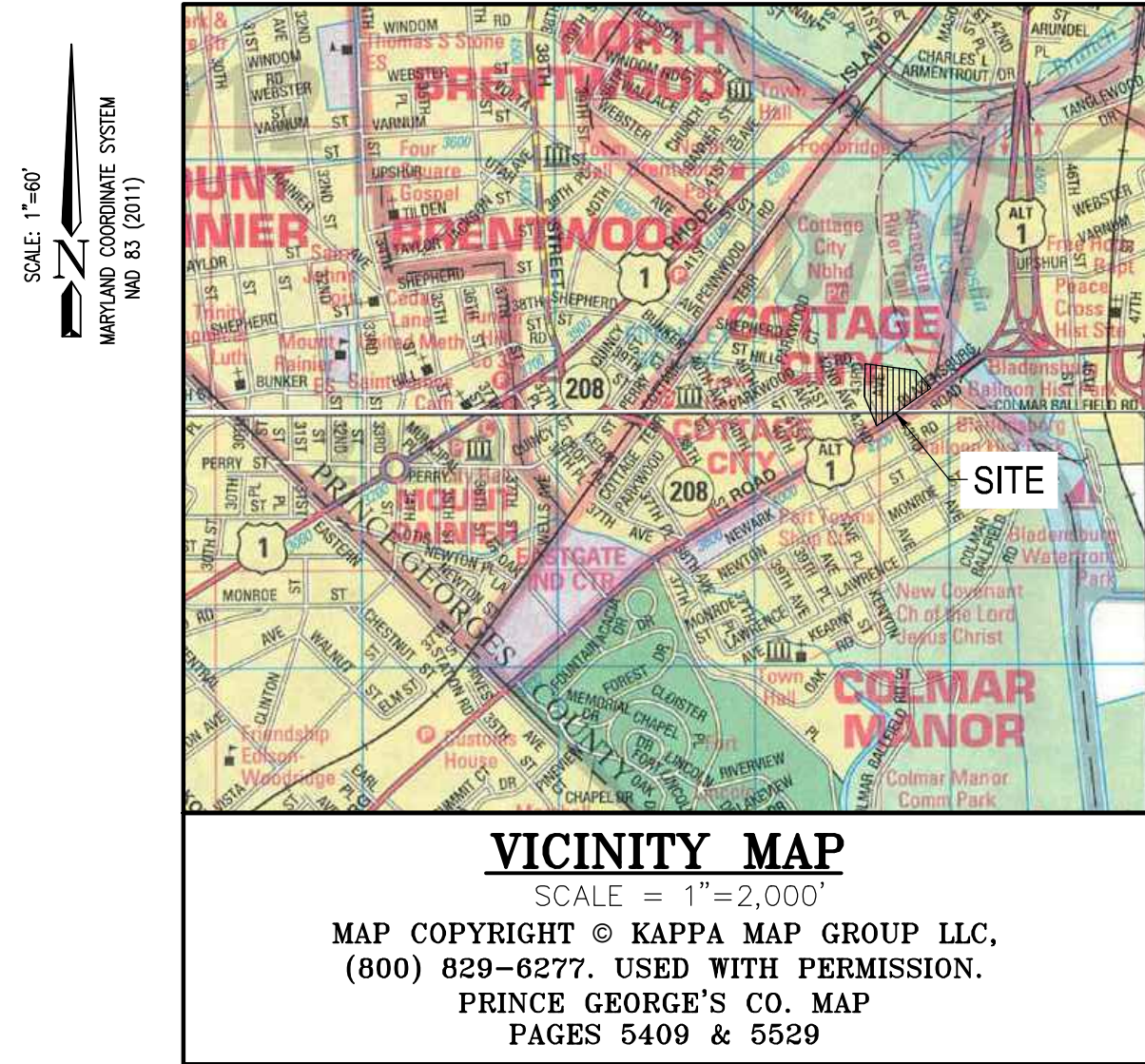


COTTAGE CITY 43rd AVE

43rd AVENUE MAINTENANCE PLAN

COTTAGE CITY (2nd) ELECTION DISTRICT

PRINCE GEORGE'S COUNTY, MARYLAND



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GENERAL NOTES:

- ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE ENGINEER OF RECORD SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THESE DRAWINGS. AUTOCAD FILES OR OTHER ELECTRONIC FILES ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- THE EXISTING UTILITIES SHOWN HEREON HAVE BEEN LOCATED USING INFORMATION AVAILABLE AT THE TIME THIS PLAN WAS PREPARED. PRIOR TO DIGGING, THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHOWN ON THIS PLAN AND CONFIRM THAT NO CONFLICTS EXIST. ANY CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF CPJ AND THE OWNER PRIOR TO STARTING CONSTRUCTION.
- THIS PLAN SHALL ONLY BE USED FOR THE CONSTRUCTION OF STORM DRAIN AND PAVING AND ASSOCIATED STORM DRAIN AND PAVING IMPROVEMENTS AS SHOWN. THIS PLAN SHALL NOT BE USED FOR ANY OTHER CONSTRUCTION PURPOSE.
- THESE PLANS DO NOT INCLUDE THE NECESSARY PRECAUTIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, REPLACING, OR RECONSTRUCTING EXISTING SITE FEATURES (E.G. CURB AND GUTTER, SIDEWALK, FENCING, SOIL, UTILITIES, ETC.) DAMAGED AS A RESULT OF PROJECT WORK.
- ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 2010 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- "MILL AND OVERLAY AS PER STANDARD F4 OF THE POLICY AND SPECIFICATION FOR UTILITY INSTALLATION AND MAINTENANCE". PLEASE BE SURE TO REFERENCE THE POLICY AND SPECIFICATIONS FOR UTILITY INSTALLATION AND MAINTENANCE TO MAKE SURE THE LIMITS OF MILL AND OVERLAY ARE CORRECT.
- CONTRACTOR SHALL COORDINATE ANY CLOSURES WITH TOWN OR ENGINEER TO PROVIDE ADEQUATE NOTICE TO HOMEOWNERS OF ANY NECESSARY CLOSURES.
- TO REOPEN PAVEMENT TO TRAFFIC AS SOON AS POSSIBLE, CONTRACTOR MAY SUBMIT A HIGH EARLY STRENGTH CONCRETE MIX FOR ACCEPTANCE. THE ULTIMATE CONCRETE STRENGTH MUST BE EQUAL TO OR GREATER THAN THE CONCRETE MIX SPECIFIED PER PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE. CONTRACTOR SHALL INSTALL APPROPRIATE SEDIMENT CONTROL MEASURES AS NECESSARY. STANDARD SEDIMENT CONTROL NOTES AND SOME DETAILS ARE PROVIDED ON SHEETS 9 AND 10. REFER TO THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL DETAILS AND PRACTICES AS NEEDED.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNAGE AND FLAGGERS TO MAINTAIN SAFE PASSAGE OF VEHICLES AND PEDESTRIANS AROUND WORK ZONE.

MISS UTILITY

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

STABILIZATION NOTE

STABILIZATION PRACTICES ON ALL PROJECTS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF COMAR 26.17.1.08 G REGULATIONS BY JANUARY 9, 2013, REGARDLESS OF WHEN AN EROSION SEDIMENT CONTROL PLAN WAS APPROVED. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN THREE (3) CALENDAR DAY AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAY AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

COVER SHEET
43rd AVENUE CONCEPT PLAN

COTTAGE CITY 43rd AVENUE
COTTAGE CITY (2ND) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpja.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA



CLIENT: TOWN OF COTTAGE CITY 3820 40TH AVENUE COTTAGE CITY, MD 20722 ATTN: CAROL RICHARDSON, TOWN MANAGER	TAX MAP/WSSC N/A		SITE PLAN NO: N/A	
	DESIGN BMF	SHEET 1 OF 10	DATE MAR., 2024	FILE NO: 2020-3050
	DRAFT JMN			
	SCALE AS SHOWN			
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LEGEND

	MAJOR CONTOURS
	MINOR CONTOURS
	PROPOSED THALWEG
	WATER SURFACE
	EXISTING 100 YEAR FLOODPLAIN
	EXISTING 100 YEAR FLOODPLAIN BUFFER
	PROPOSED 100 YEAR FLOODPLAIN
	PROPOSED 100 YEAR FLOODPLAIN BUFFER
	FEMA 100 YEAR FLOODPLAIN
	WETLAND
	WETLAND BUFFER
	WATERS OF THE US
	ROOT PRUNE
	TREE
	TREE REMOVAL (ALL TREES TAKES ARE TO BE FLUSH CUTS, UNLESS OTHERWISE INDICATED)
	TREE REMOVAL (COMPLETE REMOVALS - TO BE USED FOR ROOTWADS)
	TREE TRUNK PROTECTION (TREE PLANKING)
	DRAINAGE DIVIDE
	DRAINAGE FLOWPATH POINT
	FLOWPATH
	TIME OF CONCENTRATION POINT
	EXISTING SOIL DIVIDE
	SOIL TYPE LABEL
	SOIL BORING
	WETLAND SAMPLE PLOT
	LIMIT OF DISTURBANCE
	PROPOSED CONC. SIDEWALK
	PROPOSED RIPRAP
	EXISTING STORM DRAIN
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	PROPOSED DETECTABLE WARNING SURFACE
	ADA RAMP
	EXISTING TO BE REMOVED
	MILL & OVERLAY
	FULL DEPTH PAVING
	PROPOSED 100 YR FLOW PATH
	LONGITUDINALLY SLOTTED DRAIN



TFP

EJB



STATE OF MARYLAND
ANDRON M. FREEMAN
No. 38851
PROFESSIONAL ENGINEER
4/2/2025

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED OR APPROVED BY ME, AND THAT
 I AM A DULY LICENSED PROFESSIONAL ENGINEER
 UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE # _____ 38851

EXPIRATION DATE 12/31/2025

Last Saved 4/28/2025 Last Plotted 4/28/2025 5:59 PM Sheet P:\2020-3050\DWG\38-01_CV

GENERAL STORM DRAIN AND PAVING NOTES

- 1) INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS, BY HAND OR VACUUM, AT UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES TO WATER AND SEWER LINES ARE LESS THAN SHOWN ON THIS PLAN, OR LESS THAN TWELVE (12) INCHES, CONTACT THE DEPARTMENT OF PERMITTING INSPECTION AND ENFORCEMENT (DPiE) INSPECTOR BEFORE PROCEEDING WITH CONSTRUCTION.
- 2) ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STORMWATER MANAGEMENT STANDARDS AND SPECIFICATIONS OF PRINCE GEORGE'S COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION.
- 3) FOR TYPES OF STORM DRAIN STRUCTURES, REFER TO THE LATEST STANDARD DETAILS OF PRINCE GEORGE'S COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION, UNLESS OTHERWISE NOTED.
- 4) ALL ROADWAY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING: THE DPW&T SPECIFICATIONS AND STANDARDS FOR ROADWAYS AND BRIDGES; THE PRINCE GEORGE'S COUNTY CODE, SUBTITLE 23, ROAD ORDINANCE; AND THE PRINCE GEORGE'S COUNTY POLICY AND SPECIFICATION FOR UTILITY INSTALLATION AND MAINTENANCE.
- 5) PRIOR TO DIGGING WITHIN THE PUBLIC RIGHT-OF-WAY, CALL "MISS UTILITY" TOLL FREE AT (800) 257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.
- 6) PRIOR TO PERMIT ISSUANCE AND STARTING ANY WORK SHOWN ON THIS PLAN, THE PERMITTEE SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE DPiE INSPECTOR BY CALLING (301) 883-5730. AN INITIAL INSPECTION IS REQUIRED PRIOR TO FULL MASS GRADING OF THE SITE.
- 7) IN ACCORDANCE WITH SECTION 23-128, THE COUNTY'S ROAD ORDINANCE, A PROJECT SIGN SHALL BE POSTED PROMINENTLY DESCRIBING THE FOLLOWING:

- SUBDIVISION NAME (AS SHOWN ON PERMIT APPLICATION)

- OWNER/PERMITTEE NAME

- OWNER/PERMITTEE ADDRESS AND PHONE

- DPW&T PERMIT NUMBER
- 8) ALL ELEVATIONS SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE FOLLOWING: HORIZONTAL--MARYLAND COORDINATE SYSTEM (STATE PLANE GRID) BASED ON NORTH AMERICAN DATUM OF 1983 (NAD 83); NATIONAL GEODOTIC VERTICAL DATUM OF 1929 (NG VD 29).
- 9) TEMPORARY TRAFFIC CONTROL AND PERMANENT TRAFFIC SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 10) IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO ARRANGE FOR THE ADJUSTMENT OR RELOCATION OF ALL UTILITIES.
- 11) ALL UNSUITABLE MATERIAL MUST BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO A DEPTH AS DIRECTED BY THE GEOTECHNICAL ENGINEER, THE DPW&T INSPECTOR, AND/OR THE DEPARTMENT'S ENGINEER.
- 12) EXCAVATION AND PLACEMENT OF FILL MATERIAL SHALL BE PERFORMED UNDER THE SUPERVISION OF A MARYLAND-LICENSED ENGINEER.
- 13) THE PERMITTEE WILL BE REQUIRED TO FURNISH COMPACTION REPORTS CERTIFIED BY A MARYLAND-LICENSED ENGINEER ON EACH LAYER OF FILL MATERIAL PRIOR TO PLACING SUBSEQUENT LAYERS.
- 14) DURING THE PLACEMENT OF A STANDARD PAVEMENT SECTION, NO PAVEMENT COURSE OR STONE LIFT SHALL BE PLACED UNTIL THE UNDERLYING COURSE OR SUBGRADE IS APPROVED BY THE DPW&T INSPECTOR. THE APPROVAL SHALL EXPIRE IF TRAFFIC OR INCLEMENT WEATHER AFFECTS THE SITE PRIOR TO PAVING.
- 15) AS SOON AS THE ASPHALT BASE COURSE IS APPROVED, THE INTERMEDIATE ASPHALT COURSE SHALL BE PLACED IMMEDIATELY OVER IT TO FORM A PROTECTIVE SEAL.
- 16) TEMPORARY STREET NAME SIGN INSTALLATION AND MAINTENANCE IS THE OBLIGATION OF THE PERMITTEE ONCE BASE PAVING IS COMPLETED.
- 17) WHERE ROADWAY CONSTRUCTION IS ON OR IN THE VICINITY OF AN EXISTING ROAD, IN-KIND PAVEMENT MARKING AND STRIPING REPLACEMENT (E.G., THERMOPLASTIC, PAINTED, ETC.) ARE REQUIRED. ALSO, APPROPRIATE PAVEMENT MARKING AND STRIPING SHALL BE PROVIDED IN THE AREA OF PAVEMENT WIDENING AND/OR RECONSTRUCTION AND/OR OVERLAY OF AN EXISTING ROAD.
- 18) SAW CUT AND MILL A 2-INCH DEEP, 10-FOOT-WIDE NOTCH AT EXISTING EDGE OF PAVEMENT WHERE IT IS NECESSARY TO CONNECT TO OR TO EXTEND AN EXISTING ROAD. OVERLAY AT POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
- 19) WHERE IT IS NECESSARY TO WIDEN AN EXISTING ROAD, AND MILLING AND OVERLAY REQUIREMENTS HAVE BEEN WAIVED OR REDUCED, THE WIDENING AND THE EDGE TREATMENT OF EXISTING ROAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARD NO. 300.20 UNLESS OTHERWISE DIRECTED BY THE DEPARTMENT.
- 20) ALL RESIDENTIAL ROADWAY FILLET RADII SHALL BE AT LEAST 37 FEET, UNLESS OTHERWISE NOTED. ROADWAYS WITH HIGHER CLASSIFICATION REQUIRE 45 FEET AND/OR 50 FEET RADII.
- 21) AN UNDERDRAIN SYSTEM IS REQUIRED FOR THE FULL LENGTH OF ALL PROPOSED AND MODIFIED ROADWAYS, ON BOTH SIDES, AND TO THE LIMITS OF THE PERMIT SHOWN ON THIS PLAN.
- 22) ALL CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARDS NO. 300.01 THROUGH 300.04 UNLESS OTHERWISE DIRECTED BY THE DEPARTMENT.
- 23) BRICK CHANNELIZATION IS REQUIRED IN ALL PUBLIC DPW&T STORM DRAIN STRUCTURES. CONCRETE CHANNELIZATION IS NOT ALLOWED.
- 24) POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE AREA COVERED BY THIS PERMIT AND THROUGH ADJACENT PROPERTY FRONTAGES.
- 25) ALL UNPAVED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SODDED.
- 26) ALL SIDEWALK RAMPS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPW&T STANDARDS 300.05 THROUGH 300.10 AND SHALL COMPLY WITH THE LATEST REVISION TO THE FEDERAL ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT.

- 27) ALL SIDEWALKS SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST DPW&T STANDARDS AND SHALL COMPLY WITH THE LATEST REVISION TO THE FEDERAL ACCESSIBILITY GUIDELINES OF AMERICANS WITH DISABILITIES ACT.
- 28) ALL SIDEWALKS (EXCEPT AS NOTED HEREIN) ARE TO BE CONSTRUCTED BY THE SITE DEVELOPER.
- 29) SIDEWALKS ALONG FRONTAGES OF OPEN-SPACE PARCELS AND THOSE NOT COVERED BY A SINGLE-FAMILY BUILDING PERMIT SHALL BE CONSTRUCTED UNDER THIS STREET CONSTRUCTION PERMIT.
- 30) THE WIDTH OF A RESIDENTIAL DRIVEWAY APRON AT THE PROPERTY LINE SHALL NOT BE LESS THAN THE WIDTH OF THE ON-SITE PARKING PAD AT ITS WIDEST POINT, A MAXIMUM WIDTH OF 20 FEET, AND A MINIMUM WIDTH OF 10 FEET. A RESIDENTIAL DRIVEWAY APRON FLARE SHALL NOT BE CONSTRUCTED CLOSER THAN 3.5 FEET TO THE NEAREST ABUTTING PROPERTY LINE.
- 31) ALL DRIVEWAY APRONS ARE TO BE CONSTRUCTED BY THE SITE DEVELOPER.
- 32) ENSURE THAT STREET TREES ARE NO CLOSER THAN 1 FOOT TO THE RIGHT-OF-WAY LINE, IN AN OPEN SPACE SECTION CONFIGURATION, AND NO CLOSER THAN 15 FEET FROM STREET LIGHT OR POLE, AND OF APPROPRIATE HEIGHT SO AS NOT TO INTERFERE WITH EXISTING OR PROPOSED OVERHEAD UTILITY LINES. ALL STREETSCAPE PLANTING SHALL BE IN ACCORDANCE WITH DPW&T STANDARDS 600.01 THROUGH 600.20 UNLESS DIRECTED OTHERWISE BY THE DEPARTMENT.
- 33) PAVEMENT QUALITY CONTROL AND CORING WILL BE REQUIRED OF THE PERMITTEE FOR ALL PAVEMENT COURSES USING THE FOLLOWING PROCESS:

a) PRIOR TO PAVING, PERMITTEE/PAVING CONTRACTOR SHALL ELECTRONICALLY NOTIFY INSPECTOR OF PAVING DATES (FAX CAN OCCASIONALLY BE ACCEPTED), AND PROVIDE INFORMATION NEEDED FOR CORE TESTING REQUEST (CTR FORM #1). DPW&T INSPECTOR FILLS OUT THE CTR FORM THEN SENDS IT TO THE MATERIALS LAB.

b) CONTRACTORS, WHO ARE NEW TO THE MATERIALS LAB, SHALL ELECTRONICALLY SUBMIT QC PLANS TO IT, AND ARRANGE TO BE INITIATED BY IT PRIOR TO PAVING.

c) THE PERMITTEE/PAVING CONTRACTOR MUST PROVIDE A MD-CERTIFIED FIELD TECHNICIAN FOR DAILY QUALITY CONTROL (QC) TESTING DURING THE ENTIRE PAVING OPERATION (NOT JUST ITS END). FIELD TECHNICIAN SHALL BE ADEQUATELY EQUIPPED WITH A PHONE, CALIBRATED THERMOMETER, AND A CALIBRATED THIN-LIFT DENSITY GAUGE FOR QC AND INSPECTOR-REQUESTED TESTING.

d) HMA DENSITY GAUGES SHALL BE VALIDATED AND CALIBRATED DAILY (SHA 504.03.10. A.2), SO THEIR READINGS CAN BE ACCEPTED FOR COURSE PLACED WITH A TOTAL TONNAGE UNDER 200 TONS OR ACCEPTABLE THICKNESS UNDER 1.2' DUE TO PATCHING, WEDGE & LEVELING, BRIDGE DECKS, ... ETC.

e) FIELD TECH. SHALL CALL THE MATERIALS LAB WITH DATE & TIME OF CORE CUTTING SO IT CAN BE WITNESSED, AND CORES & HMA SAMPLES CAN BE RECEIVED ON SITE BY A LAB INSPECTOR.

f) INSPECTOR RANDOMLY SELECTS & MARKS CORE LOCATIONS IN THE FIELD. NOTES THEM DOWN ON THE CTR STATING STREET'S NAME AND ADDRESS, LOT #, STA #, OR DISTANCE FROM NEAREST INTERSECTION; THEN FAXES THE CTR AGAIN TO THE LAB, AND GIVES TO FIELD TECH BOXES FOR ONLY PR. GEORGE'S COUNTY HMA SAMPLES.

g) FIELD TECH. SHALL CHECK DELIVERY TICKETS FOR COUNTY-REQUIRED INFO, COLLECT AT LEAST ONE BEHIND-THE-PAVER HMA SAMPLE/MIX/DAY, AND CUT AT LEAST 5 CORES/MIX/DAY BUT NO LESS THAN 2 CORES FROM EACH STREET, UNLESS OTHERWISE INSTRUCTED BY AN INSPECTOR; THEN HAND OVER THE SAMPLES TO DPW&T INSPECTOR NO LATER THAN ONE (1) BUSINESS DAY FROM THE PAVING.

h) IF, AT THE LAB'S DISCRETION, THE CORES' CUTTING IS NOT WITNESSED, CORES SHALL BE RECEIVED IN THE LAB, IN ONE BUSINESS DAY FROM PAVING, AS LONG AS THEY ARE NUMBERED AND WELL IDENTIFIED ON FORM #2 BY: PROJECT NAME, STREET NAME, CORE LOCATION, PAVING DATE, CORING DATE, MIX CODE, ... ETC. IF NOT PROPERLY IDENTIFIED, CORES WILL NOT BE ACCEPTED.

i) IF, AT THE LAB'S DISCRETION, A BEHIND-THE-PAVER HMA SAMPLE IS NOT RECEIVED ON SITE, IT SHALL BE RECEIVED IN THE LAB ALONG WITH CERTIFIED DELIVERY TICKETS, IN ONE (1) BUSINESS DAY, AND BE IDENTIFIED BY: PROJECT NAME, SAMPLING LOCATION, PAVING DATE, & STATE MIX DESIGNATION. IF NOT PROPERLY LABELED, HMA SAMPLES WILL NOT BE ACCEPTED.

j) IF CORES ARE TESTED AT AN INDEPENDENT THIRD PARTY'S TESTING LAB, THAT LAB MUST BE AASHTO ACCREDITED FOR SPECIFIC TESTS, AND BE INITIATED BY THE MATERIALS LAB, WHICH SHALL BE NOTIFIED (FAX CAN OCCASIONALLY BE ACCEPTED), OF THE TESTING DATE & TIME SO IT MAY WITNESS THE 3RD PARTY TESTING.

k) CORE RESULTS SHALL BE REPORTED ON CORE ANALYSIS (FORM #2), E-MAILED1 TO MATERIALS LAB & INSPECTOR NO LATER THAN ONE BUSINESS DAY FROM TESTING (ONE DAY FROM CUTTING FOR COMPANION CORES), AND MAILED OUT TO PERMITTEE.
- i) FIELD TECHNICIANS AND THIRD PARTY TESTING LABS SHALL MAINTAIN A LOG OF THEIR TEST RESULTS; RECOMMENDATIONS, AND ACTIONS TAKEN TO CORRECT THE PROBLEMS, IF ANY. THE LOG SHALL BE AVAILABLE TO DPW&T FOR REVIEW UPON ANY DPW&T INSPECTOR'S REQUEST.

- 34) PERMITTEE SHALL SUBMIT PROPERTY CORNER CERTIFICATIONS AND UTILIZE METAL PROPERTY MARKERS PER PRINCE GEORGE'S COUNTY CODE, SECTION 24-120, PRIOR TO ACCEPTANCE OF STREETS.
- 35) WASHINGTON SUBURBAN SANITARY COMMISSION 200 FOOT SHEET NO.: 211NE05
- 36) DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION SITE CONCEPT APPROVAL NUMBER:
- 37) SEDIMENT CONTROL APPROVAL NUMBER: xxx-xx
- 38) PRELIMINARY PLAN APPROVAL NUMBER: N/A
- 39) RECORD PLAT RECORDING NUMBER: N/A
- 40) APPROVED STREET GRADE ESTABLISHMENT INFORMATION: N/A

ORIGINAL STREET NAMEAPPROVAL NUMBER

41) AT THE TIME OF PERMIT RELEASE, THE FOLLOWING MINIMUM SUBMITTAL REQUIREMENTS WHERE APPLICABLE SHALL APPLY:

- WASHINGTON SUBURBAN SANITARY COMMISSION PAVING CLEARANCE CERTIFICATION;

- BITUMINOUS CONCRETE CORE CERTIFICATIONS, ALL PAVEMENT COURSES;

- PROPERTY MARKER CERTIFICATION;

- DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION LETTER APPROVING STORM DRAIN AS-BUILT;

- TREE APPROVAL AND TREE BOND POSTED, IF NECESSARY;
- STREET LIGHT PROOF OF PAYMENT (MUST BE ACCOMPANIED BY A MEMORANDUM FROM DPW&T'S TRAFFIC SAFETY DIVISION ACCEPTING THE PROOF OF PAYMENT); AND
- PROOF/STATEMENT THAT ALL FINANCIAL MATTERS HAVE BEEN SETTLED.

- 42) THE PERMITTEE IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TRAFFIC SIGNS, TRAFFIC SIGNALS, AND ROADWAY MARKINGS FOR ROADWAY IMPROVEMENTS ON SUBDIVISION ACCESS ROADS WHICH INCLUDE ARTERIAL, COLLECTOR, INDUSTRIAL, AND ANY NECESSARY OFFSITE CONDITIONS WHICH REQUIRE ROADWAY IMPROVEMENTS. THE DESIGN AND/OR CONSTRUCTION DRAWINGS SHALL BE INCLUDED ALONG WITH THE PERMIT PLANS, AND SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT'S TRAFFIC SAFETY DIVISION PRIOR TO PERMIT ISSUANCE.
- 43) THE PERMITTEE IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TRAFFIC MARKINGS, TRAFFIC SIGNALS, IF REQUIRED, AND PAYMENT OF FEE FOR STREET NAME SIGNS ON INTERNAL SUBDIVISION STREETS. TRAFFIC SIGNS WILL BE FURNISHED AND INSTALLED BY THE COUNTY.

- 44) ALL CONCRETE PIPE SYSTEMS 48 INCHES OR LESS SHALL BE INSPECTED WITH A VIDEO CAMERA AS PART OF THE FINAL "AS BUILT" CONSTRUCTION REQUIREMENTS.

GENERAL STORM DRAIN AND PAVING NOTES (OTHER):

1. ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STORMWATER STANDARDS AND SPECIFICATIONS OF PRINCE GEORGE'S COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES, UNLESS OTHERWISE NOTED.
2. FOR TYPES OF STRUCTURES REFER TO THE LATEST STORMWATER MANAGEMENT STANDARD DETAILS, DER (SWMSD), UNLESS OTHERWISE NOTED.
3. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF THE UTILITIES BY DIGGING TEST PITS AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCE ARE LESS THAN SPECIFIED, CONTACT THE ENGINEER, AND THE OWNER OF OTHER INVOLVED UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.
4. ALL STORM DRAIN PIPES MUST HAVE A MINIMUM OF 1 FOOT COVER.
5. ALL INLETS TOP SLAB FRONT FACES SHALL BE PAINTED WITH THE FOLLOWING CHESAPEAKE BAY DRAINAGE, "DON'T DUMP" (STANDARD 82.0).
6. CONTRACTORS SHALL ADJUST ALL EXISTING UTILITIES AS NEEDED TO CONSTRUCT PROPOSED ROAD IMPROVEMENTS. ADJUSTMENTS MAY INCLUDE BUT NOT LIMITED TO MANHOLE COVERS, VALVES, FIRE HYDRANTS, STORM DRAIN INLETS, STREET LIGHTS, TRAFFIC SIGNALS STRUCTURES, UTILITY POLES, SIDEWALKS, BURIED UTILITY CONDUIT AND PIPES.

Special construction requirements for work performed in the vicinity of existing water meter and pipes

1. Construction vehicles generating a load greater than aashto h20 and vibratory compaction equipment are not permitted within 10 feet clear of the existing water mains, meter, and site utility system.
2. The contractor shall submit construction vehicle specifications for all vehicles to be used closer than 10 feet clear or crossing of the existing water meter and pipes to the wssc relocations unit for wssc approval prior to commencing work over the mains.
3. Stockpiling of soil or other material is not permitted within the existing wssc easement or within 10 feet clear of the water pipes and meter.
4. The contractor shall locate and stake out the meter and existing water pipes and maintain the markers during construction. The meter and all valves shall be kept accessible during construction.
5. The contractor shall use special care while performing work in the vicinity of the water meter and pipes as any damage that is required as a result of their work in the vicinity shall be the full responsibility of the contractor.

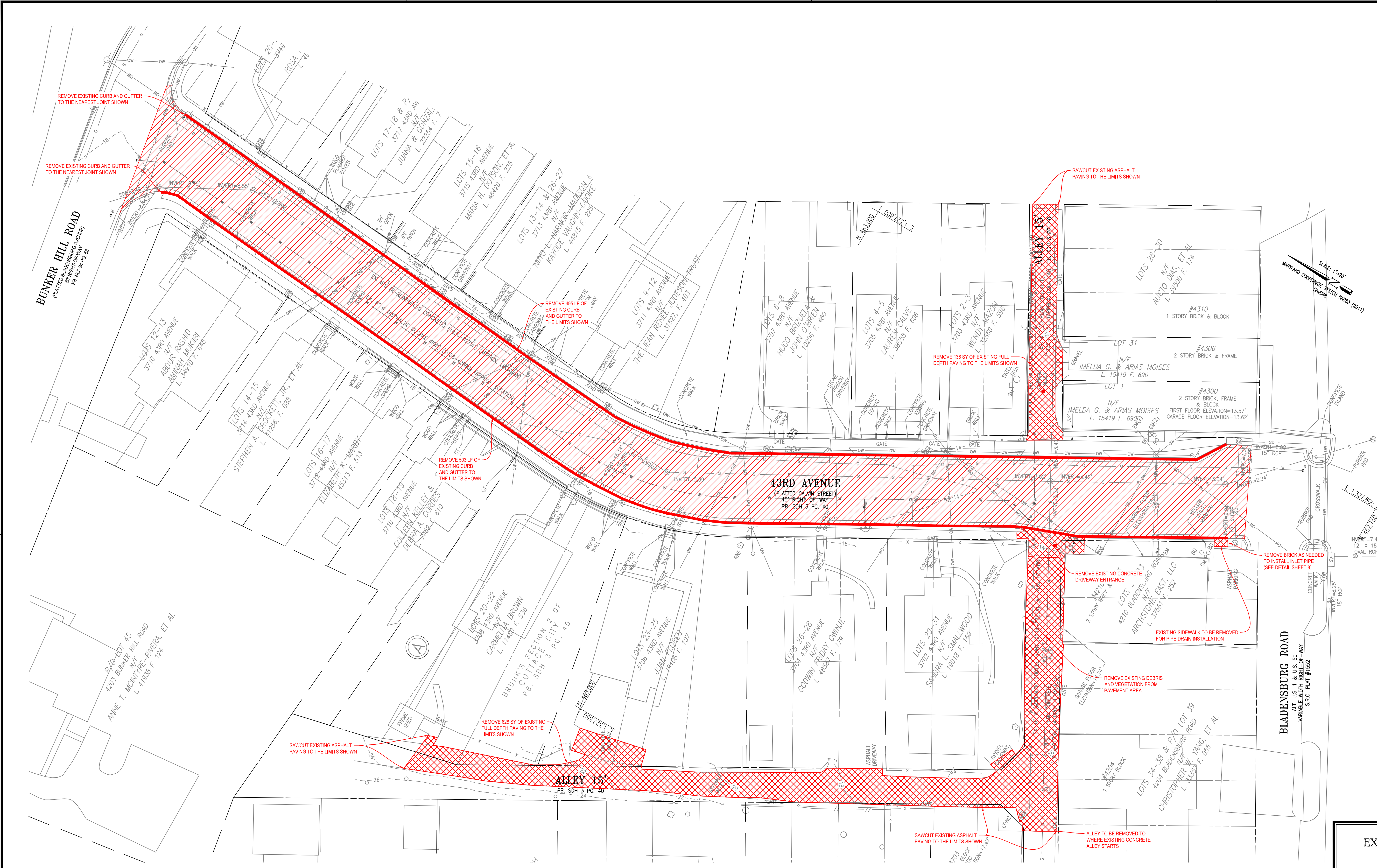
STANDARD NOTES
43rd AVENUE CONCEPT PLAN

COTTAGE CITY 43rd AVENUE
COTTAGE CITY (2ND) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
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CLIENT : TOWN OF COTTAGE CITY 3820 40TH AVENUE COTTAGE CITY, MD 20722 ATTN: CAROL RICHARDSON, TOWN MANAGER	TAX MAP/WSSC N/A		SITE PLAN NO: N/A	
	DESIGN	BMF	SHEET	OF
	DRAFT	JMN	3	10
	DATE	MAR., 2024	FILE NO :	
SCALE		AS SHOWN		2020-3050
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- GENERAL DEMOLITION NOTES:**
1. THIS PLAN IS FOR DEMOLITION PLAN ONLY.
 2. MAINTAIN SAFE ACCESS AROUND FACILITY AT ALL TIMES.
 3. PROTECT ALL EXISTING INFRASTRUCTURE THAT IS TO REMAIN. REPAIR OR REPLACE IN KIND ANY EXISTING INFRASTRUCTURE THAT IS SCHEDULED TO REMAIN AND IS DAMAGED BY CONSTRUCTION ACTIVITIES.
 4. REMOVE ALL FOOTINGS AND BASE MATERIALS ASSOCIATED WITH DEMOLITION.
 5. ALL DIMENSIONS PROVIDED FOR REMOVAL ARE APPROXIMATE AND SHOULD BE TAKEN TO NEAREST JOINT OR AS DIRECTED BY THE TOWN OF COTTAGE CITY CONSTRUCTION REPRESENTATIVE. CONTRACTOR SHALL REMOVE ALL MATERIALS AS REQUIRED TO COMPLETE CONSTRUCTION.
 6. CONTRACTOR SHALL APPROPRIATELY PHASE DEMOLITION IN CONJUNCTION WITH SEQUENCE OF CONSTRUCTION AND MINIMIZE DISRUPTION TO ALL AREAS BEYOND LIMIT OF WORK.
 7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, REPLACING, OR RECONSTRUCTION OF ALL SITE FEATURES (E.G. PAVEMENT, SIDEWALK, CURB, GUTTER, TREES, LANDSCAPING, BENCHES, MAILBOXES, UTILITIES, ETC.) DAMAGED AS A RESULT OF PROJECT WORK AT NO COST TO THE OWNER. SIMILARLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF ANY "PROTECTIVE MEASURES" SUCH AS LAYING MULCH OR INSTALLING WOOD PLANKS.
 8. THESE PLANS DO NOT INCLUDE THE NECESSARY PRECAUTIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 ALL RULES AND REGULATIONS THERETO APPURTENANT.
 9. THESE PLANS DO NOT INCLUDE MOT OR PEDESTRIAN ROUTING. CONTRACTOR TO PROVIDE SAFE ACCESS TO ALL DRIVEWAYS AND WALKWAYS AT ALL TIMES.

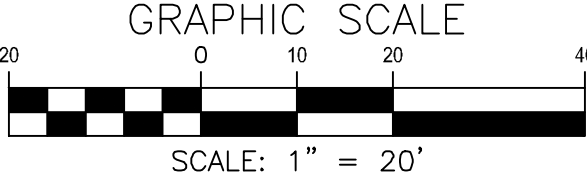
LEGEND

EXISTING TO BE REMOVED

MILL & OVERLAY

MISS UTILITY

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

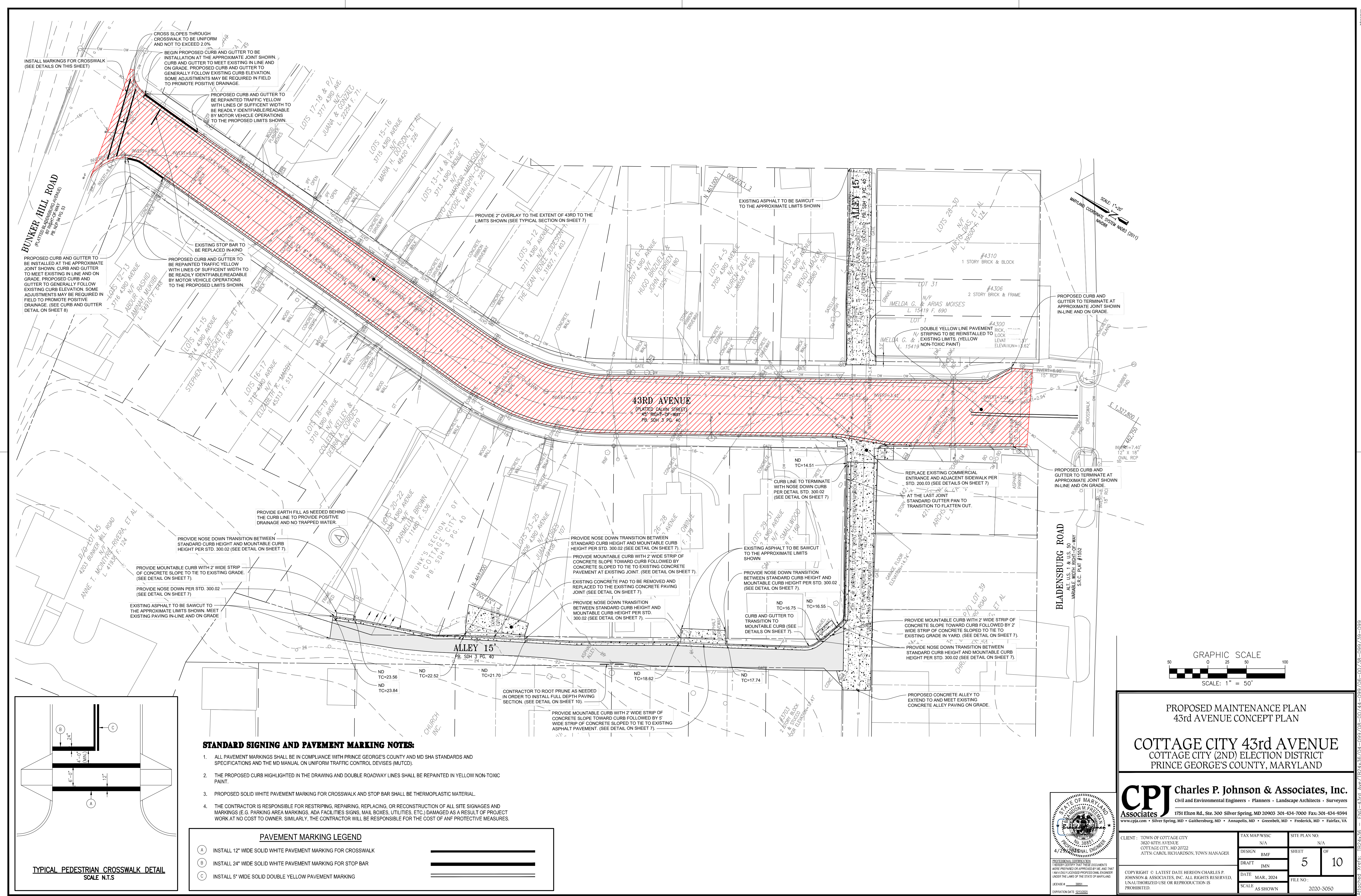


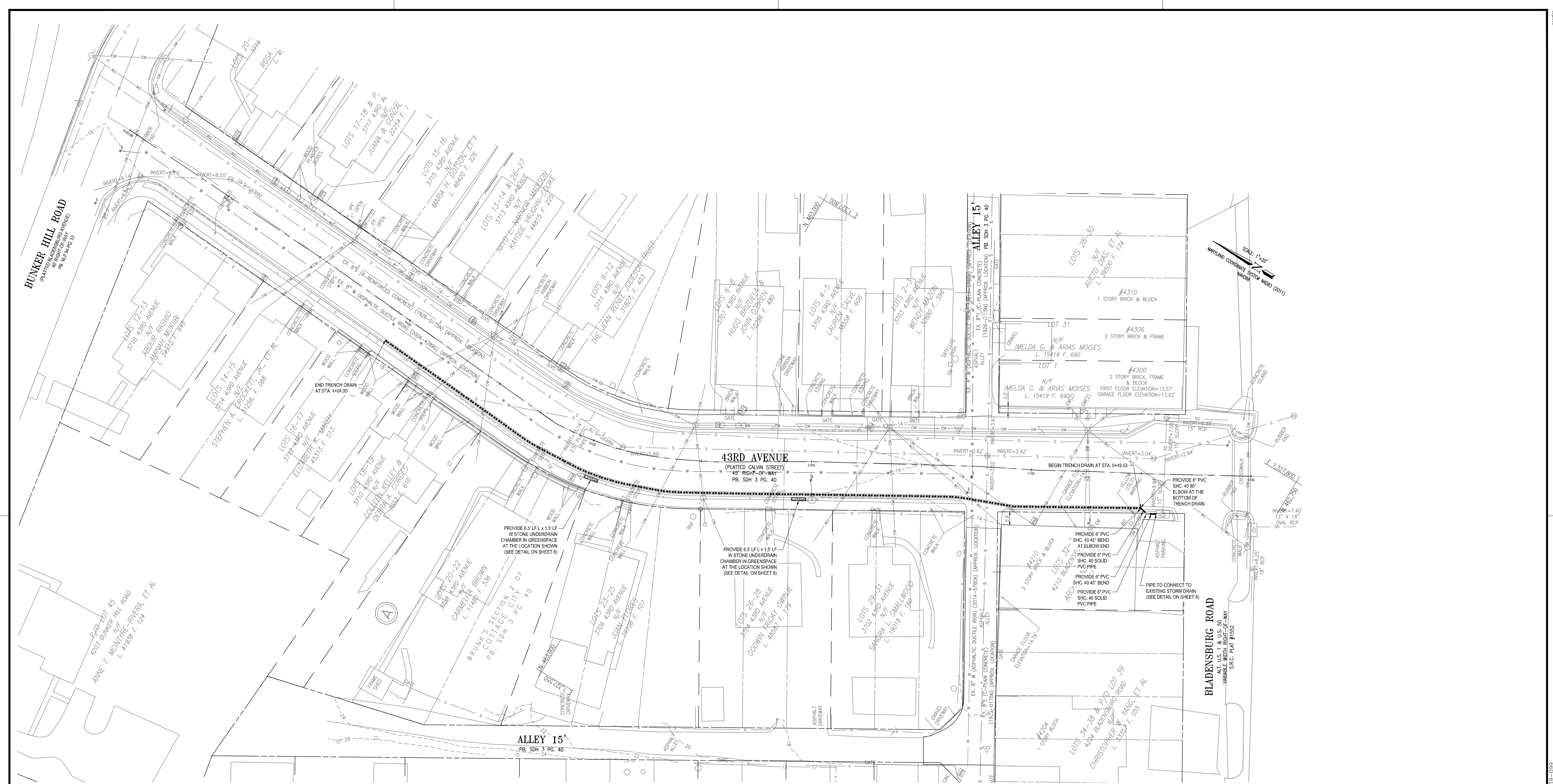
EXISTING CONDITIONS & DEMOLITION PLAN
43rd AVENUE CONCEPT PLAN

COTTAGE CITY 43rd AVENUE
COTTAGE CITY (2ND) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

CPJ Associates Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpj.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: TOWN OF COTTAGE CITY 3820 40TH AVENUE COTTAGE CITY, MD 20722 ATTN: CAROL RICHARDSON, TOWN MANAGER	TAX MAP/WSSC N/A	SITE PLAN NO. N/A
DESIGN BMF	DATE MAR, 2024	SHEET 4
DRAFT JMN	SCALE AS SHOWN	OF 10
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NOTES:

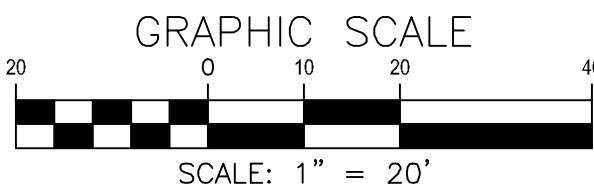
1. MATCH GRADE OF PROPOSED TRENCH DRAIN INSTALLATION WORK WITH EXISTING FEATURES, UNLESS MENTIONED OTHERWISE.
2. KEEP SIDEWALK ACCESSIBLE AND CLEAR OF TRIP HAZARDS.
3. CONTRACTOR TO PROTECT ROAD, CURB AND GUTTER, SIDEWALK AND DRIVEWAY APRON ADJACENT TO PROJECT SITE, OR REPLACE IN-KIND.

MISS UTILITY

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work. The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation.

TRENCH DRAIN NOTES:

1. TRENCH DRAIN SHALL BE POLYDRAIN, MANUFACTURED BY ABT, INC OR APPROVED EQUAL (4" INTERNAL WIDTH). TRENCH SHALL CONSIST OF NON-SLOPING CHANNELS (ABT #091) AND SHALL BE INSTALLED SO THE TRENCH INVERT AND GRATE MATCHES THE TYPICAL LONGITUDINAL SLOPE OF THE ROAD TO PROVIDE A POSITIVE SLOPE TO THE DOWNSTREAM END.
2. TRENCH DRAIN SHALL HAVE A VERTICAL OUTLET ON THE DOWNSTREAM END WITH CONNECTION TO 6" PVC PIPE.
3. END PLATES SHALL BE PROVIDED AT UPSTREAM AND DOWNSTREAM END OF TRENCH DRAIN RUN. END OF TRENCH DRAIN RUN SHALL BE LOCATED A MINIMUM OF 4" FROM NEAREST JOINT IN CURB AND GUTTER.
4. TRENCH DRAIN SHALL INCLUDE DUCTILE IRON ANCHOR FRAME (ABT #2510AF & #2510MFAF).
5. TRENCH DRAIN GRATING SHALL BE DUCTILE IRON RATED FOR A MINIMUM OF H-20 LOADING AND SHALL BE OR LONGITUDINALLY SLOTTED (ABT #2504). GRATES SHALL SEAT INTO ANCHOR FRAME WITHOUT ROCKING AND SHALL BE LOCKED TO THE CHANNEL USING A ZINC PLATED STEEL 5/16-18 UNC BOLT AND ZINC PLATED STEEL TOGGLE BAR SYSTEM.
6. TRENCH DRAIN SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



TRENCH DRAIN PLAN
43rd AVENUE CONCEPT PLAN

COTTAGE CITY 43rd AVENUE
COTTAGE CITY (2ND) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

CPJ

Charles P. Johnson & Associates, Inc.

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CLIENT : TOWN OF COTTAGE CITY
3830 40TH AVENUE
COTTAGE CITY, MD 20722
ATTN: CAROL RICHARDSON, TOWN MANAGER

TAX MAP/WSSC
N/A

DESIGN
BMF

DRAFT
JMN

DATE
MAR., 2024

SCALE
AS SHOWN

SITE PLAN NO.
N/A

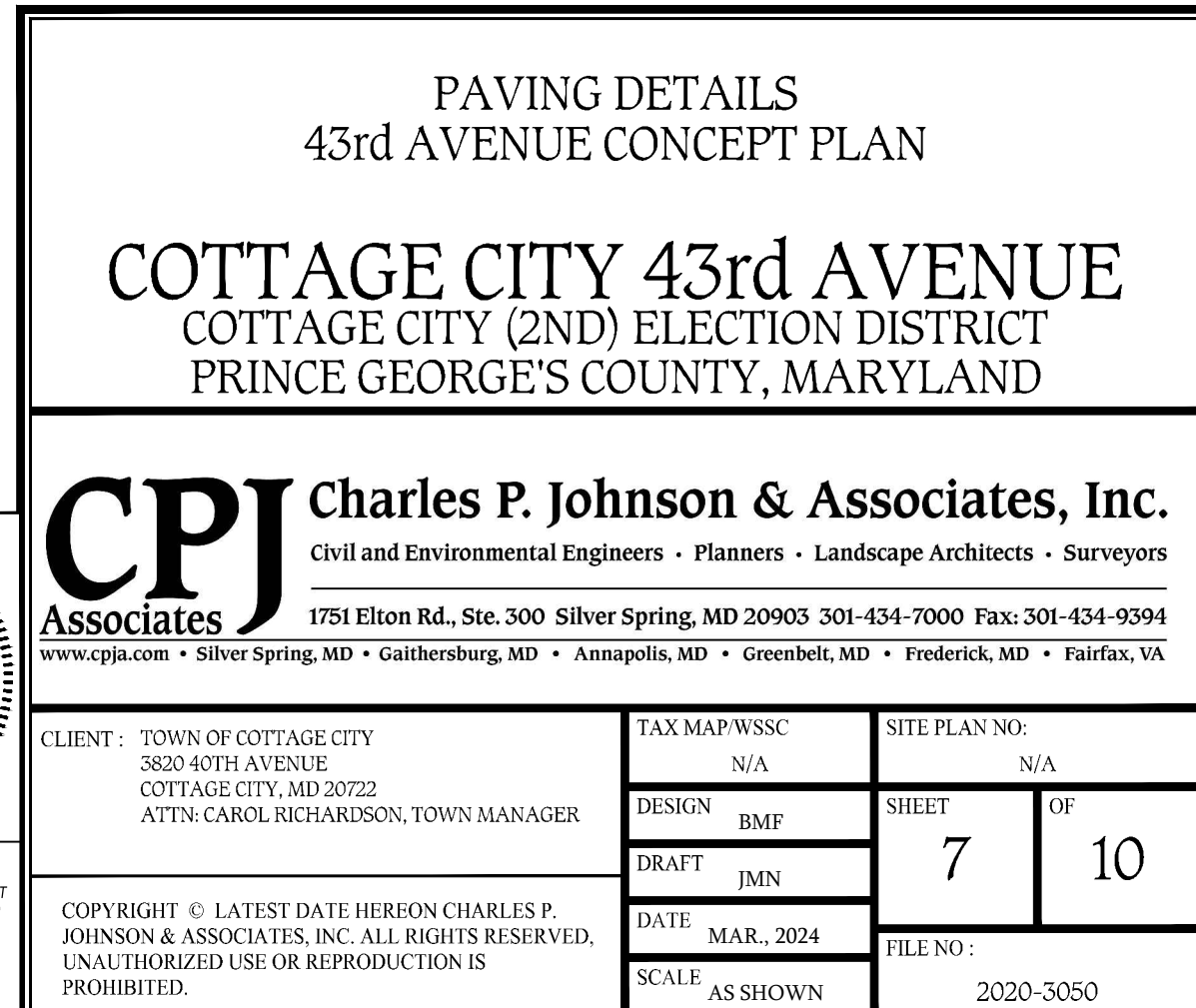
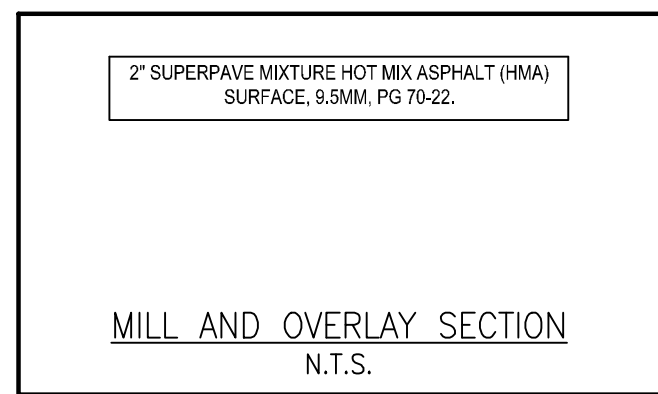
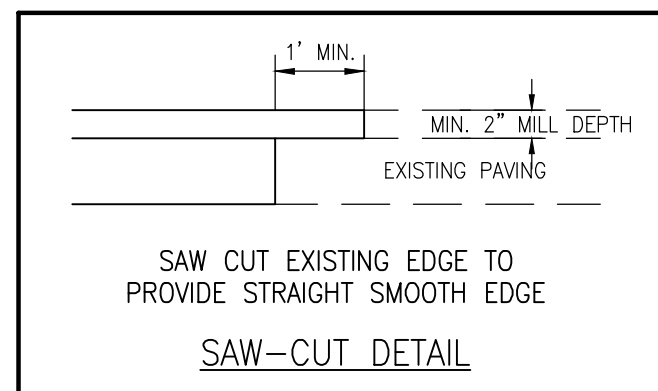
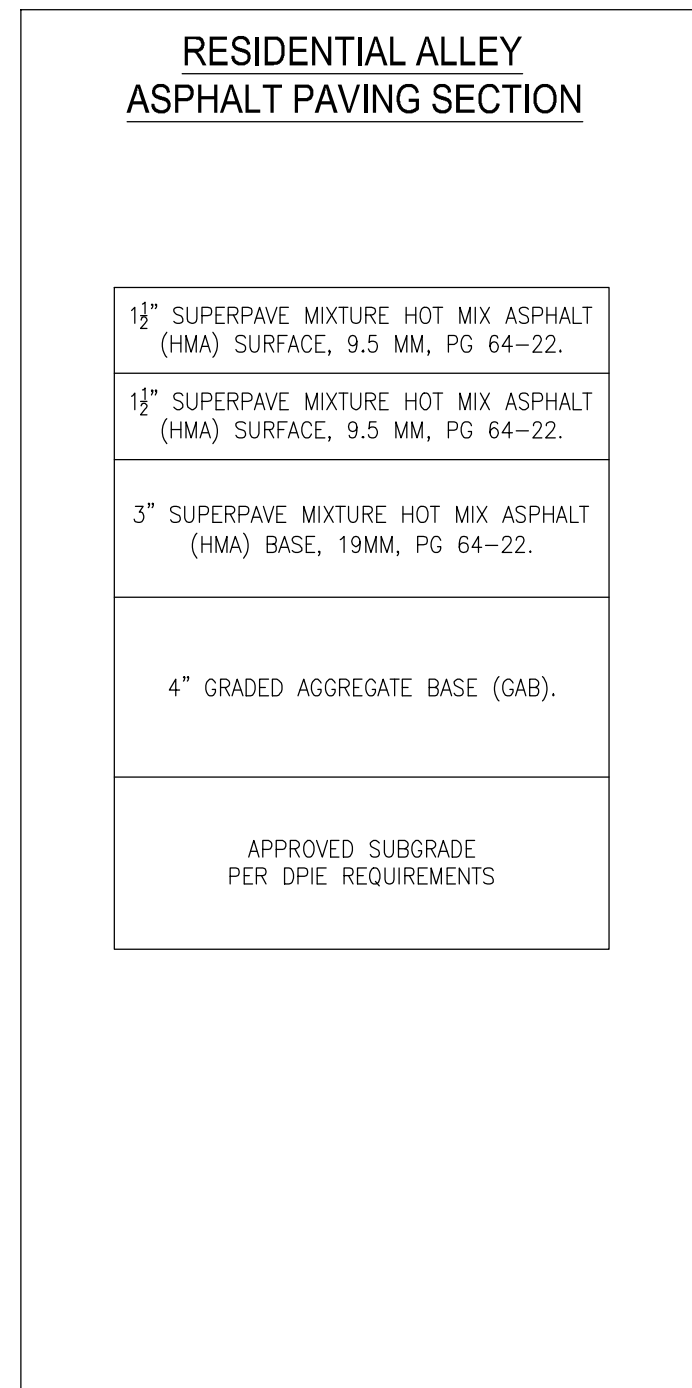
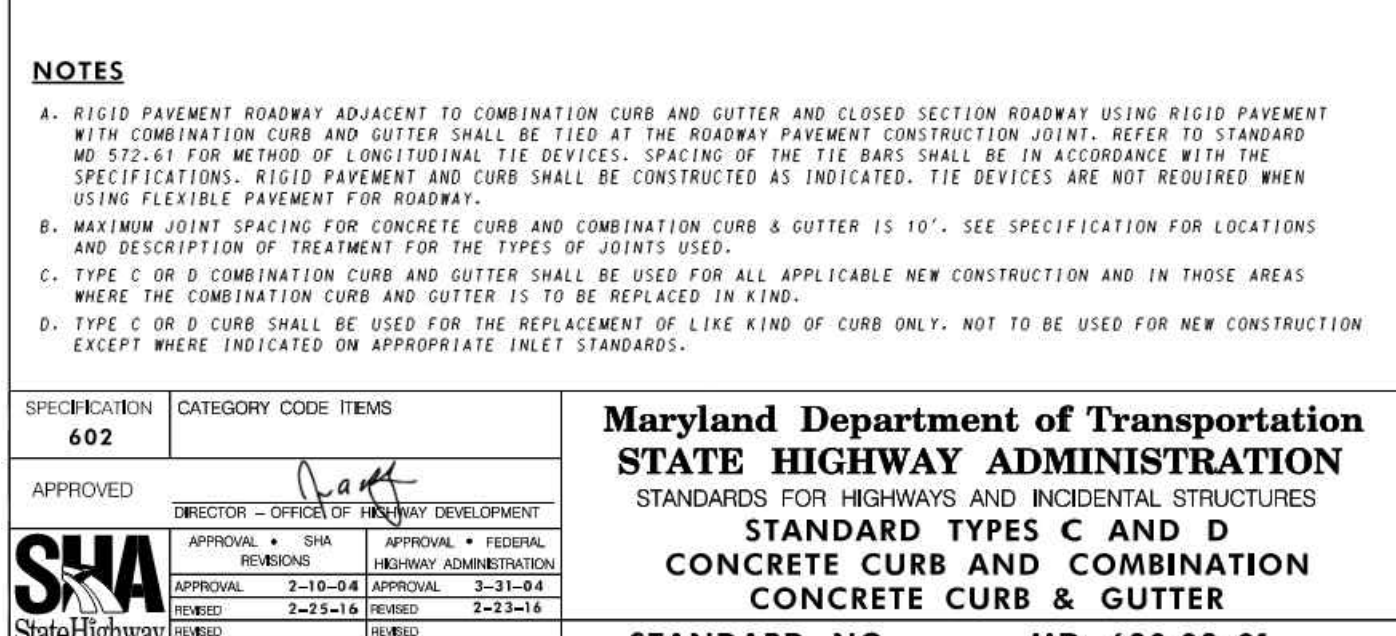
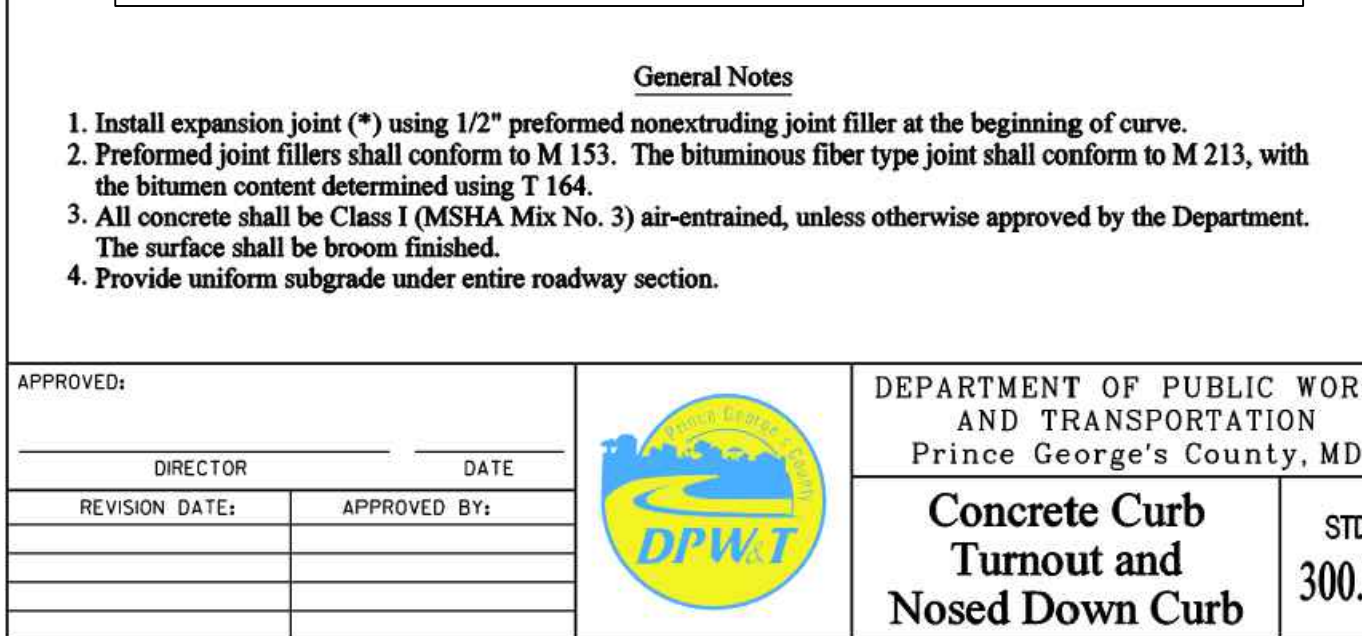
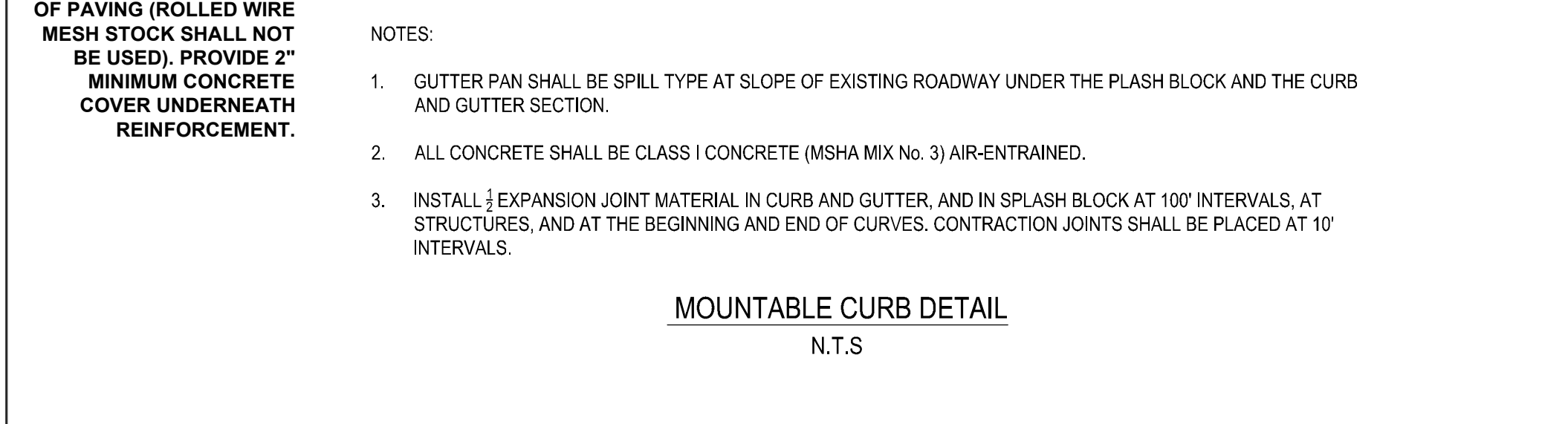
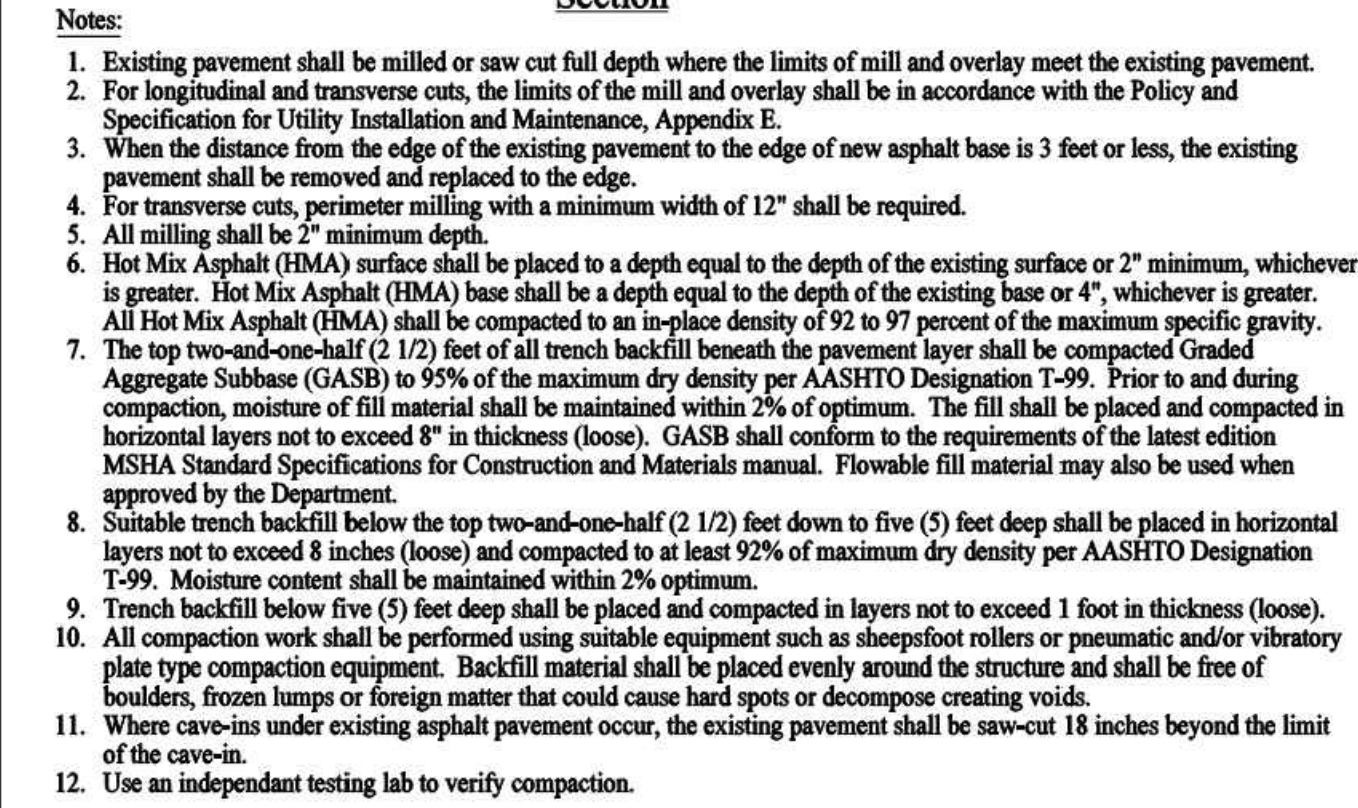
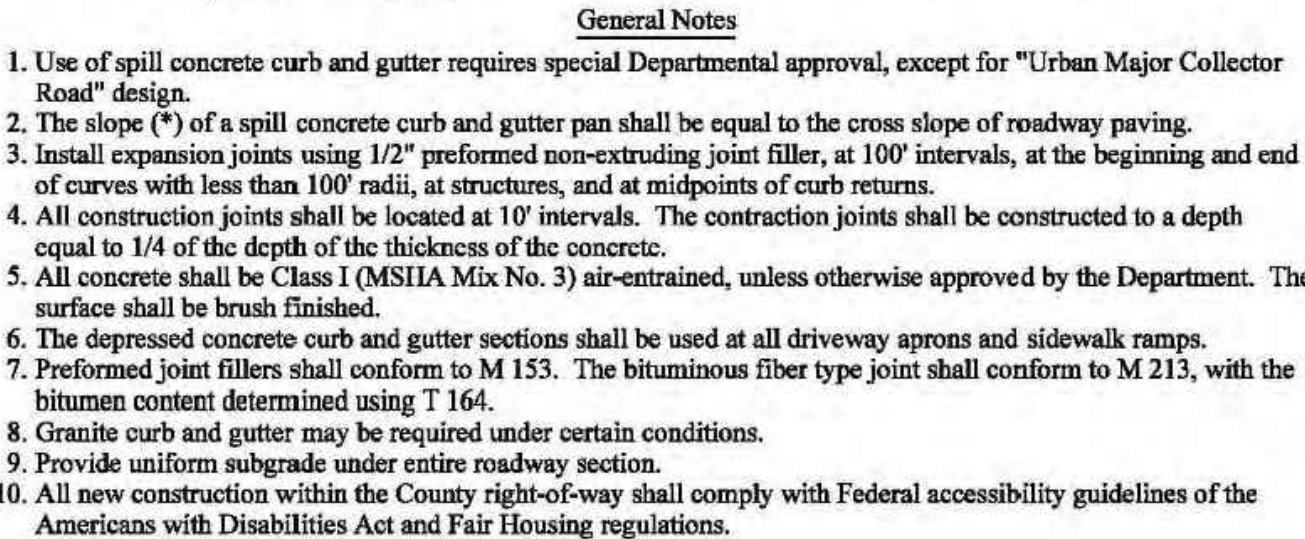
SHEET
6

OF
10

FILE NO :
2020-2050

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Corrugated Metal Pipe (CMP) Connection
(Minimum 6" diameter pipe)

Rigid Plastic Pipe Connection
(Minimum 6" diameter pipe)

Notes:

1. Corrugated metal pipe (CMP) shall be used in roadway and shoulder area, and rigid plastic pipe outside of paved areas.
2. Grout shall be placed around pipe to form a tight fit.
3. Place bell against outside wall of storm drain pipe or structure and trim incoming pipe flush with inside wall or pipe.
4. All types of incoming pipe material must be approved by the Department.

APPROVED:

DIRECTOR

DATE

REVISION DATE:

APPROVED BY:

DEPARTMENT OF PUBLIC WORKS
AND TRANSPORTATION
Prince George's County, MD

Underdrain or Yard
Drain Connection to
Storm Drain Structure

STD.
300.17

CHANNEL PREPARATION

1. FORMING MITER JOINTS

2. PIPE CONNECTION / PREFORMED CUTOUT REMOVAL

3. HORIZONTAL AND VERTICAL OUTLET/CLOSED END PLATES

3

Plan Notes
Series Number: PD-2514AF

1. Grate & Frame:
 - Ductile Iron per ASTM A536 Grade 80-55-06 (Epoxy Coated)
 - Open Area: 0.21 FT² per Lineal Foot [0.064 M² per Lineal Meter]
 - Load Rating: 1235 PSI (AASHTO M-306 Test Method)
 - Made in the USA
2. Concrete: Concrete Thickness and Reinforcement per Structural Engineer's Specification for the Application.

GRATE TOP VIEW
(ROTATED 90°)

GRATE END VIEW

END CROSS SECTION VIEW

NOTES:

TRENCH DRAIN SHALL BE SET IN MONOLITHICALLY POURED CONCRETE CURB AND GUTTER PER MODIFIED DETAILS ON THIS SHEET.

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P.O. BOX 837, 259 MURDOCK ROAD
TICULTMAN, NC 28166
(704) 528-9800

PolyDrain - 4" [100mm] ID Precast Trench Drain with Ductile Iron Frame & Longitudinally Slotted Grate

SERIES: PD-2514AF

REV: 00

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PERFORATION SCHEDULE

DIMENSION	VALUE	UNITS
N	4	EA
D	0.375	IN
S1	6.28	IN
S2	4	IN
φ	4	IN
β	90	DEGREES

**PERFORATED PVC
DETAIL**

TRENCH DRAIN ALIGNMENT IN STANDARD CONCRETE CURB AND GUTTER
N.T.S.

MISS UTILITY

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SECTION

TOP VIEW

STONE CHAMBER DETAIL
N.T.S.

PIPE SCHEDULE		
Size	Type	Length
4"	PERFORATED P.V.C. SCH.40	7
4"	SOLID P.V.C. SCH.40	2
6"	SOLID P.V.C. SCH.40	10
TOTAL=		19

TRENCH DRAIN DETAILS
43rd AVENUE CONCEPT PLAN

COTTAGE CITY 43rd AVENUE
COTTAGE CITY (2ND) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

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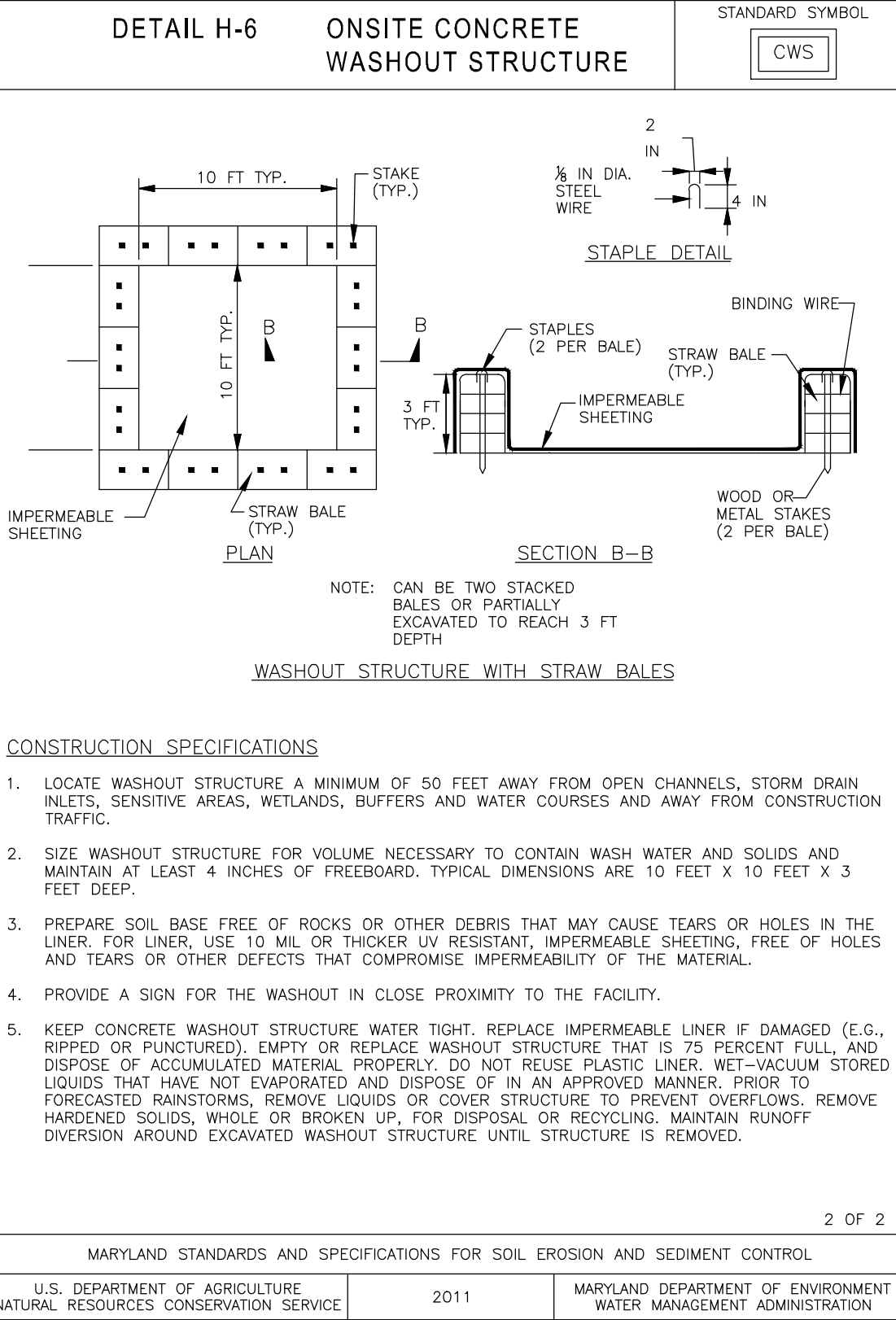
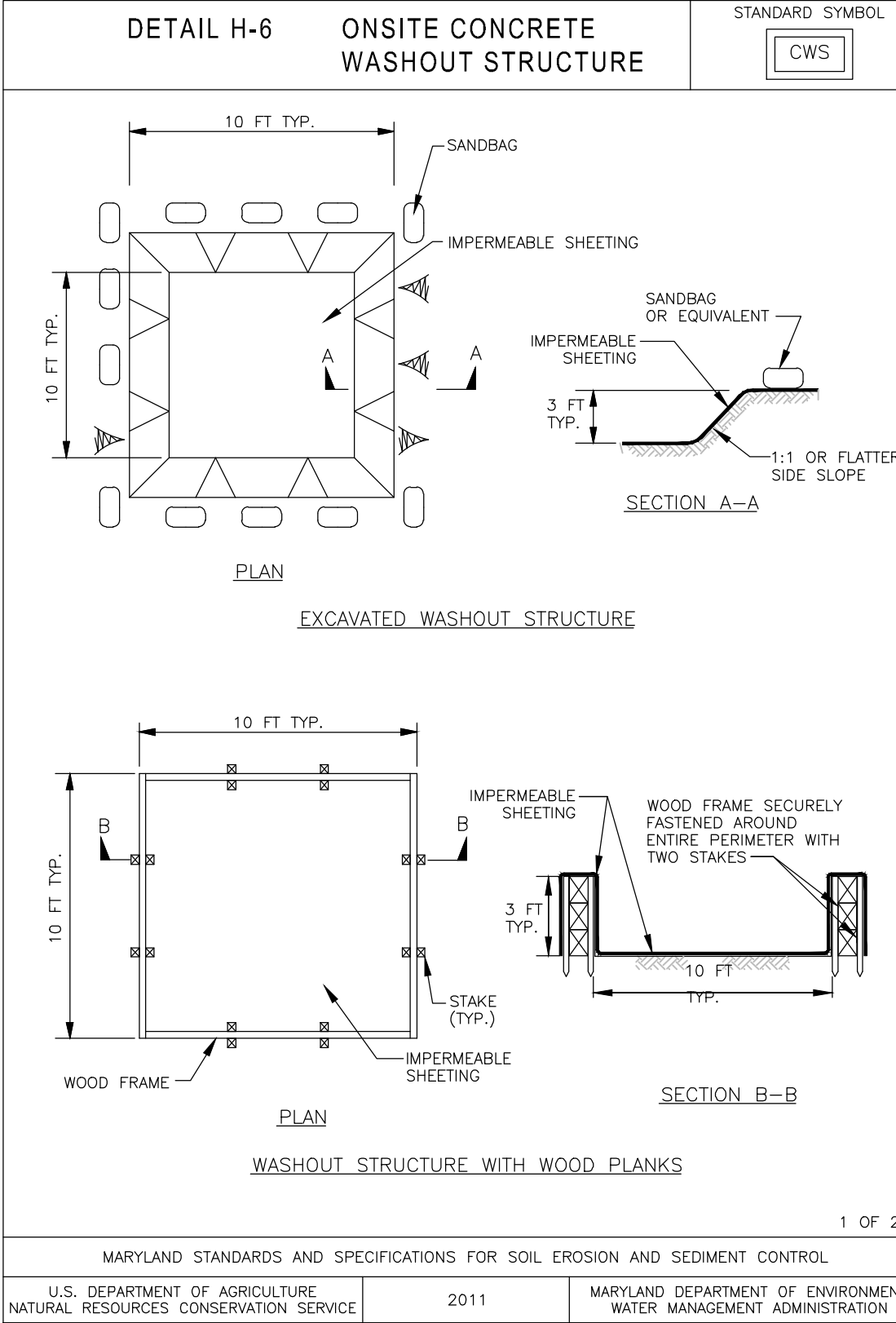
CLIENT: TOWN OF COTTAGE CITY
3830 40TH AVENUE
COTTAGE CITY, MD 20722
ATTN: CAROL RICHARDSON, TOWN MANAGER

TAX MAP/WSSC: N/A
DESIGN: BMF
DRAFT: JMN
DATE: MAR., 2024
SCALE: AS SHOWN

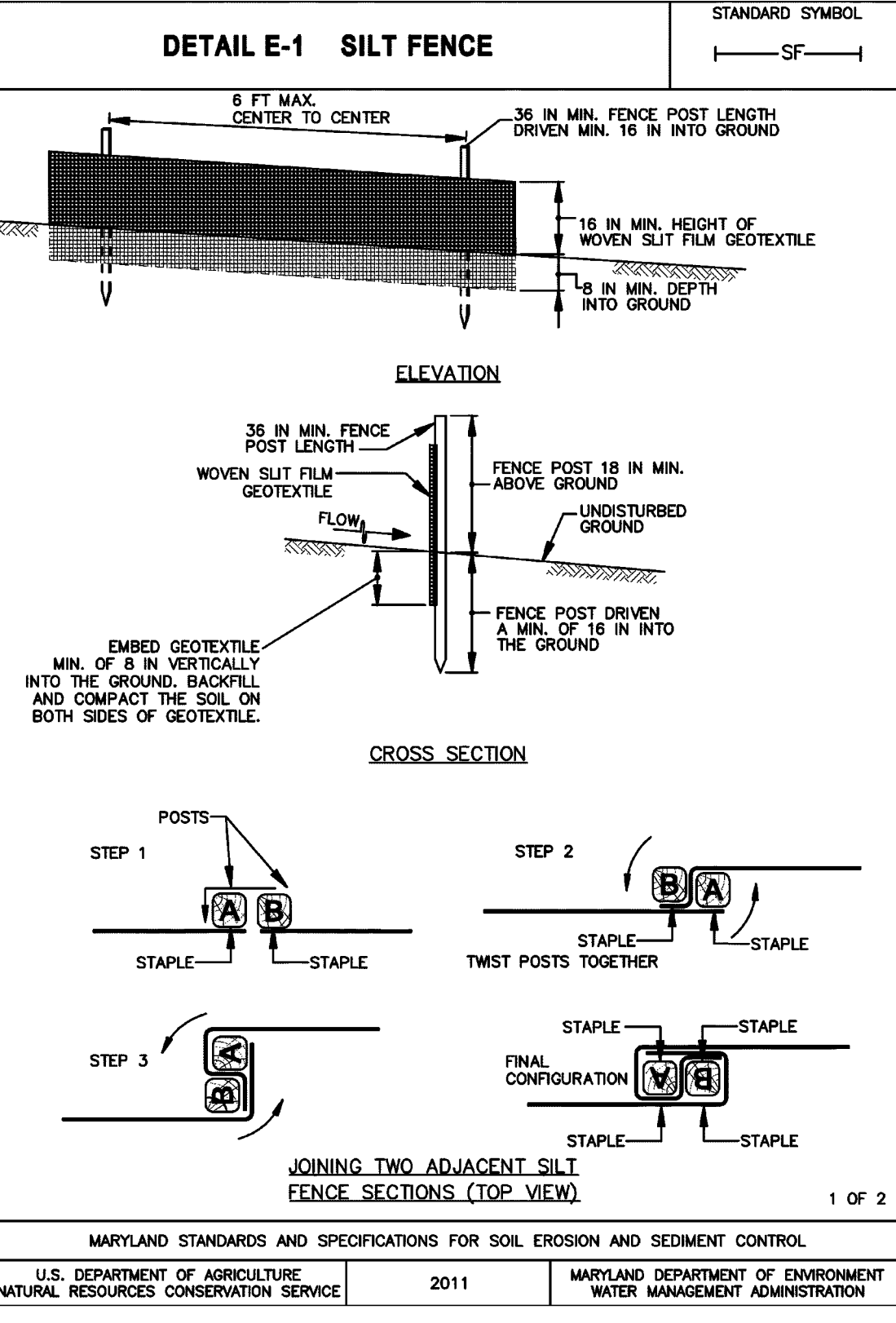
SITE PLAN NO.: N/A
SHEET: 8 OF 10
FILE NO.: 2020-3050

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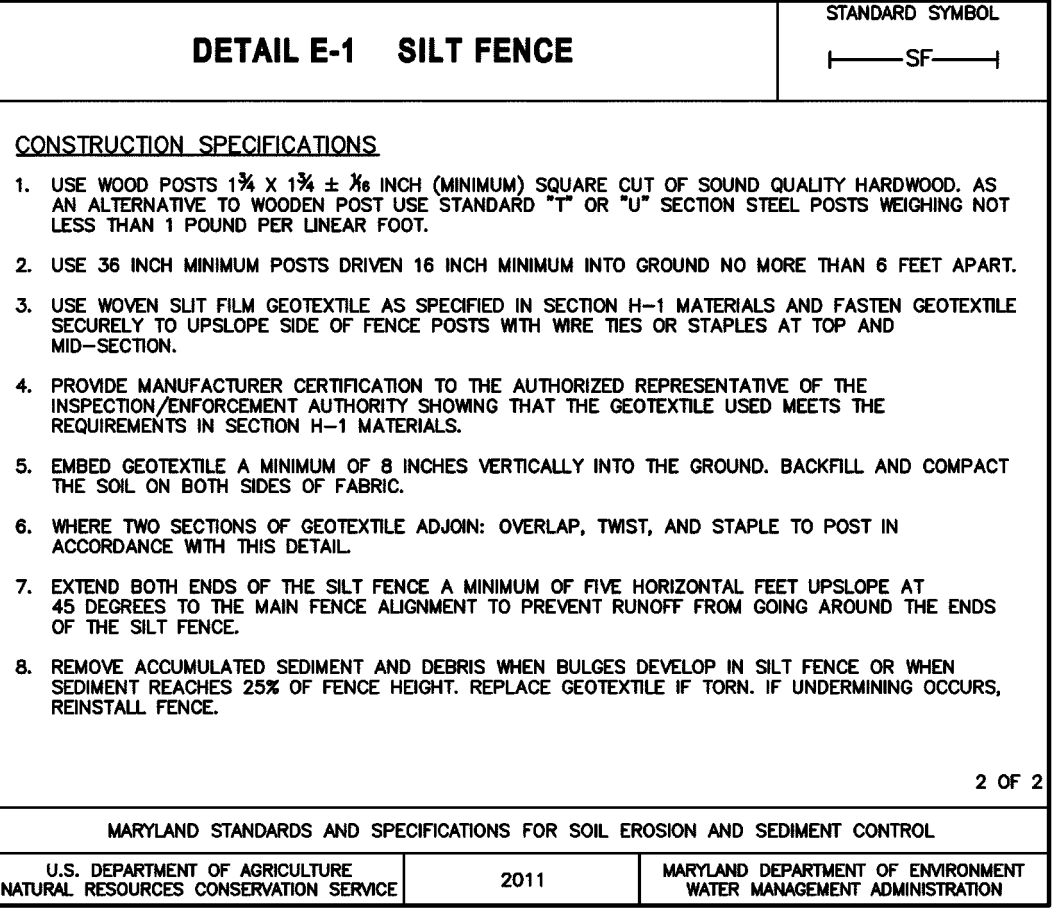
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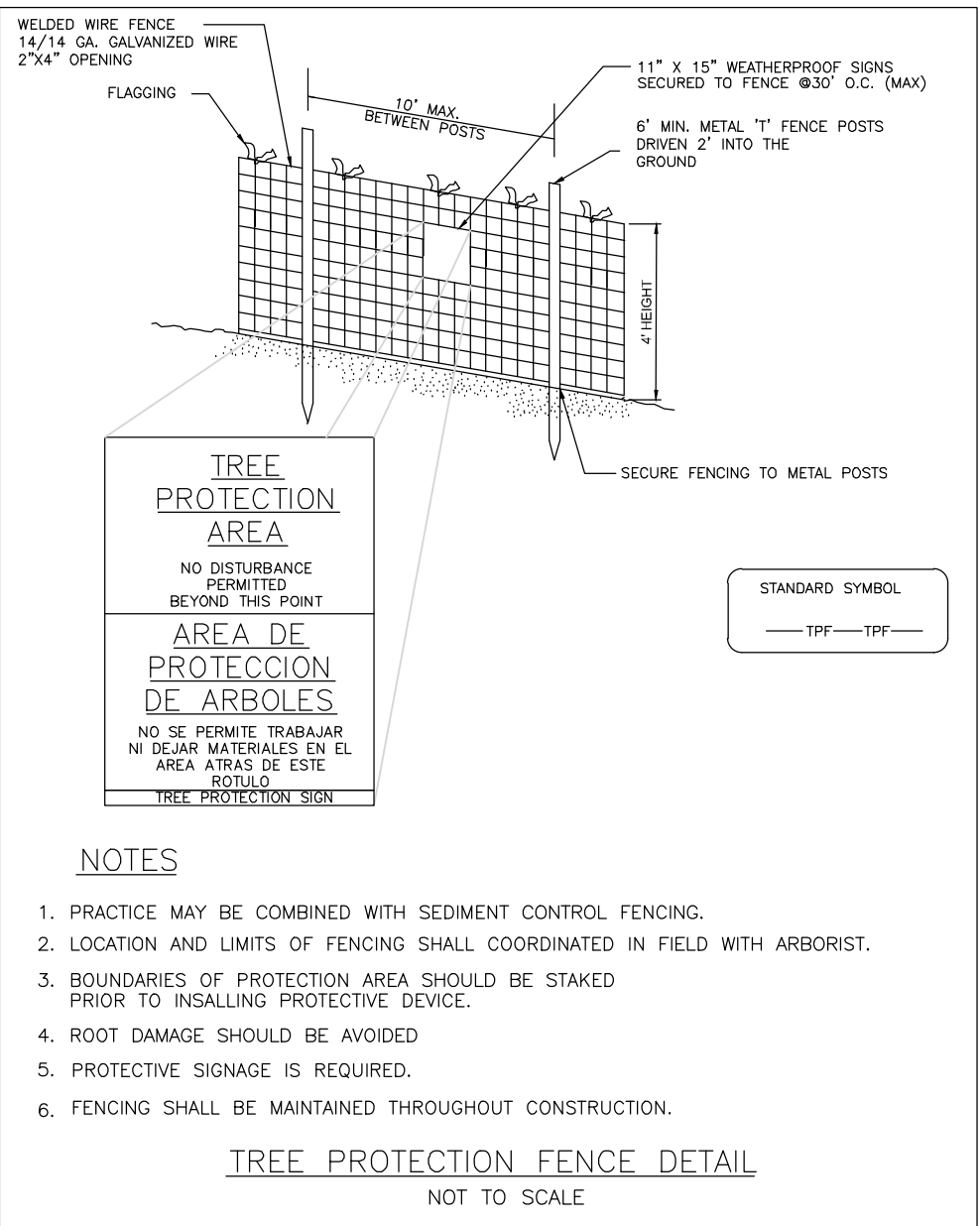
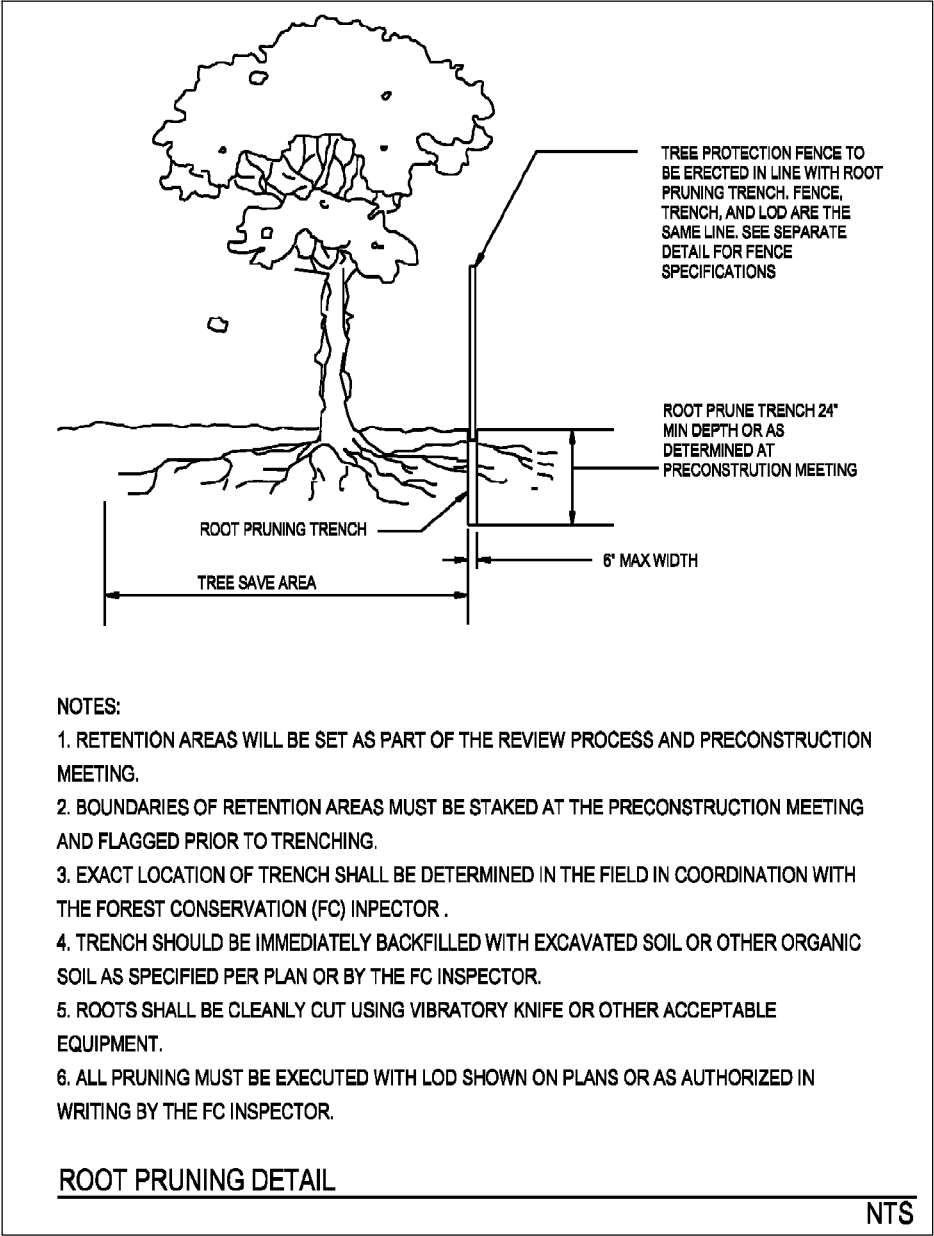
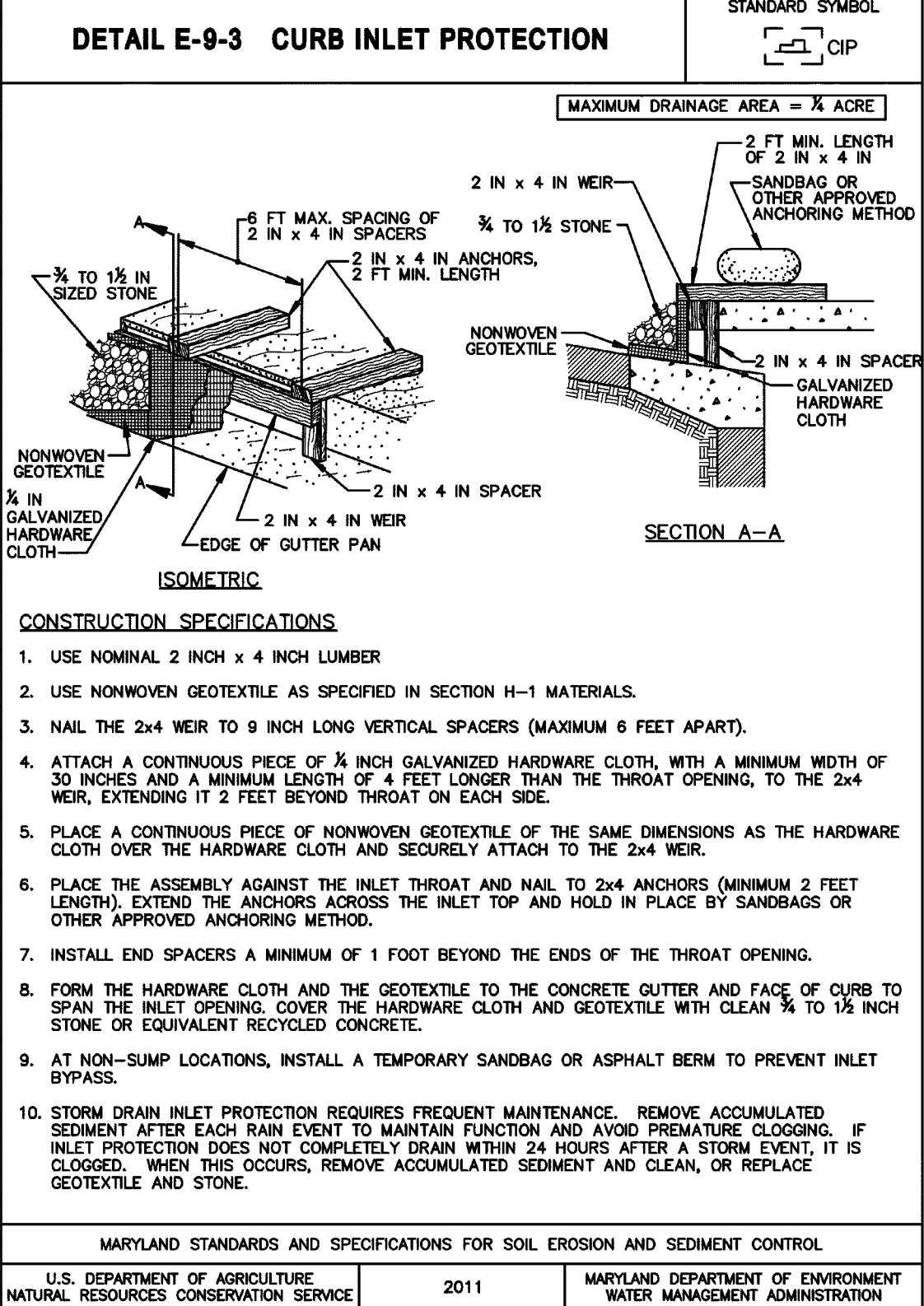
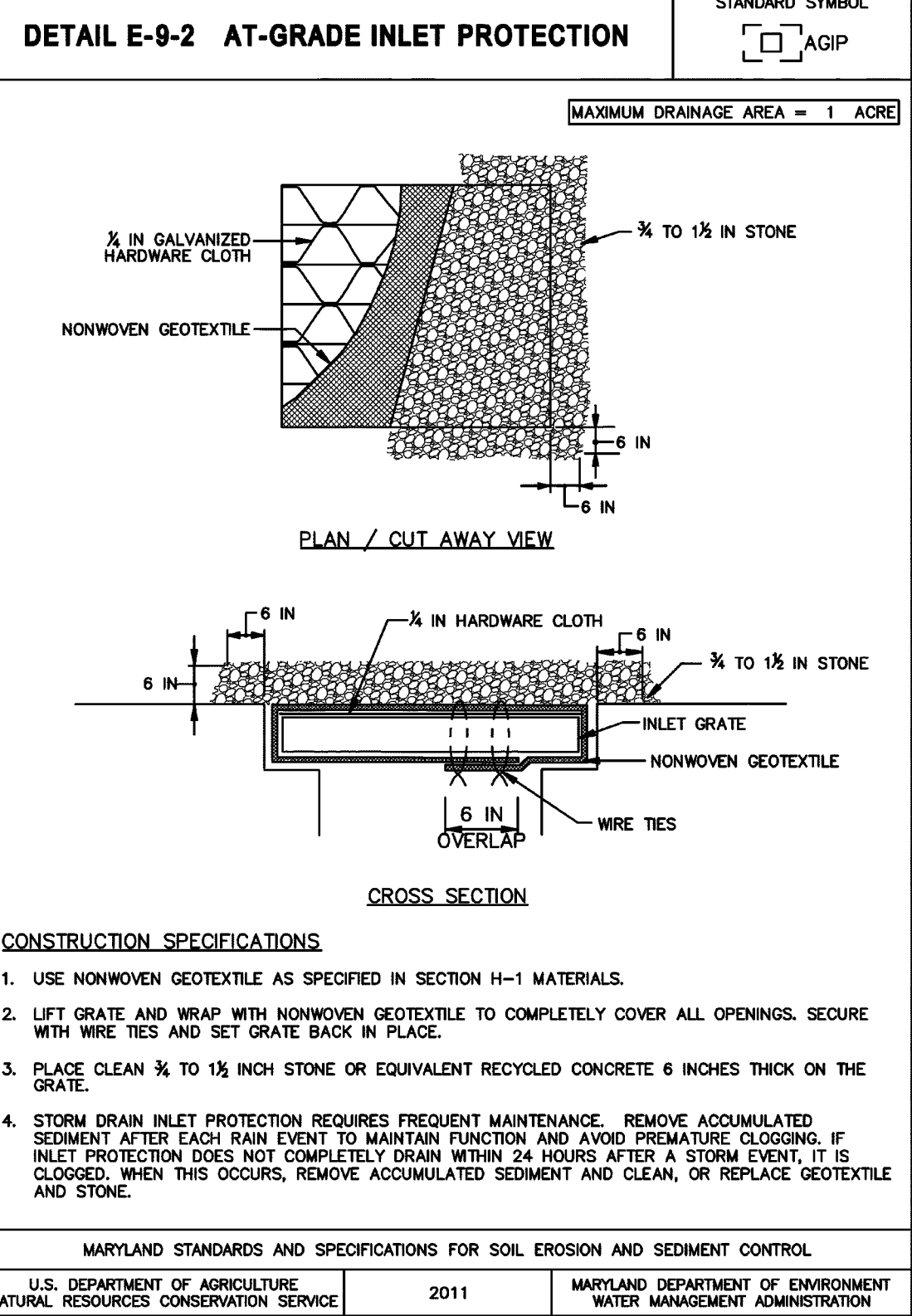
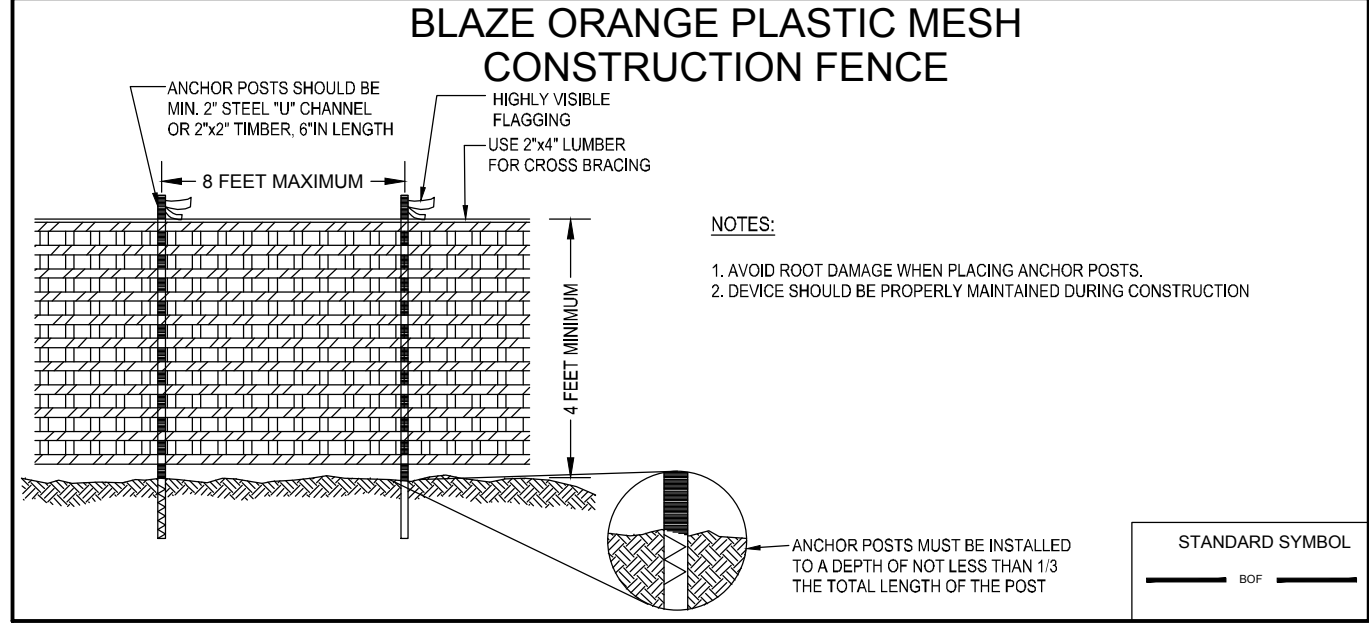
- CONSTRUCTION SPECIFICATIONS
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
 3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



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- CONSTRUCTION SPECIFICATIONS
1. USE WOOD POSTS 1 1/4 X 1 1/4 ± 1/8 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD 'T' OR 'U' SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
 3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
 4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
 5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
 6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
 7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
 8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.



- GENERAL NOTES:
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE. CONTRACTOR SHALL INSTALL APPROPRIATE SEDIMENT CONTROL MEASURES AS NECESSARY. STANDARD SEDIMENT CONTROL NOTES AND SOME DETAILS ARE PROVIDED ON SHEETS 9-10. REFER TO THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL DETAILS AND PRACTICES AS NEEDED.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
- A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SLOPES, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1) AND
 - B. SEVEN (7) CALENDAR DAYS FOR ALL OTHER DISTURBED OR GRADED A REASON THE PROJECT SITE, THE IN-PLACE SEDIMENT CONTROL MEASURES WILL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED AND ALL PERMIT REQUIREMENTS ARE MET.

MISS UTILITY

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CLIENT : TOWN OF COTTAGE CITY 3830 40TH AVENUE COTTAGE CITY, MD 20722 ATTN: CAROL RICHARDSON, TOWN MANAGER	TAX MAP/WSSC N/A	SITE PLAN NO. N/A
DESIGN BMF	SHEET 10	OF 10
DRAFT JMN	DATE MAR., 2024	FILE NO. : 2020-3050
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