

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

Prince George's County (Grantors) \_\_\_\_\_, thereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at 3702 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) remove a portion of the existing gravel driveway entrance, and (ii) replace with a mountable curb and gutter and concrete strip** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3702 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0118935**, to **(i) remove a portion of existing gravel driveway entrance, and (ii) replace with a mountable curb and gutter and concrete strip** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this \_\_\_\_\_ day of \_\_\_\_\_ the year 2025.

\_\_\_\_\_  
Printed Name of Owner or Representative

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3702 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0118935**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

\_\_\_\_\_  
**Wanda Wheatley, Commissioner Chair**

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

**Godwin Friday Owinje (Grantors)** [redacted] hereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at **3704 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.**

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) sawcut and remove a portion of existing asphalt driveway entrance, and (ii) replace with mountable curb, standard nosedown curb and a sloped concrete strip** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3704 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0092411,** to **(i) sawcut and remove a portion of existing asphalt driveway entrance, and (ii) replace with mountable curb, standard nosedown curb and a sloped concrete strip** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 29<sup>th</sup> day of August the year 2025.

Godwin Owinje  
Printed Name of Owner or Representative

[Signature]  
Signature

8/29/25  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3704 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0092411**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

Wanda Wheatley, Commissioner Chair

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

**Juan Flores (Grantors)** \_\_\_\_\_ 9 thereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at **3706 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.**

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) sawcut and remove a concrete driveway pad to existing concrete joint of existing driveway entrance, (ii) install mountable curb, sloped concrete strip, and concrete panels removed, and (iii) locate existing downspout at the left front corner (when facing the roadway) and install drainage system (pipes and associated bends)** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3706 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0154229, to (i) sawcut and remove a concrete driveway pad to existing concrete joint of existing driveway entrance, (ii) install mountable curb, sloped concrete strip, and concrete panels removed, and (iii) locate existing downspout at the left front corner (when facing the roadway) and install drainage system (pipes and associated bends)** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 8<sup>th</sup> day of 27<sup>th</sup> the year 2025.

Juan Flores  
Printed Name of Owner or Representative

J-F  
Signature

8-27-25  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3706 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0154229**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

\_\_\_\_\_ **Wanda Wheatley, Commissioner Chair**

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

**Carmelita Brown (Grantors)** \_\_\_\_\_ i hereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at **3708 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.**

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) sawcut existing asphalt paving near shed (ii) install earth fill to provide positive drainage, (iii) install mountable curb, nose down curb, standard curb, gutter sloped concrete strip and reinstall asphalt paving, and (iv) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall as needed** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3708 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0094433,** to **(i) sawcut existing asphalt paving near shed (ii) install earth fill to provide positive drainage, (iii) install mountable curb, nose down curb, standard curb, gutter sloped concrete strip and reinstall asphalt paving, and (iv) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall as needed** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 27 day of AUG the year 2025.

Velma Conyers  
Printed Name of Owner or Representative

Velma Conyers  
Signature

Aug 27 2018  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3708 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0094433**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

\_\_\_\_\_  
**Wanda Wheatley, Commissioner Chair**

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

Colleen M. Kelley and Debra A. Cordes (Grantors) \_\_\_\_\_, hereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at **3710 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.**

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall as needed** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

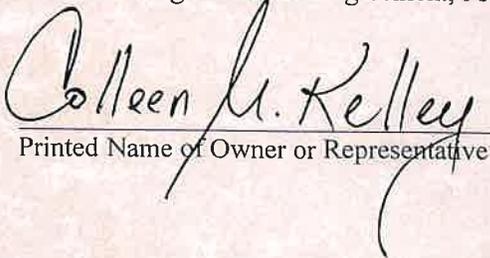
This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3710 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0148403, to (i) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall as needed** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

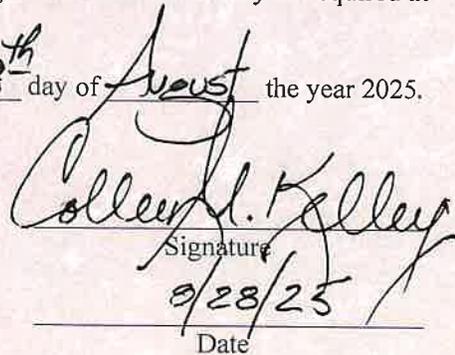
In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 28<sup>th</sup> day of August the year 2025.

  
Printed Name of Owner or Representative

  
Signature  
8/28/25  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3710 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0148403**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

\_\_\_\_\_ **Wanda Wheatley, Commissioner Chair**

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

**Elizabeth K. Marby and Cristina E. Jimenez (Grantors)** \_\_\_\_\_ 0 thereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at 3712 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall, fence line and disturbing existing tree on property as needed** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3712 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0164350**, to **(i) install drainage system (pipes and associated bends) by removing and reinstalling existing wooden retaining wall, fence line and disturbing existing tree on property as needed** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 27<sup>th</sup> day of August the year 2025.

Elizabeth K. Marby  
Printed Name of Owner or Representative

Elizabeth K. Marby  
Signature

8/27/2025  
Date

--- Below information to be filled out by the Town of Cottage City ---

**3712 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0164350**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

\_\_\_\_\_  
**Wanda Wheatley, Commissioner Chair**

**STORMWATER MAINTENANCE PROJECT**  
**43<sup>rd</sup> Avenue**  
**ENTRY AGREEMENT**  
**WITH THE TOWN OF COTTAGE CITY**

**Stephen A. Crockett Jr. (Grantors)** \_\_\_\_\_, hereby grants permission to the Town of Cottage City (Grantee), its personnel and contractors, may have to enter upon my property, located at **3714 43<sup>rd</sup> Avenue, in the Town of Cottage City, Maryland, Prince George's County.**

I understand that the Town of Cottage City will perform the work in a neat and workmanlike manner, and the contractor will put forth the best effort to **(i) install drainage system (pipes and associated bends)** based on the engineer's final approved design. I agree the Town will formally notify me of the exact time and dates that the construction is expected to affect the grantor's property, and will advise me of alternate parking locations if the property should be inaccessible.

This entry agreement shall in no way be construed as the conveyance of real property from one party to the other, nor is it to be construed as the conveyance of any rights other than the right of the Town of Cottage City and/or its contractor to enter that portion of the Grantor's land, **Address: 3714 43<sup>rd</sup> Avenue, Cottage City, Maryland 20722 Tax Account #: 0103176,** to **(i) install drainage system (pipes and associated bends)** based on the engineer's final approved design. At the termination of construction, the permission granted herein shall terminate and cease to exist.

In signing this agreement Grantor relinquishes any rights for possible compensation in order to expedite the construction of this project. This agreement does not allow for the staging of heavy equipment on grantor's property.

Grantee will take all reasonable measures and exercise reasonable effort to prevent damage to Grantor's property and will instruct its contractor to do the same. In the event Grantee's contractor damages Grantor's property, Grantee will instruct its contractor to restore said property to the same or as similar a condition to the original as is possible and reasonable. Grantee requires that its contractors carry and maintain liability coverage for damage to Grantor's property, if any, due to or as a consequence of contractor's work pursuant to the contract.

It is hereby understood and agreed that all utility companies having facilities within the area covered by this agreement are hereby given permission to move and/or adjust the facilities as may be required in connection with the proposed project.

In acknowledgment of this Agreement, I set my hand this 8 day of Aug. the year 2025.

Stephen Crockett Jr.

Printed Name of Owner or Representative

Stephen A. Crockett Jr.

Signature

8/22/25

Date

--- Below information to be filled out by the Town of Cottage City ---

**3714 43<sup>rd</sup> Avenue Cottage City, Maryland 20722, Tax Account #0103176**

APPROVED FOR THE TOWN OF COTTAGE CITY, on this 27th day of August, 2025. By:

Wanda Wheatley, Commissioner Chair