









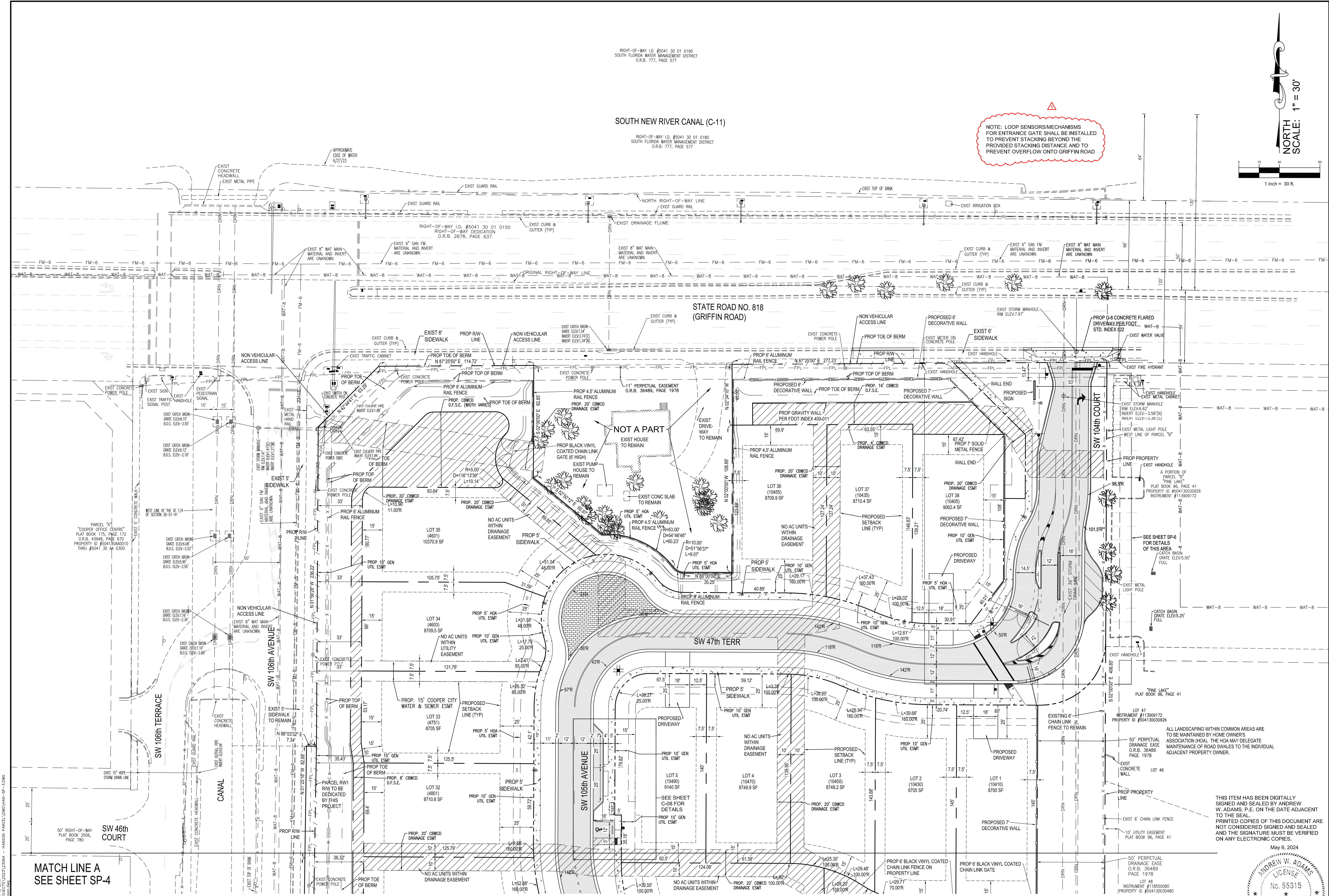
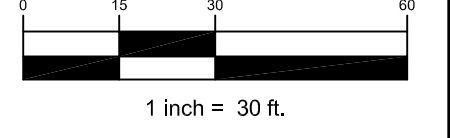
RIGHT-OF-WAY I.D. #5041 30 01 0180  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

### SOUTH NEW RIVER CANAL (C-11)

RIGHT-OF-WAY I.D. #5041 30 01 0180  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

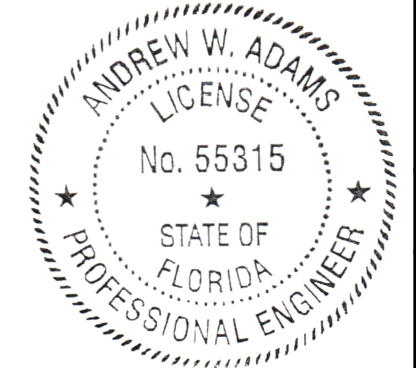
NOTE: LOOP SENSORS/MECHANISMS FOR ENTRANCE GATE SHALL BE INSTALLED TO PREVENT STACKING BEYOND THE PROVIDED STACKING DISTANCE AND TO PREVENT OVERFLOW ONTO GRIFFIN ROAD

NORTH  
SCALE: 1" = 30'



MATCH LINE A  
SEE SHEET SP-4

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NO.	DATE	DESCRIPTION	BY
1	05/02/24	PER SITE PLAN REVIEW COMMENT	APP

DETAILED SITE PLAN
GRIFFIN 106 SUBDIVISION
CC HOMES AT COOPER CITY, LLC

11921 NW 23rd STREET
PEMBROKE PINES FL 33026
WHITMORE CONSULTING ENGINEERS
(305) 335-5885 - LB 36416

DESIGNED: AWA
DRAWN: AWA
CHECKED: AWA
SCALE: AS NOTED
DATE: 8/30/23
PROJ. NO. 2306A
SHEET SP-3
OF 7 SHEETS

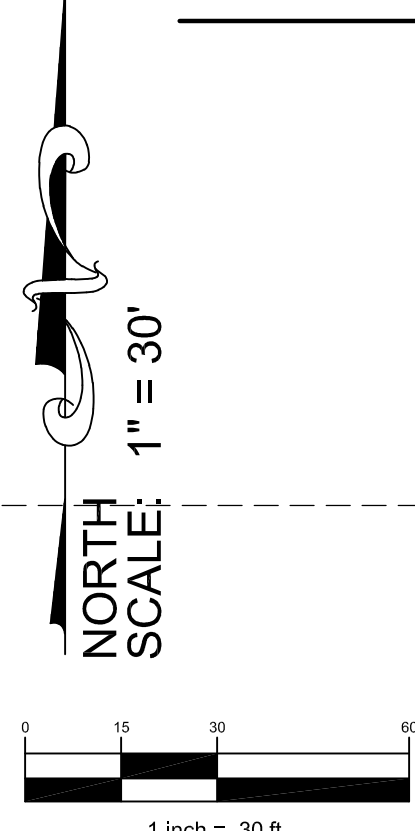
May 02, 2024, 6:29:46 AM, C:\Users\awhitmore\OneDrive\Documents\Projects\2306A - HANSON PARCEL\DWG\SP-3.DWG  
SHEETS: 3/3







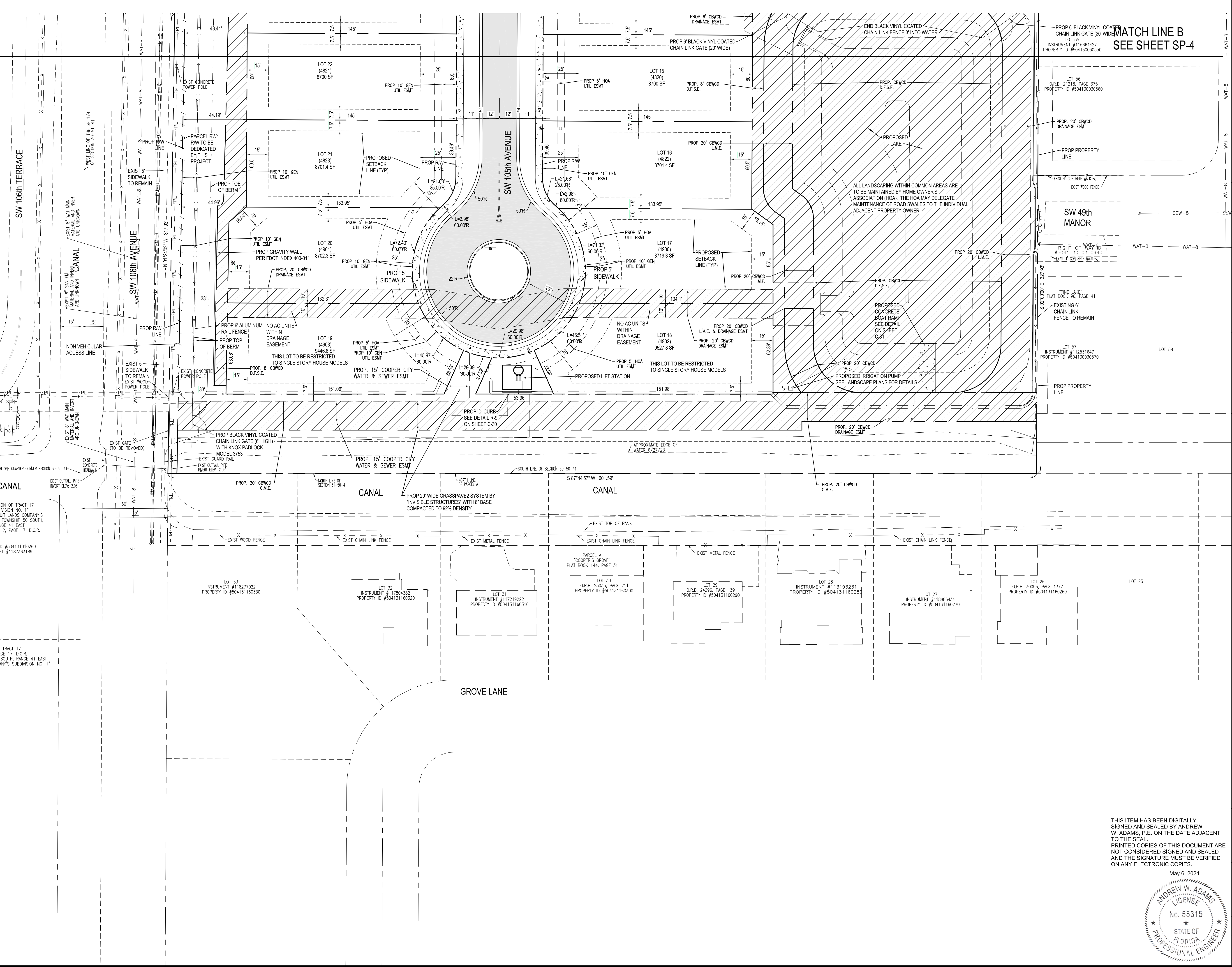
February 21, 2024 6:33:46 P.M. - HANSON, PARCEL VAPOR, SP-5.DWG  
 SHEETS: 13/18



A PORTION OF TRACT 28,  
 SECTION 30-50-41  
 "NEWMAN'S SURVEY",  
 PLAT BOOK 2, PAGE 28, D.C.R.  
 O.R.B. 38593, PAGE 169  
 PROPERTY ID #504130010041

A PORTION OF TRACT 17  
 SUBDIVISION NO. 1  
 "FLORIDA FRUIT LANDS COMPANY'S  
 SECTION 31, TOWNSHIP 50 SOUTH,  
 RANGE 41 EAST  
 PLAT BOOK 2, PAGE 17, D.C.R.  
 PROPERTY ID #504131010260  
 INSTRUMENT #1187363189

A PORTION OF TRACT 17  
 PLAT BOOK 2, PAGE 17, D.C.R.  
 SECTION 31, TOWNSHIP 50 SOUTH, RANGE 41 EAST  
 "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1"

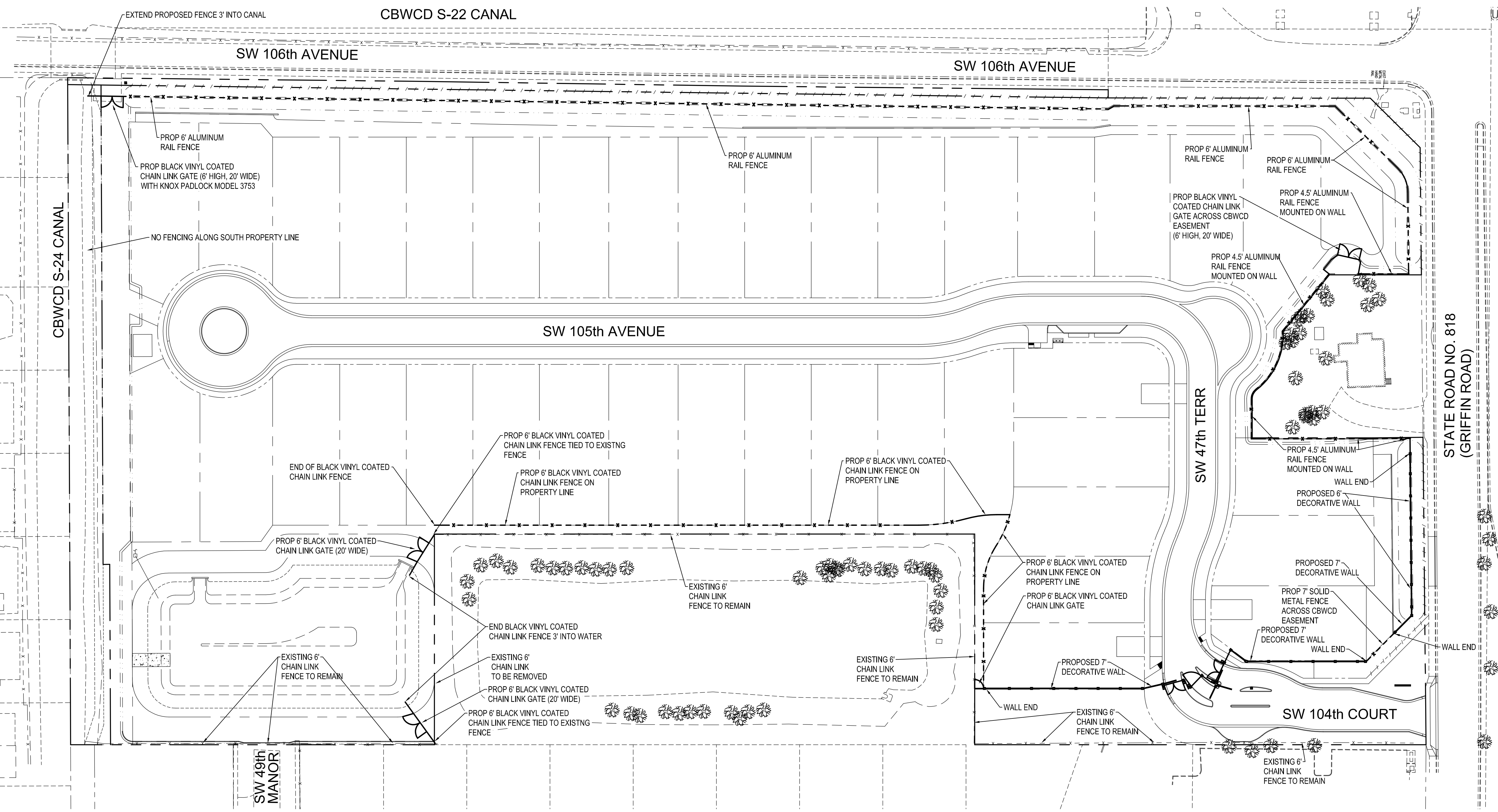
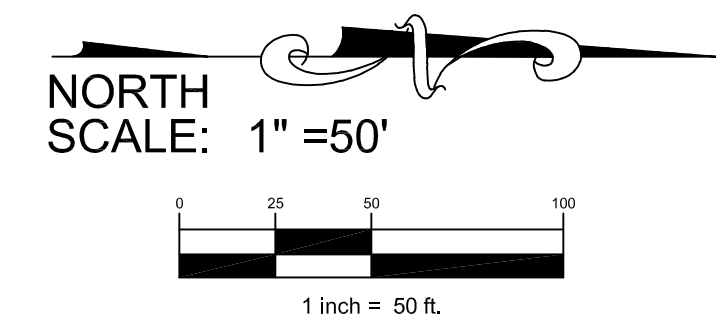


DETAILED SITE PLAN		NO. DATE	DESCRIPTION
GRIFFIN 106 SUBDIVISION			
CC HOMES AT COOPER CITY, LLC			
WHITMORE CONSULTING ENGINEERS		11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. May 6, 2024 			
DESIGNED:	AWA		
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CHECKED:	AWA		
SCALE:	AS NOTED		
DATE:	8/30/23		
PROJ. NO.:	2306A		
SHEET:	SP-5		
	OF 7 SHEETS		

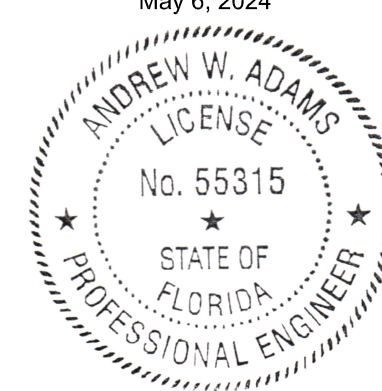








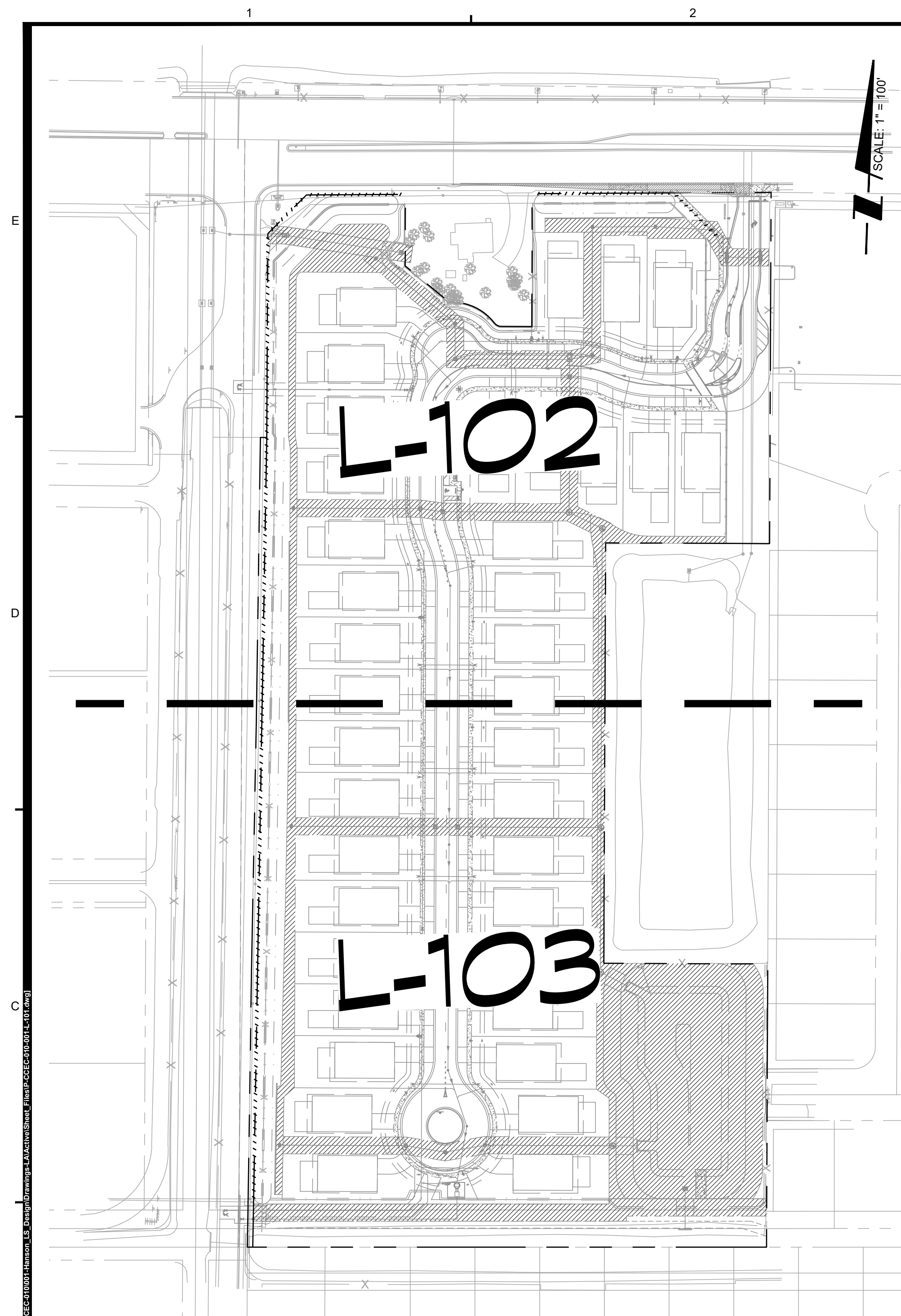
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SEAL	ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA
DESIGNED: AWA	
DRAWN: AWA	
CHECKED: AWA	
SCALE: 1"=50'	
DATE: 8/30/23	
PROJ. NO. 2306A	
SHEET <b>SP-7</b>	
OF 7 SHEETS	
GRIFFIN 106 SUBDIVISION CC HOMES AT COOPER CITY, LLC	SITE PLAN FENCE TYPE PLAN
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 WHITMORE CONSULTING ENGINEERS (305) 339-5885 - LB 36416	
NO. DATE	BY APP
DESCRIPTION	

February 21, 2024 6:37:42 PM - HANSON\_PARCEL\_VMP\_MAN-SP-7.DWG  
SHEETS: 13 (Sheet Hanson City)





**COOPER CITY CODE REQUIREMENTS**

- Section 25-44 Landscaped Street Buffers**
- 1 tree per 30 LF (15' ht. minimum)
  - 20 shrubs per 40 LF along SW 106th Avenue (12' ht. minimum)
  - 40 shrubs per 40 LF along Griffin Road (12' ht. minimum)
- Section 25-45 Street Swale Landscape**
- 1 swale tree per 30 LF (10' ht. minimum)
  - average depending on utilities and driveways
- Section 25-47 Supplemental Landscape**
- Single Family Development per Lot
  - Maximum 55% impervious
  - Maximum 70% sod for pervious area
  - 2 trees in front yard, 1 tree in rear yard
  - 15 shrubs in front yard, 10 shrubs in side street yard

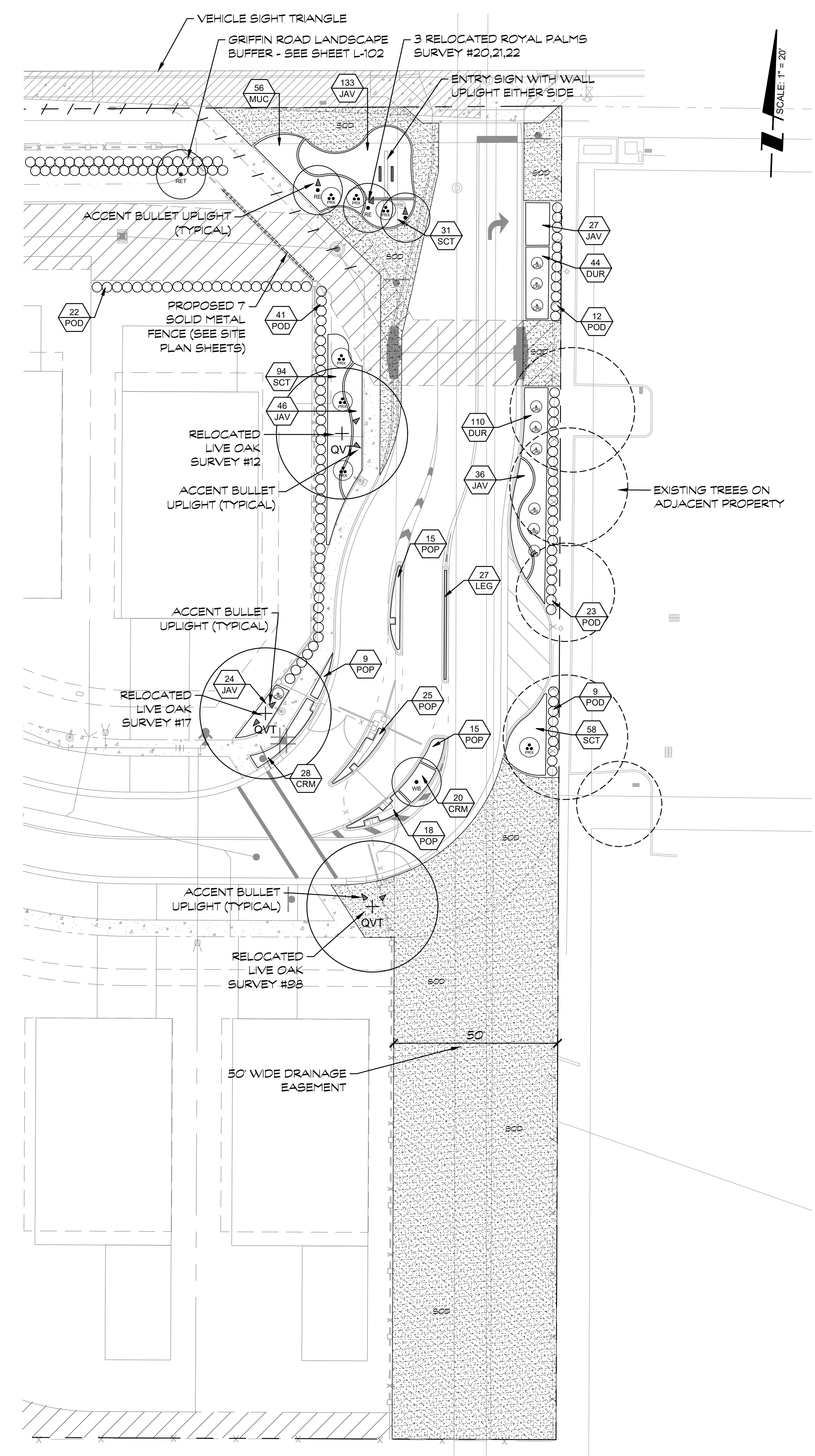
**CBWCD NOTES:**

- All storm sewer pipes within an easement shall be installed such that the outside top of pipe is at least one (1) foot below the water control elevation. Root barrier shall be installed in the same trench excavated for the storm sewer pipe from below the invert of the storm sewer pipe to one half (1/2) inch above finished grade if the outside top of pipe is less than one (1) foot below the water control elevation.
- Trees shall be planted with a minimum three (3) feet offset from the tree centerline to the near edge of a twenty (20) feet drainage easement that encompasses a storm sewer pipe. For drainage easement widths greater than twenty (20) feet, the tree may be planted just outside the easement boundary.

NOTE: COMMUNITY H.O.A. IS REQUIRED TO MAINTAIN COMMON AREAS IN PERPETUITY

**Common Areas Plant Legend (Sheets L-101,102,103)**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
<b>Trees and Palms</b>					
12	BA	Bulnesia arborea	Verawood	15' ht. / 2" cal / 4' CT minimum	N
40	CE	Conocarpus erectus	Green Buttonwood	10' ht. / 1 1/2" cal / 4' CT minimum	Y
8	CLT	Dyopsis lutescens	Areca Palm	Relocated on site (south buffer)	N
4	IC	Ilex cassine	Dahoon Holly	10' ht. / 1 1/2" cal	Y
22	U	Ligustrum japonicum	Tree Ligustrum	8' OA	N
5	QVT	Quercus virginiana	Live Oak	Relocated on site as noted	Y
3	RE	Roystonea elata	Royal Palm	10' GW / matching	Y
35	RET	Roystonea elata	Royal Palm	Relocated on site (north and west buffer)	Y
1	WB	Wodyetia bifurcata	Foxtail Palm	12' GW / single trunk / specimen	N
1	WB3	Wodyetia bifurcata	Foxtail Palm	12' GW / triple trunk / specimen	N
<b>Accents, Shrubs and Groundcovers</b>					
941	CHR	Chrysobalanus icaco	Red Tip Cocoplum	3 gal. / 12" ht. / 36" OC	Y
10	CRI	Crinum augustum Queen Emma	Crinum Lily	15 gal.	N
79	CRM	Codealium variegatum 'Mammy'	Mammy Croton	3 gal. / 24" OC	N
154	DUR	Duranta erecta 'Gold Mound'	Gold Mound Duranta	3 gal. / 24" OC	N
266	JAV	Jasminum volubile	Wax Jasmine	3 gal. / 24" OC	N
27	LEG	Liriope muscari 'Evergreen Giant'	Liriope	1 gal. / 18" OC	Y
56	MUC	Muhlenbergia capillaris	Muhly Grass	3 gal. / 30" OC	Y
71	MYF	Myrcianthes fragrans	Simpson Stopper	3 gal. / 36" OC / 18" ht.	Y
147	POD	Podocarpus macrophyllus 'Maki'	Podocarpus	4" ht. / 36" OC	N
82	POP	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	3 gal. / 12" ht. / 24" OC	N
7	PRX	Phoenix roebelenii	Pygmy Date Palm	6' OA ht. / triple trunk	N
152	SCT	Scefflera arboricola 'Trinette'	Trinette Schefflera	3 gal. / 24" OC	N
<b>Uttorals</b>					
463	ELE	Eleocharis interstincta	Spikerush	12" ht. / 36" O.C.	Y
637	SCI	Scirpus spp.	Bullrush	12" ht. / 36" O.C.	Y
325	SPB	Spartina bakeri	Sand Cordgrass	12" ht. / 36" O.C.	Y
<b>Miscellaneous</b>					
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	
	SOD		Coco Brown Mulch	All shrub beds and tree rings	
	SOD 2		St. Augustine Floratam Sod	As shown on plan	
			Bahia Grass sod	As shown on plan	



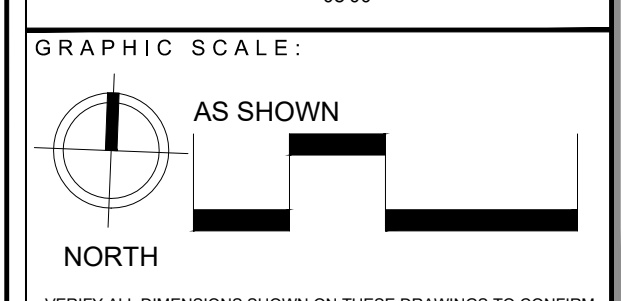
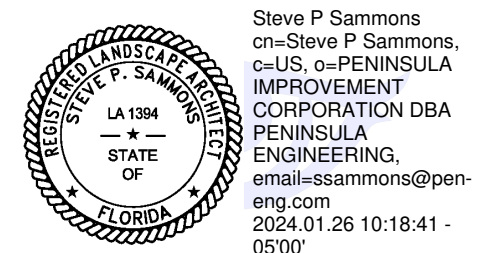
**GRIFFIN 106 SUBDIVISION**

**KEY MAP, PLANT LEGEND AND ENTRY LANDSCAPE**

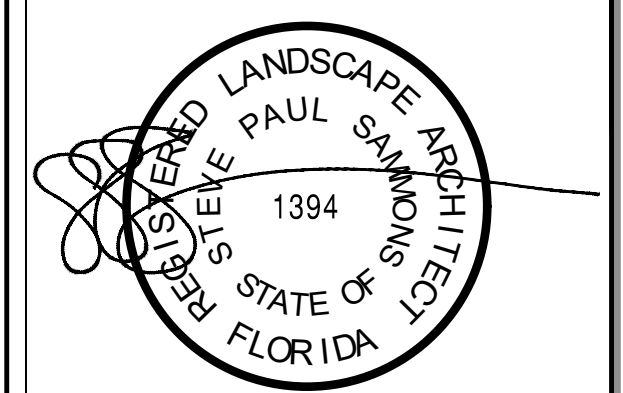
PREPARED FOR:  
**CC HOMES**

**REVISIONS:**

No.	Revision:	Date:
1	UPDATED PER COUNTY COMMENTS DATED 10/25/23	10/25/2023
2	UPDATED PER COUNTY COMMENTS DATED 11/8/23 (STREET TREES AND COMMENT)	11/8/2023
3	ADDED SOUTHERN AND FAIR LOT TYPICALS	1/1/2024
4	ADDED CBWCD NOTES AND LITTORAL PLANTINGS	1/28/2024



VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.



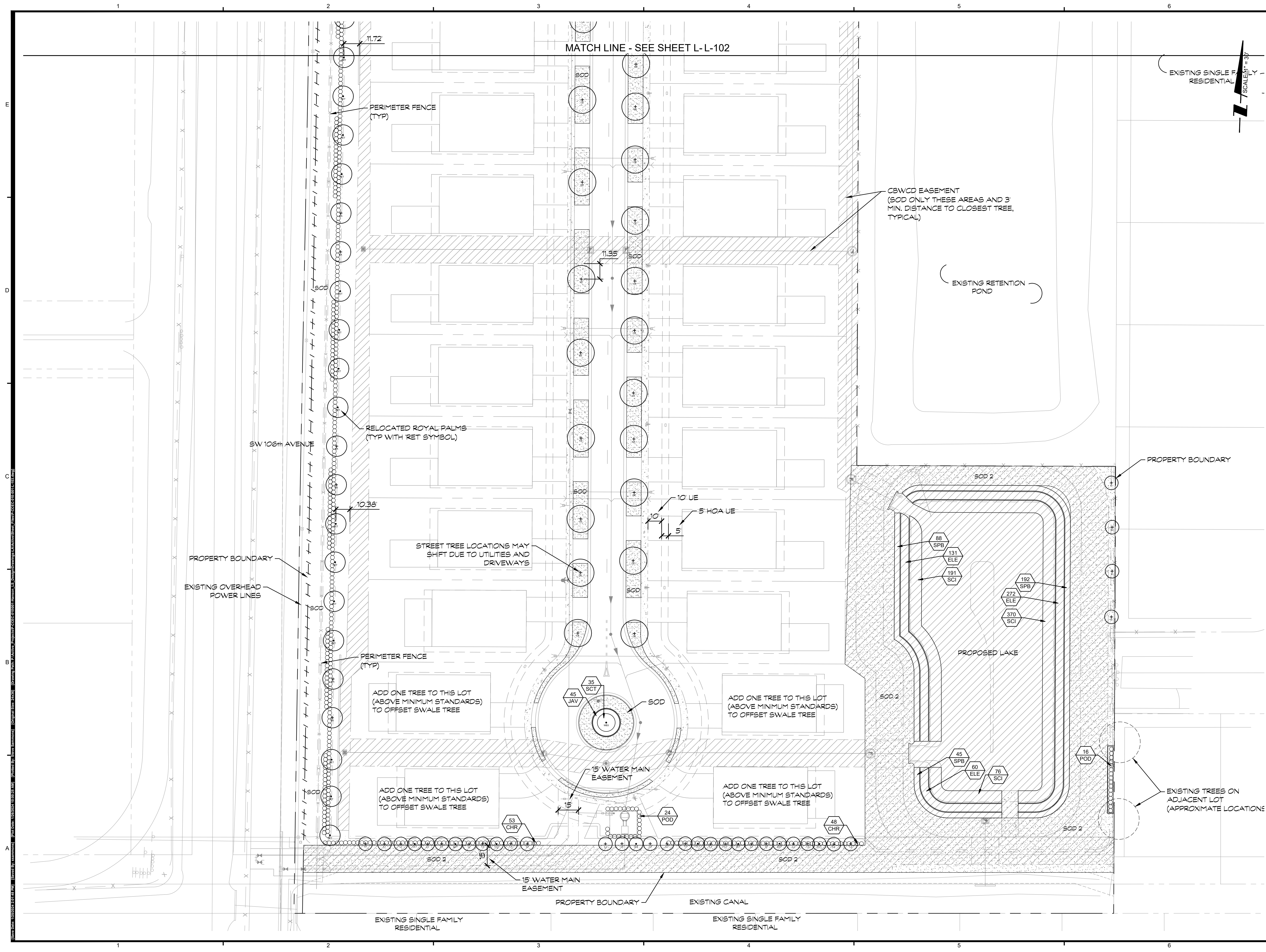
Florida Engineering Certificate of Authorization #26275  
 Florida Landscape Certificate of Authorization #LC20000632

Designed by: **STEVE SAMMONS**  
 Drawn by: **STEVE SAMMONS**  
 Date: **AUGUST 2023**  
 Horizontal Scale: **AS SHOWN**  
 Project Number: **P-CCEC-010-001-LA**  
 File Name: **P-CCEC-010-001-L-101.dwg**  
**L-101**  
 Sheet Number: **01 of 08**









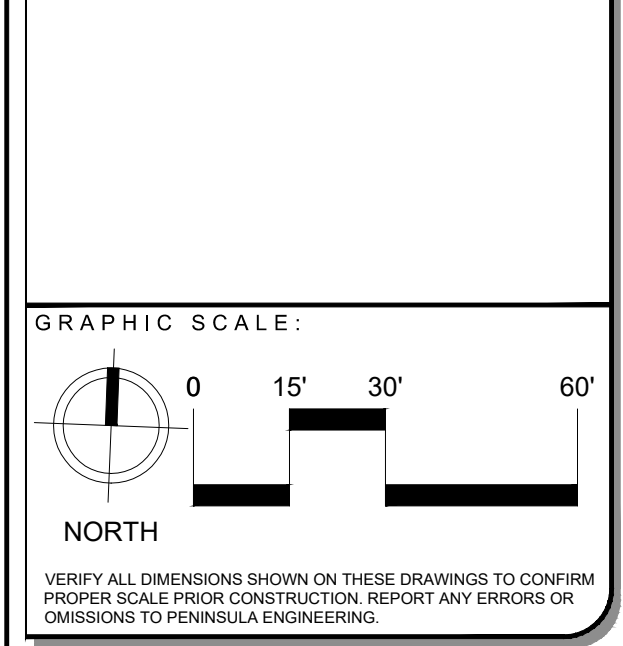
PROJECT:  
**GRIFFIN 106 SUBDIVISION**

SHEET TITLE:  
**ENHANCED LANDSCAPE PLAN (B)**

PREPARED FOR:  
**CC HOMES**

REVISIONS:

No.	Revision:	Date:
1	UPDATED PER COUNTY COMMENTS DATED 10/10/23	10/23/2023
2	UPDATED PER COUNTY COMMENTS DATED 11/8/23	11/16/2023
4	ADDED LITTORAL PLANTINGS	1/25/2024



PROFESSIONAL SEALS:  
 LANDSCAPE ARCHITECT: STEVE SAMMONS  
 FLORIDA LICENSE NUMBER: LA0001394

Florida Engineering Certificate of Authorization #20275  
 Florida Landscape Certificate of Authorization #LC20000632

Designed by: STEVE SAMMONS  
 Drawn by: STEVE SAMMONS  
 Date: AUGUST 2023  
 Horizontal Scale: 1" = 30'  
 Project Number: P-CCEC-010-001-LA  
 File Name: P-CCEC-010-001-L-103.dwg

**L-103**  
 Sheet Number: 03 of 08







6.21-6.22.23 10550 Griffin Rd. Cooper City, FL (Non nursery trees)

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	DISPOSITION
1	Live Oak	<i>Quercus virginiana</i>	24	30	20		Relocate on site
2	Sabal Palm	<i>Sabal palmetto</i>	8	8	17	4	Remove
3	Sabal Palm	<i>Sabal palmetto</i>	16	8	17	12	Remove
4	Stranger Fig	<i>Ficus aurea</i>	48	50	80		Remove
5	Stranger Fig	<i>Ficus aurea</i>	49	33	44		Remove
6	Stranger Fig	<i>Ficus aurea</i>	40	52	80		Remove
7	Date Palm	<i>Phoenix dactylifera</i>	20	16	15	10	Remove
8	Date Palm	<i>Phoenix dactylifera</i>	19	18	15	8	Remove
9	Royal Palm	<i>Roystonea elata</i>	43	16	20	38	Relocate on site
10	Royal Palm	<i>Roystonea elata</i>	43.1	16	16	38	Relocate on site
11	Royal Palm	<i>Roystonea elata</i>	20	13	10	13	Remove
12	Live Oak	<i>Quercus virginiana</i>	36	48	37		Relocate on site
13	Stranger Fig	<i>Ficus aurea</i>	24	40	27		Remove
14	Royal Palm	<i>Roystonea elata</i>	22	14	11	13	Relocate on site
15	Chinese Banyon	<i>Ficus microcarpa</i>	41	50	61		Remove
16	Stranger Fig	<i>Ficus aurea</i>	32	40	34		Remove
17	Live Oak	<i>Quercus virginiana</i>	43	54	36		Relocate on site
18	Stranger Fig	<i>Ficus aurea</i>	34	56	36		Remove
19	Fishtail Palm	<i>Caryota mitis</i>	25	14	9" multi	18	Remove
20	Royal Palm	<i>Roystonea elata</i>	64	16	22	51	Relocate on site
21	Royal Palm	<i>Roystonea elata</i>	55	16	11	45	Relocate on site
22	Royal Palm	<i>Roystonea elata</i>	55	16	13	45	Relocate on site
23	Chinese Banyon	<i>Ficus microcarpa</i>	35	27	45		Remove
24	Stranger Fig	<i>Ficus aurea</i>	20	23	16		Remove
25	Chinese Banyon	<i>Ficus microcarpa</i>	35	45	65		Remove
26	Stranger Fig	<i>Ficus aurea</i>	34	29	55		Remove
27	Royal Palm	<i>Roystonea elata</i>	61	16	24	51	Relocate on site
28	Royal Palm	<i>Roystonea elata</i>	61	16	18	51	Relocate on site
29	Royal Palm	<i>Roystonea elata</i>	61	16	24	51	Relocate on site
30	Stranger Fig	<i>Ficus aurea</i>	29	25	37		Remove
31	Stranger Fig	<i>Ficus aurea</i>	29	25	18		Remove
32	Stranger Fig	<i>Ficus aurea</i>	2676	20	13		Remove
33	Royal Palm	<i>Roystonea elata</i>	22	10	7	12	Remove
34	Royal Palm	<i>Roystonea elata</i>	26	16	18	16	Remove
35	Stranger Fig	<i>Ficus aurea</i>	32	30	18		Remove
36	Stranger Fig	<i>Ficus aurea</i>	32	30	37		Remove
37	Stranger Fig	<i>Ficus aurea</i>	34	23	16		Remove
38	Coconut Palm	<i>Cocos nucifera</i>	17	16	13	7	Remove
39	Stranger Fig	<i>Ficus aurea</i>	30	40	26		Remove
40	Royal Palm	<i>Roystonea elata</i>	61	16	24	51	Off site
41	Coconut Palm	<i>Cocos nucifera</i>	25	16	12	14	Off site
42	Coconut Palm	<i>Cocos nucifera</i>	29	16	12	19	Off site
43	Coconut Palm	<i>Cocos nucifera</i>	29	16	12	19	Off site
44	Coconut Palm	<i>Cocos nucifera</i>	29	16	12	19	Off site
45	Coconut Palm	<i>Cocos nucifera</i>	29	16	12	19	Off site
46	Coconut Palm	<i>Cocos nucifera</i>	286	16	12	18	Off site
47	Coconut Palm	<i>Cocos nucifera</i>	43	16	12	33	Off site
48	Live Oak	<i>Quercus virginiana</i>	35	24	19		Off site
49	Areca Palm	<i>Dyopsis lutescens</i>	22	13	18" cluster	18	Relocate on site
50	Coconut Palm	<i>Cocos nucifera</i>	19	16	15	9	Remove
51	Stranger Fig	<i>Ficus aurea</i>	35	27	43		Remove
52	Royal Palm	<i>Roystonea elata</i>	57	16	22	47	Remove
53	Stranger Fig	<i>Ficus aurea</i>	49	45	60		Remove
54	Stranger Fig	<i>Ficus aurea</i>	37	35	50		Remove
55	Royal Palm	<i>Roystonea elata</i>	35	16	18	25	Relocate on site
56	Willow Oak	<i>Quercus phellos</i>	30	25	18		Remove
57	Areca Palm	<i>Dyopsis lutescens</i>	18	14	18" cluster	14	Remove
58	Areca Palm	<i>Dyopsis lutescens</i>	13	9	14" cluster	9	Relocate on site
59	Areca Palm	<i>Dyopsis lutescens</i>	23	12	18" cluster	17	Relocate on site
60	Stranger Fig	<i>Ficus aurea</i>	28	32	35		Remove

61	Stranger Fig	<i>Ficus aurea</i>	17	13	13		Remove
62	Areca Palm	<i>Dyopsis lutescens</i>	19	13	18" cluster	13	Relocate on site
63	Live Oak	<i>Quercus virginiana</i>	30	22	20		Remove
64	Stranger Fig	<i>Ficus aurea</i>	32	30	16		Remove
65	Stranger Fig	<i>Ficus aurea</i>	32	30	16		Remove
66	Stranger Fig	<i>Ficus aurea</i>	32	30	16		Remove
67	Areca Palm	<i>Dyopsis lutescens</i>	27	14	18" cluster	23	Off site
68	Areca Palm	<i>Dyopsis lutescens</i>	27	14	18" cluster	23	Off site
69	Queen Palm	<i>Syagrus romanzoffiana</i>	33	12	6, 3	27	Off site
70	Queen Palm	<i>Syagrus romanzoffiana</i>	30	14	8, 6	24	Off site
71	Queen Palm	<i>Syagrus romanzoffiana</i>	20	12	6, 2	14	Off site
73	Royal Palm	<i>Roystonea elata</i>	53	16	13	43	Off site
74	Queen Palm	<i>Syagrus romanzoffiana</i>	30	10	9	22	Off site
75	Queen Palm	<i>Syagrus romanzoffiana</i>	30	10	8, 4	22	Off site
76	Queen Palm	<i>Syagrus romanzoffiana</i>	30	10	9	22	Off site
77	Queen Palm	<i>Syagrus romanzoffiana</i>	30	10	9	22	Off site
78	Queen Palm	<i>Syagrus romanzoffiana</i>	30	10	6	22	Off site
79	Queen Palm	<i>Syagrus romanzoffiana</i>	16	10	6	8	Off site
80	Gumbo Limbo	<i>Bursera simaruba</i>	25	7	4		Off site
81	Queen Palm	<i>Syagrus romanzoffiana</i>	30	12	8	20	Off site
82	Queen Palm	<i>Syagrus romanzoffiana</i>	30	13	8	20	Off site
83	Queen Palm	<i>Syagrus romanzoffiana</i>	30	12	8	20	Off site
84	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
85	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
86	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
87	Montgomery Palm	<i>Veitchia arcina</i>	50	12	7	44	Off site
88	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
89	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
90	Live Oak	<i>Quercus virginiana</i>	24	17	11		Off site
91	Areca Palm	<i>Dyopsis lutescens</i>	26	13	18" cluster	23	Off site
92	Black Olive	<i>Bucida buceras</i>	47	34	30		Off site
93	Weeping Fig	<i>Ficus benjamina</i>	42	30	47		Off site
94	Queen Palm	<i>Syagrus romanzoffiana</i>	21	12	4	14	Off site
95	Stranger Fig	<i>Ficus aurea</i>	27	25	8		Remove
96	Stranger Fig	<i>Ficus aurea</i>	27	20	7		Remove
97	Royal Palm	<i>Roystonea elata</i>	45	16	24	35	Remove
98	Live Oak	<i>Quercus virginiana</i>	38	46	31		Relocate on site
99	Sabal Palm	<i>Sabal palmetto</i>	12	8	12	6	Remove
100	Stranger Fig	<i>Ficus aurea</i>	37	34	20		Remove
101	Live Oak	<i>Quercus virginiana</i>	36	25	15		Remove
102	Live Oak	<i>Quercus virginiana</i>	47	18	18		Remove
103	Areca Palm	<i>Dyopsis lutescens</i>	25	13	18" cluster	18	Remove
104	Areca Palm	<i>Dyopsis lutescens</i>	25	13	18" cluster	18	Remove
105	Live Oak	<i>Quercus virginiana</i>	14	6	4		Remove
106	Live Oak	<i>Quercus virginiana</i>	28	12	10		Remove
107	Areca Palm	<i>Dyopsis lutescens</i>	22	13	18" cluster	17	Relocate on site
108	Royal Palm	<i>Roystonea elata</i>	26	14	11	19	Remove
109	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
110	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
111	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
112	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
113	Sabal Palm	<i>Sabal palmetto</i>	26	8	15	22	Remove
114	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
115	Royal Palm	<i>Roystonea elata</i>	66	16	23	56	Relocate on site
116	Royal Palm	<i>Roystonea elata</i>	18	12	7	10	Remove
117	Queen Palm	<i>Syagrus romanzoffiana</i>	46	12	10	36	Remove
118	Chinese Banyon	<i>Ficus microcarpa</i>	36	33	60		Remove
119	Areca Palm	<i>Dyopsis lutescens</i>	25	14	18" cluster	22	Relocate on site
120	Royal Palm	<i>Roystonea elata</i>	31	16	14	21	Relocate on site
121	Royal Palm	<i>Roystonea elata</i>	31	16	11	21	Relocate on site

122	Live Oak	<i>Quercus virginiana</i>	32	22	14		Relocate on site
123	Royal Palm	<i>Roystonea elata</i>	40	16	13	30	Relocate on site
124	Stranger Fig	<i>Ficus aurea</i>	26	27	16		Remove
125	Royal Palm	<i>Roystonea elata</i>	30	12	8	20	Remove
126	Royal Palm	<i>Roystonea elata</i>	47	16	24	37	Relocate on site
127	Royal Palm	<i>Roystonea elata</i>	25	12	9	19	Relocate on site
128	Royal Palm	<i>Roystonea elata</i>	35	16	24	25	Relocate on site
129	Royal Palm	<i>Roystonea elata</i>	35	16	18	25	Relocate on site
130	Areca Palm	<i>Dyopsis lutescens</i>	32	13	14" cluster	27	Relocate on site
131	Royal Palm	<i>Roystonea elata</i>	25	14	11	17	Relocate on site
132	Royal Palm	<i>Roystonea elata</i>	42	16	24	32	Relocate on site
133	Royal Palm	<i>Roystonea elata</i>	50	16	18	40	Relocate on site
134	Royal Palm	<i>Roystonea elata</i>	50	16	18	40,3	Relocate on site
135	Royal Palm	<i>Roystonea elata</i>	33	16	12	23	Relocate on site
136	Royal Palm	<i>Roystonea elata</i>	52	16	24	42	Relocate on site
137	Royal Palm	<i>Roystonea elata</i>	52	16	24	42	Relocate on site
138	Royal Palm	<i>Roystonea elata</i>	52	16	18	42	Relocate on site
139	Royal Palm	<i>Roystonea elata</i>	52	16	24	42	Relocate on site
140	Royal Palm	<i>Roystonea elata</i>	52	16	16	42	Relocate on site
141	Royal Palm	<i>Roystonea elata</i>	55	16	27	45	Relocate on site
142	Royal Palm	<i>Roystonea elata</i>	55	16	27	45	Relocate on site
143	Royal Palm	<i>Roystonea elata</i>	59	16	15	49	Relocate on site
144	Areca Palm	<i>Dyopsis lutescens</i>	16	13	15" cluster	12	Relocate on site
145	Coconut Palm	<i>Cocos nucifera</i>	18	8	13	3	Remove

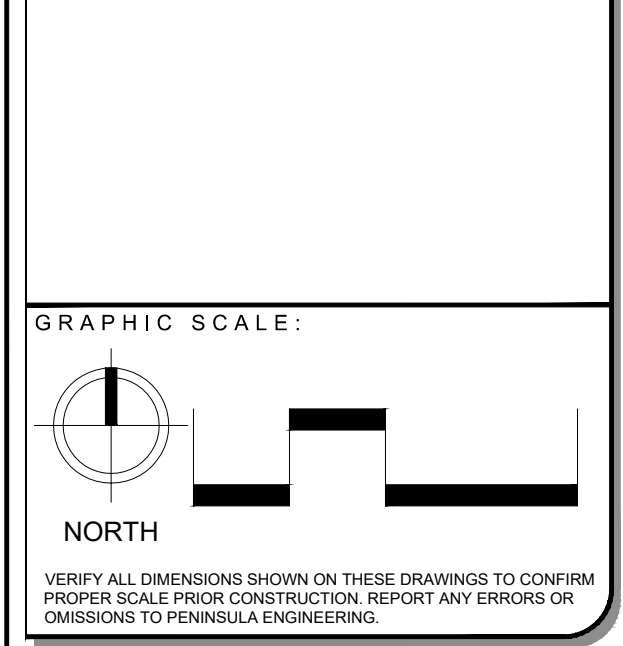
PROJECT:  
**GRIFFIN 106 SUBDIVISION**

SHEET TITLE:  
**EXISTING TREE DISPOSITION CHART**

PREPARED FOR:  
**CC HOMES**

REVISIONS:

No.	Revision	Date
1	UPDATE DISPOSITION TABLE (PG. 13, 14)	1/23/2023

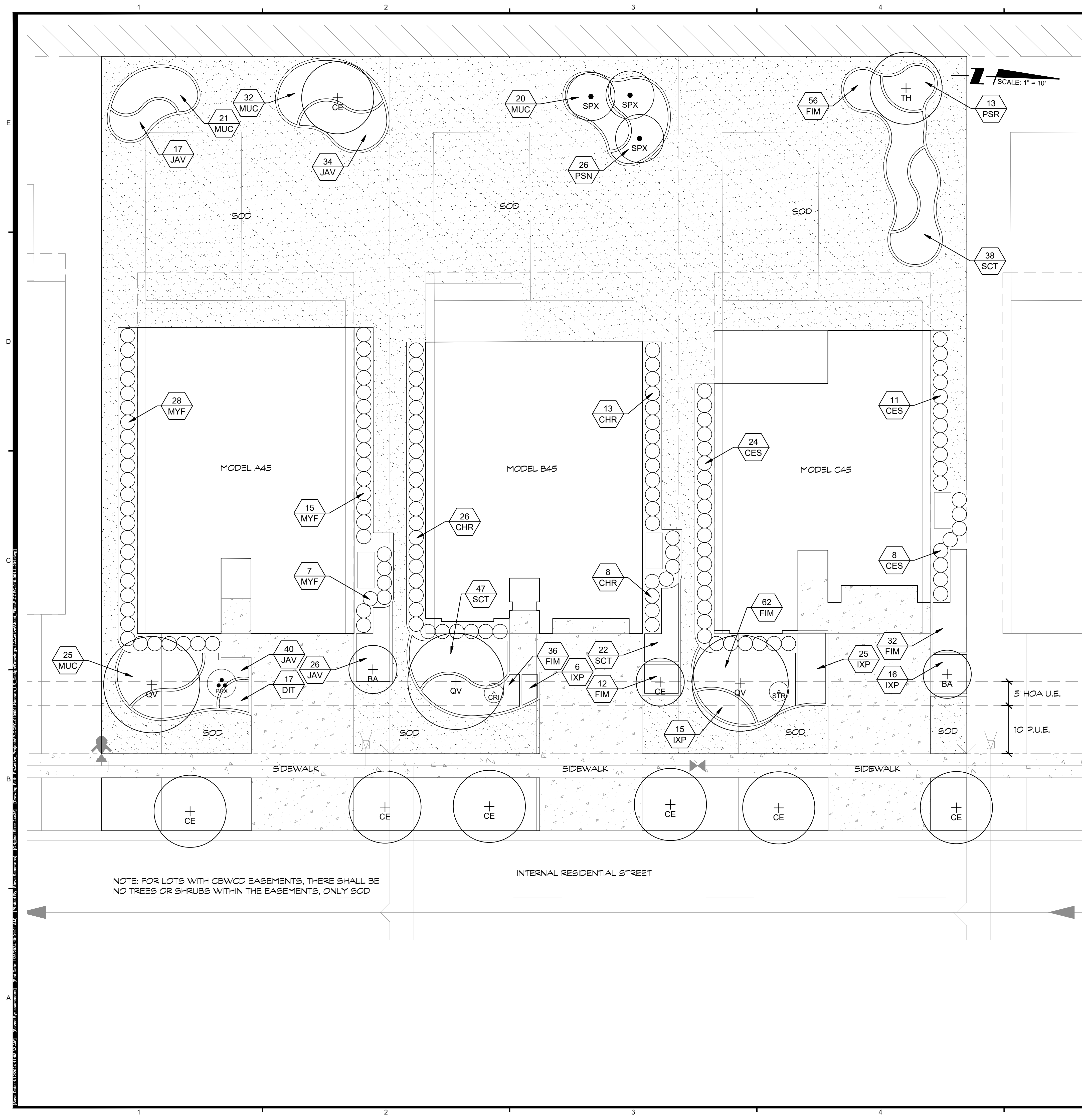


PROFESSIONAL SEALS:

LANDSCAPE ARCHITECT: STEVE SAMMONS  
 FLORIDA LICENSE NUMBER: LA0001394

Designed by: STEVE SAMMONS  
 Drawn by: STEVE SAMMONS  
 Date: AUGUST 2023  
 Horizontal Scale: 1" = 20'  
 Project Number: P-CCEC-010-001-LA  
 File Name: P-CCEC-010-001-L-105.dwg  
**L-105**  
 Sheet Number: 05 of 08





NOTE: FOR LOTS WITH CBWCD EASEMENTS, THERE SHALL BE NO TREES OR SHRUBS WITHIN THE EASEMENTS, ONLY SOD

INTERNAL RESIDENTIAL STREET

**Model A 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	BA	Bulnesia arborea	Verawood	10' ht / 1.5" cal.	N
1	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1.5" cal.	Y
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y

Note: Provide Pigeon Plum (CD) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
2	CD	Coccoloba diversifolia	Pigeon Plum	10' ht / 1.5" cal.	Y

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1642 SF			Coco Brown Mulch	As Shown on Plan	
3626 SF			St. Augustine Floratam Sod	As Shown on Plan	

Per Single Family Lot:  
 Maximum 55% impervious  
 Maximum 70% sod for pervious area  
 2 trees in front yard, 1 tree in rear yard  
 15 shrubs in front yard, 10 shrubs in side street yard

Total lot area = 8,700 SF  
 Impervious area = 3,432 SF (39.4%)  
 Pervious area = 5,268 SF x 70% = 3,687 SF maximum sod

**Model B 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1.5" cal.	Y
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y
3	SPX	Sabal palmetto	Cabbage Palm	10'-16" CT, staggered heights	Y

Note: Provide Pigeon Plum (CD) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	CRI	Crinum augustum	Queen Emma Crinum Lily	7 gallon	
47	CHR	Chrysobalanus icaco	Red Tip Cocoplum	24" ht. min. / 36" OC	Y
48	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gallon / 24" OC	
6	IXP	Ixora 'Petite'	Dwarf Ixora	3 gallon / 24" OC / pink	
20	MUC	Muhlenbergia capillaris	Muhly Grass	3 gallon / 30" OC	
26	PSN	Psychotria nervosa	Wild Coffee	3 gallon / 30" OC	
69	SCT	Schefflera arboricola 'Trinette'	Trinette Schefflera	3 gallon / 24" OC	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1647 SF			Coco Brown Mulch	As Shown on Plan	
3787 SF			St. Augustine Floratam Sc	As Shown on Plan	

Per Single Family Lot:  
 Maximum 55% impervious  
 Maximum 70% sod for pervious area  
 2 trees in front yard, 1 tree in rear yard  
 15 shrubs in front yard, 10 shrubs in side street yard

Total lot area = 8,700 SF  
 Impervious area = 3,266 SF (37.5%)  
 Pervious area = 5,434 SF x 70% = 3,803 SF maximum sod

**Model C 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	BA	Bulnesia arborea	Verawood	10' ht / 1.5" cal.	N
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y
1	TH	Tabebuia heterophylla	Tabebuia	10' ht / 1.5" cal.	N

Note: Provide Pigeon Plum (CD) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
43	CES	Conocarpus erectus sericeus	Silver Buttonwood	24" ht. min. / 36" OC	Y
150	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gallon / 24" OC	
56	IXP	Ixora 'Petite'	Dwarf Ixora	3 gallon / 24" OC / pink	
13	PSR	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	3 gallon / 30" OC	
38	SCT	Schefflera arboricola 'Trinette'	Trinette Schefflera	3 gallon / 24" OC	
1	STR	Strelitzia reginae	Orange Bird of Paradise	15 gallon	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1638 SF			Coco Brown Mulch	As Shown on Plan	
3700 SF			St. Augustine Floratam Sc	As Shown on Plan	

Per Single Family Lot:  
 Maximum 55% impervious  
 Maximum 70% sod for pervious area  
 2 trees in front yard, 1 tree in rear yard  
 15 shrubs in front yard, 10 shrubs in side street yard

Total lot area = 8,700 SF  
 Impervious area = 3,362 SF (38.6%)  
 Pervious area = 5,338 SF x 70% = 3,736 SF maximum sod

**PENINSULA ENGINEERING**  
 CIVIL ENGINEERING • PLANNING AND ZONING • ENVIRONMENTAL SERVICES  
 LANDSCAPE ARCHITECTURE • SURVEYING • LAND DEVELOPMENT  
 2600 Golden Gate Pkwy  
 Naples, FL 34105  
 239.403.6700  
 Pen-Eng.com

PROJECT:  
**GRIFFIN 106 SUBDIVISION**

SHEET TITLE:  
**TYPICAL LOT LANDSCAPE PLAN - COASTAL**

PREPARED FOR:  
**CC HOMES**

REVISIONS:

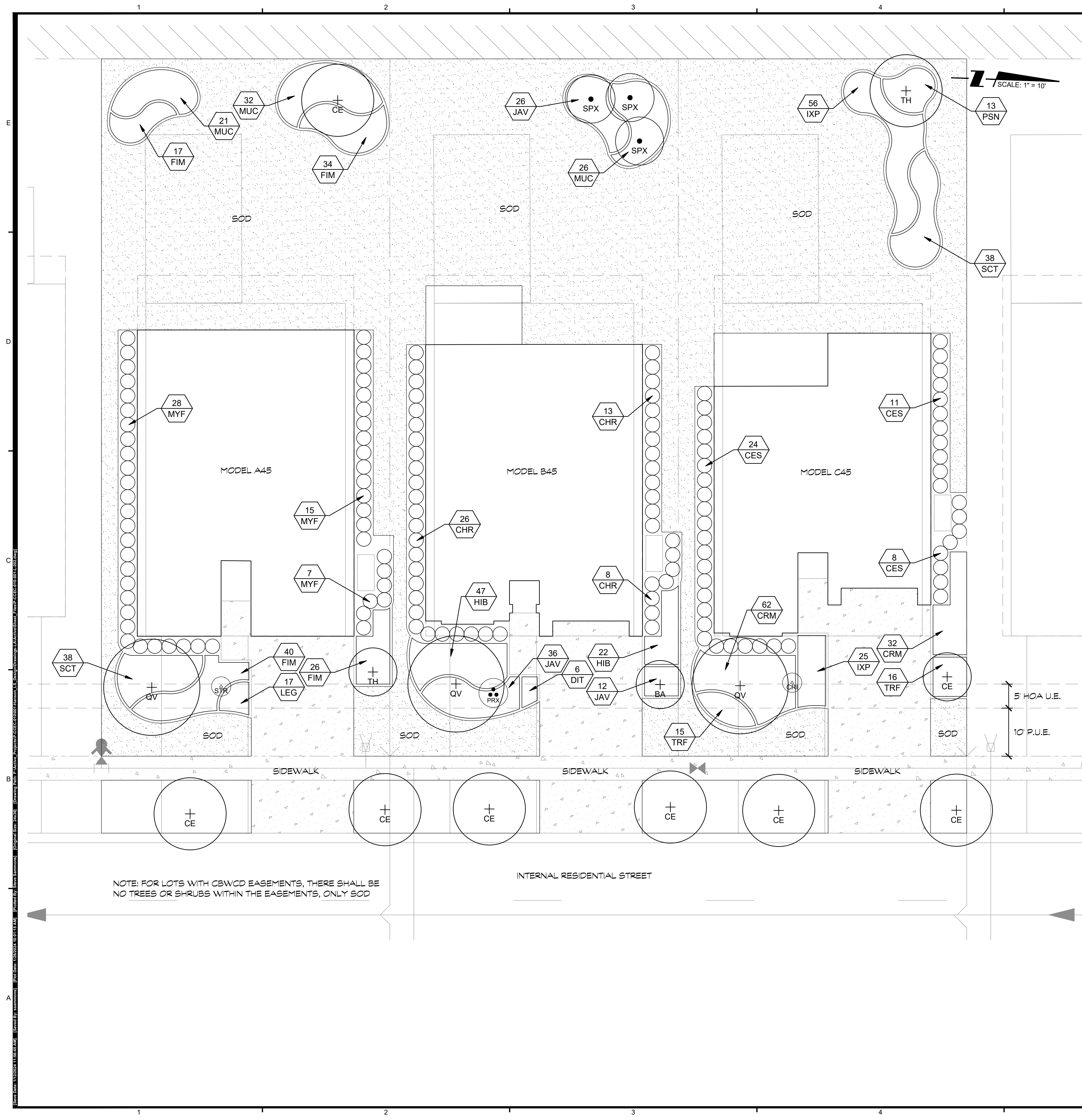
No.	Revision:	Date:
1	ADDED SHEET FOR COUNTY COMMENTS	10/23/2023

GRAPHIC SCALE:  
  
 NORTH  
 VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

PROFESSIONAL SEALS:  
 LANDSCAPE ARCHITECT: STEVE SAMMONS  
 FLORIDA LICENSE NUMBER: LA0001394

Designed by: STEVE SAMMONS  
 Drawn by: STEVE SAMMONS  
 Date: AUGUST 2023  
 Horizontal Scale: 1" = 10'  
 Project Number: P-CCEC-010-001-LA  
 File Name: P-CCEC-010-001-L-201.dwg  
**L-201**  
 Sheet Number: 06 of 08





**Model A 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	TH	Tabebuia heterophylla	Pink Tab	10' ht / 1.5" cal.	N
3	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1.5" cal.	Y
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y

Note: Provide Green Buttonwood (CE) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
17	LEG	Liriope muscari	Liriope Evergreen Giant	1 gallon / 18" OC	
117	FIM	Ficus microcarpa	Green Island Ficus	3 gallon / 24" OC	
53	MUC	Muhlenbergia capillaris	Muhly Grass	3 gallon / 30" OC	
50	MYF	Myrcanthes fragrans	Simpson Stopper	24" ht. min. / 36" OC	Y
1	STR	Strelitzia reginae	Orange Bird of Paradise	15 gallon	
38	SCT	Schefflera arboricola	Trinette Schefflera	3 gallon / 24" OC	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
1642 SF			Coco Brown Mulch	As Shown on Plan
3626 SF			St. Augustine Floratam Sod	As Shown on Plan

Per Single Family Lot:  
 Maximum 55% impervious  
 Maximum 70% sod for pervious area  
 2 trees in front yard, 1 tree in rear yard  
 15 shrubs in front yard, 10 shrubs in side street yard

Total lot area = 8,700 SF  
 Impervious area = 3,432 SF (39.4%)  
 Pervious area = 5,268 SF x 70% = 3,687 SF maximum sod

**Model B 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
2	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1.5" cal.	Y
1	BA	Bulnesia arborea	Verawood	10' ht / 1.5" cal.	N
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y
3	SPX	Sabal palmetto	Cabbage Palm	10'-16" CT, staggered heights	Y

Note: Provide Green Buttonwood (CE) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
1	PRX	Phoenix roebellenii	Pygmy Date Palm	6' OA / triple trunk	
47	CHR	Chrysobalanus icaco	Red Tip Cocoplum	24" ht. min. / 36" OC	Y
48	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gallon / 24" OC	
6	DIT	Dianella tasmanica	Flax Lily	1 gallon / 18" OC	
74	JAV	Jasminum volubile	Wax Jasmine	3 gallon / 24" OC	
69	HIB	Hibiscus rosa-sinensis	Hibiscus	3 gallon / 24" OC	
26	MUC	Muhlenbergia capillaris	Muhly Grass	3 gallon / 30" OC	
26	PSN	Psychotria nervosa	Wild Coffee	3 gallon / 30" OC	
69	SCT	Schefflera arboricola 'Trinette'	Trinette Schefflera	3 gallon / 24" OC	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
1647 SF			Coco Brown Mulch	As Shown on Plan
3787 SF			St. Augustine Floratam Sc	As Shown on Plan

Per Single Family Lot:  
 Maximum 55% impervious  
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 2 trees in front yard, 1 tree in rear yard  
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Total lot area = 8,700 SF  
 Impervious area = 3,266 SF (37.5%)  
 Pervious area = 5,434 SF x 70% = 3,803 SF maximum sod

**Model C 45**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
3	CE	Conocarpus erectus	Green Buttonwood	10' ht / 1.5" cal.	Y
1	QV	Quercus virginiana	Live Oak	10' ht / 1.5" cal.	Y
1	TH	Tabebuia heterophylla	Tabebuia	10' ht / 1.5" cal.	N

Note: Provide Green Buttonwood (CE) street trees on an average of one swale tree per 30 lineal feet of swale (may vary due to driveways and utilities)

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE
43	CES	Conocarpus erectus sericeus	Silver Buttonwood	24" ht. min. / 36" OC	Y
1	CRI	Crinum augustum 'Queen Emma'	Purple Crinum Lily	15 gallon	
94	CRM	Codiaeum variegatum	Mammey Croton	3 gallon / 24" OC	
81	IXP	Ixora 'Petite'	Dwarf Ixora	3 gallon / 24" OC / pink	
13	PSN	Psychotria nervosa	Wild Coffee	3 gallon / 30" OC	
38	SCT	Schefflera arboricola 'Trinette'	Trinette Schefflera	3 gallon / 24" OC	
31	TRF	Tripsacum floridanum	Gama Grass	1 gallon / 24" OC	

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
1638 SF			Coco Brown Mulch	As Shown on Plan
3700 SF			St. Augustine Floratam Sc	As Shown on Plan

Per Single Family Lot:  
 Maximum 55% impervious  
 Maximum 70% sod for pervious area  
 2 trees in front yard, 1 tree in rear yard  
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Total lot area = 8,700 SF  
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**PENINSULA ENGINEERING**  
 CIVIL ENGINEERING • PLANNING AND ZONING • ENVIRONMENTAL SERVICES  
 LANDSCAPE ARCHITECTURE • SURVEYING • LAND DEVELOPMENT

2600 Golden Gate Pkwy  
 Naples, FL 34105

239.403.6700  
 Pen-Eng.com

PROJECT:  
**GRIFFIN 106 SUBDIVISION**

SHEET TITLE:  
**TYPICAL LOT LANDSCAPE PLAN - SOUTHERN**

PREPARED FOR:  
**CC HOMES**

REVISIONS:

No.	Revision:	Date:
1	AS-CED SHEET	1/11/2024

GRAPHIC SCALE:  
 0 5' 10' 20'

NORTH

VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

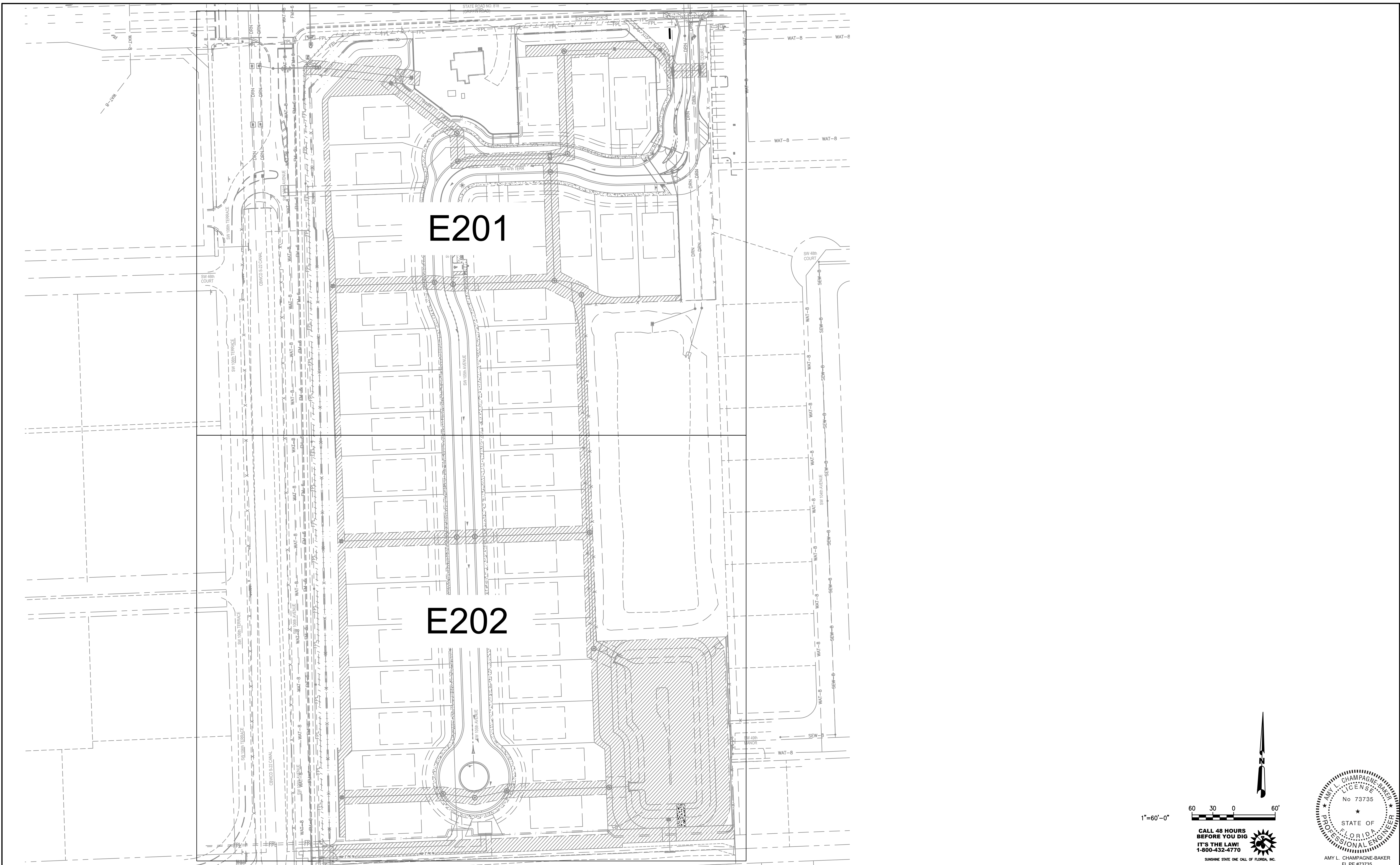
PROFESSIONAL SEALS:  
 LANDSCAPE ARCHITECT: STEVE SAMMONS  
 FLORIDA LICENSE NUMBER: LA0001394

DESIGNED BY: STEVE SAMMONS  
 DRAWN BY: STEVE SAMMONS  
 DATE: AUGUST 2023  
 HORIZONTAL SCALE: 1" = 10'  
 PROJECT NUMBER: P-CCEC-010-001-LA  
 FILE NAME: P-CCEC-010-001-L-202.dwg  
 SHEET NUMBER: 07 of 08









NO.	DATE	BY	REVISION

**CC HOMES**  
 2020 SALZEDO STREET, SUITE 200  
 CORAL GABLES, FL 33134

**GRIFFIN 106 SUBDIVISION**  
 COOPER CITY, BROWARD COUNTY, FL

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DATE: MAY 2024  
 DRAWN: WJC  
 DESIGNED: ALC  
 APPROVED: JWK

**QUANTUM**  
 Electrical Engineering, Inc.  
 2755 VISTA PARKWAY SUITE I-12  
 WEST PALM BEACH, FL 33411  
 561-210-9224  
 LICENSE NO. CA30805

OVERALL PHOTOMETRIC PLAN

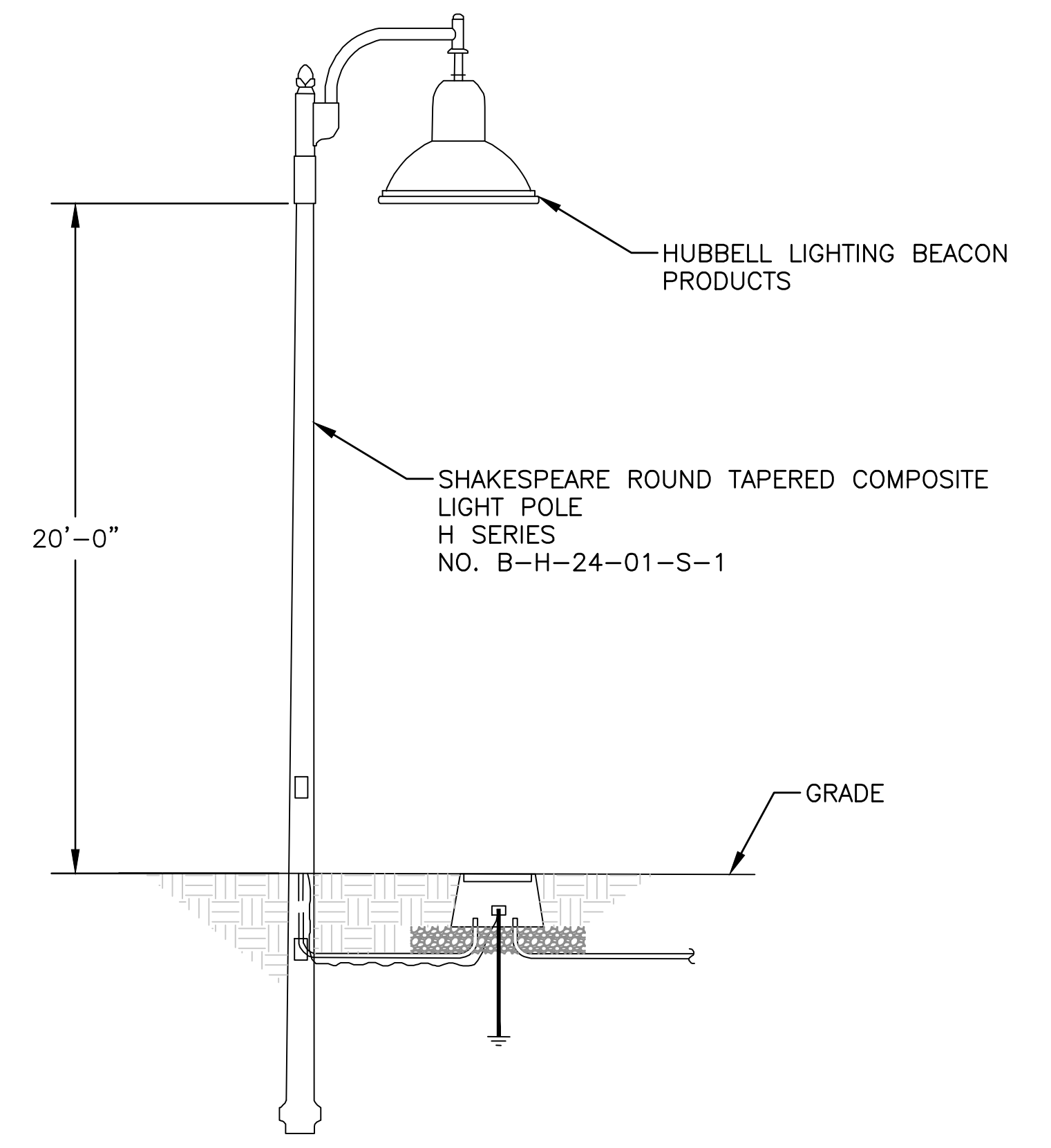
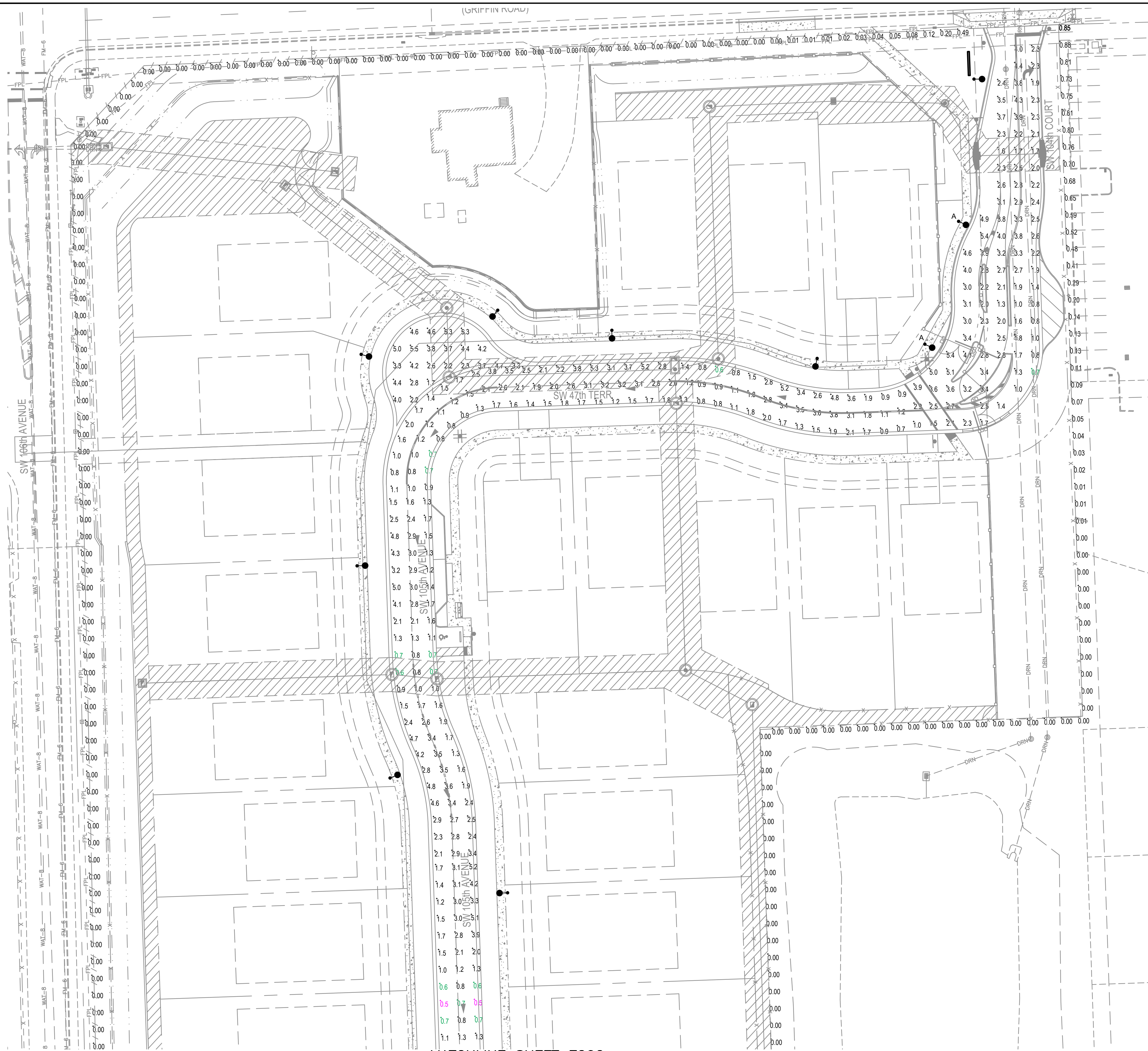
SCALE: 1" = 60'  
 PROJECT NO. CCH2303  
 DRAWING: E200

1"=60'-0"

**CALL 48 HOURS BEFORE YOU DIG**  
 IT'S THE LAW!  
 1-800-432-4770  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

AMY L. CHAMPAGNE-BAKER  
 FL PE #73735





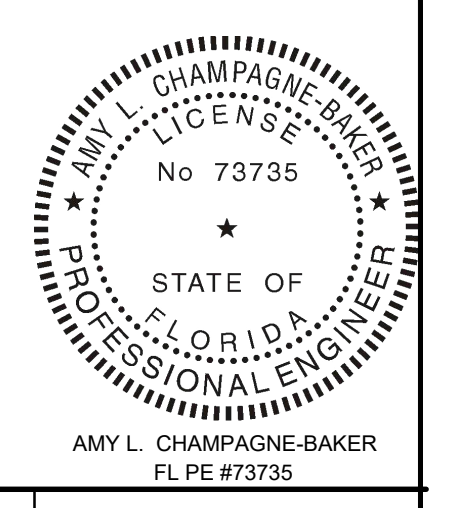
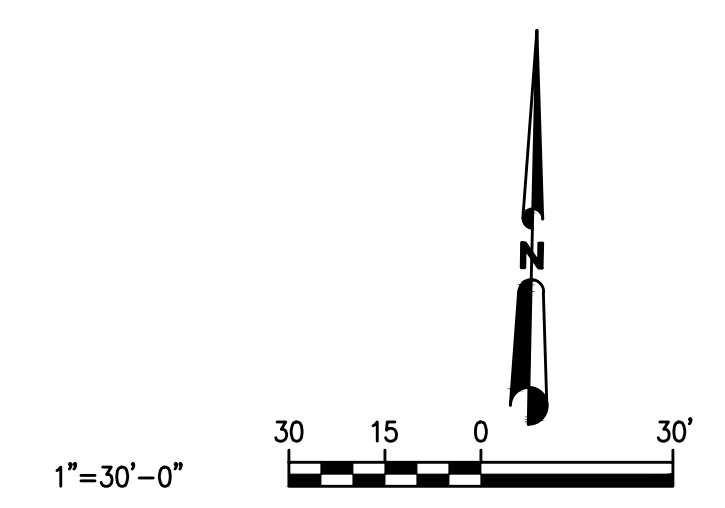
**TYPICAL STREET LIGHT POLE DETAIL**  
NOT TO SCALE

ALL POLE INSTALLATIONS SHALL BE SUITABLE FOR 170 MPH WIND WITH APPROPRIATE GUST FACTOR PER APPLICABLE ZONE OF INSTALLATION AS DEFINED IN THE FLORIDA BUILDING CODE. THE CONTRACTOR SHALL INCLUDE WITH THE SHOP DRAWING SUBMITTAL, A POLE WIND LOADING CALCULATION SIGNED & SEALED BY A STRUCTURAL ENGINEER REGISTERED IN FLORIDA SHOWING THAT THE PROPOSED INSTALLATIONS WILL MEET THE GIVEN WIND LOADING REQUIREMENT.

PHOTOMETRIC CALCULATION SUMMARY						
Street Name	Units	Average	Maximum	Minimum	Avg/Min	Max/Min
PROPERTY LINE	Fc	0.06	0.88	0	n/a	n/a
ROADWAY	Fc	2.43	5.9	0.05	4.86	11.8

ROADWAY LIGHTING CRITERIA IS A MINIMUM OF 0.5 FOOT CANDLE, AVERAGE TO MINIMUM RATIO OF 4:1, MAXIMUM TO MINIMUM RATIO OF 12:1

Luminaire Schedule							
Symbol	Qty	Arrangement	DISTRIBUTION	COLOR	Total Lamp Lumens	LLF	MODEL
●	15	SINGLE	IV WIDE	4000K	14,990	0.970	URB-XXXX-26-48L-110-4K7-4W
●-A	2	SINGLE	IV	4000K	15,567	0.970	URB-XXXX-26-48L-110-4K7-4



MATCHLINE SHEET E202

**CC HOMES**  
2020 SALZEDO STREET, SUITE 200  
CORAL GABLES, FL 33134

**GRIFFIN 106 SUBDIVISION**  
COOPER CITY, BROWARD COUNTY, FL

**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DATE: MAY 2024  
DRAWN: WJC  
DESIGNED: ALC  
APPROVED: JWK



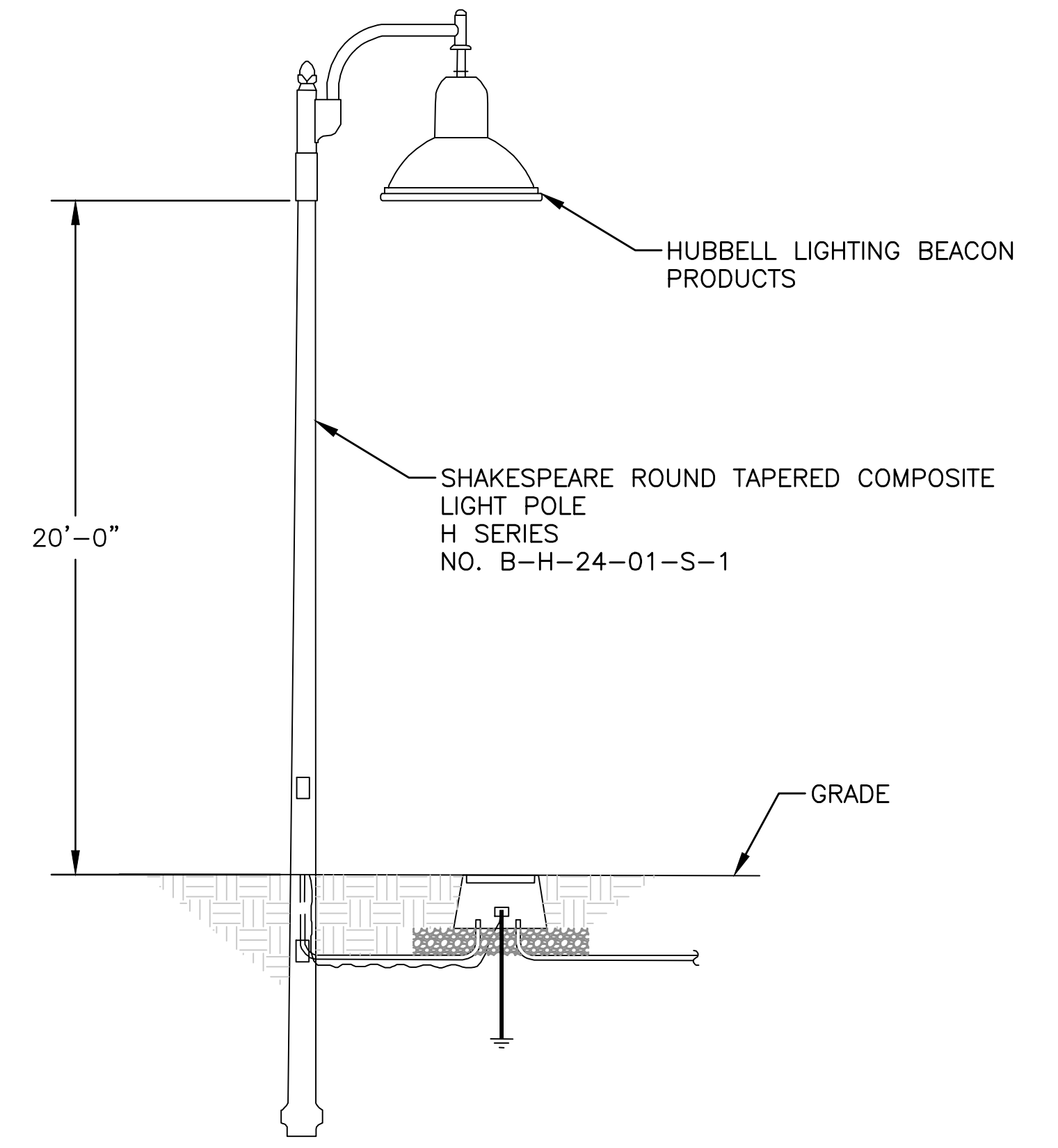
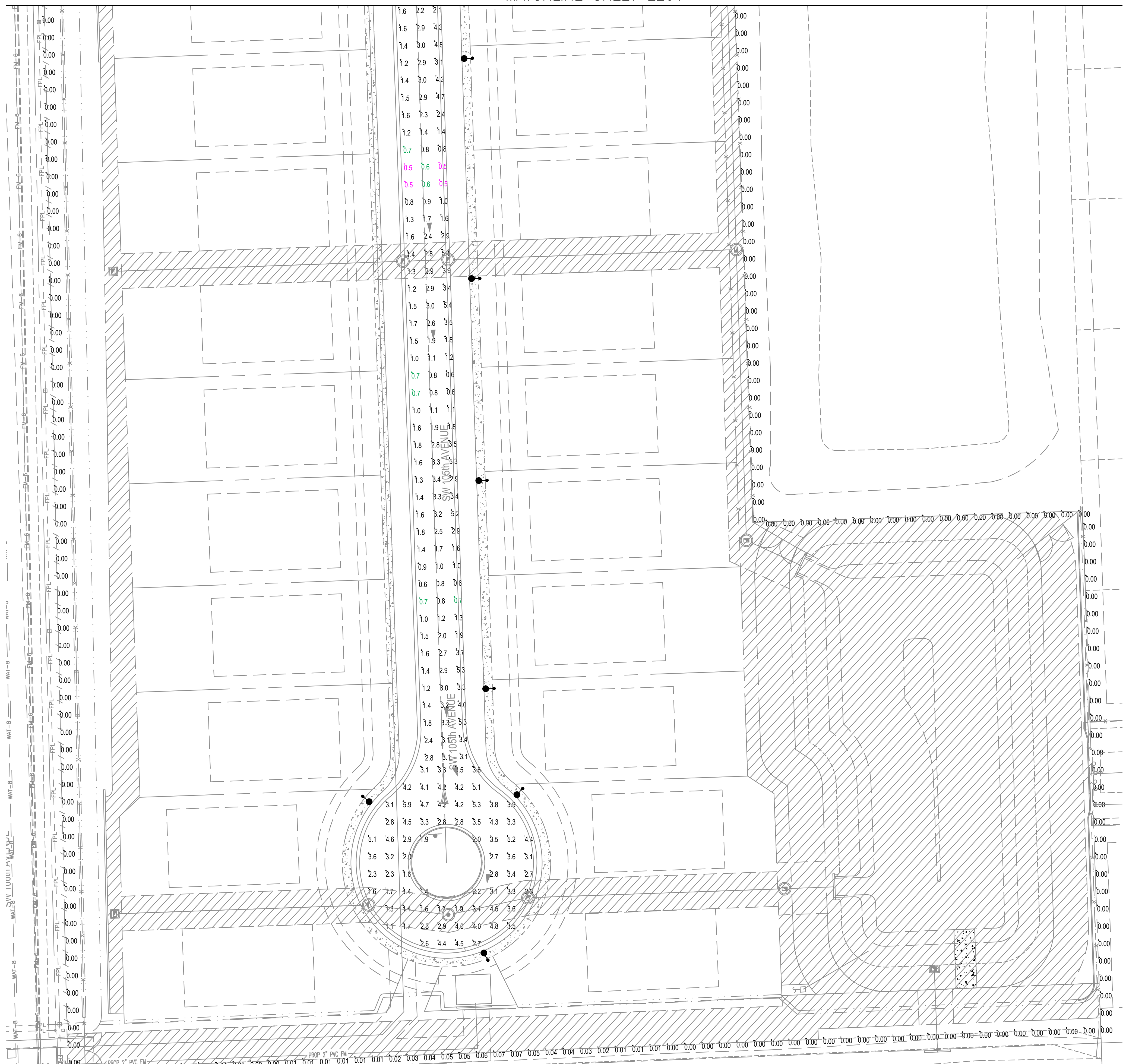
PHOTOMETRIC PARTIAL SITE

SCALE: 1" = 30'  
PROJECT NO. CCH2303  
DRAWING: **E201**

NO.	DATE	BY	REVISION



MATCHLINE SHEET E201



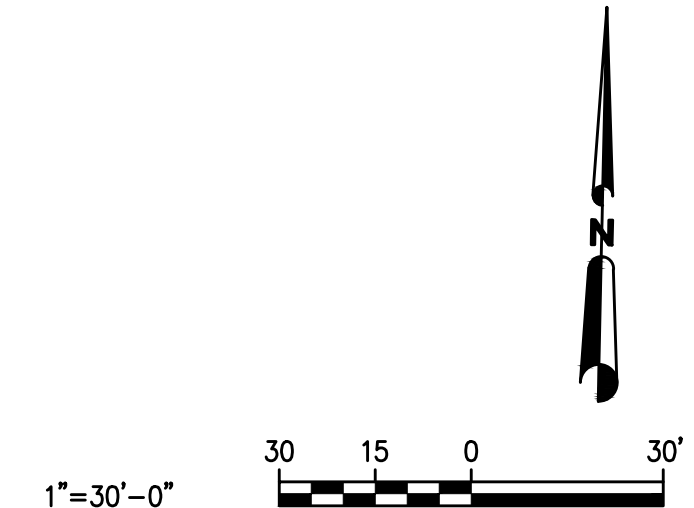
**TYPICAL STREET LIGHT POLE DETAIL**  
NOT TO SCALE

ALL POLE INSTALLATIONS SHALL BE SUITABLE FOR 170 MPH WIND WITH APPROPRIATE GUST FACTOR PER APPLICABLE ZONE OF INSTALLATION AS DEFINED IN THE FLORIDA BUILDING CODE. THE CONTRACTOR SHALL INCLUDE WITH THE SHOP DRAWING SUBMITTAL, A POLE WIND LOADING CALCULATION SIGNED & SEALED BY A STRUCTURAL ENGINEER REGISTERED IN FLORIDA SHOWING THAT THE PROPOSED INSTALLATIONS WILL MEET THE GIVEN WIND LOADING REQUIREMENT.

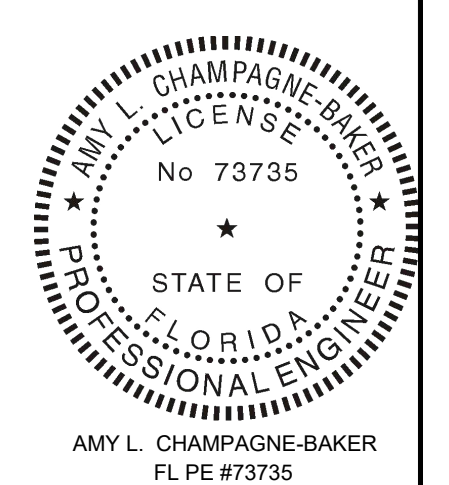
PHOTOMETRIC CALCULATION SUMMARY						
Street Name	Units	Average	Maximum	Minimum	Avg/Min	Max/Min
PROPERTY LINE	Fc	0.06	0.88	0	n/a	n/a
ROADWAY	Fc	2.43	5.9	0.05	4.86	11.8

ROADWAY LIGHTING CRITERIA IS A MINIMUM OF 0.5 FOOT CANDLE, AVERAGE TO MINIMUM RATIO OF 4:1, MAXIMUM TO MINIMUM RATIO OF 12:1

Luminaire Schedule							
Symbol	Qty	Arrangement	DISTRIBUTION	COLOR	Total Lamp Lumens	LLF	MODEL
●	15	SINGLE	IV WIDE	4000K	14,990	0.970	URB-XXXX-26-48L-110-4K7-4W
● <sub>A</sub>	2	SINGLE	IV	4000K	15,567	0.970	URB-XXXX-26-48L-110-4K7-4



**CALL 48 HOURS BEFORE YOU DIG**  
**IT'S THE LAW!**  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



NO.	DATE	BY	REVISION

**CC HOMES**  
2020 SALZEDO STREET, SUITE 200  
CORAL GABLES, FL 33134

**GRIFFIN 106 SUBDIVISION**  
COOPER CITY, BROWARD COUNTY, FL

**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DATE: MAY 2024  
DRAWN: WJC  
DESIGNED: ALC  
APPROVED: JWK

**QUANTUM**  
Electrical Engineering, Inc.  
2755 VISTA PARKWAY SUITE 1-12  
WEST PALM BEACH, FL 33411  
561-210-9224  
LICENSE NO. CA30805

PHOTOMETRIC PARTIAL SITE

SCALE: 1" = 30'  
PROJECT NO. CCH2303  
DRAWING: **E202**



DRAWING INDEX

Sheet #	Sheet Name
C-01	PAVING, GRADING & DRAINAGE LOCATION MAP
C-02	PAVING, GRADING & DRAINAGE PLAN
C-03	PAVING, GRADING & DRAINAGE PLAN
C-04	PAVING, GRADING & DRAINAGE PLAN
C-05	PAVING, GRADING & DRAINAGE PLAN
C-06	PAVING, GRADING & DRAINAGE PLAN
C-07	PAVING, GRADING & DRAINAGE PLAN
C-08	PAVING SECTION PLAN
C-09	PAVING, GRADING & DRAINAGE DETAILS
C-10	PAVING, GRADING & DRAINAGE NOTES
C-11	EROSION CONTROL PLAN
C-12	CROSS SECTIONS
C-13	CROSS SECTIONS
C-14	CROSS SECTIONS
C-15	CROSS SECTIONS
C-16	WATER DISTRIBUTION SYSTEM NOTES
C-17	OVERALL WATER PLAN (1"=80')

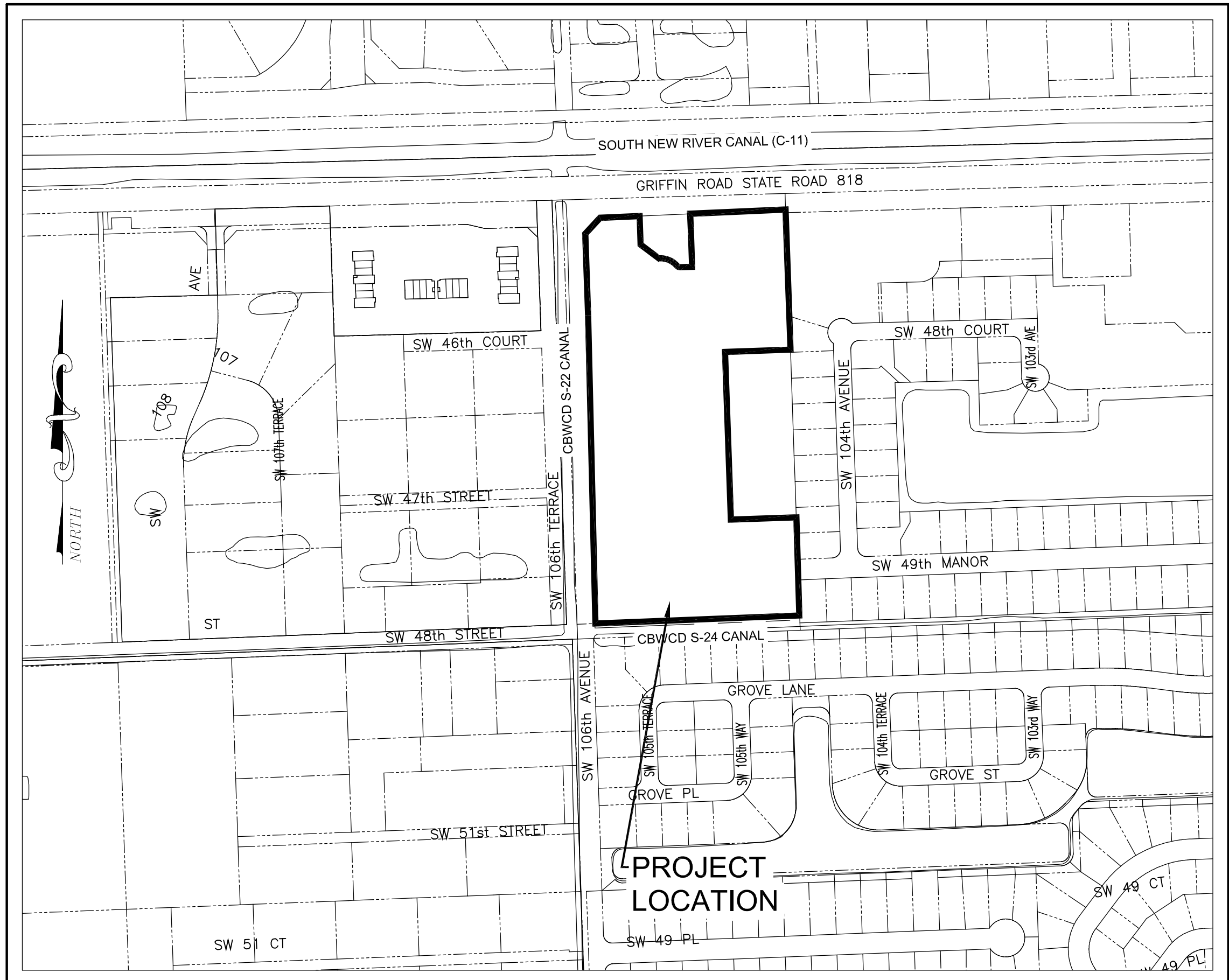
Sheet #	Sheet Name
C-18	WATER DISTRIBUTION SYSTEM PLAN
C-19	WATER DISTRIBUTION SYSTEM PLAN
C-20	WATER DISTRIBUTION SYSTEM PLAN
C-21	WATER DISTRIBUTION SYSTEM PROFILES
C-22	SEWAGE COLLECTION SYSTEM PLAN
C-23	SEWAGE COLLECTION SYSTEM PLAN
C-24	SEWAGE COLLECTION SYSTEM PLAN
C-25	SEWAGE COLLECTION SYSTEM PROFILES
C-26	COOPER CITY STANDARD DETAILS
C-27	COOPER CITY STANDARD DETAILS
C-28	COOPER CITY STANDARD DETAILS
C-29	COOPER CITY STANDARD DETAILS
C-30	COOPER CITY STANDARD DETAILS
C-31	COOPER CITY STANDARD DETAILS
C-32	FDOT R/W DEMOLITION PLAN
C-33	PHASING PLAN
LS-1	SEWAGE LIFT STATION PLAN

- CBWCD GENERAL NOTES
- THE FOLLOWING GENERAL NOTES ARE REQUIRED BY CENTRAL BROWARD WATER CONTROL DISTRICT. THEY ARE NOT MEANT TO BE ALL INCLUSIVE, AND IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO ADD ANY NOTES WHICH WILL INFORM THE OWNER AND THE CONTRACTOR OF ANY ADDITIONAL REQUIREMENT OF THE CENTRAL BROWARD WATER CONTROL DISTRICT.
  - ANY REVISIONS TO THESE PLANS MUST BE APPROVED BY THE CENTRAL BROWARD WATER CONTROL DISTRICT PRIOR TO CONSTRUCTION.
  - BONDS: UPON DISTRICT BOARD OF COMMISSIONERS APPROVAL OF PLANS, BUT BEFORE CONSTRUCTION CAN COMMENCE, THE FOLLOWING ITEMS MUST BE COMPLIED WITH:
    - BOND (CASH OR SURETY), IN THE DISTRICT'S FAVOR, MUST BE POSTED IN THE AMOUNT OF 110 PERCENT OF THE DEVELOPER'S ENGINEER OF RECORD'S ESTIMATE OF COST OF CONSTRUCTION OF THE PAVING AND DRAINAGE WORKS. (SUBJECT TO APPROVAL OF THE COST ESTIMATE BY THE DISTRICT SECRETARY/MANAGER OR DISTRICT ENGINEER.)
    - SWALES, LAKE/POND BANKS, SLOPES, CANALS, AND OTHER EXCAVATIONS SHALL BE BONDED SEPARATELY FROM OTHER DRAINAGE IMPROVEMENTS AND WILL BE HELD BY THE DISTRICT UNTIL SUCCESSFUL COMPLETION. THE AMOUNT OF THIS SEPARATE BOND WILL BE DETERMINED BY THE DISTRICT BOARD OF COMMISSIONERS AND BY RECOMMENDATION OF THE DISTRICT SECRETARY/MANAGER.
    - THE DISTRICT'S BOND FORM IS THE ONLY FORM APPROVED FOR USE, AND IT SHALL BE A RECORDED INSTRUMENT. RELEASE OR REDUCTION FROM THE RECORDED INSTRUMENT SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
    - BONDS SHALL BE PROVIDED BY THE PRINCIPALS OF DEVELOPMENT ONLY. CONTRACTOR OR SUB-CONTRACTOR BONDS ARE NOT ACCEPTABLE.
  - UPON SUCCESSFUL COMPLETION OF CONSTRUCTION, AND ACCEPTANCE OF "AS-BUILTS/RECORD DRAWINGS" BY THE DISTRICT BOARD OF COMMISSIONERS, A PERCENTAGE OF THE PERFORMANCE BOND AS DETERMINED BY THE DISTRICT BOARD OF COMMISSIONERS SHALL REMAIN IN FULL FORCE AND EFFECT FOR AN ADDITIONAL TWELVE (12) MONTHS AFTER FINAL INSPECTION AND APPROVAL, UNLESS SUPPLEMENTED BY NEW BOND FORMS IN THE REQUIRED AMOUNTS AND APPROVED BY THE DISTRICT ATTORNEY.
  - INSPECTIONS: WHEN CONSTRUCTION IS IN PROGRESS, THE DISTRICT'S INSPECTOR WILL INSPECT THE INSTALLATION OF DRAINAGE WORKS, ACCORDING TO AN INSPECTION SCHEDULE ESTABLISHED BY THE BOARD OF COMMISSIONERS. INSPECTION MUST BE MADE BY DISTRICT PERSONNEL BEFORE BACKFILLING OF ANY STORM DRAIN STRUCTURES, PIPES, EXFILTRATION TRENCHES, WORK IN DISTRICT CANALS, AND BEFORE PLACEMENT OF ASPHALT OR CONCRETE PAVEMENT. CALL (954) 452-5100 FOR AN INSPECTION APPOINTMENT A MINIMUM OF TWENTY-FOUR (24) HOURS IN ADVANCE. ALL COSTS OF PERIODIC INSPECTIONS OF CONSTRUCTION BY THE DISTRICT SHALL BE BORNE BY THE DEVELOPER.
  - LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 911 OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, EXCEPT THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE SIXTY PERCENT (60%).
  - ALL MUCK AND DELETERIOUS SOILS SHALL BE REMOVED FROM THE TOP OF BANK TO TOP OF BANK LIMITS OF DRY DETENTION/RETENTION AREAS, AND EXFILTRATION TRENCHES DOWN TO A MINIMUM OF FIVE FEET (5') BELOW THE WATER CONTROL ELEVATION AND REPLACED WITH SUITABLE WELL-DRAINING SOILS.
  - ALL NUISANCE VEGETATION SHALL BE REMOVED FROM WITHIN THE PROJECT LIMITS AND WITHIN THE PORTION OF THE CBWCD CANAL THAT FALLS WITHIN THE PROPERTY BOUNDARY. THIS ALSO APPLIES WHEN THE PROPERTY ABUTS A ROADWAY AND THE DISTRICT CANAL IS LOCATED ON THE OPPOSITE SIDE OF THE ROAD WITH RESPECT TO THE PROPERTY. IN THIS CASE, NUISANCE VEGETATION SHALL BE REMOVED FROM THE CANAL BANK NEAREST THE PROPERTY LINE.
  - EXISTING STORM SEWERS SHALL BE CLEANED FROM THE POINT OF CONNECTION WITH NEW STORM SEWERS OR DRAINAGE STRUCTURES TO THE FIRST EXISTING STRUCTURE UPSTREAM AND DOWNSTREAM OF THE POINT OF CONNECTION. TELEVISION INSPECTION OF THE PIPES SHALL BE REVIEWED AND CERTIFIED THAT THEY ARE CLEAN BY THE ENGINEER OF RECORD PRIOR TO SUBMITTAL OF AS-BUILT DRAWINGS TO THE DISTRICT.
  - THE LIMITS OF ANY EASEMENT TO BE DEDICATED TO THE DISTRICT SHALL BE STAKED PRIOR TO INSTALLING TREES TO BE LOCATED WITHIN THREE (3) FEET OF A DISTRICT EASEMENT. THE STAKES SHALL REMAIN IN PLACE UNTIL THE SITE OR LANDSCAPE CONTRACTOR VERIFIES THE INTENDED PLANT LOCATION DOES NOT ENCROACH INTO A DISTRICT EASEMENT.
  - THE DISTRICT SECRETARY/MANAGER AND DISTRICT ENGINEER SHALL BE NOTIFIED PRIOR TO THE SUBMITTAL OF AS-BUILT/RECORD DRAWINGS OF ANY ENCROACHMENT WITHIN A DISTRICT EASEMENT NOT EXPRESSLY APPROVED BY THE DISTRICT BOARD OF COMMISSIONERS.
  - AS-BUILT SURVEY AND RECORD DRAWING: "AS-BUILT" PLANS FROM THE SURVEYOR OF RECORD MUST BE CERTIFIED AS "RECORD DRAWINGS" BY THE ENGINEER OF RECORD. THE SURVEYOR'S CERTIFICATION SHALL INCLUDE THE LAST DATE OF FIELD DATA ACQUISITION. THE ENGINEER'S CERTIFICATION SHALL INCLUDE THE CBWCD PERMIT COMPLIANCE STATEMENT. "AS-BUILTS" SHALL BE PROVIDED AS AN EXHIBIT TO THE SUBMITTALS AT THE SAME SCALE FOR COMPARISON PURPOSES. ALL REFERENCES TO "PROPOSED" SHALL BE STRUCK THROUGH AND REPLACED WITH THE AS-BUILT CONDITION. AS-BUILT SUBMITTALS SHALL FOLLOW THE SAME FORMAT OF GENERAL REVIEW AS DESCRIBED IN THE CENTRAL BROWARD WATER CONTROL DISTRICT'S STORMWATER MANAGEMENT REGULATIONS, STANDARDS, PROCEDURES, AND DESIGN CRITERIA MANUAL.
  - LAKE/POND, CANAL, AND DRY DETENTION/RETENTION AREA AS-BUILTS WILL BE CROSS-SECTIONED SHOWING THE DESIGNED SECTION AS DASHED, AS-BUILT SECTION AS SOLID, AND HAVE THE TOP OF BANK TO THE LAKE/CANAL MAINTENANCE EASEMENT. SPACING BETWEEN EACH CROSS-SECTION SHALL BE SUCH AS TO PROVIDE ENOUGH DATA TO DETERMINE IF THE LAKE/POND/CANAL/DRY DETENTION/RETENTION AREA WAS CONSTRUCTED AS DESIGNED. THE MAXIMUM SPACING BETWEEN CROSS SECTIONS SHALL BE 100'.
  - THE CONTRACTOR SHALL PROVIDE STABLE AND PERMANENT ELEVATION BENCHMARKS ON THE TOP OF EACH HEADWALL CAP FOR PIPES DISCHARGING INTO DISTRICT CANALS AND DRIVEWAY CULVERTS ALONG DISTRICT CANALS. THE BENCHMARK ELEVATION SHALL BE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND INCLUDE THE DATUM REFERENCE USING NATIONAL GEODETIC SURVEY BENCHMARKS OR FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARKS IN NAVD88 AND ONLY CONVERTED BACK TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). THE OTHER SHALL BE BASED ON NGVD29 AND INCLUDE THE DATUM REFERENCE. EACH HEADWALL SHALL HAVE ONE (1) NAVD88 AND ONE (1) NGVD29 BENCHMARK. CULVERTS CONNECTING DISTRICT CANALS ONLY REQUIRE ONE (1) BENCHMARK PER EACH PAIR OF HEADWALLS.
  - THE SURVEYOR OF RECORD SHALL ANNOTATE THE BENCHMARK ELEVATIONS ON THE AS-BUILT DRAWING IN THE FORMAT PROVIDED BY THE DISTRICT ENGINEER. THE BENCHMARK DATA SHALL ALSO INCLUDE A NORTHING/EASTING COORDINATE AT THE CENTER OF EACH HEADWALL. THE HORIZONTAL DATUM SHALL BE BASED ON STATE PLANE, FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983/1990 (NAD83/90).

# PAVING, GRADING & DRAINAGE PLANS

## FOR PROPOSED

# GRIFFIN 106 SUBDIVISION



**LOCATION MAP**  
SCALE: 1" = 300'

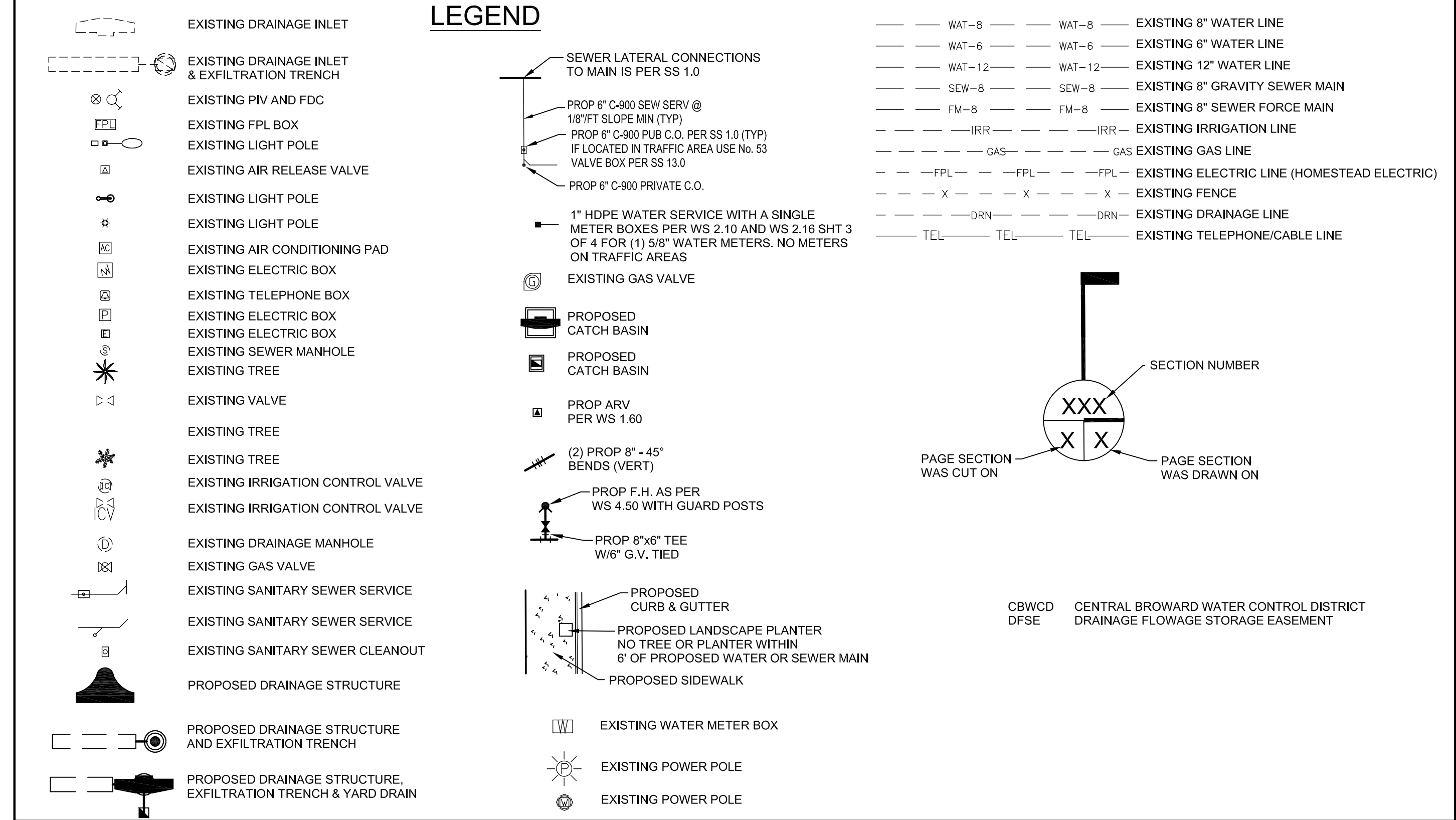
**BROWARD COUNTY - COOPER CITY, FLORIDA**  
**SECTION 30 - TOWNSHIP 50 - RANGE 41**

STORMWATER MANAGEMENT DESIGN DATA TABLE		
ITEM	ELEVATION IN FEET	
	REQUIRED	PROVIDED
ELEVATIONS IN THESE DRAWINGS ARE BASED ON: NAVD88		
NGVD29 TO NAVD88 CONVERSION FACTOR	0.00	NGVD29 = (-) 1.604 NAVD88
<b>MINIMUM FINISHED FLOOR ELEVATION CRITERIA</b>		
FEMA MIN. BASE FLOODPLAIN ELEVATION WITH ASCE 24 MODIFIER	5.0 + 1.0 = 6.0	7.5 NAVD
BROWARD COUNTY 100-YEAR FLOOD ELEVATION	6.5 NAVD	7.5 NAVD
100-YEAR 3-DAY ZERO DISCHARGE PEAK STAGE	6.81 NAVD	7.5 NAVD
18" ABOVE NEAREST ROAD CROWN ELEVATION - RESIDENTIAL STRUCTURES	6.0 NAVD	7.5 NAVD
6" ABOVE NEAREST ROAD CROWN ELEVATION - NON-RESIDENTIAL STRUCTURES	N/A	N/A
<b>MINIMUM CROWN OF ROAD ELEVATION CRITERIA</b>		
BROWARD COUNTY 10-YEAR FLOOD ELEVATION	5.5 NAVD	5.60 NAVD
10-YEAR 1-DAY PEAK STAGE	5.56 NAVD	5.60 NAVD
<b>MINIMUM PERIMETER BERM ELEVATION</b>		
25-YEAR 3-DAY PEAK STAGE	6.35 NAVD	6.35 NAVD

**SUMMARY OF PROPOSED WATER USAGE**

SERVICE	GALLONS PER DAY
Thirty-nine Single Family Residences @ 300 GPD/Residence	= 11,700
<b>Total Gallons Per Day</b>	= 11,700

- FDOT NOTES:**
- ENSURE APPROPRIATE EROSION CONTROL DEVICES ARE IN PLACE BEFORE ANY CONSTRUCTION BEGINS AND ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION.
  - ANY DAMAGE PRODUCE BY THIS PROPOSED WORK SHALL BE RESTORED BY THE PERMITTEE AT NO COST TO THE DEPARTMENT.
  - PERMITTEE IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND ASSUMES ALL RESPONSIBILITY FOR ANY DAMAGE DONE BY THE PERMITTEE TO UNDERGROUND FACILITIES AND ABOVE GROUND FACILITIES.
  - ANY DAMAGE TO SIDEWALK, RAMPS AND/OR CURB AND GUTTER SHOULD BE RESTORED PER FDOT 2020-2021 STANDARDS PLANS INDEX FOR ROAD CONSTRUCTION NO. 522-001, 522-002, 522-003 AND FDOT STANDARD SPECIFICATION 522. REFER TO THE FDOT DESIGN STANDARDS IN THE GENERAL NOTES. MAKE SURE TO FURNISHING APPROPRIATE EXPANSION JOINTS AS PER DS INDEX 305-001.
  - ALL PORTIONS OF THE STATE RIGHT OF WAY SHALL BE RESTORED WITHIN (30) DAYS UPON COMPLETION OF THE PERMITTED INSTALLATION.
  - EXISTING FDOT DRAINAGE SHALL BE PROTECTED ALWAYS BY THE PERMITTEE. ANY DAMAGE TO THE FDOT DRAINAGE SYSTEM SHALL BE REPAIRED / REPLACED BY THE PERMITTEE AT NO COST TO THE DEPARTMENT.
  - PERMITTEE MUST TAKE PICTURES OF THE EXISTING STREET LIGHTNING SYSTEM WORKING DURING NIGHT-TIME WITHIN THE LIMITS OF THIS PROPOSED JOB PRIOR TO BEGIN SAID WORK. TO AVOID FUTURE DISPUTE ABOUT UNFORESEEN DAMAGES TO THE LIGHTNING SYSTEM.
  - WORKING HOURS WITHIN THE F.D.O.T. RIGHT OF WAY SHALL BE BETWEEN THE HOURS OF 9:30 A.M. AND 3:30 P.M. AND OPTIONALLY FROM 9:00 P.M. TO 5:00 A.M. OR AS DIRECTED BY THE DEPARTMENT REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
  - DAMAGED PAVEMENT WILL BE RESTORED AT THE PERMITTEES EXPENSE AND WILL BE IN FULL LANE WIDTHS WITH THE SAME TYPE OF ASPHALT.
  - COMPACT FILL AREAS, INCLUDING CUT ARE UNDER THE SIDEWALK THAT HAVE BEEN EXCAVATED MORE THAN 6" BELOW THE BOTTOM OF SIDEWALK, TO A MINIMUM OF 95% OF AASHTO T99 DENSITY. THE AREA TO BE COMPACTED IS DEFINED AS THAT AREA DIRECTLY UNDER THE SIDEWALK AND 1 FOOT BEYOND EACH SIDE OF THE SIDEWALK WHEN RIGHT-OF-WAY ALLOWS. (SPEC. 522.4)
  - THE ASPHALT AT THIS LOCATION IS LESS THAN 5 YEARS OLD. ANY DAMAGE TO PAVEMENT THAT IS LESS THAN 5 YEARS OLD WILL HAVE TO BE MILLED AND RESURFACED IN FULL LANE WIDTHS, BY 50' IN EITHER DIRECTION FROM THE DAMAGED AREA. ASPHALT WILL BE MATCHED TO THE EXISTING ASPHALT TYPE USED IN THE PREVIOUS FDOT PROJECT PAVEMENT STRUCTURE. MINIMUM ASPHALT MIX ARE SP-12.5 (4.0" THICK) & FC-12.5 (1.5" THICK) W/ PG 76-22. MAINTAIN THE PERMANENT PATCHES FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF INSTALLATION.



Folio: 504130010040

LEGAL DESCRIPTION:  
TRACT TWENTY-NINE (29) OF SECTION 30, TOWNSHIP 50 SOUTH, RANGE 41 EAST, ACCORDING TO NEWMAN'S SURVEY, AS SHOWN ON PLAT RECORDED IN PLAT BOOK 2, PAGE 26, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

LESS THE FOLLOWING DESCRIBED PROPERTIES:

A PORTION OF TRACT 29, "NEWMAN'S SURVEY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 26 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING IN SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 50 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 01°55'26" WEST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,333.57 FEET TO A POINT ON THE BASELINE OF SURVEY FOR STATE ROAD 818 ACCORDING TO THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FOR SECTION NO. 86015-2503; THENCE NORTH 88°26'16" EAST ALONG SAID BASELINE OF SURVEY, A DISTANCE OF 660.59 FEET; THENCE SOUTH 01°33'44" EAST ALONG A LINE AT A RIGHT ANGLE FROM THE PREVIOUSLY DESCRIBED COURSE, A DISTANCE OF 60.00 FEET TO A POINT ON THE SOUTHERLY EXISTING RIGHT-OF-WAY LINE FOR SAID STATE ROAD 818 AND THE POINT OF BEGINNING; THENCE SOUTH 88°26'16" WEST ALONG SAID SOUTHERLY EXISTING RIGHT-OF-WAY LINE, A DISTANCE OF 645.27 FEET TO A POINT ON THE EASTERLY EXISTING RIGHT-OF-WAY LINE FOR S.W. 106TH TERRACE; THENCE SOUTH 01°55'26" EAST ALONG SAID EASTERLY EXISTING RIGHT-OF-WAY LINE, A DISTANCE OF 345.20 FEET; THENCE NORTH 88°04'34" EAST, A DISTANCE OF 62.34 FEET; THENCE NORTH 01°55'26" WEST, A DISTANCE OF 236.22 FEET; THENCE NORTH 42°45'43" EAST, A DISTANCE OF 63.29 FEET; THENCE NORTH 87°26'52" EAST, A DISTANCE OF 536.51 FEET; THENCE NORTH 01°56'58" WEST, A DISTANCE OF 54.00 FEET TO THE POINT OF BEGINNING.

AND

A PORTION OF TRACT 29, "NEWMAN'S SURVEY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 26 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING IN SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 50 SOUTH, RANGE 41 EAST, BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 01°55'26" WEST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,333.57 FEET TO A POINT ON THE BASELINE OF SURVEY FOR STATE ROAD 818 ACCORDING TO THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FOR SECTION NO. 86015-2503; THENCE NORTH 88°26'16" EAST ALONG SAID BASELINE OF SURVEY, A DISTANCE OF 663.97 FEET; THENCE SOUTH 01°33'44" EAST ALONG A LINE AT A RIGHT ANGLE FROM THE PREVIOUSLY DESCRIBED COURSE, A DISTANCE OF 510.84 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF SAID TRACT 29 AND THE POINT OF BEGINNING; THENCE SOUTH 01°58'58" EAST ALONG SAID EASTERLY BOUNDARY LINE, A DISTANCE OF 487.00 FEET; THENCE NORTH 88°01'02" WEST, A DISTANCE OF 190.00 FEET; THENCE NORTH 01°58'58" WEST, A DISTANCE OF 487.00 FEET; THENCE NORTH 88°01'02" EAST, A DISTANCE OF 190.00 FEET TO THE POINT OF BEGINNING.

SUBJECT TO THE RIGHT-OF-WAY OF SW 106TH AVENUE.

SAID LANDS LYING AND BEING IN THE CITY OF COOPER CITY, BROWARD COUNTY, FLORIDA AND CONTAINING 604,250 SQUARE FEET (13.8717 ACRES), MORE OR LESS.

**Sunshine811**

Call 811 or visit [sunshine811.com](http://sunshine811.com) two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

ELEVATIONS SHOWN ON THESE PLANS ARE RELATIVE TO THE NORTH AMERICAN DATUM (NAVD88)

NAVD88 = NGVD1929 - 1.601'

PROJECT ACREAGE: 13.477  
PAVEMENT ACREAGE: 1.634

**ENGINEER CERTIFICATION NOTE**

THE PUBLIC ROADWAY(S) INDICATED IN THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS & HIGHWAYS" - STATE OF FLORIDA.

**CONTACT PERSON INFORMATION**  
NAME: ANDREW W. ADAMS, P.E.  
TELEPHONE NUMBER: 305-339-5885  
EMAIL ADDRESS: ADAMS@WHITMORECE.COM

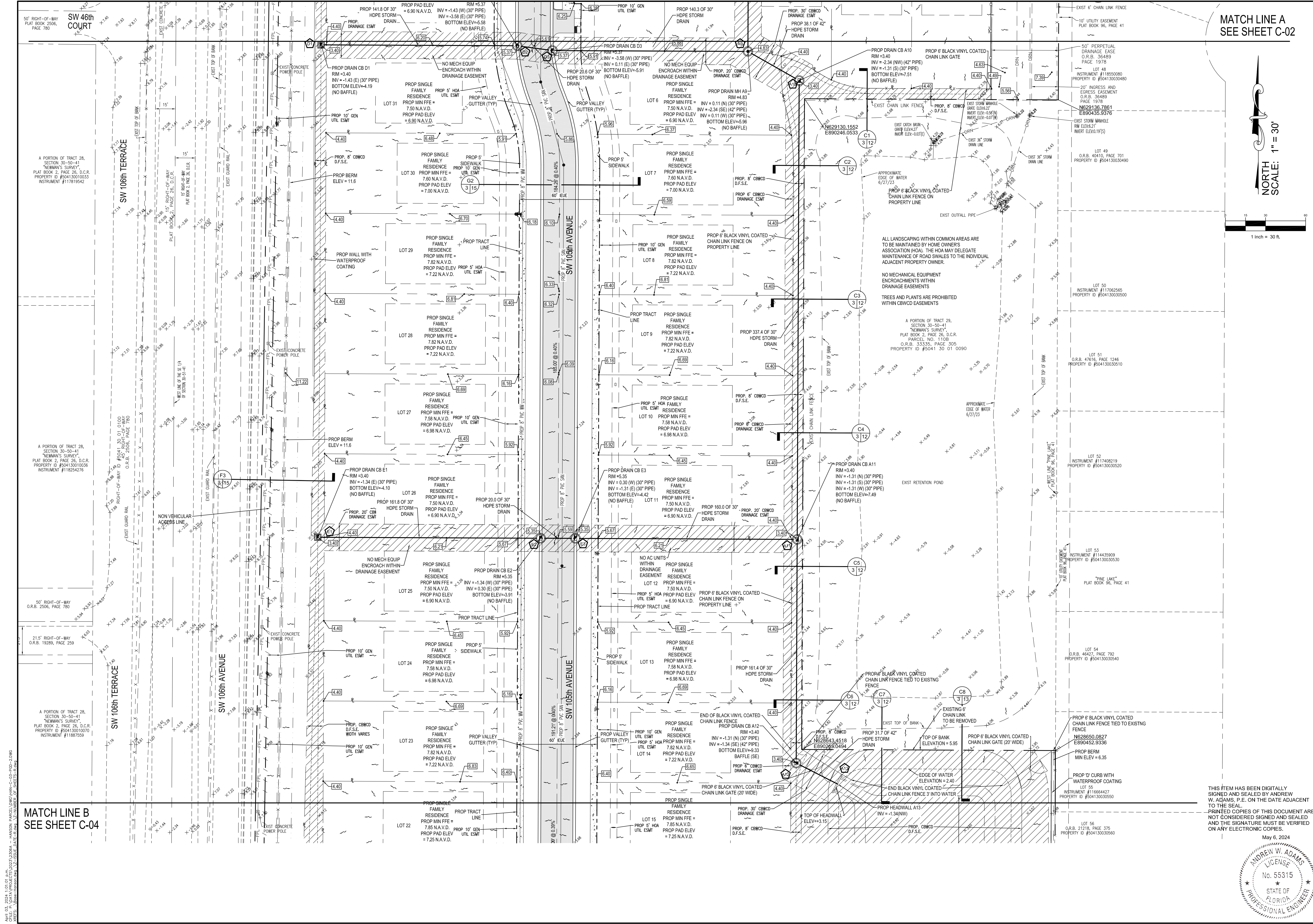
<p>WHITMORE CONSULTING ENGINEERS</p> <p>11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416</p>	<p>PAVING, GRADING &amp; DRAINAGE</p>	<p>LOCATION PLAN</p>
	<p>GRIFFIN 106 SUBDIVISION</p> <p>CC HOMES AT COOPER CITY, LLC</p>	<p>NO. DATE</p> <p>1 04/03/24 REC/CBWD REVIEW COMMENTS</p>
<p>SEAL</p> <p>ANDREW W. ADAMS REGISTERED ENGINEER #31916 STATE OF FLORIDA</p> <p>DESIGNED: AWA DRAWN: AWA CHECKED: AWA SCALE: AS NOTED DATE: 08/30/2023 PROJ. NO. 2306A SHEET</p>	<p>C-01</p> <p>OF 33 SHEETS</p>	<p>BY: APP</p>

APR 04, 2024 14:17:13 EDT  
 PROJECT: GRIFFIN 106 SUBDIVISION  
 SHEET: C-01 OF 33 SHEETS  
 DRAWN: AWA  
 CHECKED: AWA  
 DATE: 08/30/2023  
 PROJECT NO: 2306A  
 SHEET NO: C-01



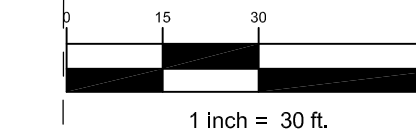






MATCH LINE A  
SEE SHEET C-02

NORTH  
SCALE: 1" = 30'



MATCH LINE B  
SEE SHEET C-04

ALL LANDSCAPING WITHIN COMMON AREAS ARE TO BE MAINTAINED BY HOME OWNERS ASSOCIATION (HOA). THE HOA MAY DELEGATE MAINTENANCE OF ROAD SWALES TO THE INDIVIDUAL ADJACENT PROPERTY OWNER.

NO MECHANICAL EQUIPMENT ENCROACHMENTS WITHIN DRAINAGE EASEMENTS  
TREES AND PLANTS ARE PROHIBITED WITHIN CBWCD EASEMENTS

A PORTION OF TRACT 28, SECTION 30-50-41, NEWMAN'S SURVEY, PLAT BOOK 2, PAGE 26, D.C.R. PARCEL NO. 110B, O.R.B. 33335, PAGE 305, PROPERTY ID #504130016090

NO.	DATE	DESCRIPTION	BY	APP.
1	02/03/24	PER CBWCD REVIEW COMMENTS		
2	04/03/24	PER CBWCD REVIEW COMMENTS		

<b>WHITMORE</b> CONSULTING ENGINEERS	11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 30416
	GRIFIN 106 SUBDIVISION CC HOMES AT COOPER CITY, LLC

PAVING, GRADING & DRAINAGE PLAN
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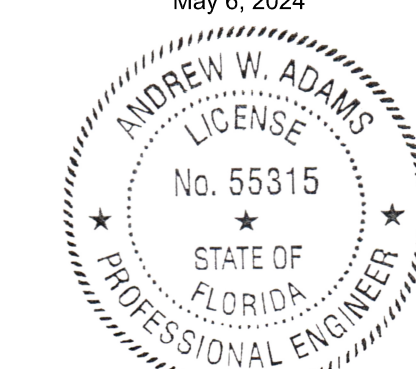
  

ANDREW W. ADAMS REGISTERED ENGINEER #5316 STATE OF FLORIDA
--

DESIGNED: AWA DRAWN: AWA CHECKED: AWA SCALE: AS NOTED DATE: 08/30/2023 PROJ. NO. 2306A SHEET <b>C-03</b> OF 33 SHEETS
--

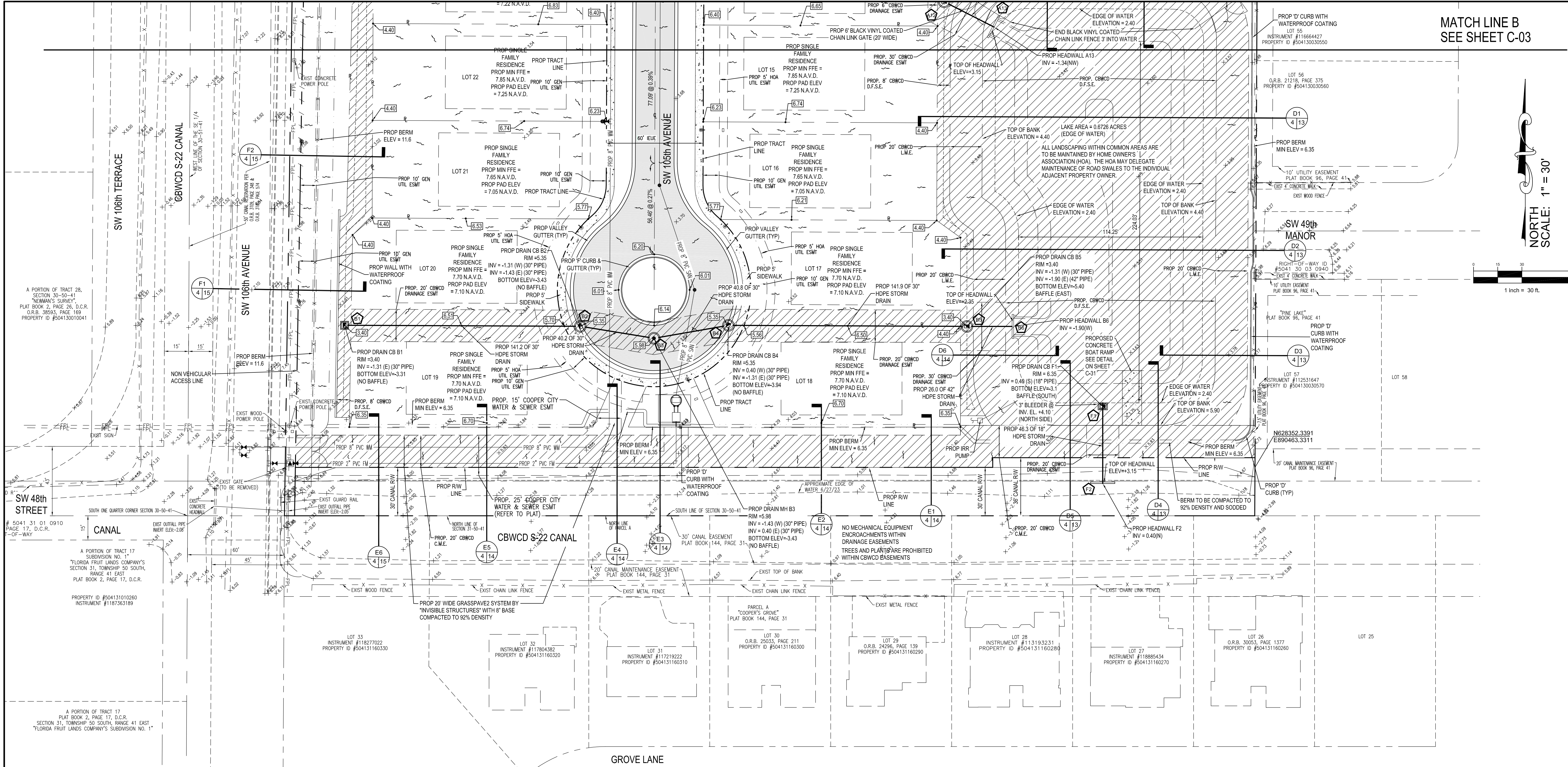
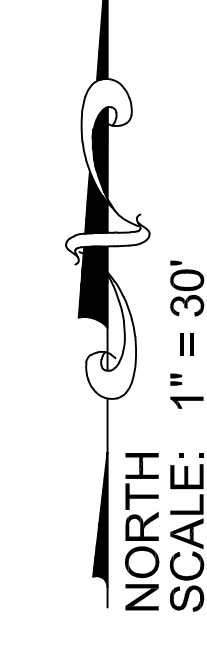
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E., ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



APRIL 03, 2024 11:01:01 AM  
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 SHEET: 13 OF 33 SHEETS  
 DATE: 08/30/2023 11:01:01 AM  
 USER: awadams



MATCH LINE B  
SEE SHEET C-03



SUMMARY OF DRAINAGE STRUCTURES

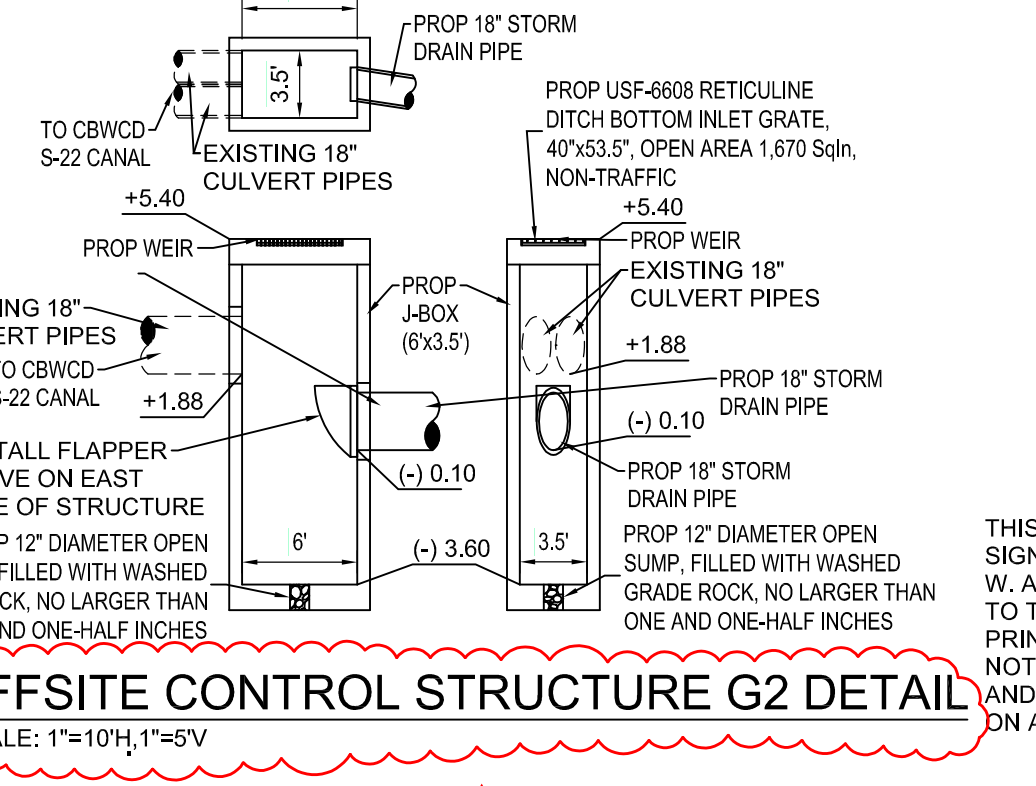
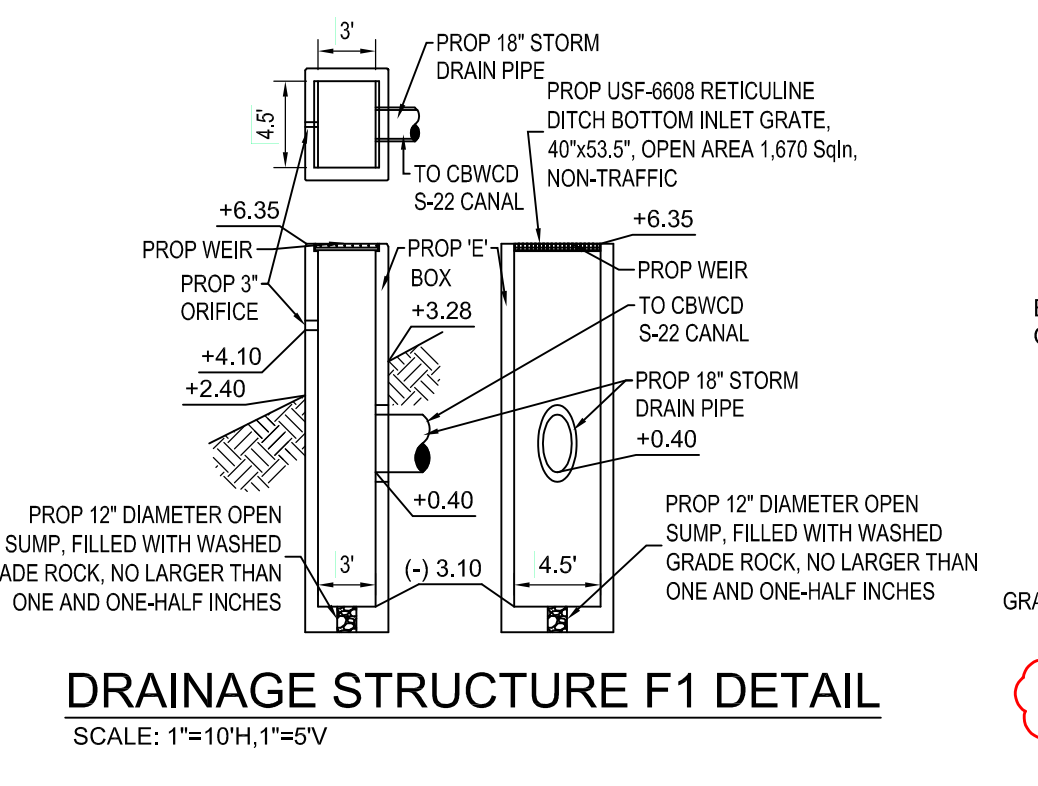
DRAINAGE STRUCTURE LOCATION TABLE

STR No.	STRUCTURE BOTTOM	STRUCTURE TOP
A1	P-BOX (ROUND)	P6
A2	P-BOX (ROUND)	P6
A3	P-BOX (ROUND)	USF 310
A4	A-BOX	USF 6600
A5	J-BOX (ROUND)	USF 4155-6213
A6	J-BOX (ROUND)	USF 310
A7	4'x9' BOX	USF 5105-6148 & USF 310
A8	J-BOX (ROUND)	USF 5105-6148
A9	J-BOX (ROUND)	USF 310
A10	J-BOX (ROUND)	USF 4155-6213
A11	J-BOX (ROUND)	USF 4155-6213
A12	J-BOX (ROUND)	USF 4155-6213
A13	HEADWALL	PER FDOT INDEX 430-030
B1	P-BOX (SQUARE)	USF 4155-6213
B2	J-BOX (ROUND)	USF 5105-6148
B3	J-BOX (ROUND)	USF 310

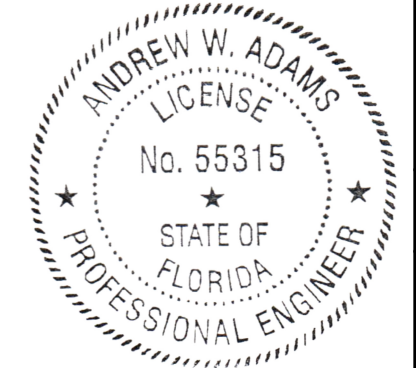
STR No.	STRUCTURE BOTTOM	STRUCTURE TOP
B4	J-BOX (ROUND)	USF 5105-6148
B5	J-BOX (ROUND)	USF 4155-6213
B6	HEADWALL	PER FDOT INDEX 430-030
C1	P-BOX (SQUARE)	USF 4155-6213
C2	J-BOX (ROUND)	USF 310
C3	J-BOX (ROUND)	USF 5105-6148
D1	P-BOX (SQUARE)	USF 4155-6213
D2	J-BOX (ROUND)	USF 5105-6148
D3	J-BOX (ROUND)	USF 5105-6148
D4	E-BOX	USF-6608
F1	HEADWALL	PER FDOT INDEX 430-030
G1	P-BOX (SQUARE)	USF 4155-6213
G2	J-BOX (6'x3.5')	USF 6608

STRUCTURE No.	NORTHERN COORDINATE	EASTERN COORDINATE
A1	N629467.5849	E890412.2068
A2	N629466.2358	E890373.5735
A3	N629497.1796	E890354.9629
A4	N629498.4097	E890289.3881
A5	N629495.1357	E890216.4313
A6	N629346.9104	E890221.6074
A7	N629343.2463	E890196.0861
A8	N629320.702	E890196.8734
A9	N629163.8557	E890202.3506
A10	N629143.6081	E890241.5723
A11	N628800.4216	E890253.5654
A12	N628633.0861	E890259.4089
A13	N628618.6202	E890290.9922
B1	N628418.1711	E889895.8744
B2	N628423.2727	E890041.9649
B3	N628417.6412	E890087.8233

STRUCTURE No.	NORTHERN COORDINATE	EASTERN COORDINATE
B4	N628427.4686	E890133.6251
B5	N628432.6299	E890281.426
B6	N628433.7689	E890310.4036
C1	N629442.4472	E889975.3096
C2	N629376.8054	E890061.9047
C3	N629336.1087	E890063.3258
D1	N629156.2031	E889882.923
D2	N629161.3274	E890029.6614
D3	N629158.7514	E890056.1841
E1	N628787.8992	E889894.9708
E2	N628793.7209	E890061.6824
E3	N628794.6283	E890087.6665
F1	N628386.4368	E890367.5418
F2	N628338.6404	E890369.4204
G1	N629456.8513	E889996.1511
G2	N629471.509	E889860.3296



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**WHITMORE CONSULTING ENGINEERS**  
 11921 NW 23rd STREET  
 PEMBROKE PINES, FL 33026  
 (305) 339-5885 - LB 36416

**WCE**  
 REGISTERED ENGINEER #55315  
 STATE OF FLORIDA

GRIFIN 106 SUBDIVISION  
 CC HOMES AT COOPER CITY, LLC

PAVING, GRADING & DRAINAGE PLAN

SHEET C-04 OF 33 SHEETS

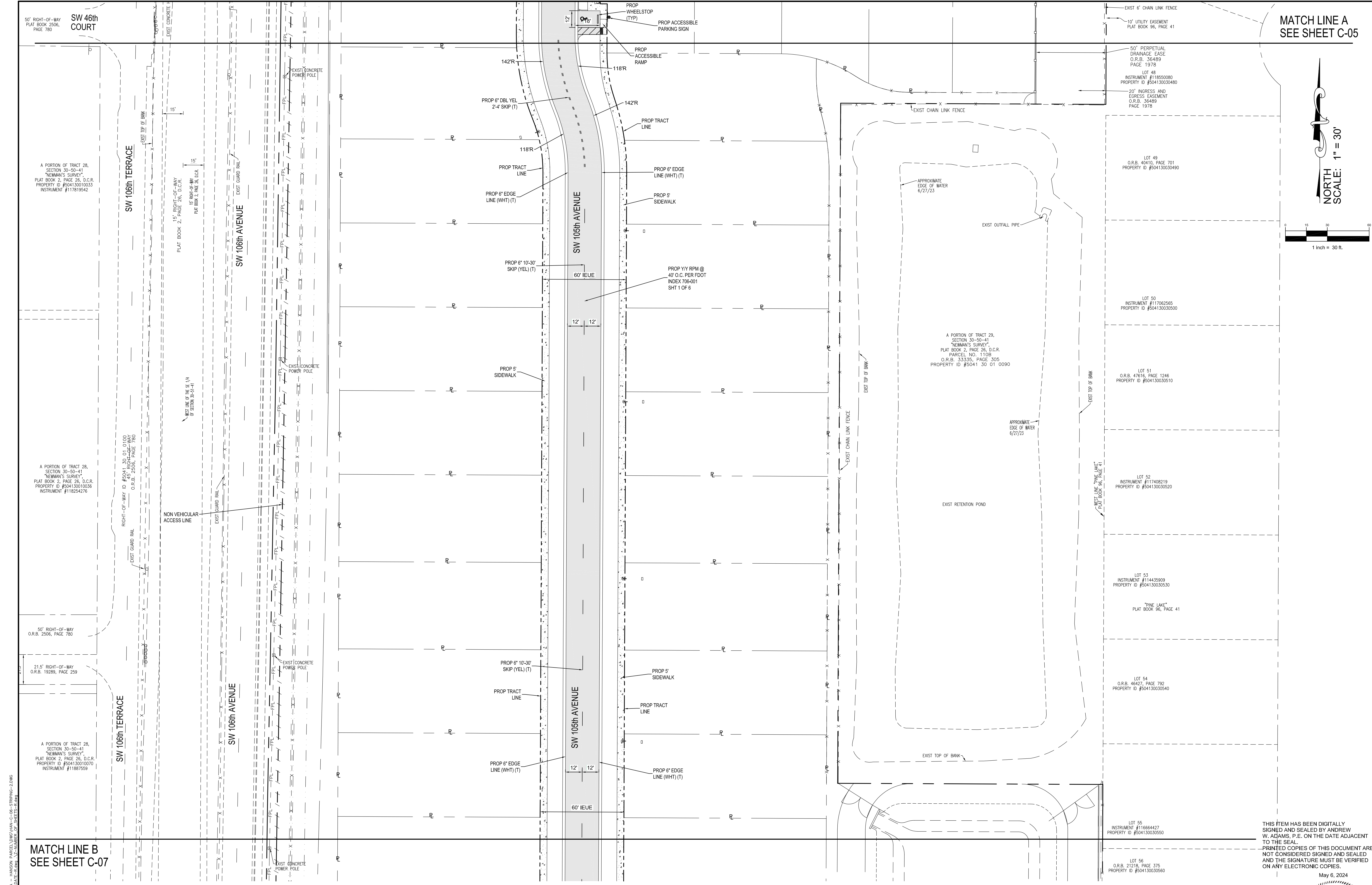
DATE: 08/30/2023  
 SCALE: AS NOTED  
 CHECKED: AWA  
 DRAWN: AWA  
 DESIGNED: AWA

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 SHEETS: 33 (33 of 33)

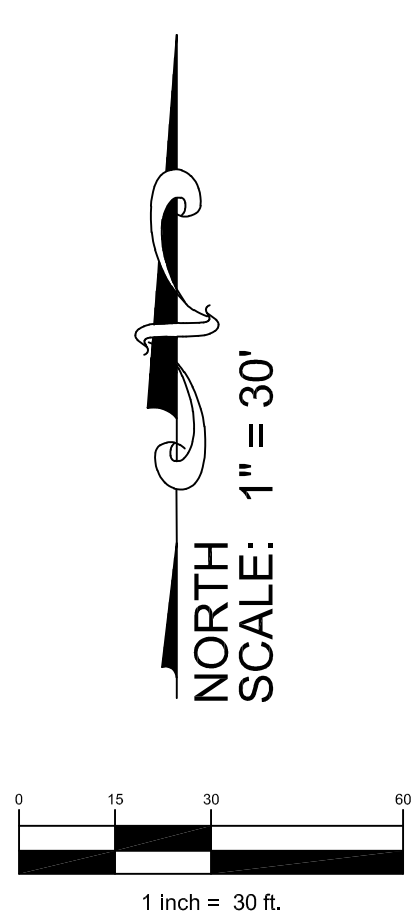








MATCH LINE A  
SEE SHEET C-05



SW 46th COURT  
50' RIGHT-OF-WAY  
PLAT BOOK 2506, PAGE 780

A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
PROPERTY ID #504130010033  
INSTRUMENT #117819542

A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
PROPERTY ID #504130010036  
INSTRUMENT #118254276

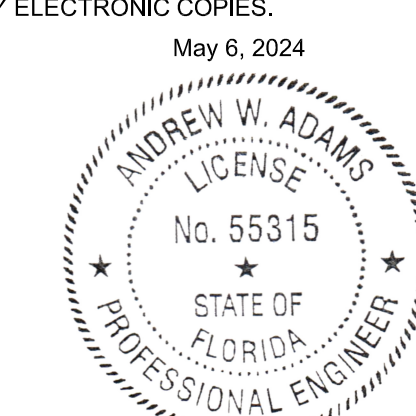
50' RIGHT-OF-WAY  
O.R.B. 2506, PAGE 780

A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
PROPERTY ID #504130010070  
INSTRUMENT #11887559

MATCH LINE B  
SEE SHEET C-07

- PAVEMENT MARKING NOTES**
1. PROVIDE AND INSTALL ALL NECESSARY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL STANDARDS, (DECEMBER 2023 EDITION), BROWARD COUNTY TRAFFIC ENG. STANDARDS OCT 25, 2005. ALL TRAFFIC SIGNS SHALL BE FULLY REFLECTORIZED. ALL MATERIAL INSTALLATION AND LOCATIONS SHALL BE SUBJECT TO REVIEW.
  2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT AS NOTED ON PLANS  
A) FIRST LIFT (PAINT)  
B) FINAL LIFT (THERMOPLASTIC)
  3. ALL RH-1 & D3 SIGNS SHALL BE HIGH INTENSITY
  4. ALL TRAFFIC MARKINGS SHALL CONFORM TO THE MINIMUM STANDARDS OF BROWARD COUNTY TRAFFIC ENGINEERING DIVISION
  5. INCLUDE BLUE RPM FOR HYDRANTS AND MARKINGS. FIRE LANE SHALL BE THERMOPLASTIC

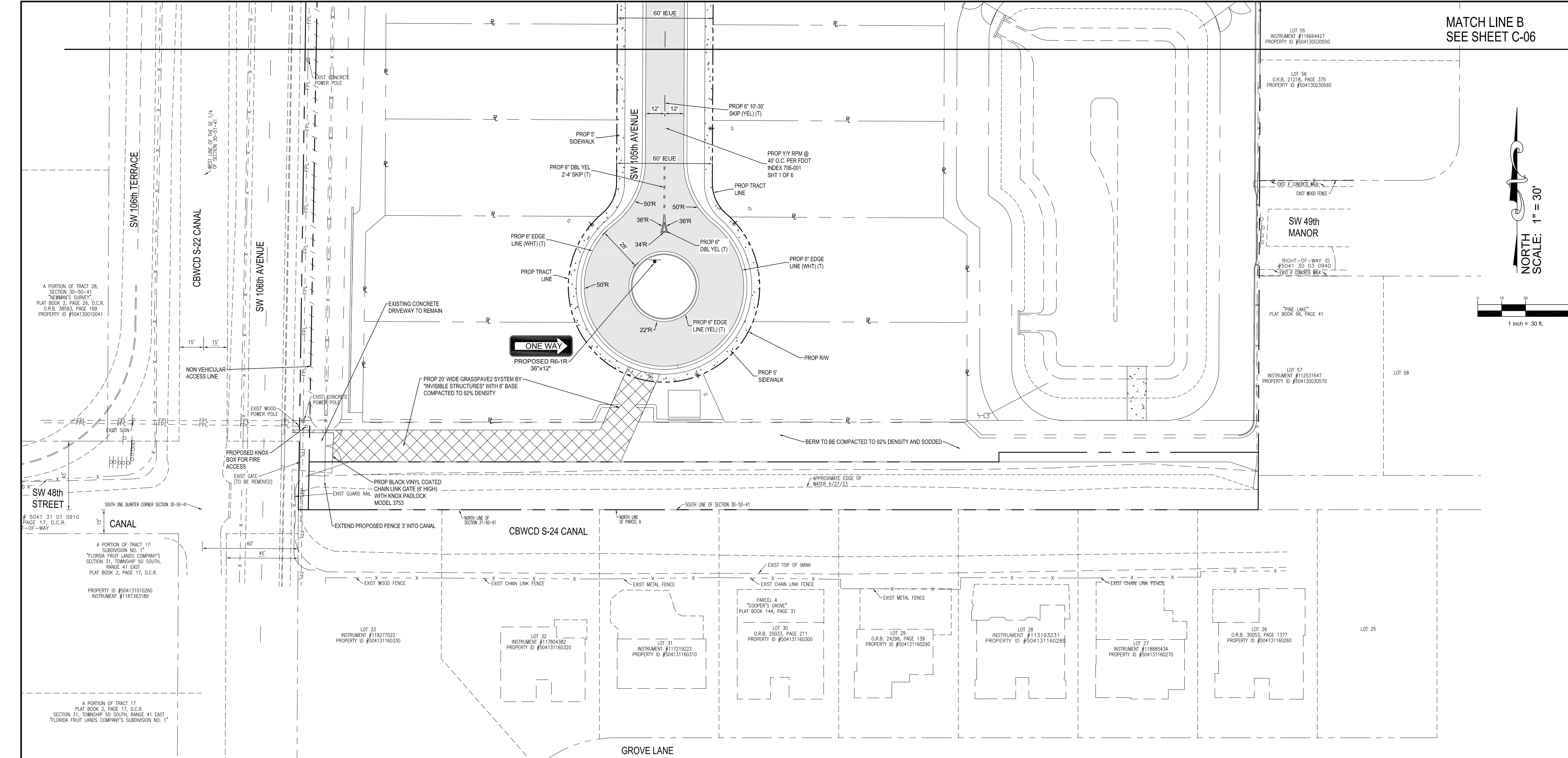
THIS ITEM HAS BEEN DIGITALLY  
SIGNED AND SEALED BY ANDREW  
W. ADAMS, P.E. ON THE DATE ADJACENT  
TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE  
NOT CONSIDERED SIGNED AND SEALED  
AND THE SIGNATURE MUST BE VERIFIED  
ON ANY ELECTRONIC COPIES.



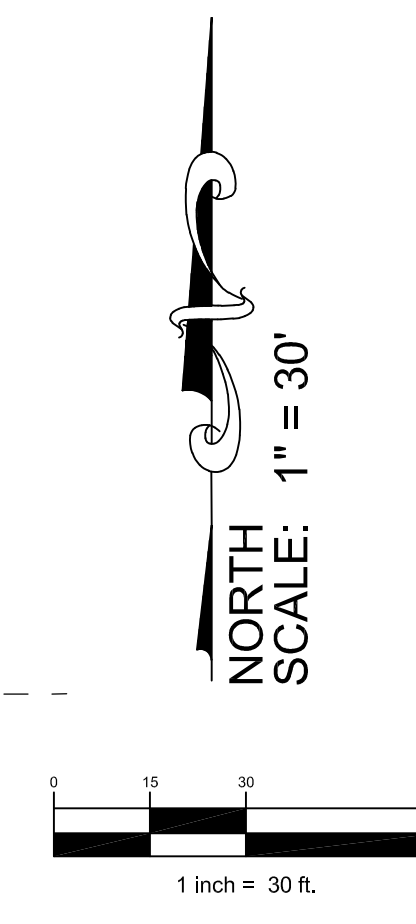
BY	APP
DESCRIPTION	
NO.	DATE
<b>PAVEMENT MARKING &amp; SIGNAGE PLAN</b>	
<b>PLAN</b>	
<b>GRIFFIN 106 SUBDIVISION</b>	
<b>CC HOMES AT COOPER CITY, LLC</b>	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	
<b>WCE</b> WHITMORE CONSULTING ENGINEERS	
SEAL	ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA
DESIGNED: AWA	
DRAWN: AWA	
CHECKED: AWA	
SCALE: AS NOTED	
DATE: 08/30/2023	
PROJ. NO. 2306A	
SHEET	<b>C-06</b>
	OF 33 SHEETS

February 21, 2024, 6:27:10 P.M., ANTHONY, ANDREW W. ADAMS, P.E., LICENSE NO. 55315, STATE OF FLORIDA, PROJECT NO. 2306A, SHEET C-06 OF 33 SHEETS.





MATCH LINE B  
SEE SHEET C-06



A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
O.R.B. 38593, PAGE 169  
PROPERTY ID #504130010041

SW 48th  
STREET  
# 5041 31 01 0910  
PAGE 17, D.C.R.  
-OF-WAY

A PORTION OF TRACT 17  
SUBDIVISION NO. 1  
"FLORIDA FRUIT LANDS COMPANY'S  
SECTION 31, TOWNSHIP 50 SOUTH,  
RANGE 41 EAST"  
PLAT BOOK 2, PAGE 17, D.C.R.

PROPERTY ID #504131010260  
INSTRUMENT #1187363189

A PORTION OF TRACT 17  
PLAT BOOK 2, PAGE 17, D.C.R.  
SECTION 31, TOWNSHIP 50 SOUTH, RANGE 41 EAST  
"FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1"

LOT 55  
INSTRUMENT #116664427  
PROPERTY ID #504130030560

LOT 56  
O.R.B. 21218, PAGE 375  
PROPERTY ID #504130030560

SW 49th  
MANOR

RIGHT-OF-WAY ID  
#5041 30 03 0940

"TINE LAKE"  
PLAT BOOK 96, PAGE 41

LOT 57  
INSTRUMENT #112531647  
PROPERTY ID #504130030570

LOT 58

LOT 33  
INSTRUMENT #118277022  
PROPERTY ID #504131160330

LOT 32  
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LOT 31  
INSTRUMENT #117219222  
PROPERTY ID #504131160310

LOT 30  
O.R.B. 25035, PAGE 211  
PROPERTY ID #504131160300

LOT 29  
O.R.B. 24295, PAGE 139  
PROPERTY ID #504131160290

LOT 28  
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LOT 27  
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LOT 26  
O.R.B. 30053, PAGE 1377  
PROPERTY ID #504131160260

LOT 25

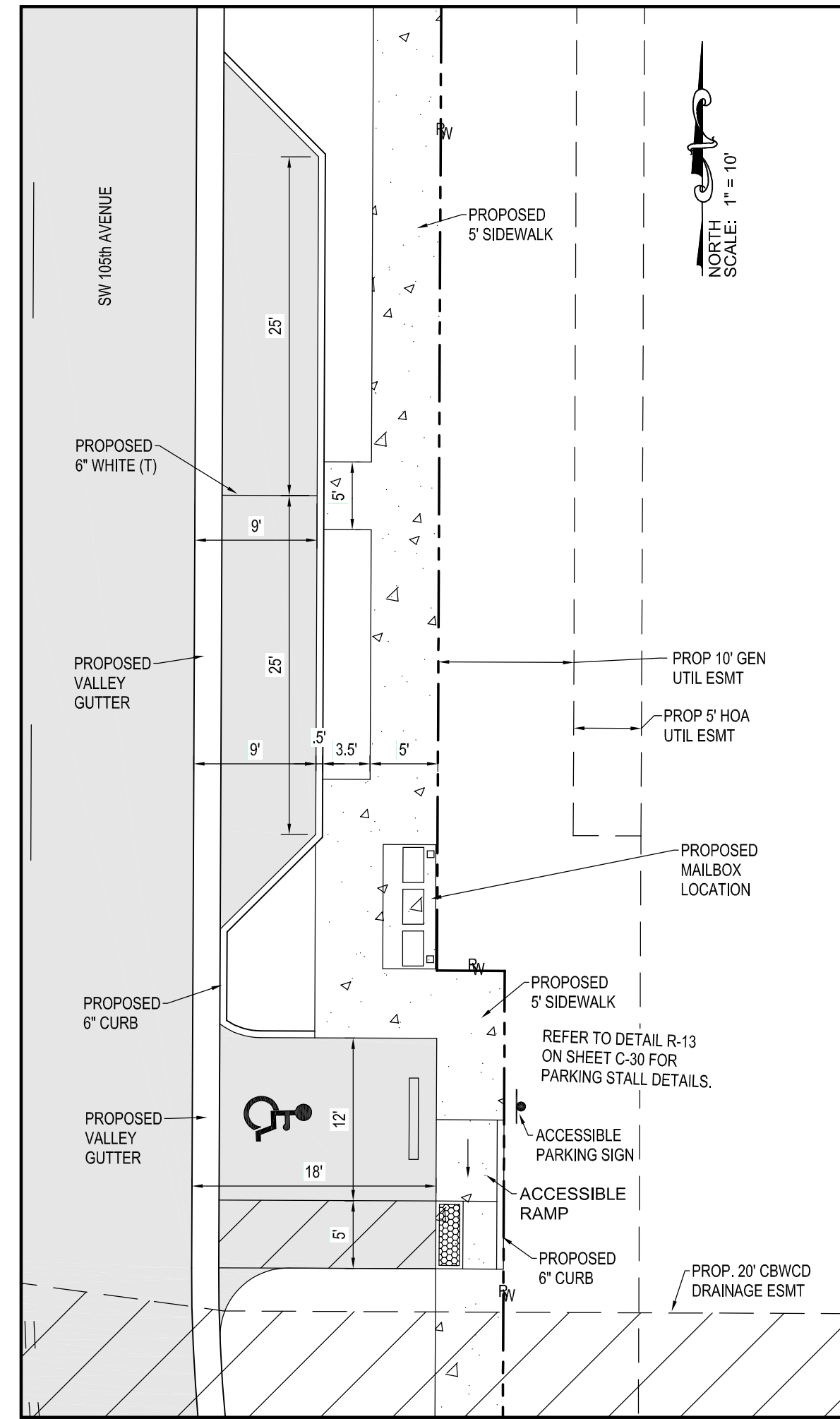
- PAVEMENT MARKING NOTES
1. PROVIDE AND INSTALL ALL NECESSARY PAVEMENT MARKINGS AND SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL STANDARDS, (DECEMBER 2023 EDITION); BROWARD COUNTY TRAFFIC ENG. STANDARDS OCT 25, 2005. ALL TRAFFIC SIGNS SHALL BE FULLY REFLECTORIZED. ALL MATERIAL INSTALLATION AND LOCATIONS SHALL BE SUBJECT TO REVIEW.
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  5. INCLUDE BLUE RPM FOR HYDRANTS AND MARKINGS. FIRE LANE SHALL BE THERMOPLASTIC

BY APP	
DESCRIPTION	
NO.	DATE
PAVEMENT MARKING & SIGNAGE PLAN	
PLAN	
GRIFIN 106 SUBDIVISION	CC HOMES AT COOPER CITY, LLC
11921 NW 23rd STREET PENSACOLA PINES FL 33026 ENGINEERS   (305) 339-5885 - LB 36416	
<p>THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.</p> <p>May 6, 2024</p>	
DESIGNED: AWA	ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA
DRAWN: AWA	
CHECKED: AWA	
SCALE: AS NOTED	
DATE: 08/30/2023	
PROJ. NO. 2306A	
SHEET	
<p><b>C-07</b> OF 33 SHEETS</p>	

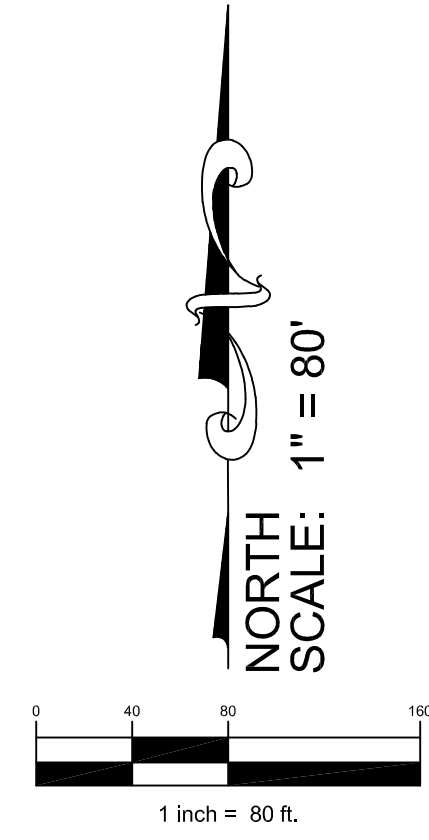
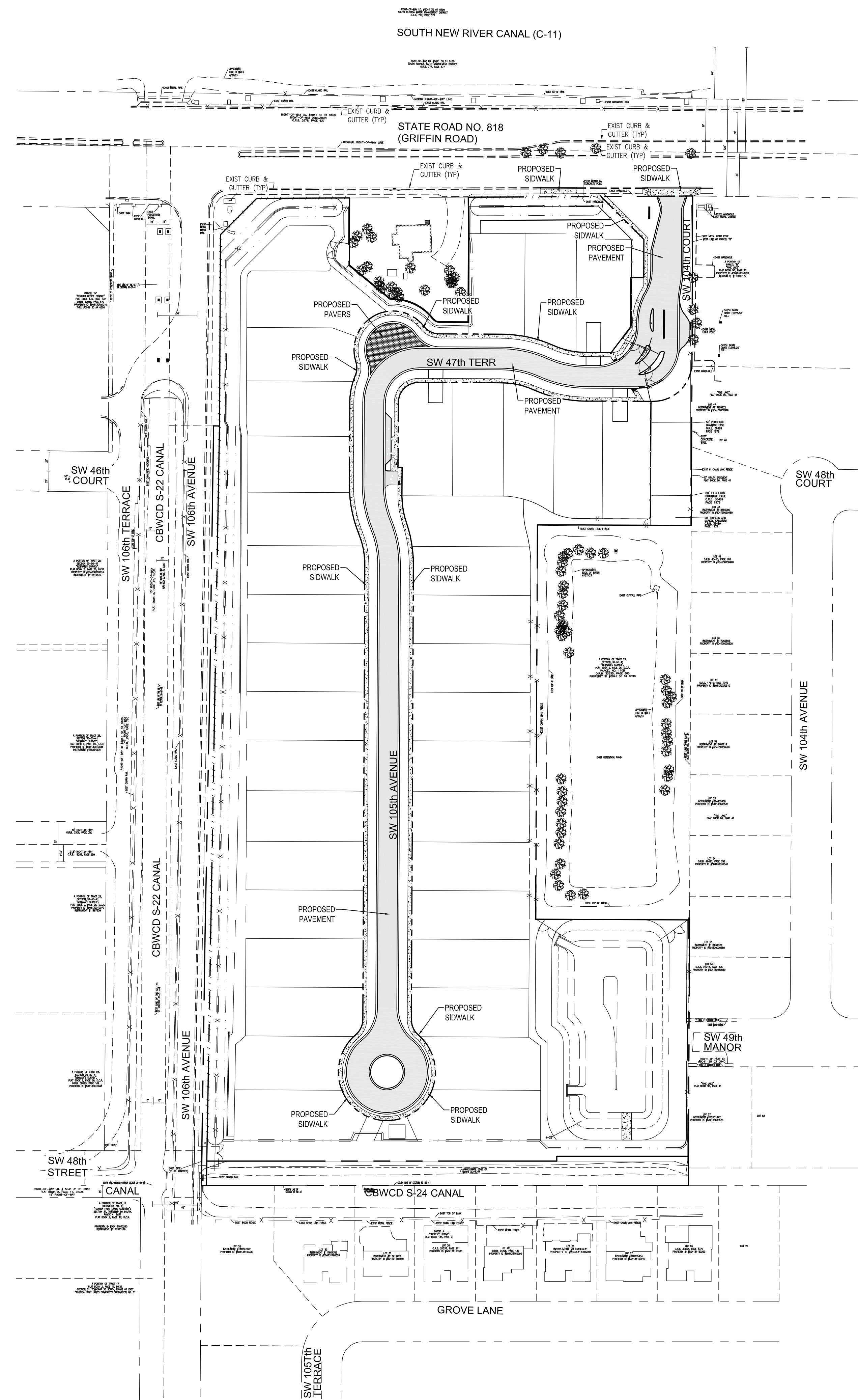
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 SHEETS: 1 - 33  
 SHEET: 17 - 33  
 DATE: 08/30/2023  
 DRAWN: AWA  
 CHECKED: AWA  
 DESIGNED: AWA  
 SCALE: AS NOTED  
 DATE: 08/30/2023  
 PROJ. NO. 2306A  
 SHEET C-07 OF 33 SHEETS



March 08, 2024, 9:08:52 a.m. - UNKOWN PROJECT NUMBER, C-08 PAVING PLANING SHEETS - 11/22/2024 DATE - 17 - NUMBER OF SHEETS - 34

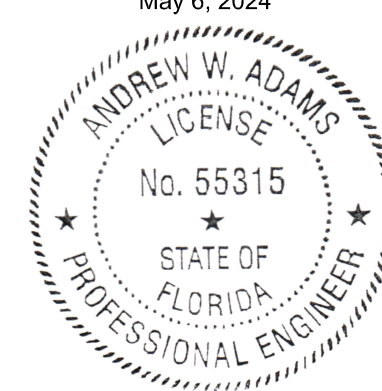


**MAIL STATION PARKING DETAIL**  
SCALE: 1" = 10'



TWO 3/4" LIFTS OF TYPE S-III ASPHALT  
8" LIMEROCK BASE COMPACTED TO 98%  
RELATIVE COMPACTION WITH A LBR OF 100%  
12" OF STABILIZED SUBGRADE COMPACTED  
TO 95% RELATIVE COMPACTION WITH A LBR OF 40%  
PER FDOT TYPE B OR TYPE C STABILIZED SUBGRADE

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GRiffin 106 SUBDIVISION		PAVING	
CC HOMES AT COOPER CITY, LLC		PLAN	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 WHITMORE CONSULTING ENGINEERS (305) 335-5885 - LB 36416		NO. DATE	
WCE		DESCRIPTION	
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA		BY APP	
DESIGNED: AWA		NO. DATE	
DRAWN: AWA		DESCRIPTION	
CHECKED: AWA		NO. DATE	
SCALE: AS NOTED		DESCRIPTION	
DATE: 08/30/2023		NO. DATE	
PROJ. NO. 2306A		DESCRIPTION	
SHEET C-08		NO. DATE	
OF 33 SHEETS		DESCRIPTION	





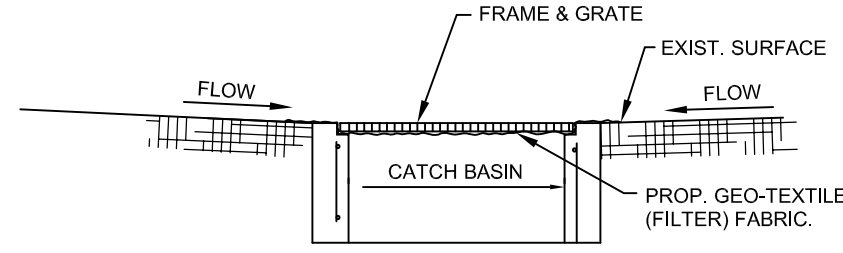






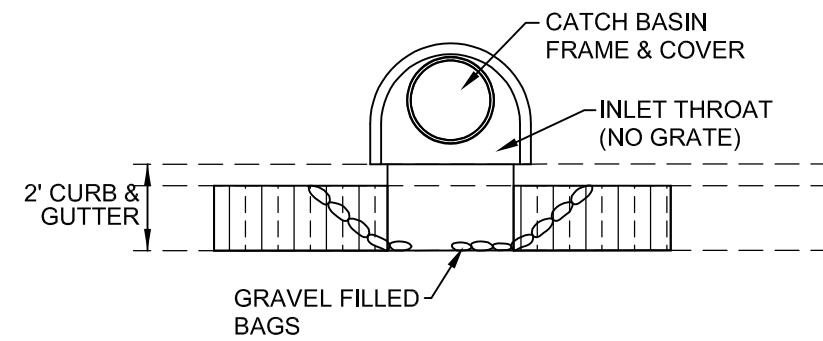
SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL BERM AT BOUNDARIES OF PROPOSED CONSTRUCTION.
2. CONSTRUCT GRAVEL ACCESS AREA.
3. COMMENCE SITE CONSTRUCTION ACTIVITIES.
4. TEMPORARILY STABILIZE ALL AREAS WITH APPROPRIATE EROSION CONTROL MEASURES.
5. INSTALL PERMANENT SEEDING AND PLANTING IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED NO LATER THAN 15 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
6. REMOVE ACCUMULATED SEDIMENT.
7. REMOVE TEMPORARY POLLUTION PREVENTION MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE OF ACCORDING TO CODE.



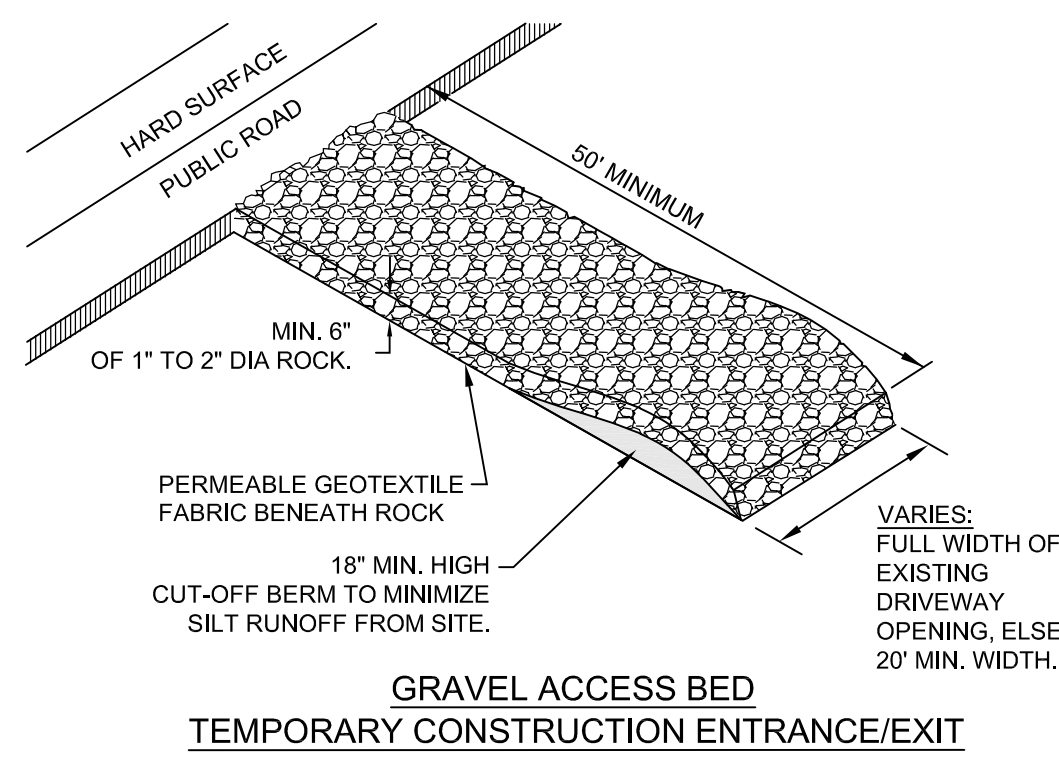
**INLET EROSION/SEDIMENT CONTROL**  
SCALE: N.T.S.

- NOTE:
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
  2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

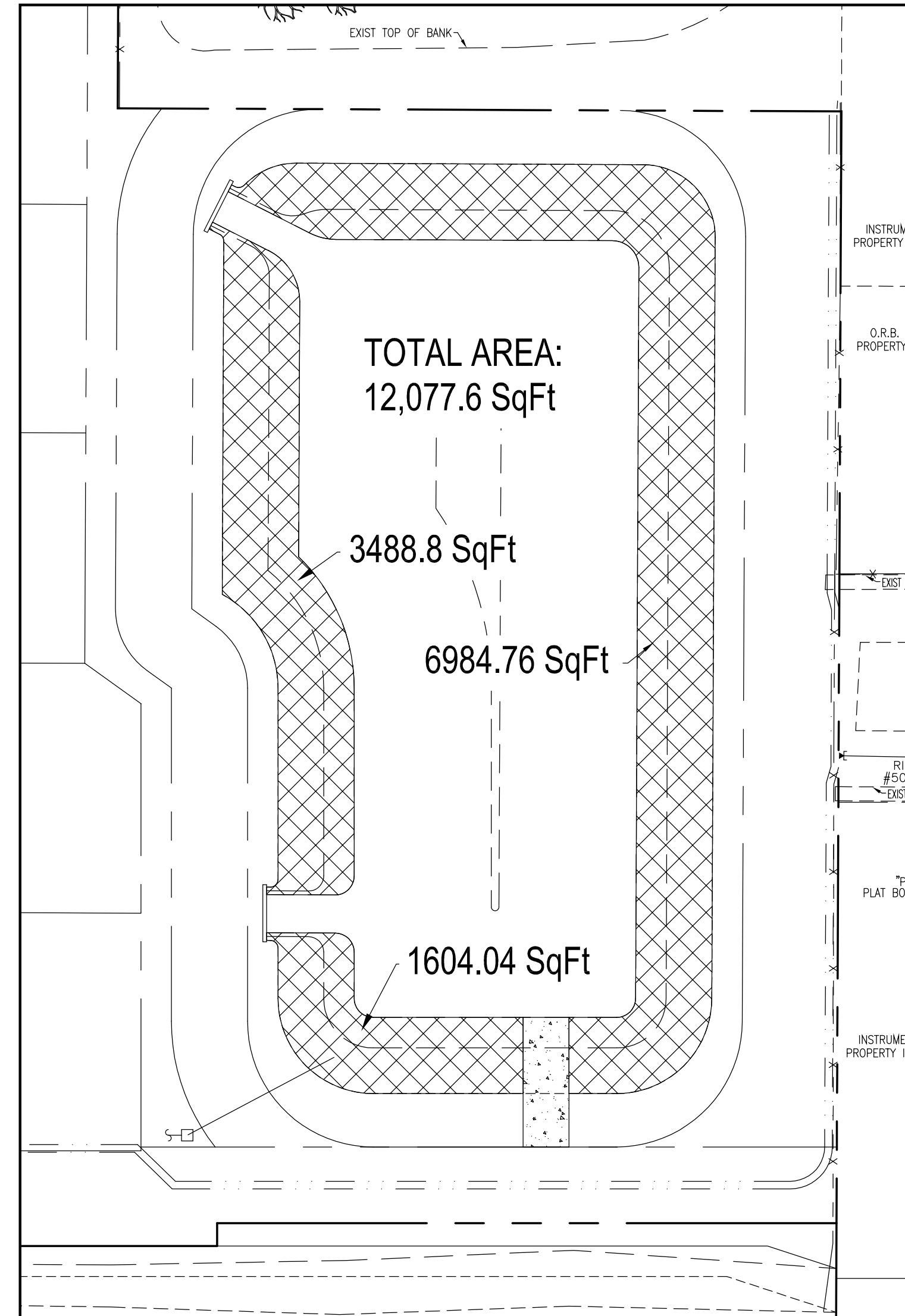
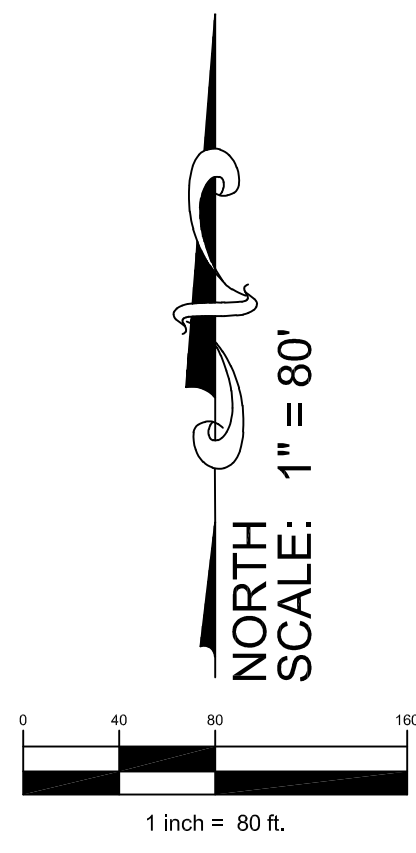
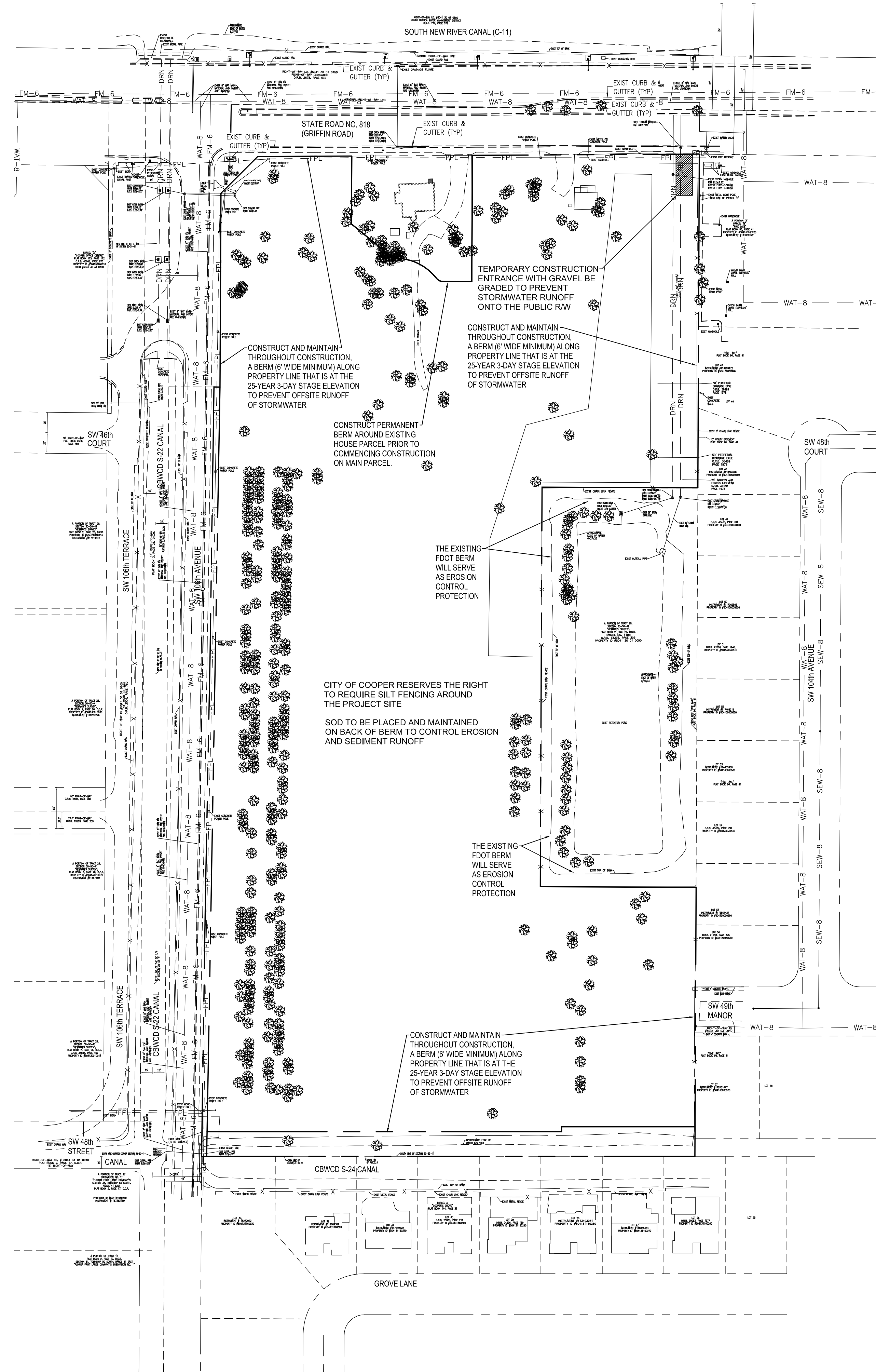


**CURB INLET EROSION/SEDIMENT CONTROL**  
SCALE: N.T.S.

- NOTE:
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
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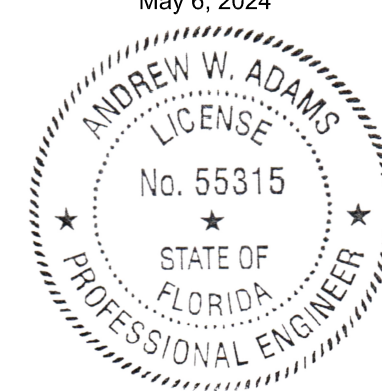
**GRAVEL ACCESS BED**  
**TEMPORARY CONSTRUCTION ENTRANCE/EXIT**



**LITTORAL PLANTING AREA EXHIBIT**  
SCALE: 1"=30'

Littoral Area Calculations			
Project Site area	587,039 SqFt x 2.5%	14,676 SqFt	
Lake Surface Area:	29,300 SqFt x 20%	5,860 SqFt	
Required littoral area is lesser of above:		5,860 SqFt	
Littoral Area Provided:		12,077 SqFt	

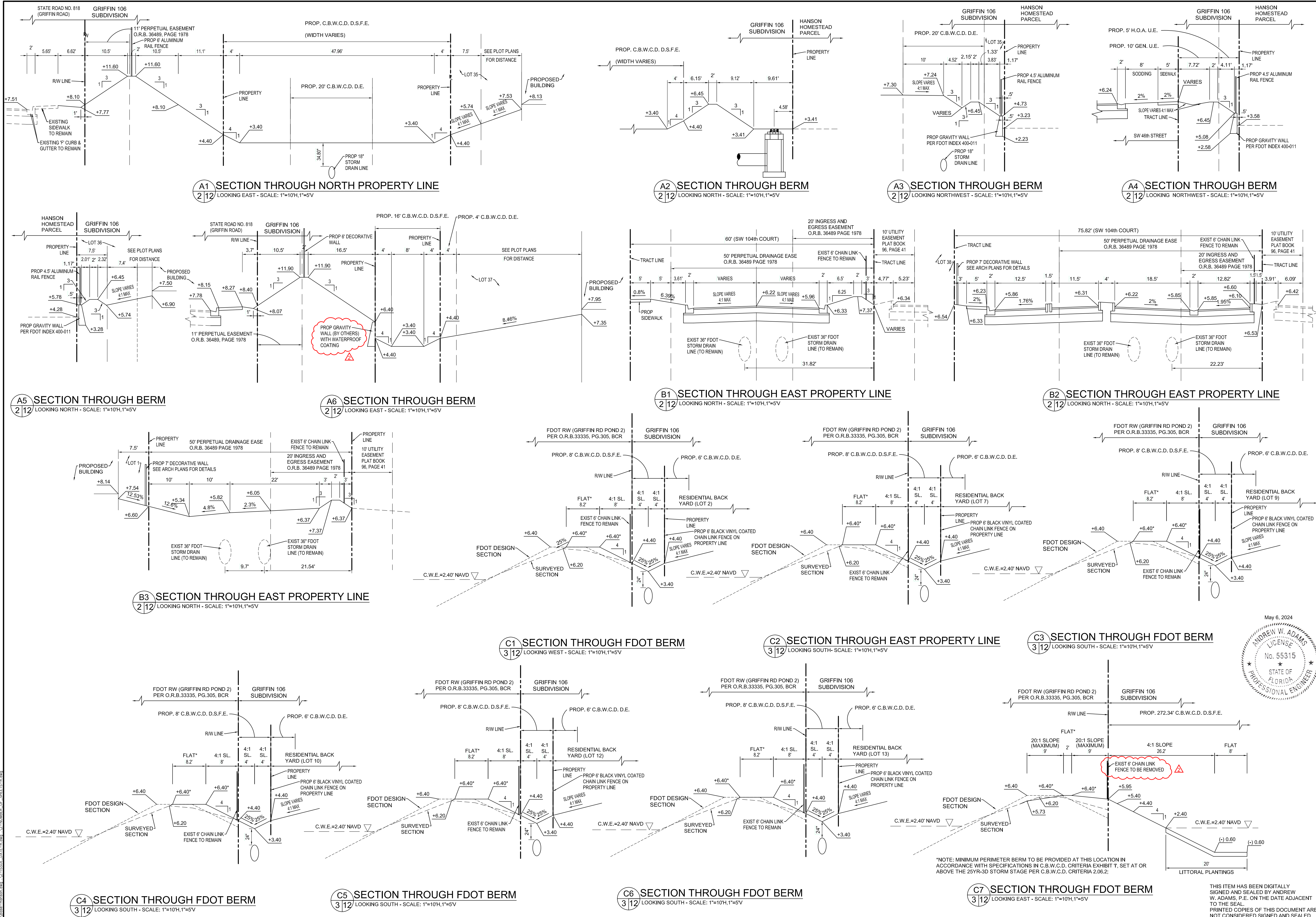
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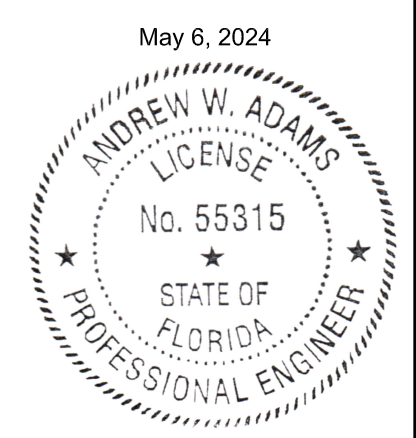
February 21, 2024 6:36:27 PM; 11921 NW 23rd Street, Pembroke Pines, FL 33026; PROJECT: 11921 NW 23rd Street, Pembroke Pines, FL 33026; SHEET: C-11 OF 33

<b>WHITMORE CONSULTING ENGINEERS</b>	11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	<b>GRIFIN 106 SUBDIVISION</b> CC HOMES AT COOPER CITY, LLC	<b>EROSION CONTROL PLAN</b>	NO. DATE BY APP
SEAL ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA				
DESIGNED: AWA DRAWN: AWA CHECKED: AWA SCALE: AS NOTED DATE: 08/30/2023 PROJ. NO. 2306A SHEET				
<b>C-11</b> OF 33 SHEETS				





APRIL 24, 2024 2:49:32 PM  
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 SHEETS: 11921 NW 23rd STREET - CIVIL - 11921-01 - 11921-02 - 11921-03 - 11921-04 - 11921-05 - 11921-06 - 11921-07 - 11921-08 - 11921-09 - 11921-10 - 11921-11 - 11921-12 - 11921-13 - 11921-14 - 11921-15 - 11921-16 - 11921-17 - 11921-18 - 11921-19 - 11921-20 - 11921-21 - 11921-22 - 11921-23 - 11921-24 - 11921-25 - 11921-26 - 11921-27 - 11921-28 - 11921-29 - 11921-30 - 11921-31 - 11921-32 - 11921-33 - 11921-34 - 11921-35 - 11921-36 - 11921-37 - 11921-38 - 11921-39 - 11921-40 - 11921-41 - 11921-42 - 11921-43 - 11921-44 - 11921-45 - 11921-46 - 11921-47 - 11921-48 - 11921-49 - 11921-50 - 11921-51 - 11921-52 - 11921-53 - 11921-54 - 11921-55 - 11921-56 - 11921-57 - 11921-58 - 11921-59 - 11921-60 - 11921-61 - 11921-62 - 11921-63 - 11921-64 - 11921-65 - 11921-66 - 11921-67 - 11921-68 - 11921-69 - 11921-70 - 11921-71 - 11921-72 - 11921-73 - 11921-74 - 11921-75 - 11921-76 - 11921-77 - 11921-78 - 11921-79 - 11921-80 - 11921-81 - 11921-82 - 11921-83 - 11921-84 - 11921-85 - 11921-86 - 11921-87 - 11921-88 - 11921-89 - 11921-90 - 11921-91 - 11921-92 - 11921-93 - 11921-94 - 11921-95 - 11921-96 - 11921-97 - 11921-98 - 11921-99 - 11921-100



NOTE: MINIMUM PERIMETER BERM TO BE PROVIDED AT THIS LOCATION IN ACCORDANCE WITH SPECIFICATIONS IN C.B.W.C.D. CRITERIA EXHIBIT "I", SET AT OR ABOVE THE 25YR-3D STORM STAGE PER C.B.W.C.D. CRITERIA 2.06.2.

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NO.	DATE	DESCRIPTION
1	04/24/24	PER CIVIL REVIEW COMMENTS
2	04/23/24	PER CIVIL REVIEW COMMENTS

BY	APP
NO.	DATE
NO.	DATE

SECTION	DESCRIPTION
GRIFFIN 106 SUBDIVISION	PAVING, GRADING & DRAINAGE
CC HOMES AT COOPER CITY, LLC	CROSS SECTIONS

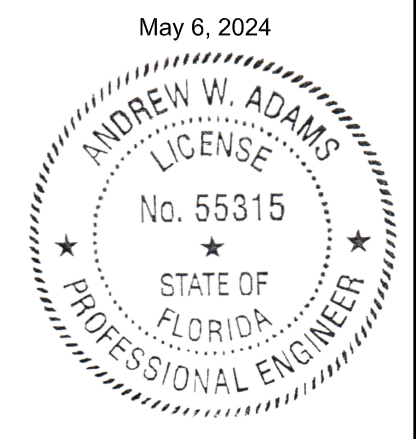
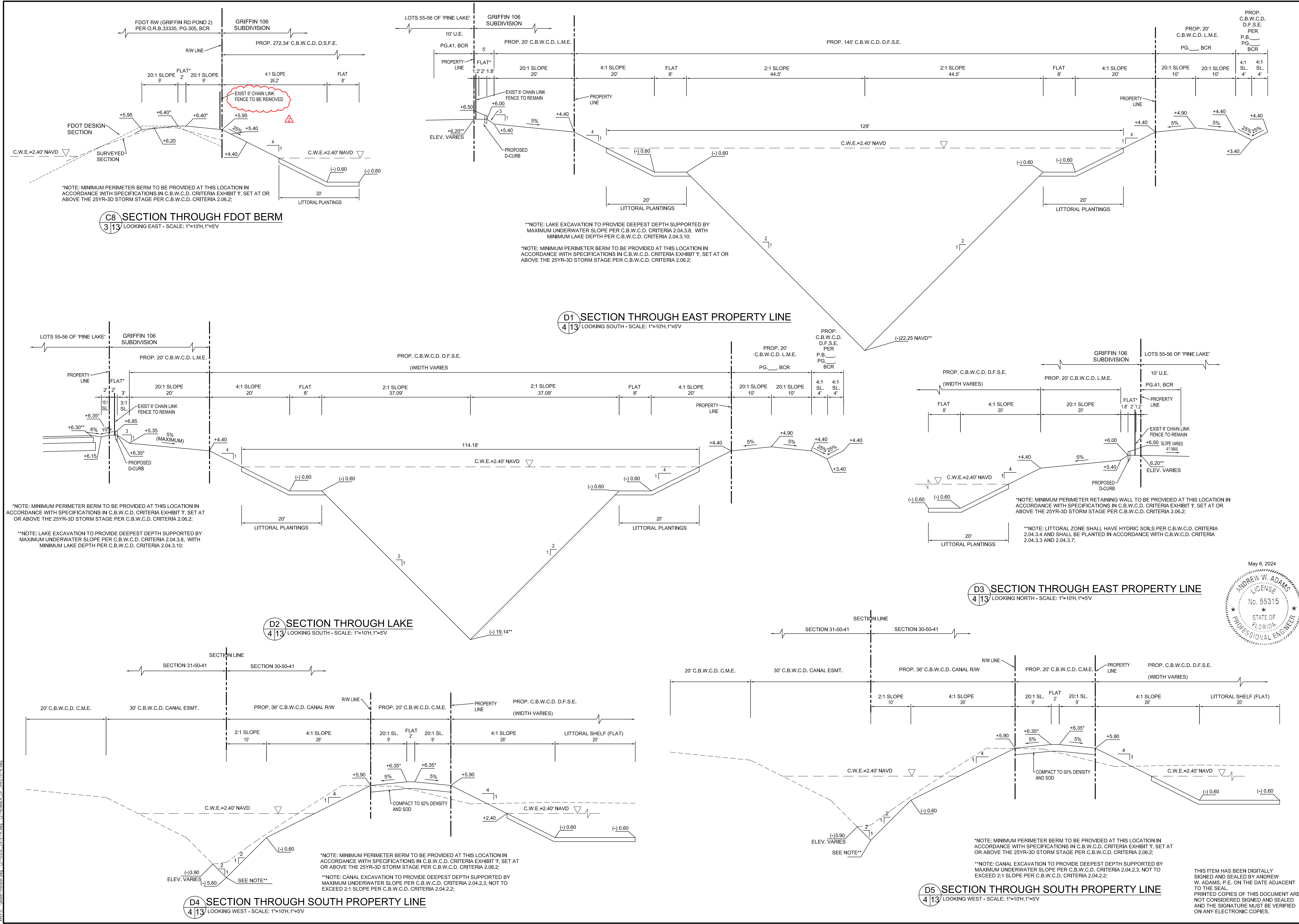
  

PROJECT	11921 NW 23rd STREET
CONSULTING	PEMBROKE PINES, FL 33026
ENGINEERS	(305) 333-5885 - LB 36416

SCALE	AS NOTED
DESIGNED	AWA
DRAWN	AWA
CHECKED	AWA
DATE	08/30/2023
PROJ. NO.	2306A
SHEET	C-12
	OF 33 SHEETS





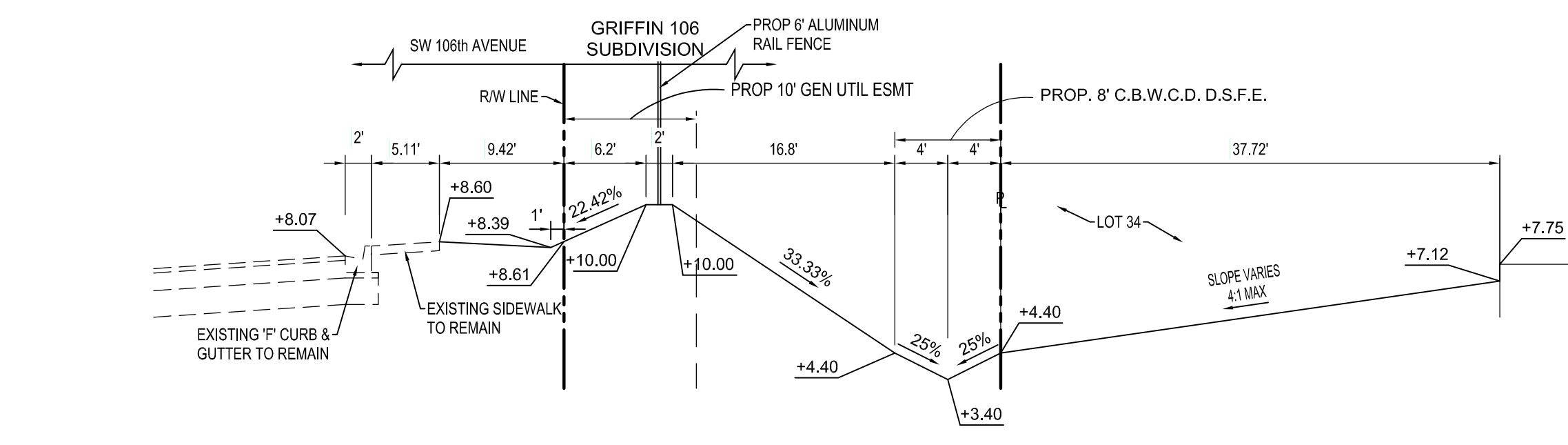
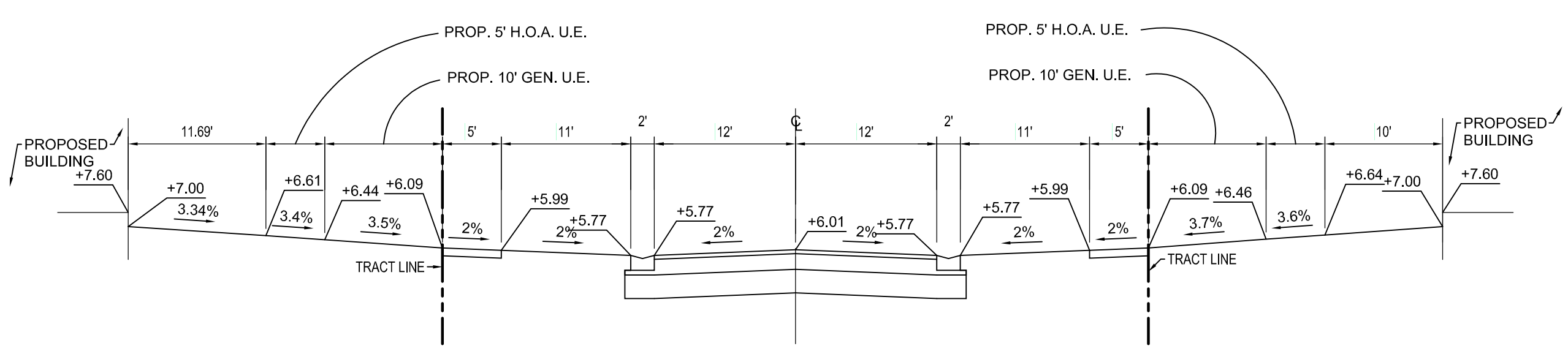
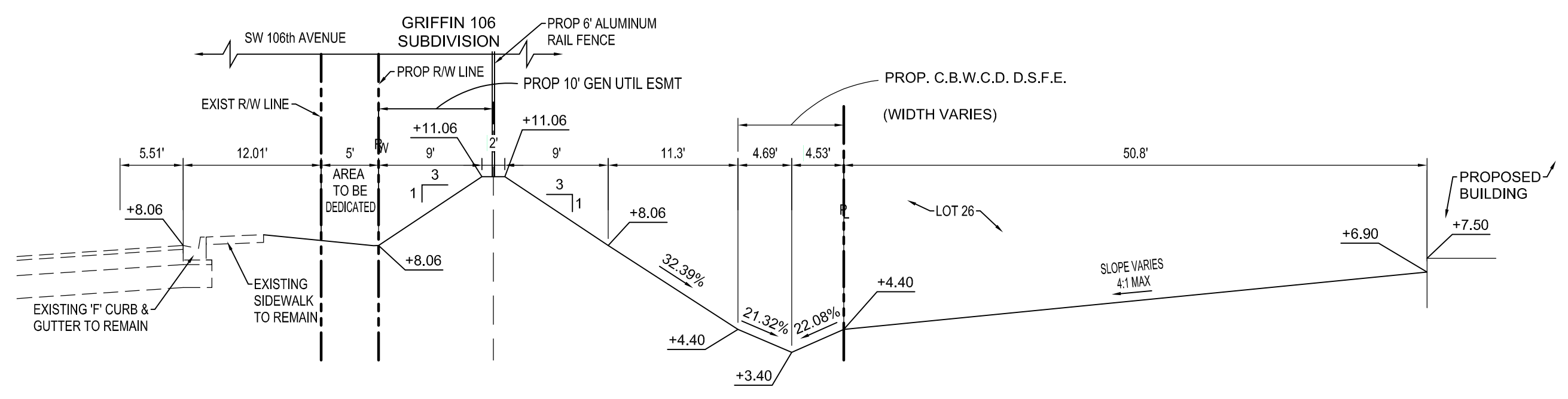
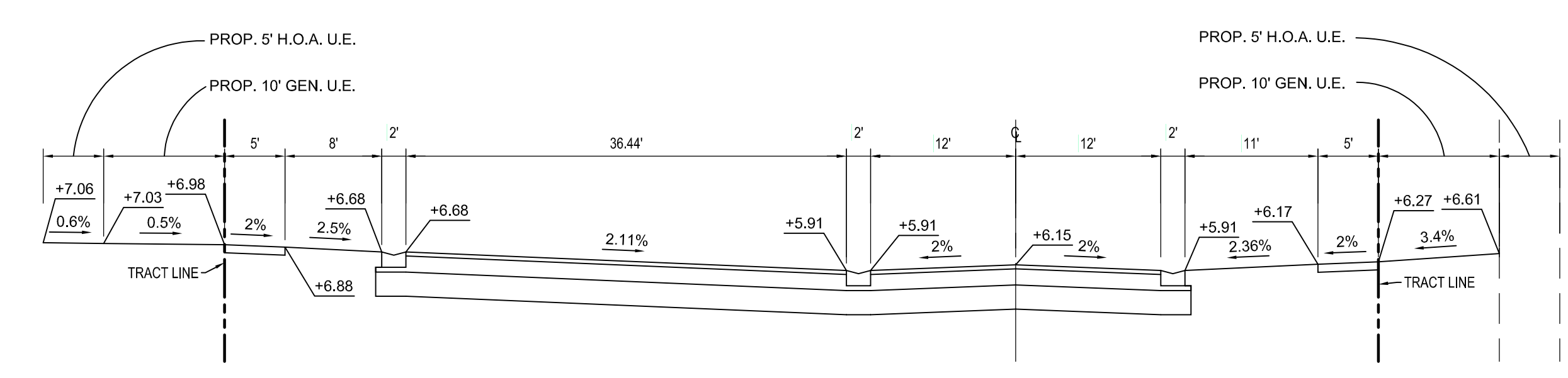
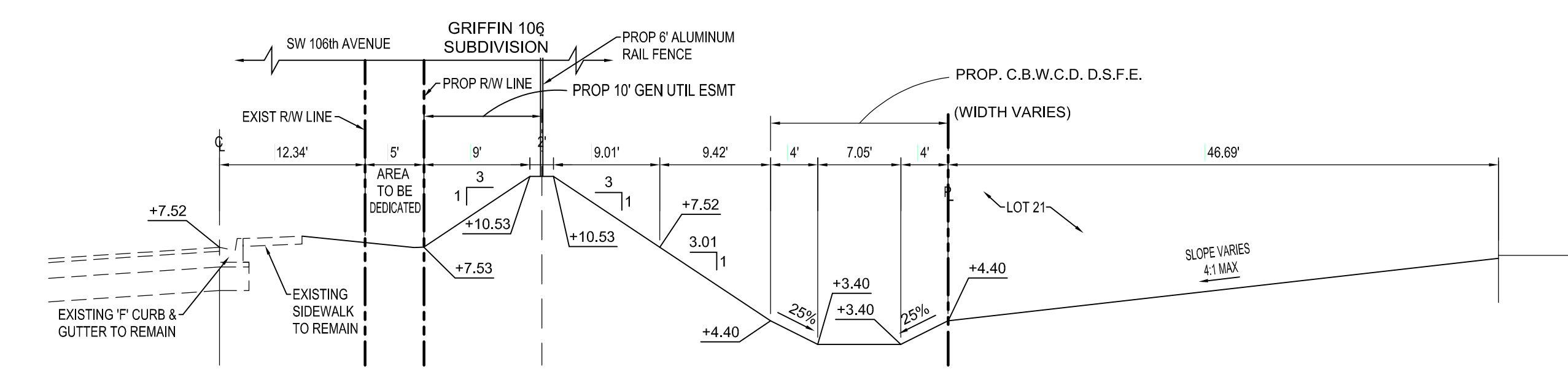
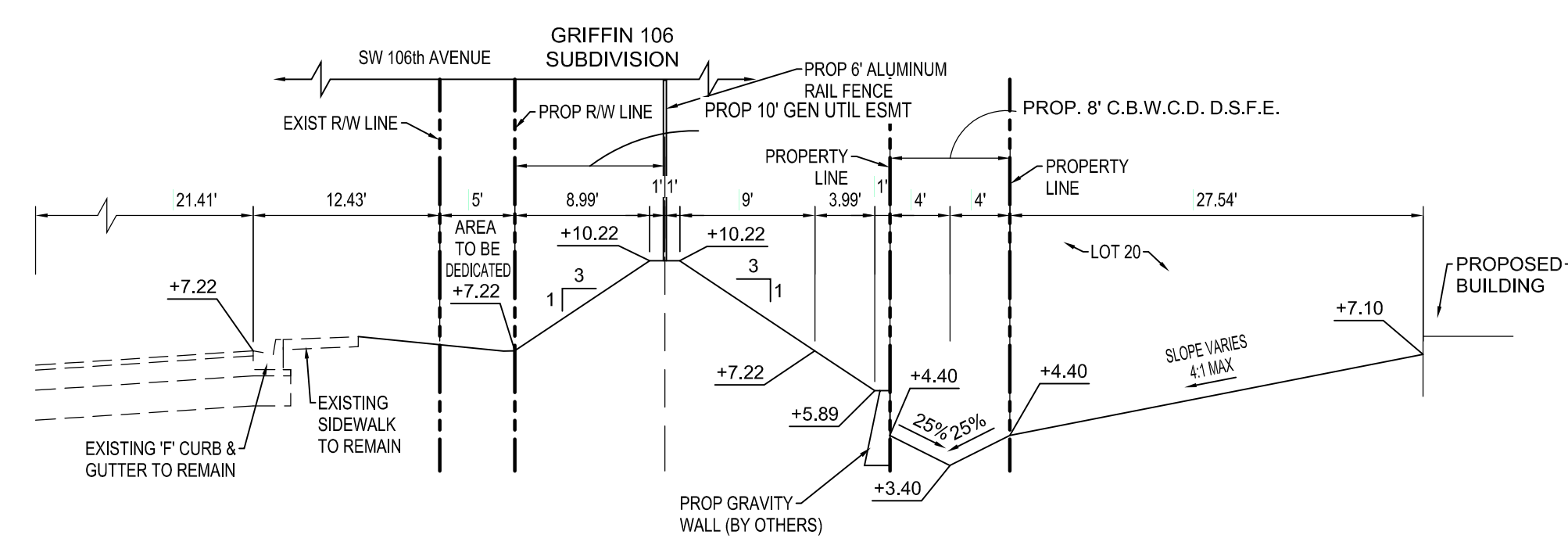
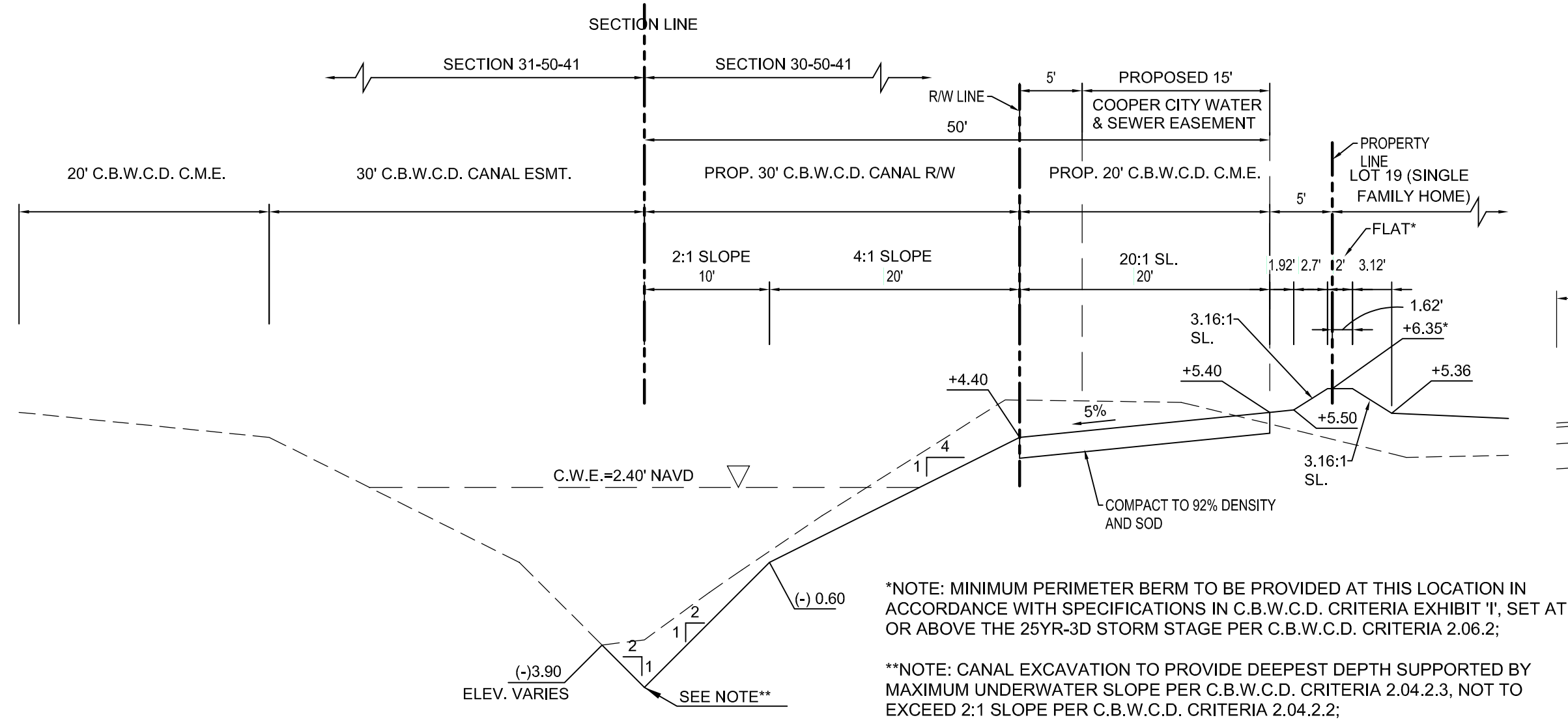
BY	APP
DATE	DESCRIPTION
04/24/24	PER CRIBCD REVIEW COMMENTS
04/03/24	PER CRIBCD REVIEW COMMENTS
NO.	DATE
1	
2	
<b>PAVING, GRADING &amp; DRAINAGE</b>	
<b>CROSS SECTIONS</b>	
<b>GRIFFIN 106 SUBDIVISION</b>	
<b>CC HOMES AT COOPER CITY, LLC</b>	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	
<b>WCE WHITMORE CONSULTING ENGINEERS</b>	
SEAL	
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA	
DESIGNED: AWA	
DRAWN: AWA	
CHECKED: AWA	
SCALE: AS NOTED	
DATE: 08/30/2023	
PROJ. NO. 2306A	
SHEET <b>C-13</b>	
OF 33 SHEETS	

April 24, 2024 2:49:29 PM  
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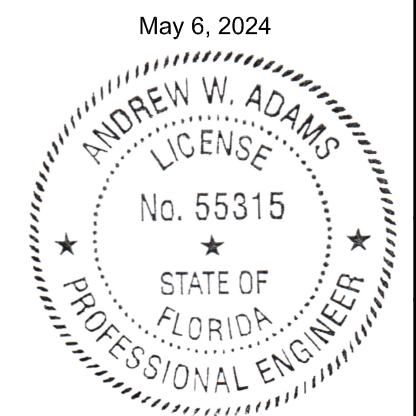








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PAVING, GRADING & DRAINAGE		GRIFFIN 106 SUBDIVISION	CC HOMES AT COOPER CITY, LLC
CROSS SECTIONS			
NO.	DATE	DESCRIPTION	
1	04/03/24	PER CIVICD REVIEW COMMENTS	
BY		APP	
SEAL		11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 335-5885 - LB 36416	
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA		WHITMORE CONSULTING ENGINEERS	
DESIGNED: AWA		PROJECT NO. 2306A	
DRAWN: AWA		SHEET	
CHECKED: AWA		SCALE: AS NOTED	
DATE: 08/30/2023		OF 33 SHEETS	
C-15			

April 03, 2024 1:01:25 PM  
 PROJECT: 2306A - PAVING, GRADING & DRAINAGE  
 SHEETS: 1 - 33  
 DRAWN: AWA  
 CHECKED: AWA  
 DATE: 08/30/2023  
 SCALE: AS NOTED  
 SHEET: C-15 OF 33



February 21, 2024 6:26:25 PM - \\hanson\projects\2023\2306A - 11921 NW 23rd Street - Whitmore Consulting Engineers - 11 - WATER METERS.dwg  
SHEETS: 11 - 11921 NW 23rd Street - Whitmore Consulting Engineers - 11 - WATER METERS.dwg - 11921 NW 23rd Street - Whitmore Consulting Engineers - 11 - WATER METERS.dwg

ENGINEER'S NOTES

- I. GENERAL NOTES
  - A. ALL ELEVATIONS REFER TO NAVD 1988.
  - B. CONTRACTOR:
    - 1. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION.
    - 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION AND GIVING NOTICE OF REQUIRED INSPECTIONS. IN DOING THIS, HONOR THE LEAD-TIME NEEDS OF THE RESPECTIVE AGENCIES.
    - 3. NOTIFY ENGINEER'S FIELD REPRESENTATIVE AHEAD OF TIME SO THAT HE CAN MAKE REQUIRED INSPECTIONS LISTED BELOW.
    - 4. NOTE: THE ENGINEER'S CERTIFICATION OF CONSTRUCTION OBSERVATION IS REQUIRED FOR UTILITY CONVEYANCE. YOU ARE RESPONSIBLE FOR NOTIFYING THE ENGINEER 24 HOURS IN ADVANCE OF MANHOLE INSTALLATIONS, MAIN & SERVICE INSTALLATIONS, TESTING, BACKFILLING, FLUSHING AND DISINFECTING SO THAT ENGINEER MAY MAKE THE OBSERVATIONS NECESSARY FOR THE CERTIFICATION.
    - 5. WORK WITH UTILITY CONTRACTORS IS TO BE COORDINATED IN ORDER TO AVOID POTENTIAL CONFLICTS BETWEEN SEEPAGE TRENCHES AND UTILITY MAINS AND SERVICES.
  - C. EXISTING FACILITIES:
    - 1. PROMPTLY PATCH AND REPAIR ANY DAMAGES CAUSED TO EXISTING FACILITIES AND UTILITIES. CLOSELY MATCH TEXTURES AND FINISHES OF EXISTING ADJACENT SURFACES. PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE. INSPECT AND TEST PATCHED AREAS TO DEMONSTRATE INTEGRITY OF THE INSTALLATIONS, WHERE FEASIBLE.
    - 2. CONTRACTOR TO VERIFY LOCATION, ELEVATION, MATERIAL AND CONDITION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. AFTER OBTAINING LOCATIONS FROM SUNSHINE AND OTHER UTILITY COMPANIES, AND PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL UNCOVER ALL KNOWN UNDERGROUND UTILITIES IN THE PATH OF THE WORK, WHETHER OR NOT THE UTILITIES ARE SHOWN ON THE PLANS, AND TAKE VERTICAL AND HORIZONTAL MEASUREMENTS OF THE LOCATION OF THESE UTILITIES, AND IF ANY CONFLICTS ARE APPARENT REPORT THE MEASUREMENTS TO THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION AND COORDINATE WITH THE VARIOUS UTILITY AGENCIES TO RELOCATE, BYPASS OR OTHERWISE ENSURE THAT UTILITY SERVICES WILL NOT BE INTERRUPTED DURING CONSTRUCTION.
    - 4. EXISTING FACILITIES SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
    - 5. THE LOCATIONS OF EXISTING FACILITIES HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL VERIFY THE LOCATION OF FACILITIES IN THE FIELD.
    - 6. EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
    - 7. EXISTING LAND MARKERS AND MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REFERENCED BY THE CONTRACTOR'S SURVEY PARTY AND IF DISTURBED, SHALL BE RESET.
    - 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
    - 9. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED WITH ST. AUGUSTINE GRASS AND IS INCIDENTAL TO THE CONTRACT.
  - D. SURVEY/LAYOUT:
    - 1. THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IF ANY ADDITIONAL DIMENSIONS OR SPECIFICATIONS ARE NEEDED TO LAYOUT OR CONSTRUCT THE PROJECT.
  - E. SAFETY:
    - 1. UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT, HB 3183, FLORIDA STATUTES, WHICH INCORPORATES, BUT IS NOT LIMITED TO, THE FOLLOWING:
      - a. OSHA STANDARD 29 C.F.R. PART 1926, SUBPART P, EXCAVATION AND TRENCHES.
    - 2. ADHERE TO ANY SPECIAL SHORING REQUIREMENTS OF THE STATE OR OTHER POLITICAL SUBDIVISION.
    - 3. ENGINEER IS NOT RESPONSIBLE FOR THE SAFETY OF THE EXCAVATION OR DESIGN AND CONSTRUCTION OF ANY SHORING.
    - 4. THE CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION OPERATIONS IN A MANNER TO PREVENT INJURY TO PEOPLE AND WORKERS, AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES. ENSURE SAFE PASSAGE OF PEOPLE AROUND WORKING AREAS.
  - F. PLANS:
    - 1. NO MODIFICATIONS TO THESE PLANS ARE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. NO AGENCY INSPECTOR, CONTRACTOR, OR OWNER IS AUTHORIZED TO UNILATERALLY MODIFY THESE PLANS.
    - 2. EXCEPT AS PARTICULARLY NOTED ON THE PLANS, ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE COOPER CITY PUBLIC WORKS MANUAL, AND THE SOUTH FLORIDA BUILDING CODE. IF ANY ITEM OF WORK IS NOT COVERED IN EITHER OF THE SPECIFICATIONS, IT SHALL BE CONSTRUCTED PER THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
    - 3. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

METERS WILL NOT BE INSTALLED IF THE METER BOXES ARE IN A DRIVING SURFACE

- G. SITE:
  - 1. USE WATER MIST, TEMPORARY ENCLOSURES, AND ANY OF THE SUITABLE METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS.
- H. TREES:
  - 1. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE. THE CONTRACTOR IS ADVISED THAT A TREE PERMIT MAY BE REQUIRED FOR TREE REMOVAL. CONTRACTOR SHALL NOTIFY D.E.R.M. PRIOR TO REMOVING ANY TREES.
  - 2. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ROOTS AND BRANCHES SHALL BE PRUNED AS NEEDED ENSURING TO PROVOKE THE MINIMUM POSSIBLE AMOUNT OF DAMAGE TO THE TREES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN LOCATION OF EXISTING TREES FOR ADJUSTMENTS OF PROPOSED WORK.
  - 3. NO MATERIAL SHALL BE STORED OR CONSTRUCTION OPERATION CARRIED ON WITHIN 4 FEET OF ANY TREE TO BE SAVED OR WITHIN THE TREE PROTECTION FENCE.
- I. PRE-CONSTRUCTION:
  - 1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR PRECAST STRUCTURES AND MANUFACTURER'S LITERATURE FOR ALL PIPE, FITTINGS AND OTHER HARDWARE FOR REVIEW BY THE ENGINEER.
  - 2. SUBMITTALS (SHOP DRAWINGS AND PRODUCT LITERATURE): NUMBER REQUIRED: ONE TO BE RETAINED BY ENGINEER PLUS WHATEVER ADDITIONAL MAY BE NEEDED BY CONTRACTOR. SCOPE: ALL PRODUCTS AND MATERIALS.
  - 3. SHOP DRAWINGS SHALL BE CHECKED AND APPROVED BY THE CONTRACTOR AND THEN SUBMITTED TO THE ENGINEER-OF-RECORD FOR REVIEW PRIOR TO THE PURCHASE OR INSTALLATION OF ANY SYSTEM COMPONENTS.
- J. POST CONSTRUCTION/RECORD DRAWINGS/PROJECT CLOSEOUT:
  - 1. AFTER ALL SITE WORK IS COMPLETED, INCLUDING LANDSCAPING, CONTRACTOR IS TO RETURN TO THE SITE AND JET VAC ALL DRAINAGE STRUCTURES INCLUDING SUMPS AND PERFORATED PIPES.
  - 2. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY CONSTRUCTION OPERATIONS. RETURN ADJACENT AREAS TO CONDITIONS EXISTING BEFORE START OF CONSTRUCTION.
  - 3. CONTRACTOR SHALL SUBMIT TO ENGINEER ONE PRINT OF THE RECORD DRAWINGS SIGNED AND SEALED BY A LICENSED SURVEYOR FOR ENGINEER'S REVIEW.
- K. MISC:
  - 1. SUBMIT TO UTILITY DEPARTMENT: RECORD MYLAR AND TWO PRINTS SIGNED AND SEALED BY A LICENSED SURVEYOR AND ENDORSED BY THE CONTRACTOR.
- L. PERMITS AND APPROVALS
  - 1. ENGINEER IS RESPONSIBLE FOR GETTING REGULATORY AGENCY APPROVALS OF CONSTRUCTION DRAWINGS.
  - 2. OWNER IS RESPONSIBLE FOR GETTING CONSTRUCTION PERMITS FOR THOSE WORKS FOR WHICH THE REGULATORY AGENCIES ISSUE PERMITS ONLY TO THE OWNER.
  - 3. CONTRACTOR IS RESPONSIBLE FOR PULLING ALL OTHER NECESSARY CONSTRUCTION PERMITS, UNLESS OTHERWISE PROVIDED IN THE CONTRACT BETWEEN CONTRACTOR AND OWNER, THE CONTRACTOR SHALL PAY THE CONSTRUCTION PERMIT FEES.
- II. RECORD DRAWINGS:
  - A. ALL OF THE PROPOSED WATER AND SEWER FACILITIES THAT WILL BE DEDICATED TO COOPER CITY SHALL BE FIELD LOCATED AND DESCRIBED WITH BEARINGS AND DISTANCES. THE BEARINGS AND DISTANCES SHOWN IN THE AS-BUILT DRAWINGS SHALL BE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM AND TIED TO THE PROPERTY CORNERS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AN AUTOCAD FILE AND A SIGNED AND SEALED HARD COPY OF THE AS BUILT SURVEY.

DEPARTMENT OF HEALTH WATER NOTES (REQUIRED)

- 1. SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND, STORM SEWERS STORM WATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT MINIMUM.
- 2. BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.
- A. WATER MAIN HORIZONTAL SEPARATIONS GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 8 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAINS IS AT LEAST 6 INCHES ABOVE TOP OF SEWER. 10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.
- B. WATER MAIN VERTICAL SEPARATIONS
  - 1. SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE. OR AT LEAST 12 INCHES IF BELOW.\*
  - 2. PRESSURE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.\* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS WASTEWATER FORCE MAINS OR RECLAIMED WATER.

NO.	DATE	DESCRIPTION	BY	APP

WATER DISTRIBUTION SYSTEM

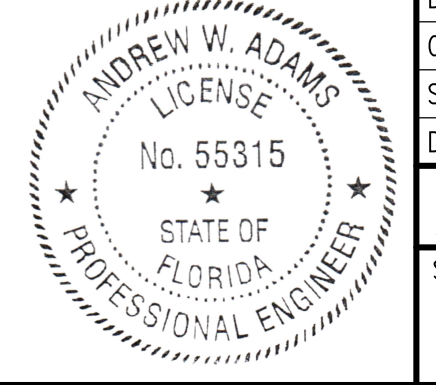
GRIFIN 106 SUBDIVISION  
CC HOMES AT COOPER CITY, LLC

11921 NW 23rd STREET  
PEMBROKE PINES, FL 33026  
(305) 339-5885 - LB 36416

**WCE**  
WHITMORE CONSULTING ENGINEERS

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SCALE: AS NOTED  
DATE: 08/30/2023  
PROJ. NO. 2306A  
SHEET



SEAL

ANDREW W. ADAMS  
REGISTERED ENGINEER #55315  
STATE OF FLORIDA

**C-16**  
OF 33 SHEETS





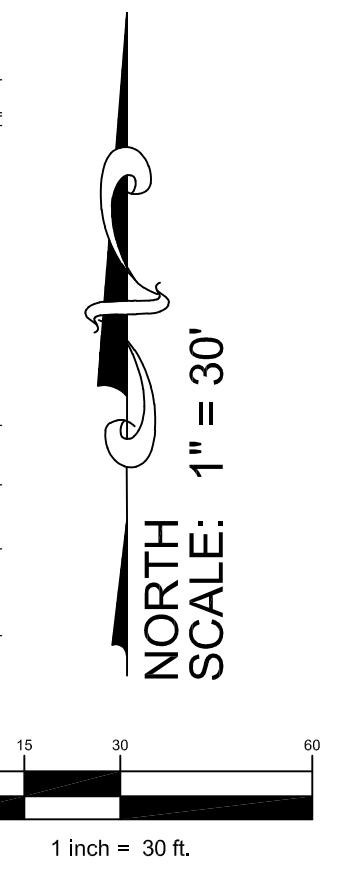
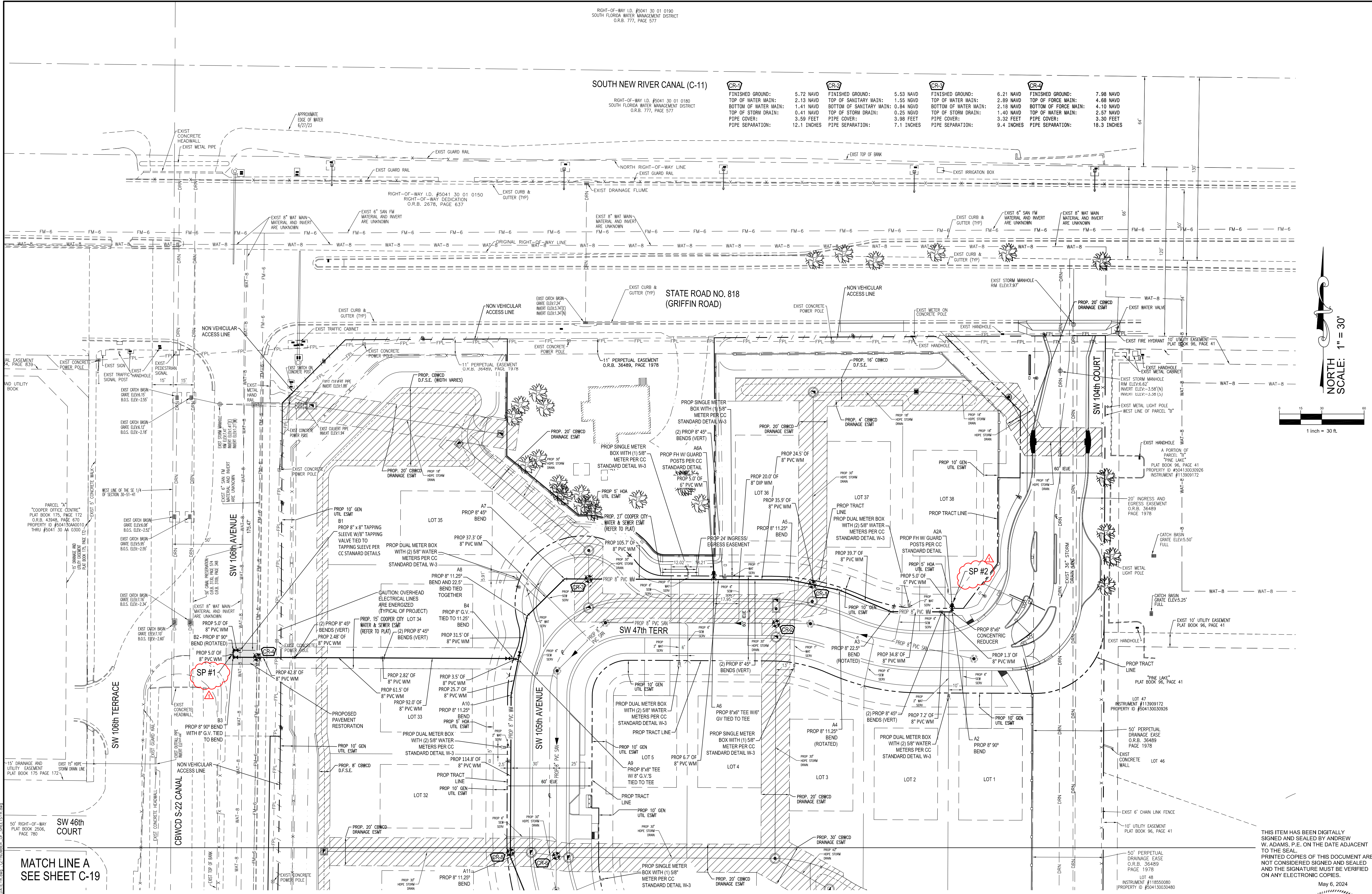


RIGHT-OF-WAY L.D. #5041 30 01 0190  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

**SOUTH NEW RIVER CANAL (C-11)**

RIGHT-OF-WAY L.D. #5041 30 01 0180  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

	CR-1	CR-2	CR-3	CR-4
FINISHED GROUND:	5.72 NAVD	5.53 NAVD	6.21 NAVD	7.98 NAVD
TOP OF WATER MAIN:	2.13 NAVD	1.55 NAVD	2.89 NAVD	2.89 NAVD
BOTTOM OF WATER MAIN:	1.41 NAVD	0.84 NAVD	2.18 NAVD	4.10 NAVD
TOP OF STORM DRAIN:	0.41 NAVD	0.25 NAVD	1.40 NAVD	2.57 NAVD
PIPE COVER:	3.59 FEET	3.98 FEET	3.32 FEET	3.30 FEET
PIPE SEPARATION:	12.1 INCHES	7.1 INCHES	9.4 INCHES	18.3 INCHES



NO.	DATE	DESCRIPTION
1	02/28/24	PER FDEP REVIEW COMMENTS
2	04/03/24	PER CRWCD REVIEW COMMENTS

WATER DISTRIBUTION SYSTEM  
PLAN

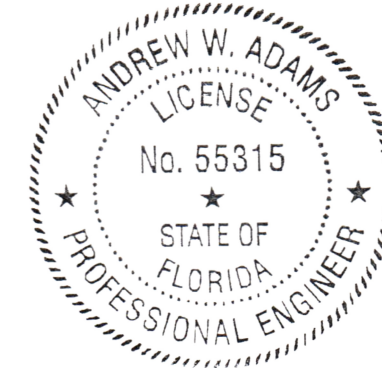
GRIFFIN 106 SUBDIVISION  
CC HOMES AT COOPER CITY, LLC

11921 NW 23rd STREET  
PEMBROKE PINES, FL 33026  
WHITMORE CONSULTING ENGINEERS | (305) 335-5885 - LB 36416

**WCE**

DESIGNED: AWA  
DRAWN: AWA  
SCALE: AS NOTED  
DATE: 08/30/2023  
PROJ. NO. 2306A  
SHEET C-18 OF 33 SHEETS

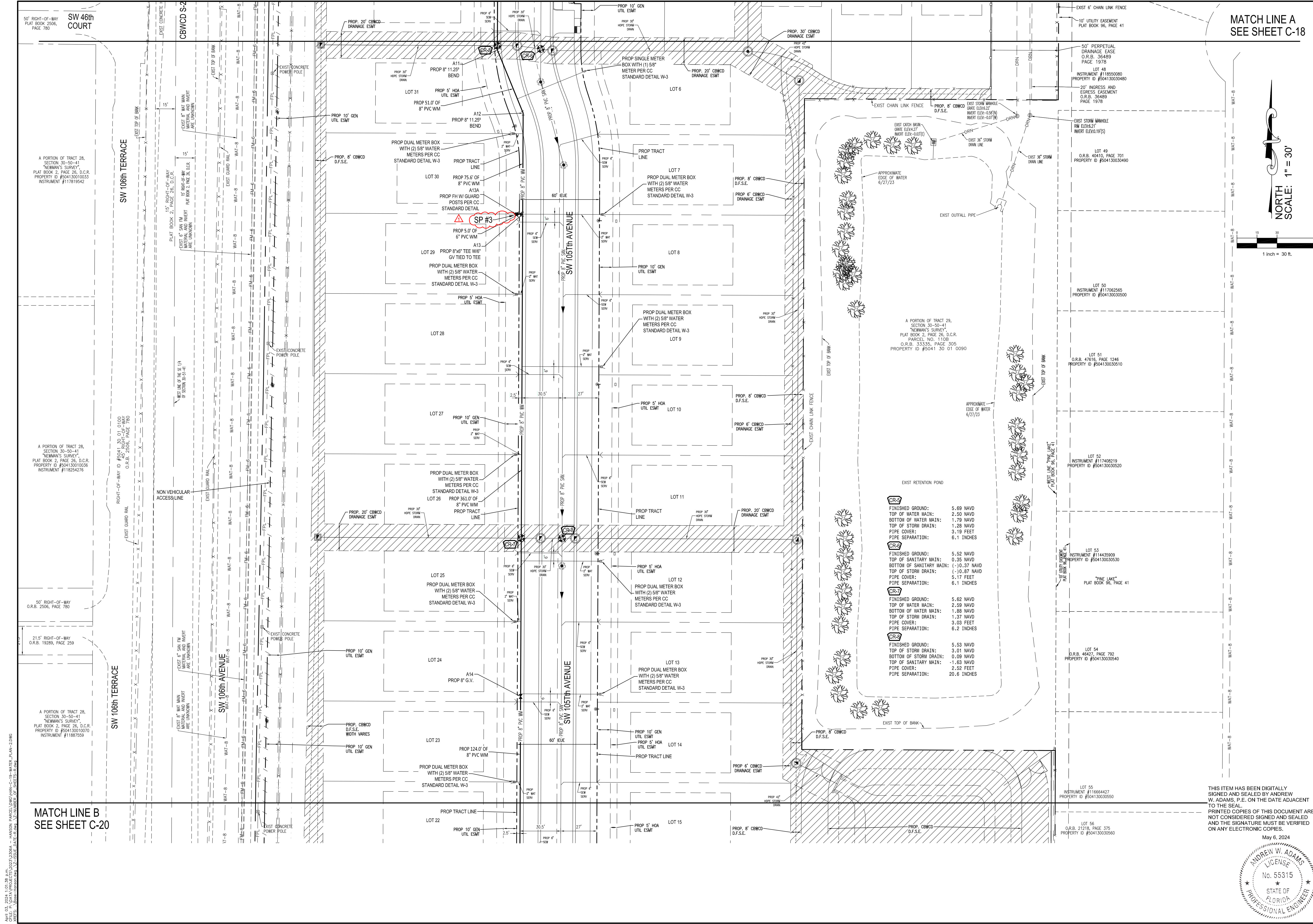
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



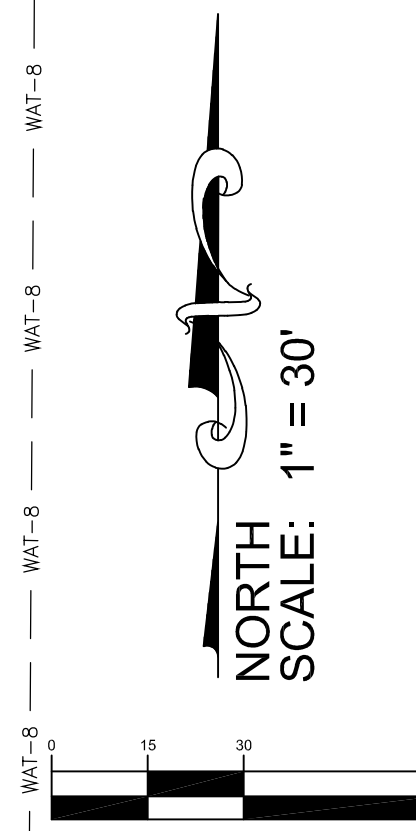
MATCH LINE A SEE SHEET C-19

APR 03, 2024 11:01:34 AM... W:\PROJECTS\2023\11921 NW 23rd STREET\DWG\... C-18.DWG





MATCH LINE A  
SEE SHEET C-18



A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
PROPERTY ID #504130010036  
INSTRUMENT #117819542

A PORTION OF TRACT 28,  
SECTION 30-50-41  
"NEWMAN'S SURVEY",  
PLAT BOOK 2, PAGE 26, D.C.R.  
PARCEL NO. 110B  
O.R.B. 33355, PAGE 305  
PROPERTY ID #504130010090

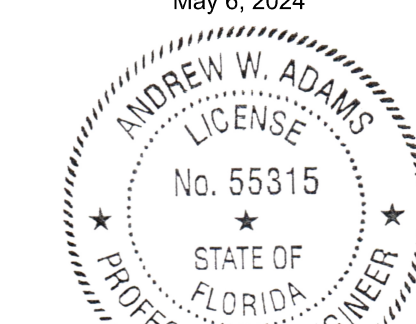
FINISHED GROUND: 5.69 NAVD  
TOP OF WATER MAIN: 2.50 NAVD  
BOTTOM OF WATER MAIN: 1.79 NAVD  
TOP OF STORM DRAIN: 1.28 NAVD  
PIPE COVER: 3.19 FEET  
PIPE SEPARATION: 6.1 INCHES

FINISHED GROUND: 5.52 NAVD  
TOP OF SANITARY MAIN: 0.35 NAVD  
BOTTOM OF SANITARY MAIN: (-)10.37 NAVD  
TOP OF STORM DRAIN: (-)10.87 NAVD  
PIPE COVER: 5.17 FEET  
PIPE SEPARATION: 6.1 INCHES

FINISHED GROUND: 5.62 NAVD  
TOP OF WATER MAIN: 2.59 NAVD  
BOTTOM OF WATER MAIN: 1.88 NAVD  
TOP OF STORM DRAIN: 1.37 NAVD  
PIPE COVER: 3.03 FEET  
PIPE SEPARATION: 6.2 INCHES

FINISHED GROUND: 5.53 NAVD  
TOP OF STORM DRAIN: 3.01 NAVD  
BOTTOM OF STORM DRAIN: 0.09 NAVD  
TOP OF SANITARY MAIN: -1.63 NAVD  
PIPE COVER: 2.52 FEET  
PIPE SEPARATION: 20.6 INCHES

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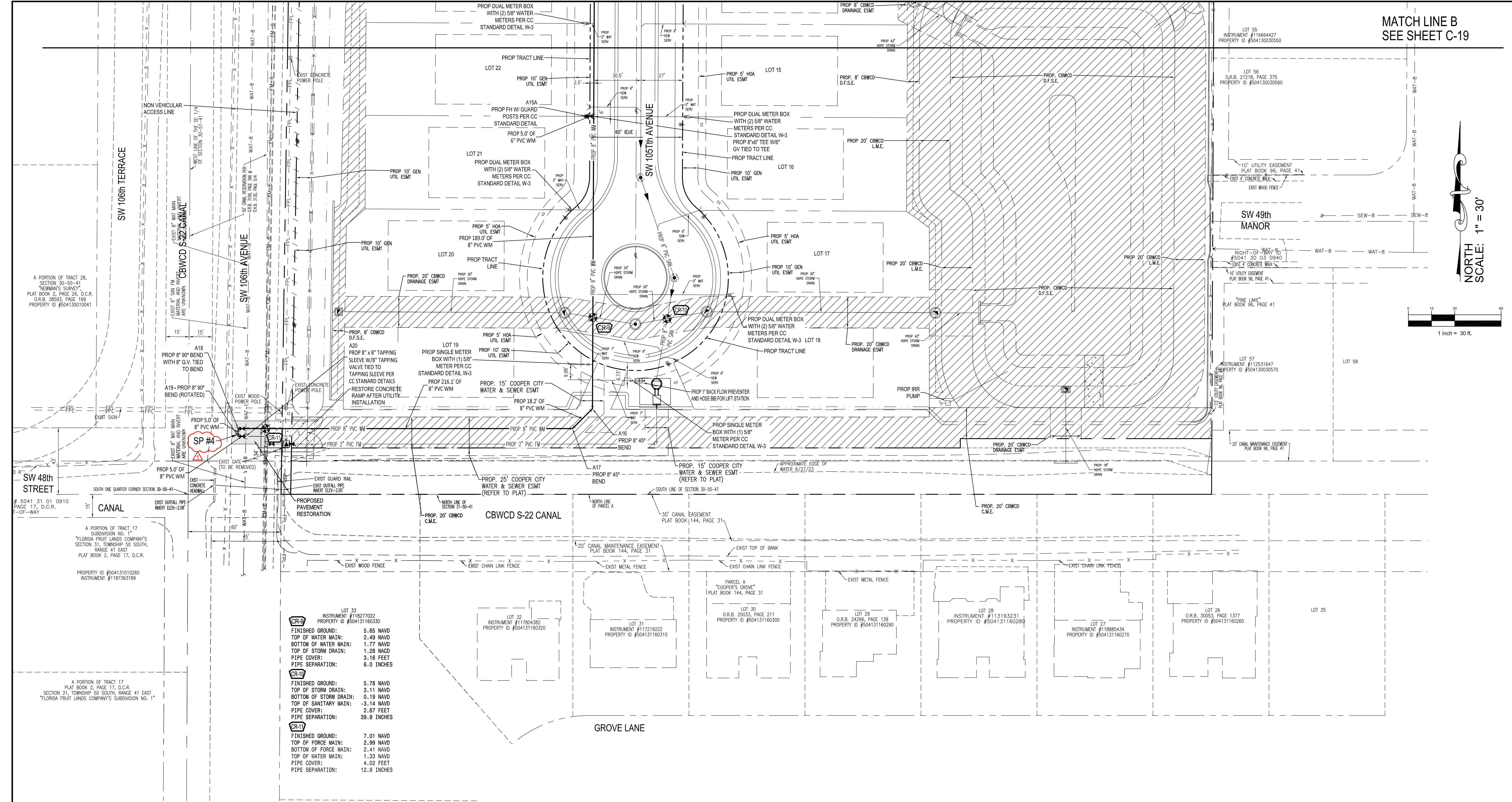
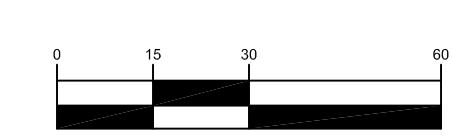
WATER DISTRIBUTION SYSTEM		PLAN	
GRIFFIN 106 SUBDIVISION		CC HOMES AT COOPER CITY, LLC	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026		(305) 339-5885 - LB 36416	
WHITMORE CONSULTING ENGINEERS		WCE	
DESIGNED: AWA		DRAWN: AWA	
CHECKED: AWA		SCALE: AS NOTED	
DATE: 08/30/2023		PROJ. NO. 2306A	
SHEET C-19		OF 33 SHEETS	

APR 03, 2024 11:01:38 AM  
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SHEETS: 33 (Number of Sheets) / 33 (Number of Sheets)



MATCH LINE B  
SEE SHEET C-19

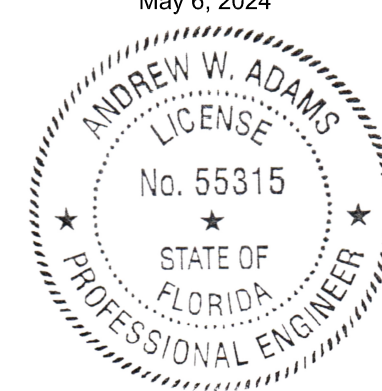
NORTH  
SCALE: 1" = 30'



<b>CR-3</b>	LOT 33 INSTRUMENT #118277022 PROPERTY ID #504131160330 FINISHED GROUND: 5.65 NAVD TOP OF WATER MAIN: 2.49 NAVD BOTTOM OF WATER MAIN: 1.77 NAVD TOP OF STORM DRAIN: 1.28 NAVD PIPE COVER: 3.16 FEET PIPE SEPARATION: 6.0 INCHES
<b>CR-19</b>	FINISHED GROUND: 5.78 NAVD TOP OF STORM DRAIN: 3.11 NAVD BOTTOM OF STORM DRAIN: 0.19 NAVD TOP OF SANITARY MAIN: -3.14 NAVD PIPE COVER: 2.67 FEET PIPE SEPARATION: 39.9 INCHES
<b>CR-17</b>	FINISHED GROUND: 7.01 NAVD TOP OF FORCE MAIN: 2.99 NAVD BOTTOM OF FORCE MAIN: 2.41 NAVD TOP OF WATER MAIN: 1.33 NAVD PIPE COVER: 4.02 FEET PIPE SEPARATION: 12.9 INCHES

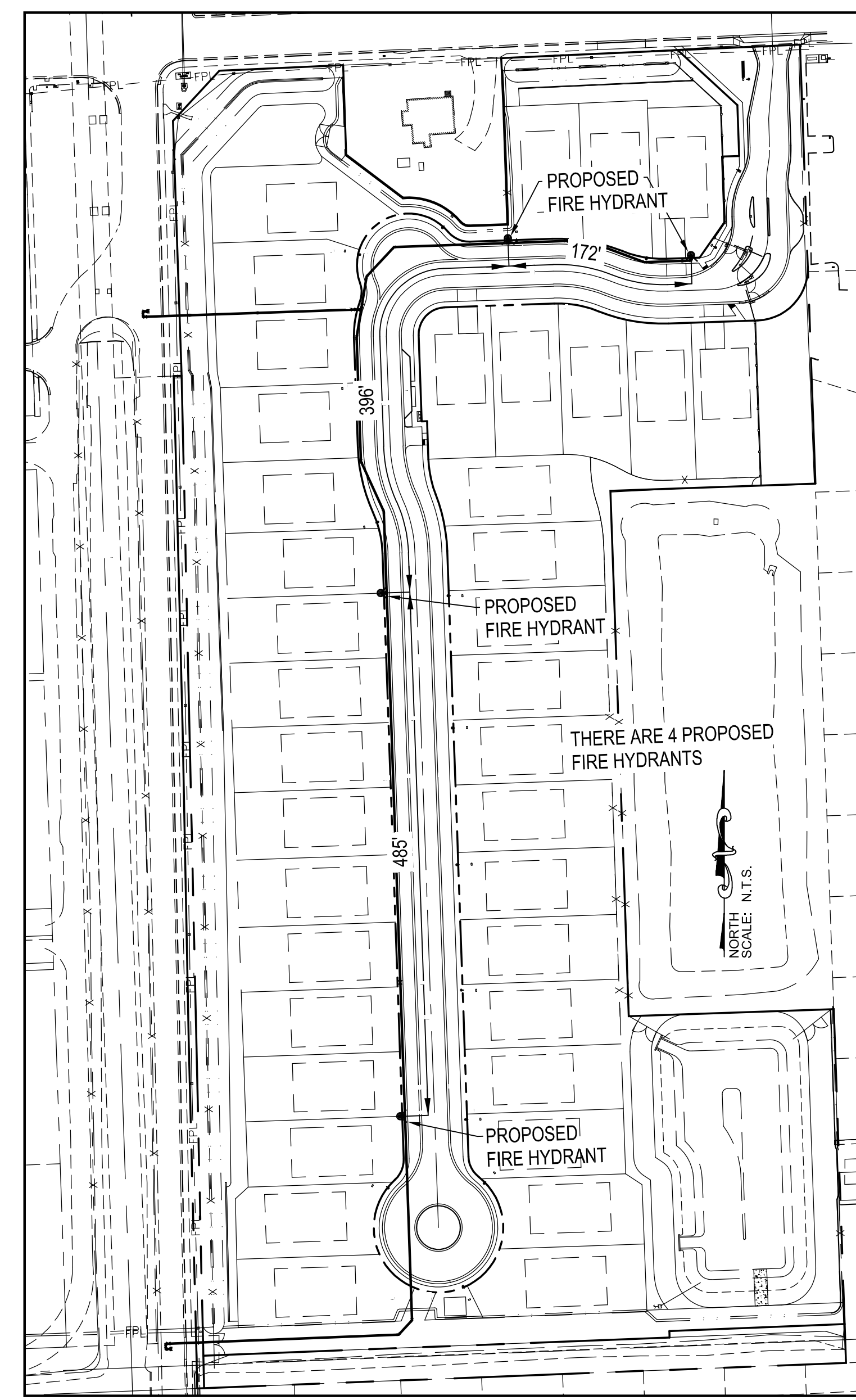
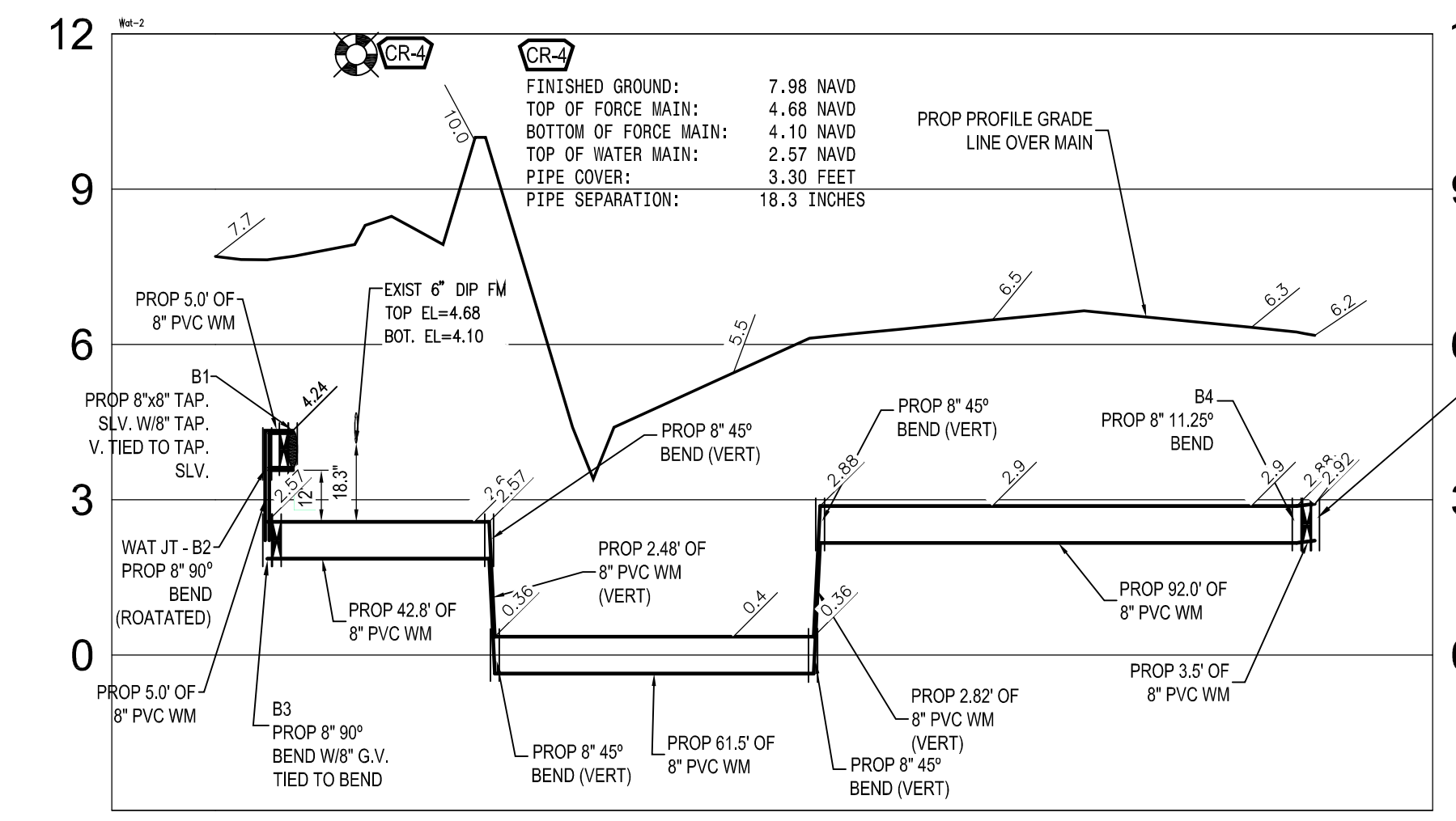
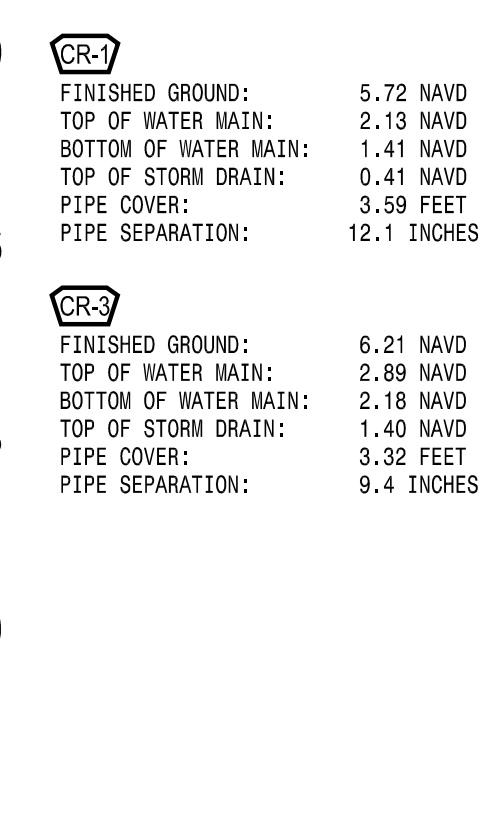
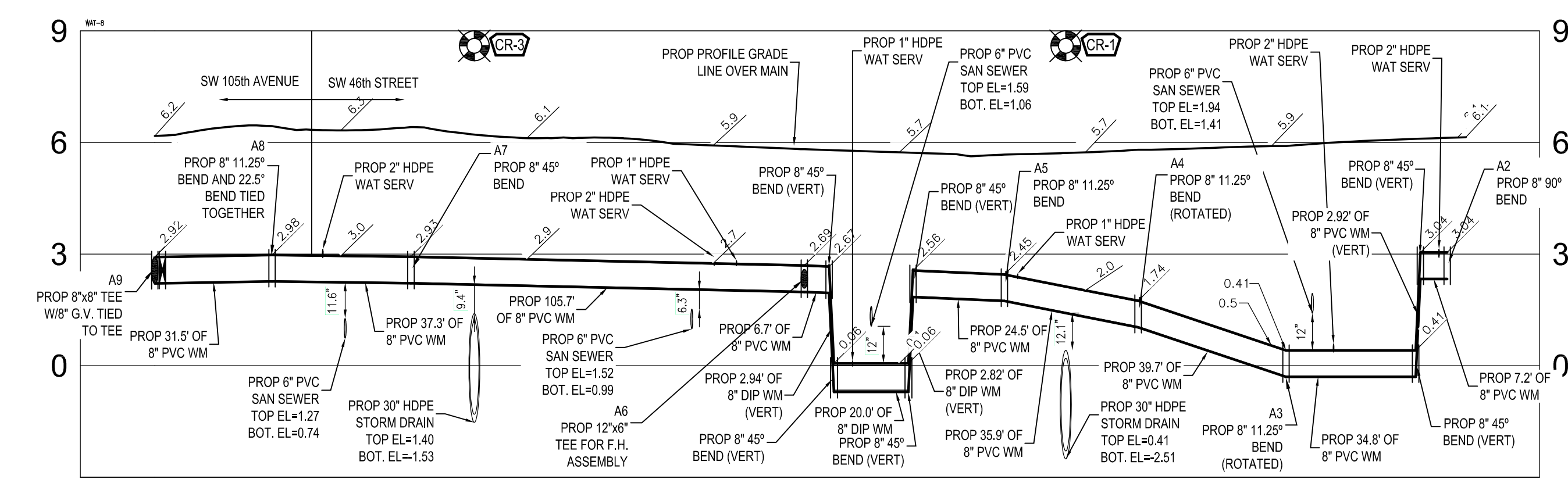
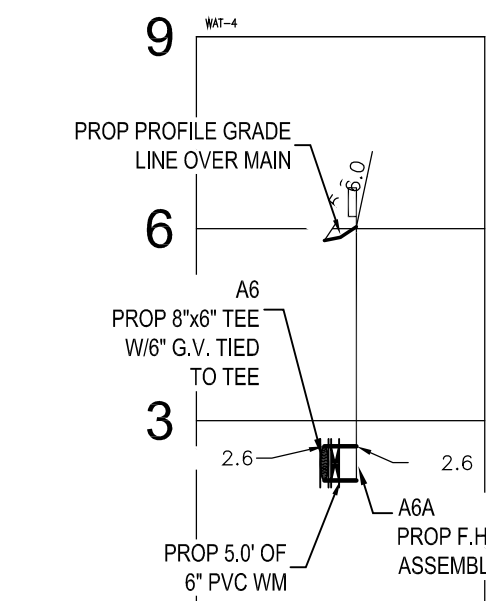
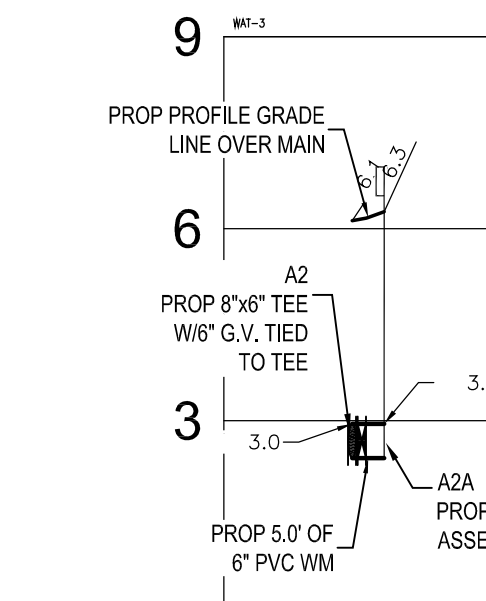
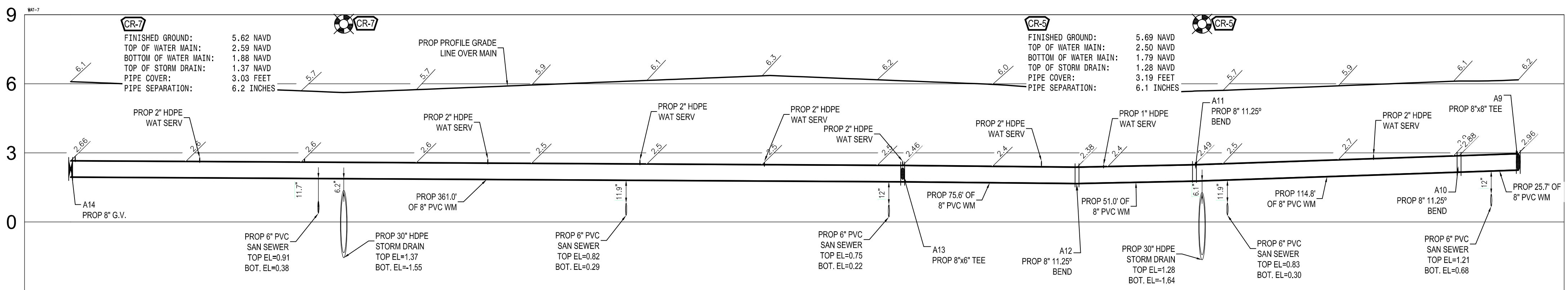
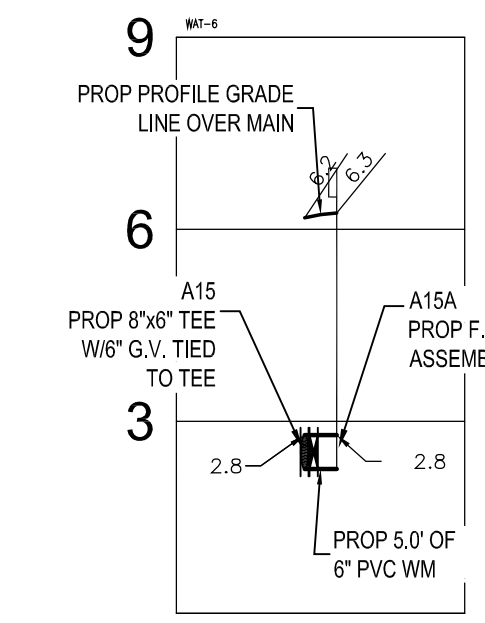
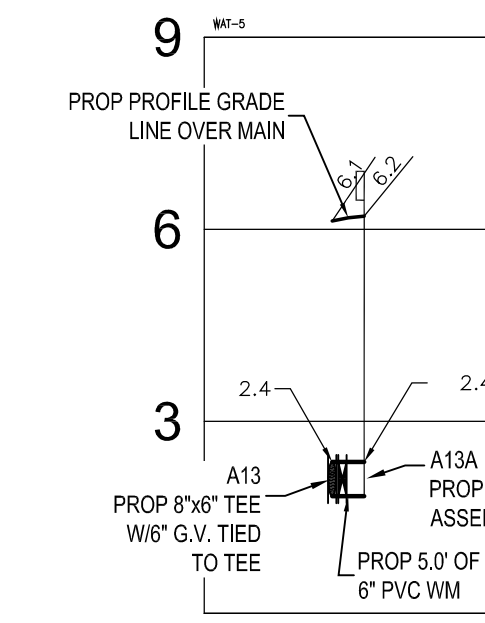
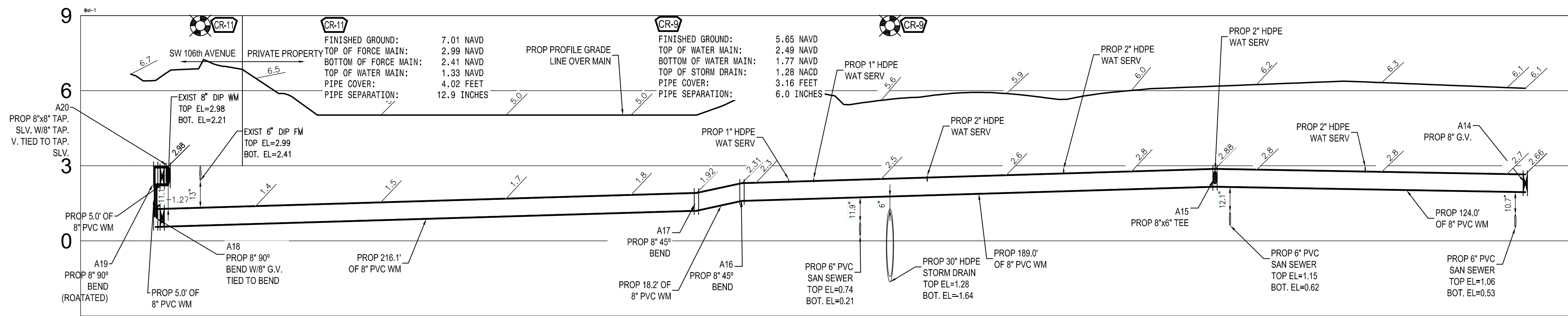
WATER DISTRIBUTION SYSTEM		PLAN	
GRIFIN 106 SUBDIVISION		CC HOMES AT COOPER CITY, LLC	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026		(305) 339-5885 - LB 36416	
WCE		WHITMORE CONSULTING ENGINEERS	
SEAL	ANDREW W. ADAMS REGISTERED ENGINEER #55316 STATE OF FLORIDA	DESIGNED: AWA DRAWN: AWA CHECKED: AWA SCALE: AS NOTED DATE: 08/30/2023 PROJ. NO. 2306A SHEET C-20 OF 33 SHEETS	BY: APP NO. DATE 2 04/03/24 PER CBWCD REVIEW COMMENTS 1 02/28/24 PER FDPB REVIEW COMMENTS

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April 04, 2024 10:52:56 a.m. - 11:59 a.m. - WORKING PROJECTS ONLY - ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA ENGINEERING BOARD RULES AND REGULATIONS AND THE FLORIDA ENGINEERING BOARD CODE OF ETHICS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE DATE AND TIME OF THE PRINTING OF THIS SHEET.

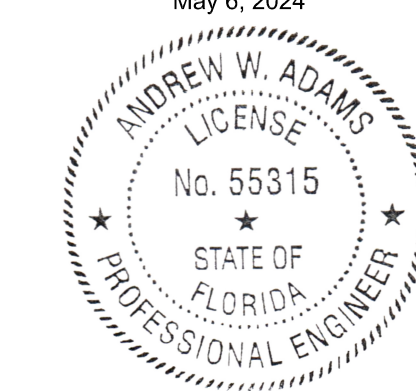




SCALE: 1"=30' H, 1"=3' V

1 inch = 30 ft.

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NO.	DATE	DESCRIPTION
1	04/03/24	FEEDBACK REVIEW COMMENTS
<b>GRIFFIN 106 SUBDIVISION</b> <b>WATER DISTRIBUTION SYSTEM</b> <b>PROFILES</b>		
<b>WHITMORE CONSULTING ENGINEERS</b> 11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 335-5885 - LB 36416		
<b>WCE</b>		
DESIGNED:	AWA	
DRAWN:	AWA	
CHECKED:	AWA	
SCALE:	AS NOTED	
DATE:	08/30/2023	
PROJ. NO.:	2306A	
SHEET:	C-21	
OF 33 SHEETS		

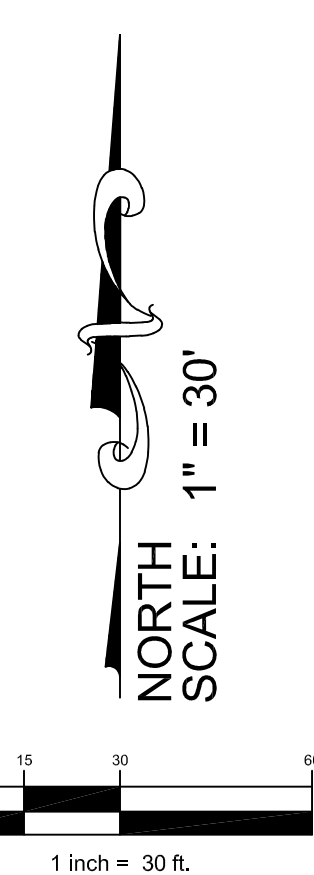
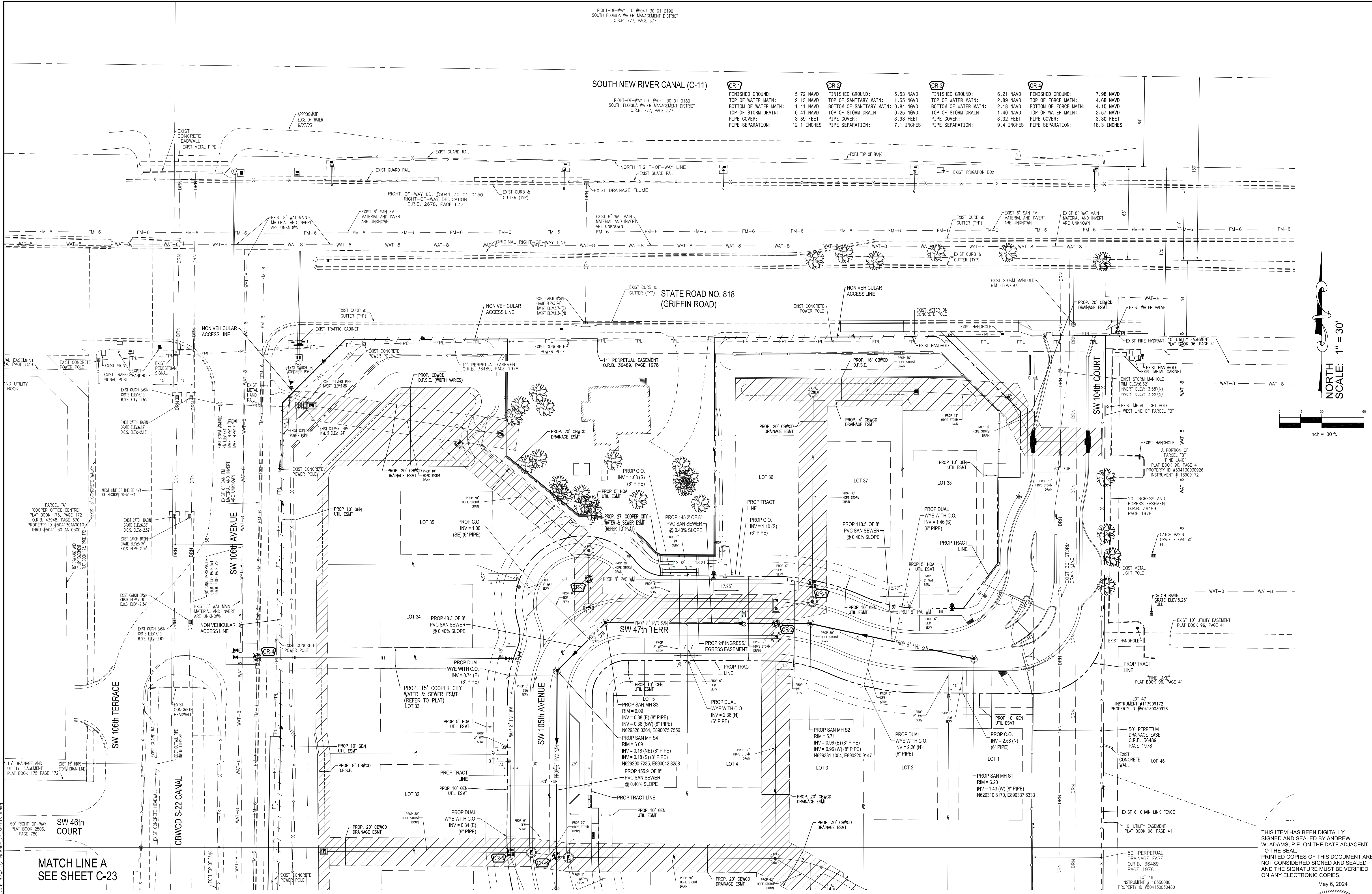
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 SHEET: WATER MAIN AND STORM DRAIN PROFILES  
 DRAWN BY: AWA  
 CHECKED BY: AWA  
 DATE: 08/30/2023  
 PROJECT NO: 2306A  
 SHEET NO: C-21 OF 33



RIGHT-OF-WAY I.D. #5041 30 01 0190  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

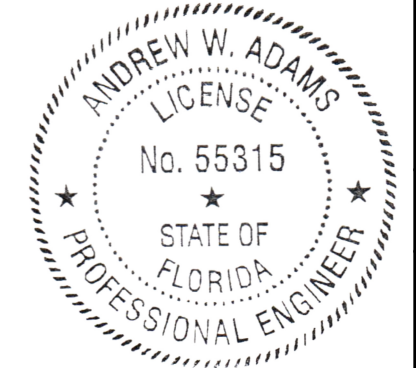
**SOUTH NEW RIVER CANAL (C-11)**  
RIGHT-OF-WAY I.D. #5041 30 01 0180  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
O.R.B. 777, PAGE 577

	CR-1	CR-2	CR-3	CR-4
FINISHED GROUND:	5.72 NAVD	5.53 NAVD	6.21 NAVD	7.98 NAVD
TOP OF WATER MAIN:	2.13 NAVD	1.55 NAVD	2.89 NAVD	2.68 NAVD
BOTTOM OF WATER MAIN:	1.41 NAVD	0.84 NAVD	2.18 NAVD	4.10 NAVD
TOP OF STORM DRAIN:	0.41 NAVD	0.25 NAVD	1.40 NAVD	2.57 NAVD
PIPE COVER:	3.59 FEET	3.98 FEET	3.32 FEET	3.30 FEET
PIPE SEPARATION:	12.1 INCHES	7.1 INCHES	9.4 INCHES	18.3 INCHES



MATCH LINE A  
SEE SHEET C-23

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NO.	DATE	DESCRIPTION
1	04/03/24	PER CBWCD REVIEW COMMENTS

SEWAGE COLLECTION SYSTEM  
PLAN

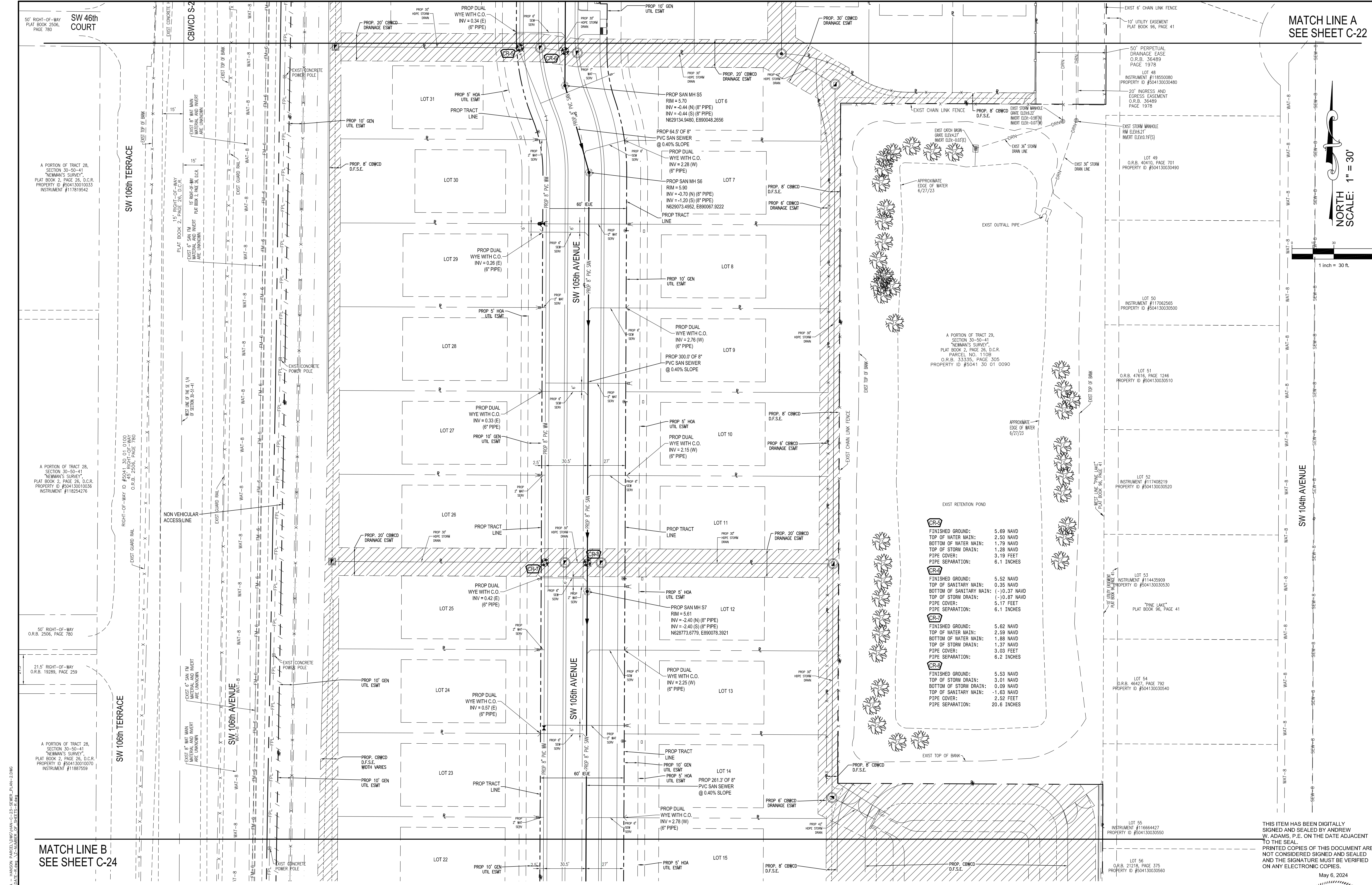
GRiffin 106 SUBDIVISION  
CC HOMES AT COOPER CITY, LLC

WHITMORE CONSULTING ENGINEERS  
11921 NW 23rd STREET  
PEMBROKE PINES, FL 33026  
(305) 338-5885 - LB 36416

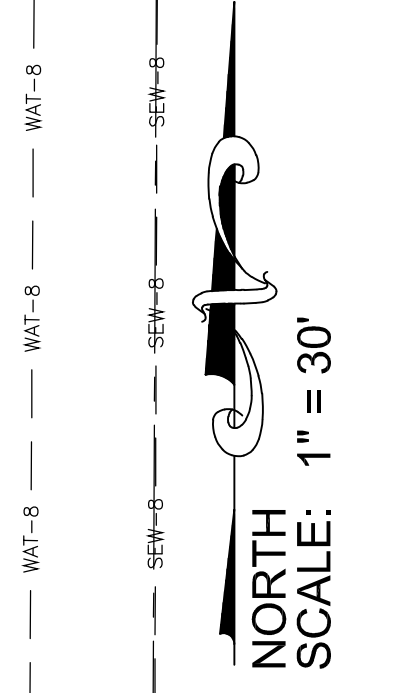
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CHECKED: AWA  
SCALE: AS NOTED  
DATE: 08/30/2023  
PROJ. NO. 2306A  
SHEET C-22 OF 33 SHEETS

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 PROJECT: GRIFIN 106 SUBDIVISION  
 SHEETS: 1-33 (33 SHEETS)  
 DATE: 08/30/2023  
 DRAWN BY: AWA  
 CHECKED BY: AWA  
 PROJECT NO.: 2306A  
 SHEET NO.: C-22 OF 33





MATCH LINE A  
SEE SHEET C-22



NO.	DATE	DESCRIPTION	BY	APP.
1	04/03/24	PER CBWCD REVIEW COMMENTS		

SEWAGE COLLECTION SYSTEM PLAN

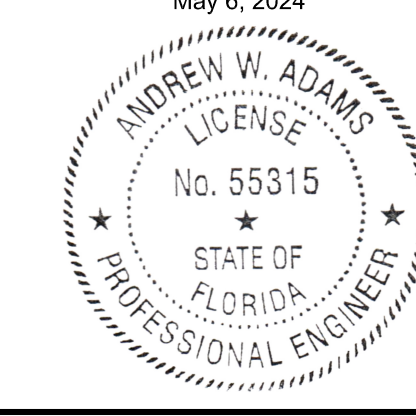
GRIFFIN 106 SUBDIVISION  
CC HOMES AT COOPER CITY, LLC

11921 NW 23rd STREET  
PEMBROKE PINES, FL 33026  
WHITMORE CONSULTING ENGINEERS | (305) 339-5885 - LB 36416



DESIGNED: AWA  
DRAWN: AWA  
CHECKED: AWA  
SCALE: AS NOTED  
DATE: 08/30/2023  
PROJ. NO. 2306A  
SHEET C-23 OF 33 SHEETS

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EXIST RETENTION POND

CR-2	FINISHED GROUND:	5.69 NAVD
	TOP OF WATER MAIN:	2.50 NAVD
	BOTTOM OF WATER MAIN:	1.79 NAVD
	TOP OF STORM DRAIN:	1.28 NAVD
	PIPE COVER:	3.19 FEET
	PIPE SEPARATION:	6.1 INCHES
CR-7	FINISHED GROUND:	5.52 NAVD
	TOP OF SANITARY MAIN:	0.35 NAVD
	BOTTOM OF SANITARY MAIN:	(-10.37 NAVD
	TOP OF STORM DRAIN:	(-10.87 NAVD
	PIPE COVER:	5.17 FEET
	PIPE SEPARATION:	6.1 INCHES
CR-7	FINISHED GROUND:	5.62 NAVD
	TOP OF WATER MAIN:	2.59 NAVD
	BOTTOM OF WATER MAIN:	1.88 NAVD
	TOP OF STORM DRAIN:	1.37 NAVD
	PIPE COVER:	3.03 FEET
	PIPE SEPARATION:	6.2 INCHES
CR-7	FINISHED GROUND:	5.53 NAVD
	TOP OF STORM DRAIN:	3.01 NAVD
	BOTTOM OF STORM DRAIN:	0.09 NAVD
	TOP OF SANITARY MAIN:	-1.63 NAVD
	PIPE COVER:	2.52 FEET
	PIPE SEPARATION:	20.6 INCHES

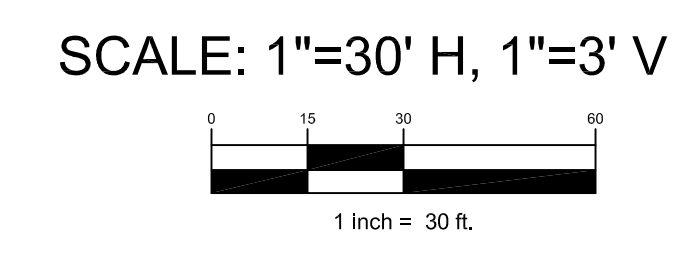
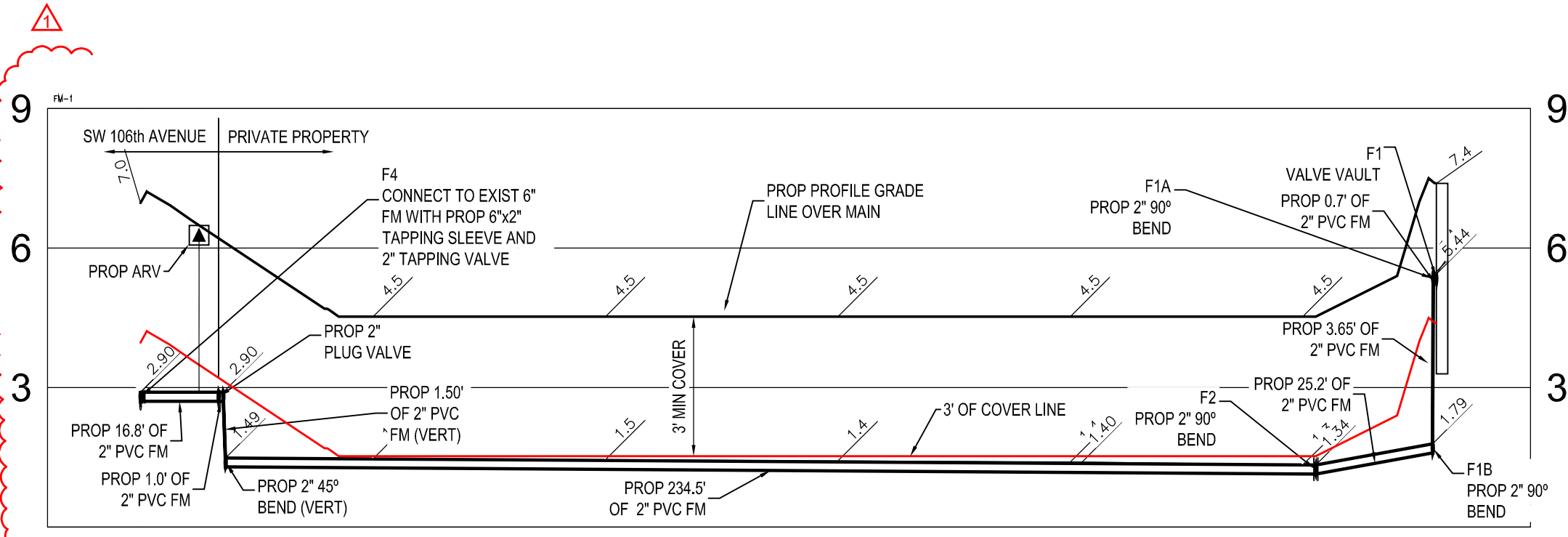
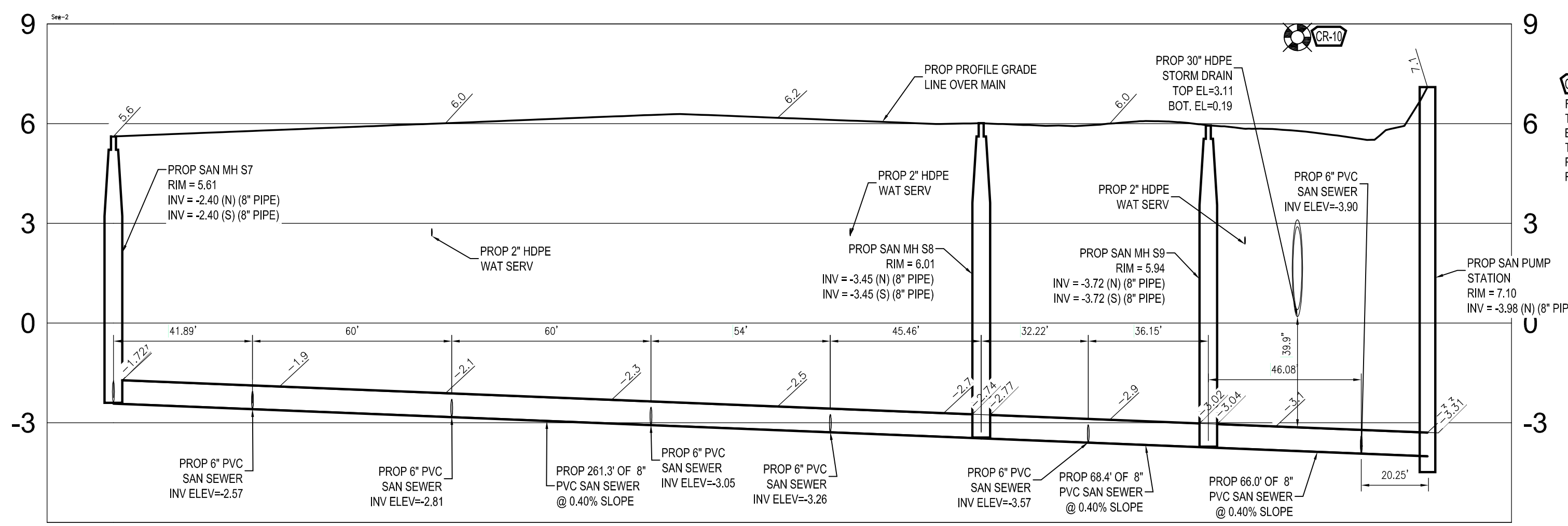
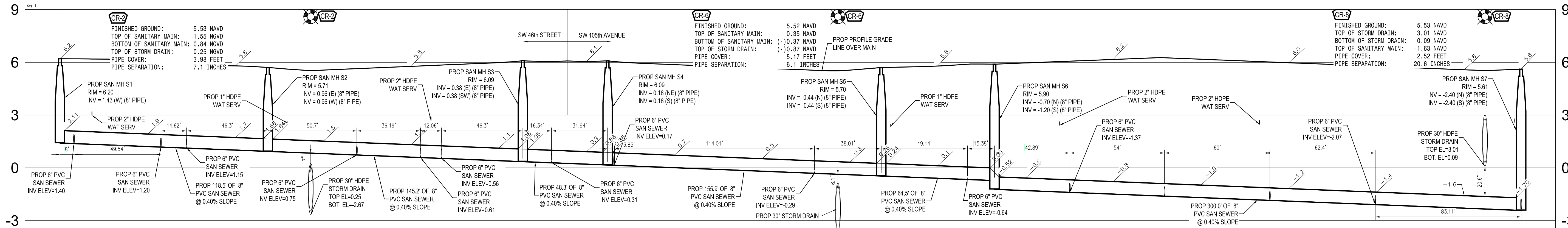
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SEE SHEET C-24

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 SHEET: C-23 OF 33 SHEETS

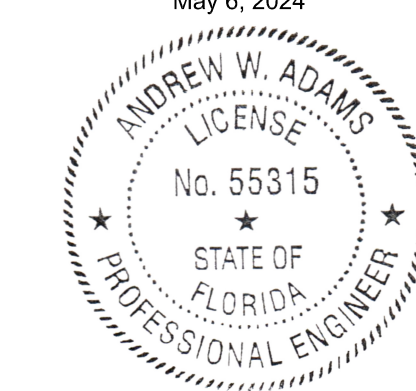








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NO.	DATE	DESCRIPTION
1	03/07/24	PER CEMCO REVIEW COMMENTS
2	04/03/24	PER CEMCO REVIEW COMMENTS

SEWAGE COLLECTION SYSTEM  
 PROFILES

GRIFFIN 106 SUBDIVISION  
 CC HOMES AT COOPER CITY, LLC

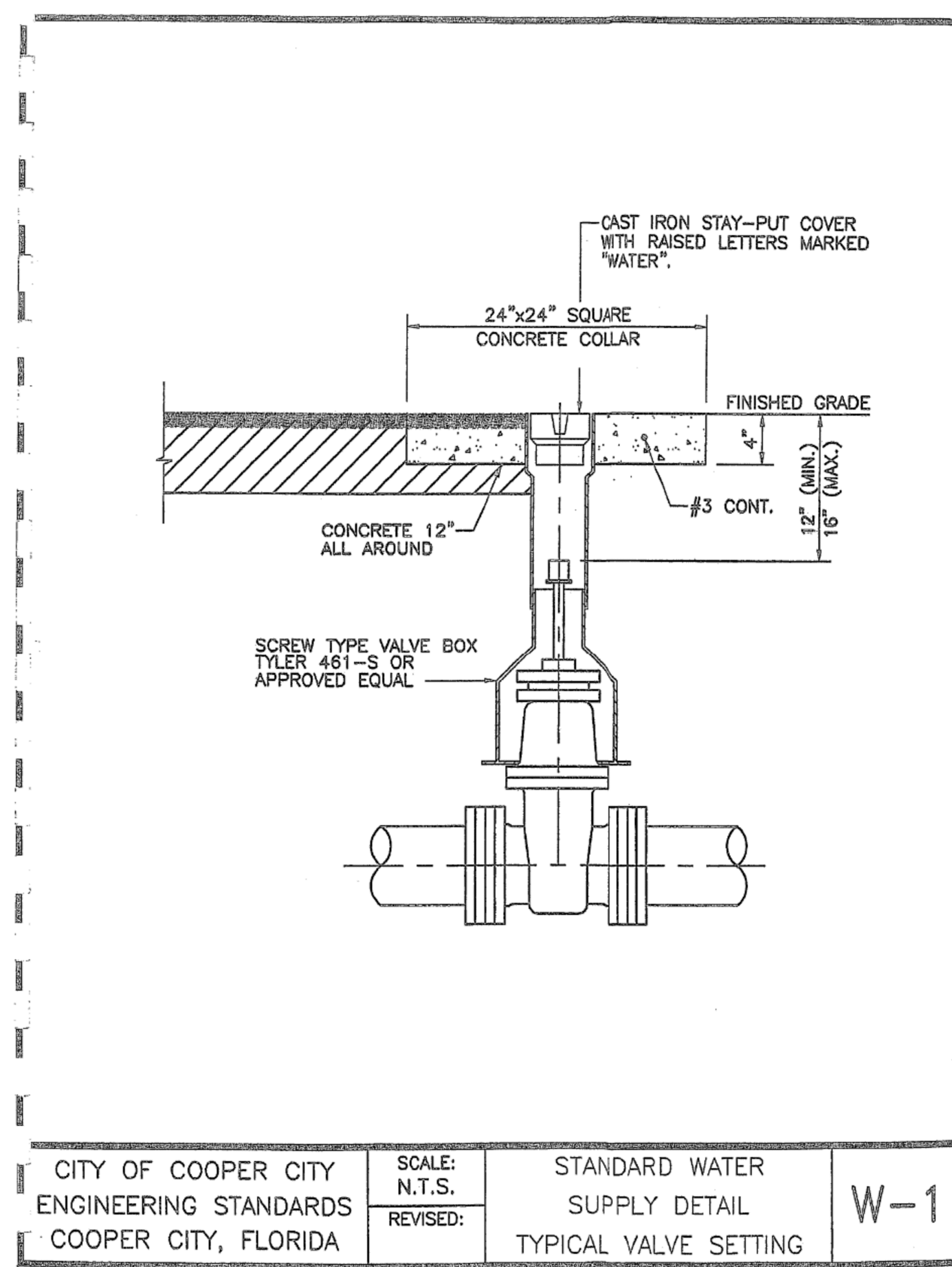
WHITMORE CONSULTING ENGINEERS  
 11921 NW 23rd STREET  
 PEMBROKE PINES, FL 33026  
 (305) 335-5885 - LB 36416

**WCE**

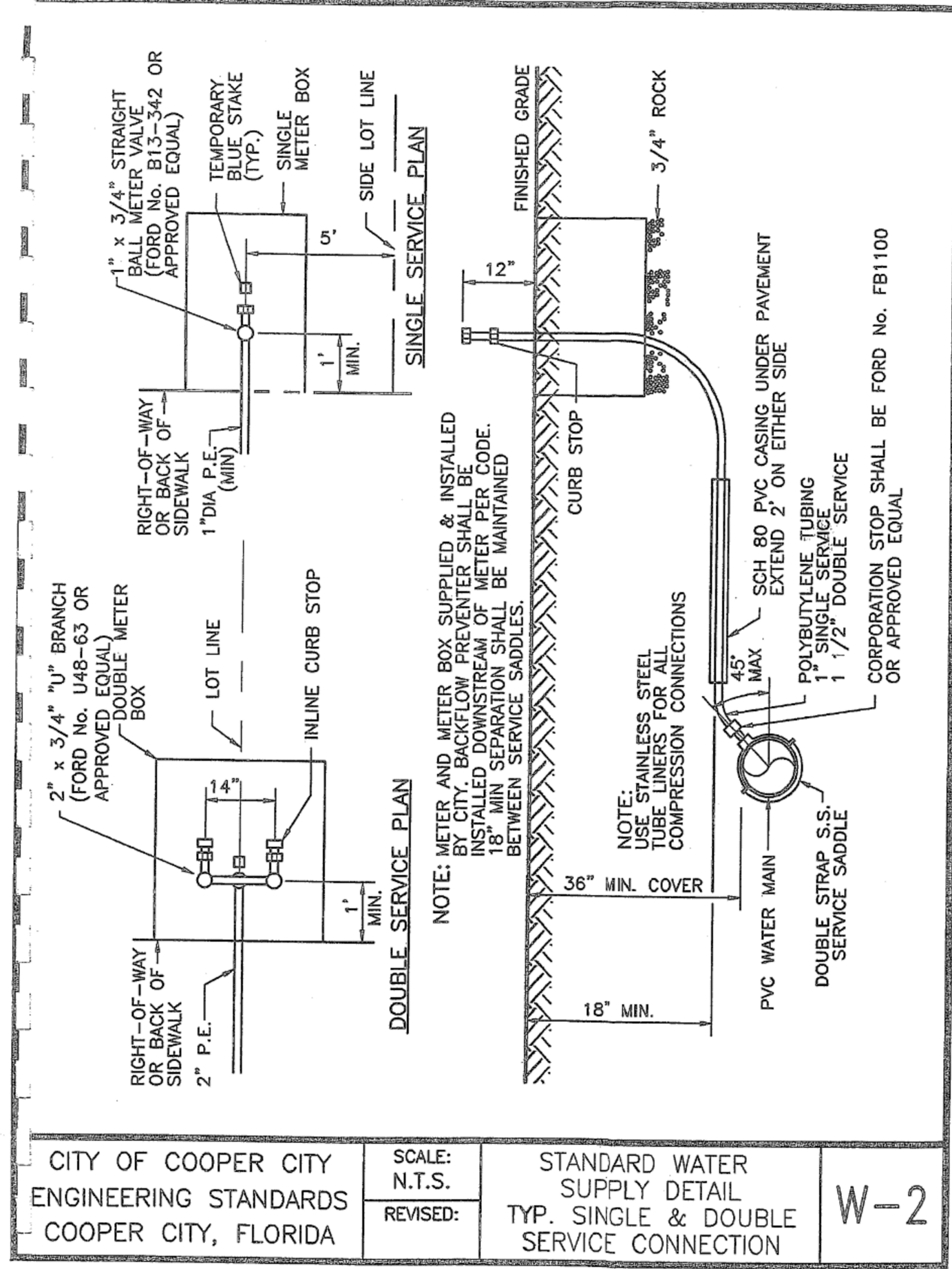
DESIGNED: AWA
DRAWN: AWA
CHECKED: AWA
SCALE: AS NOTED
DATE: 08/30/2023
PROJ. NO. 2306A
SHEET <b>C-25</b> OF 33 SHEETS

April 03, 2024 1:00:43 PM  
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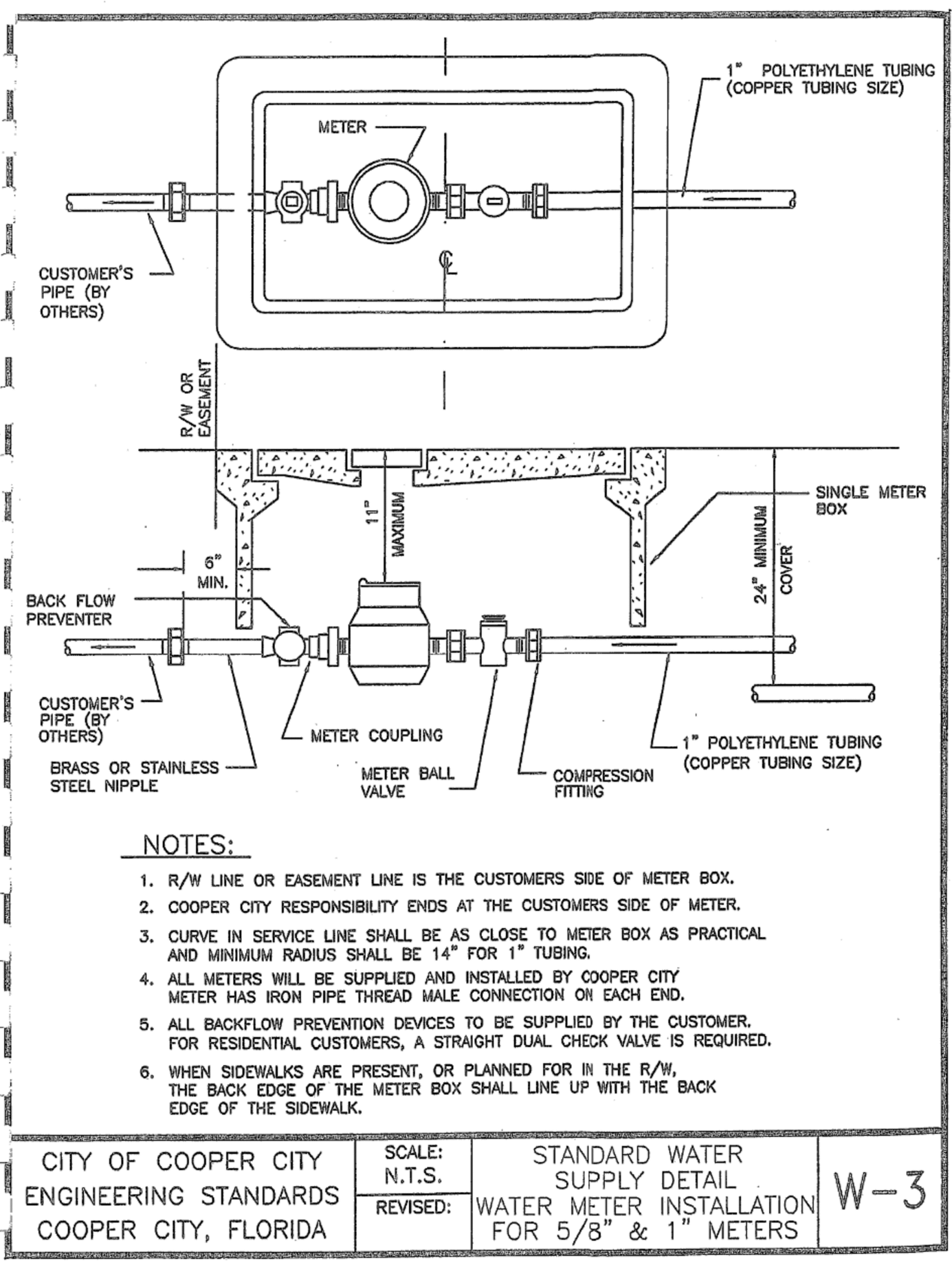




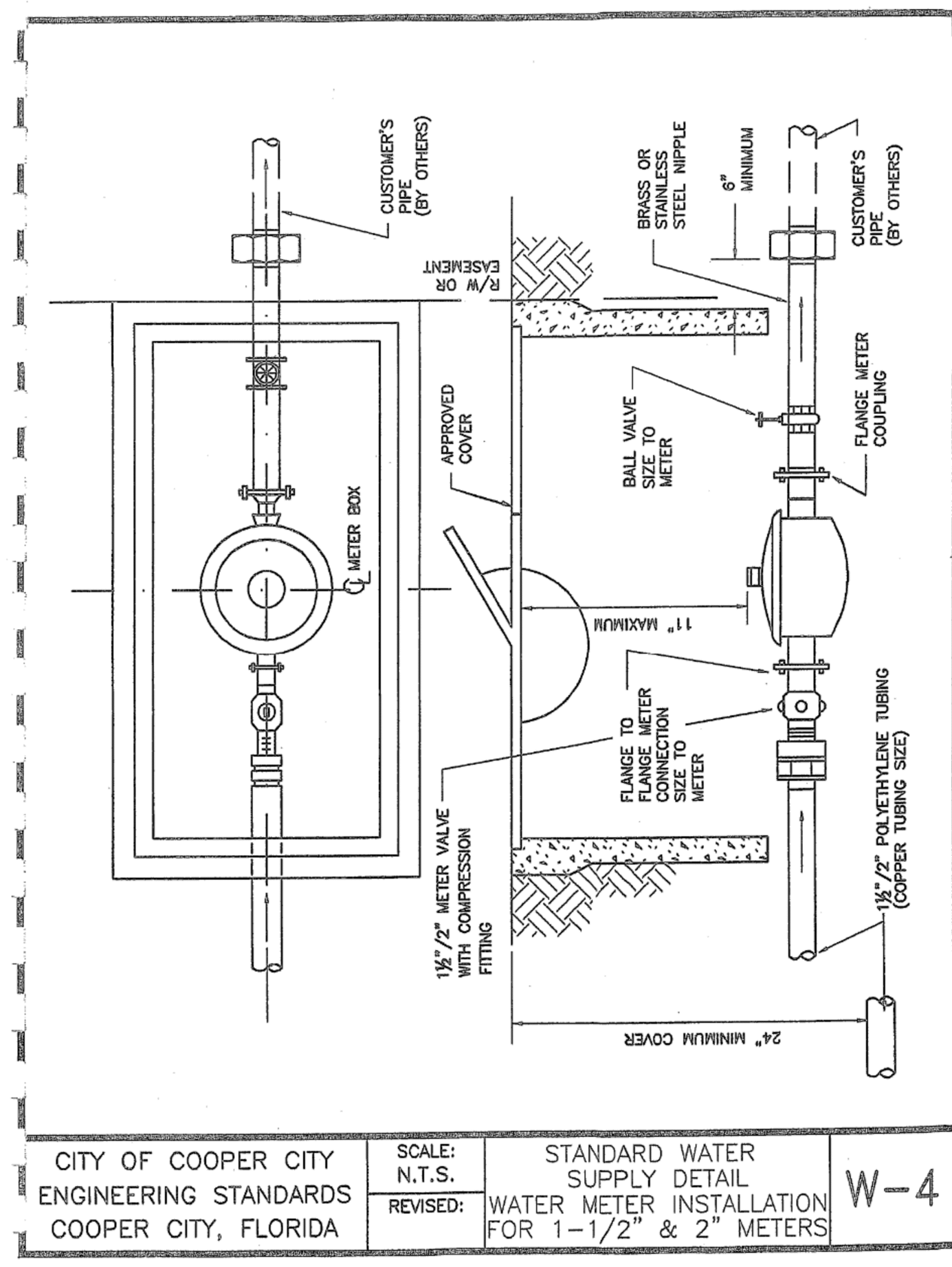
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
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 STANDARD WATER SUPPLY DETAIL TYPICAL VALVE SETTING  
 W-1



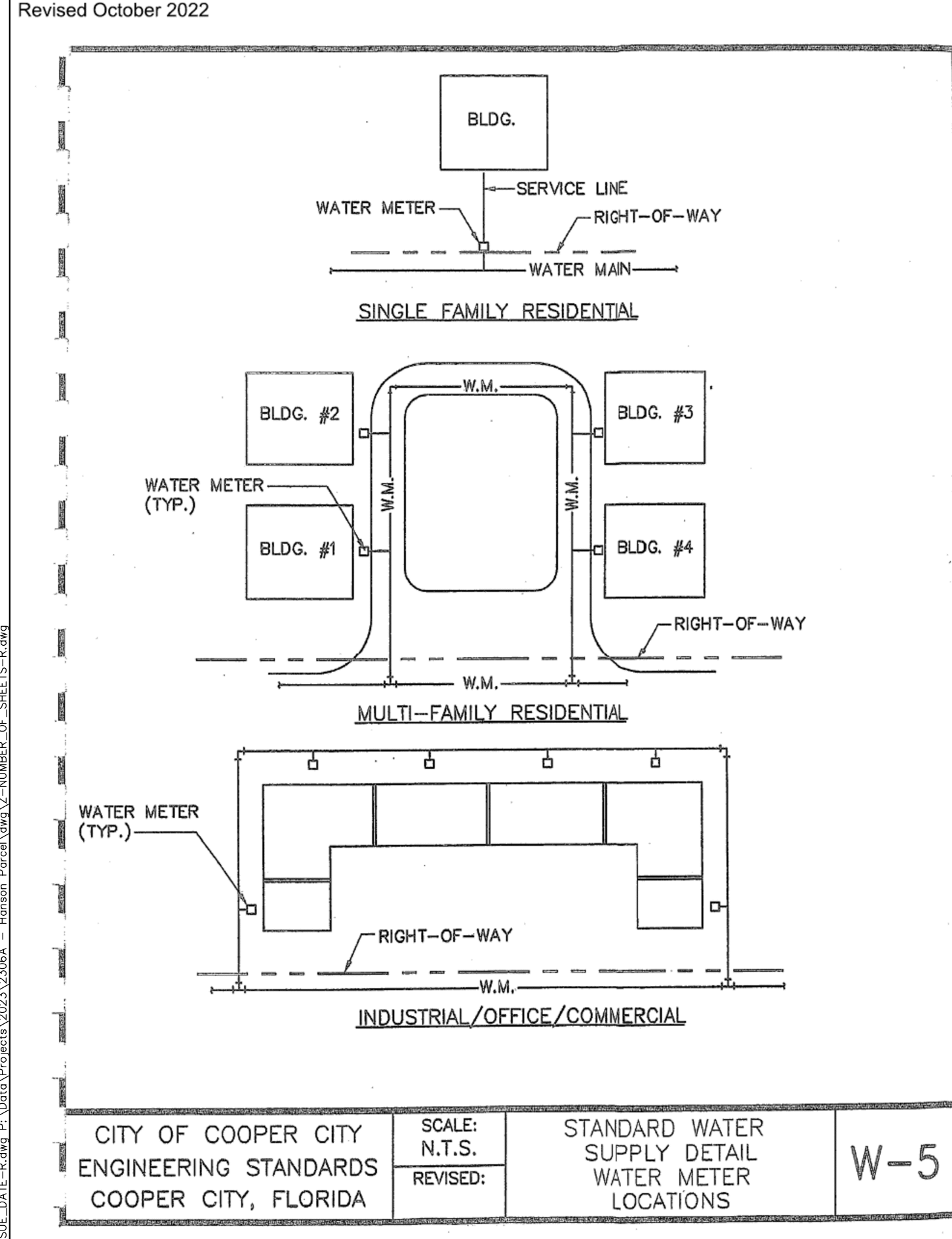
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 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL TYP. SINGLE & DOUBLE SERVICE CONNECTION  
 W-2



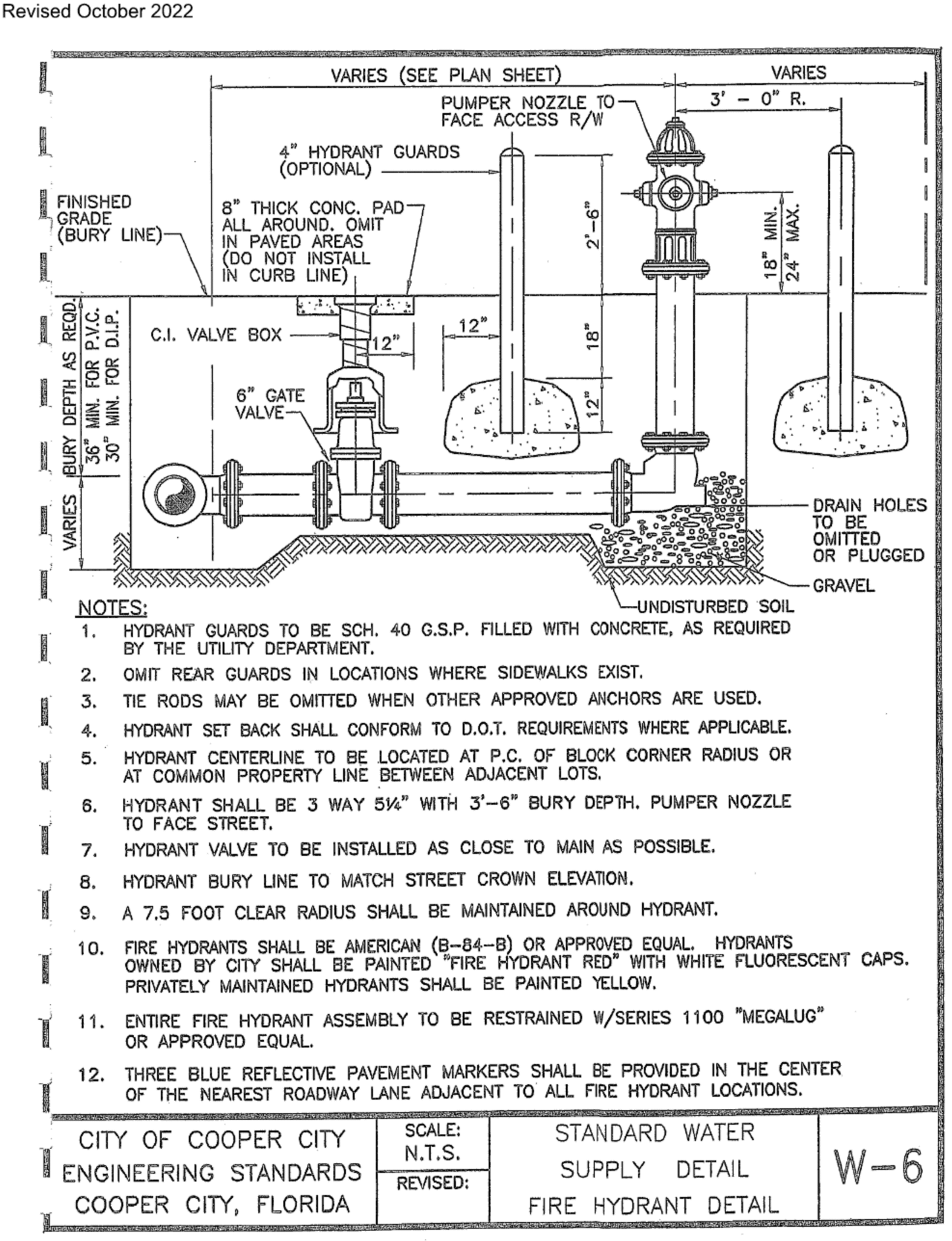
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL WATER METER INSTALLATION FOR 5/8\"/>



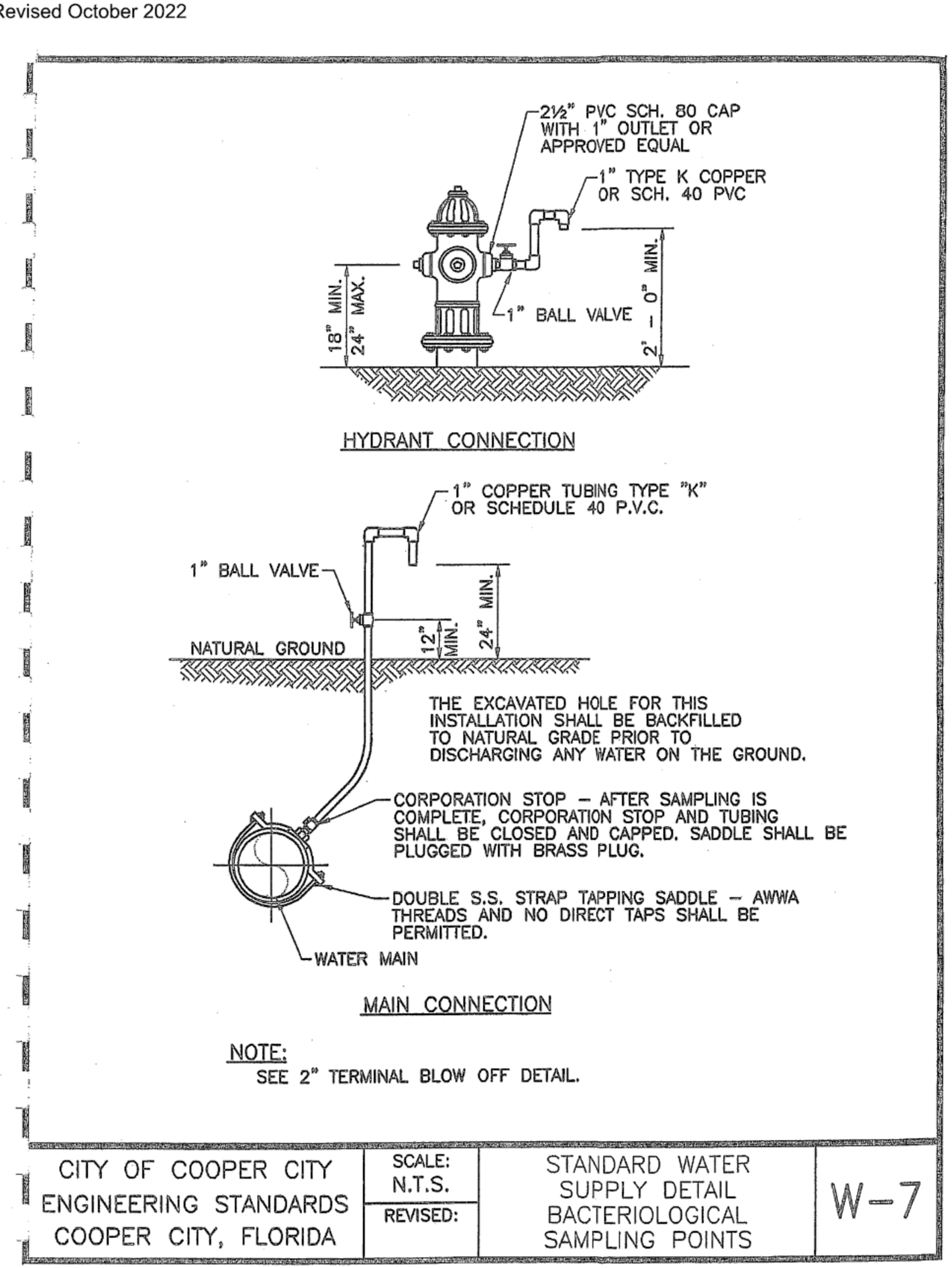
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL WATER METER INSTALLATION FOR 1-1/2\"/>



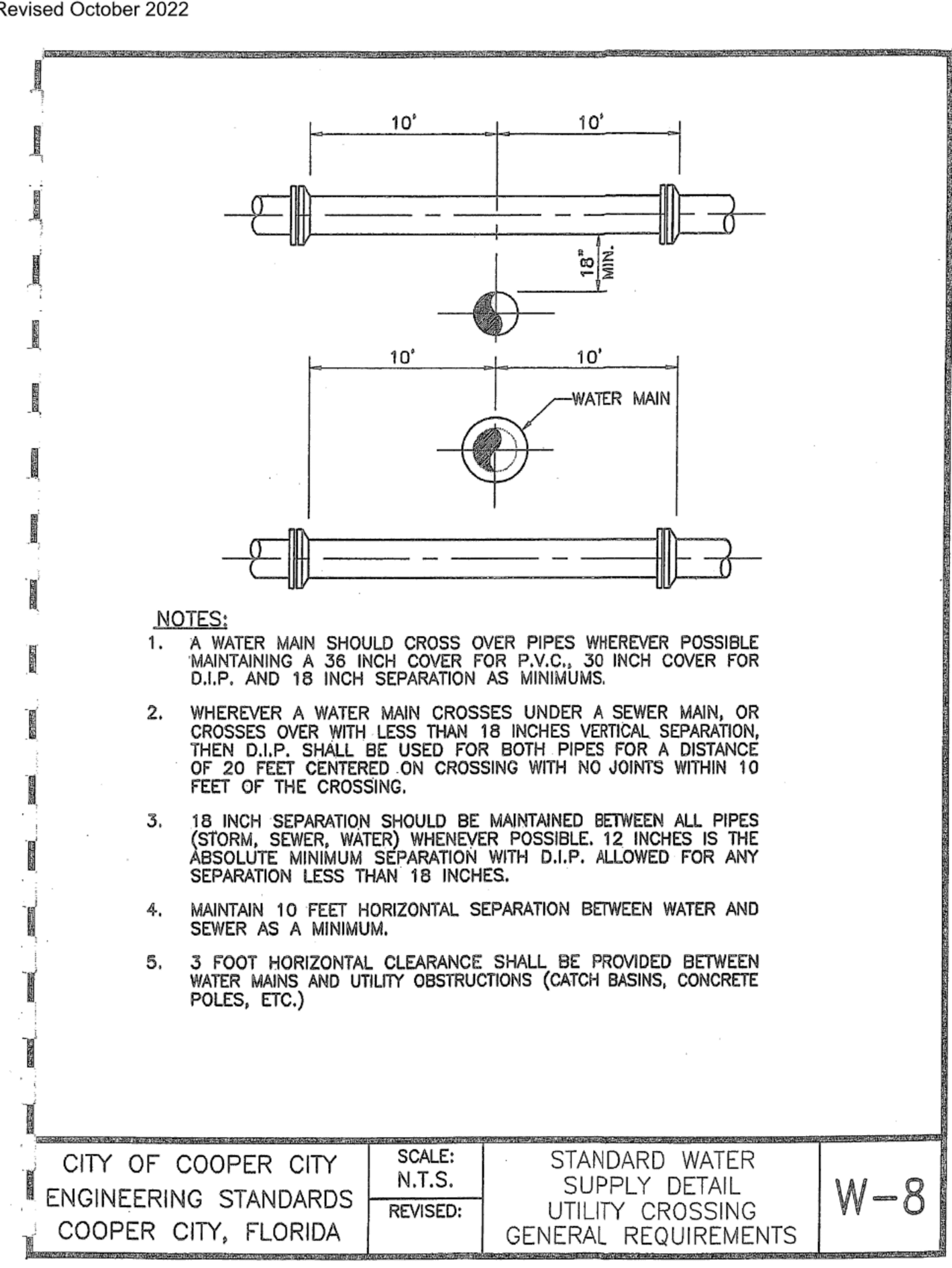
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL WATER METER LOCATIONS  
 W-5



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL FIRE HYDRANT DETAIL  
 W-6



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL BACTERIOLOGICAL SAMPLING POINTS  
 W-7

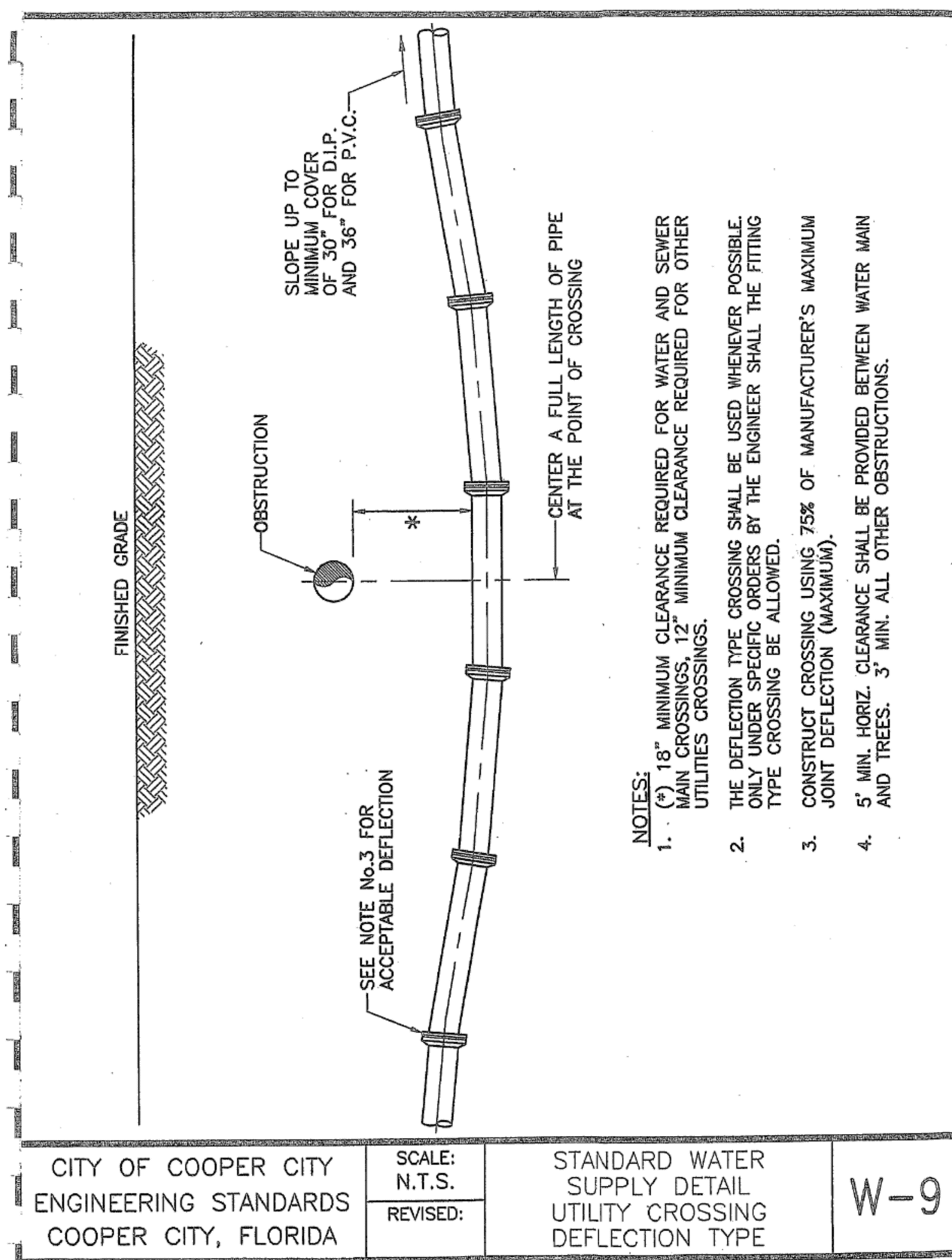


CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD WATER SUPPLY DETAIL UTILITY CROSSING GENERAL REQUIREMENTS  
 W-8

February 21, 2024 6:26:12 PM  
 PROJECT: 2306A - GRIFIN 106 SUBDIVISION  
 SHEETS: 2306A-01 THROUGH 2306A-10  
 DESIGNER: ANDREW W. ADAMS  
 CHECKER: ANDREW W. ADAMS  
 DATE: 08/30/2023

GRIFIN 106 SUBDIVISION CC HOMES AT COOPER CITY, LLC	COOPER CITY	DESCRIPTION
	STANDARD DETAILS	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 WHITMORE CONSULTING ENGINEERS (305) 339-5885 - LB 36416	NO. DATE	BY APP
<h1 style="font-size: 48px; margin: 0;">WCE</h1>	THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA	DESIGNED: AWA	SHEET
DRAWN: AWA	SCALE: AS NOTED	C-26
CHECKED: AWA	DATE: 08/30/2023	OF 33 SHEETS
PROJ. NO. 2306A		



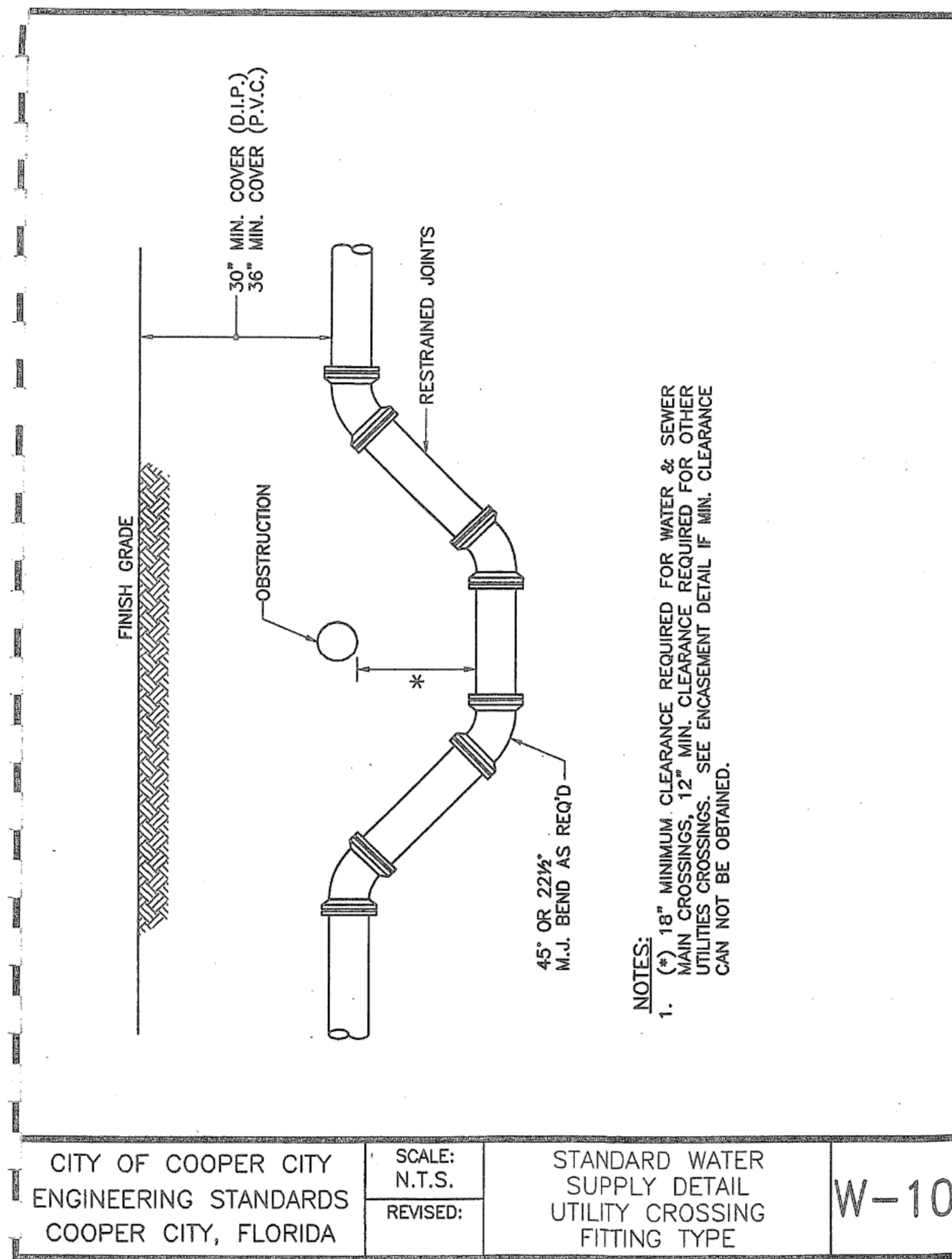


CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL UTILITY CROSSING DEFLECTION TYPE

W-9

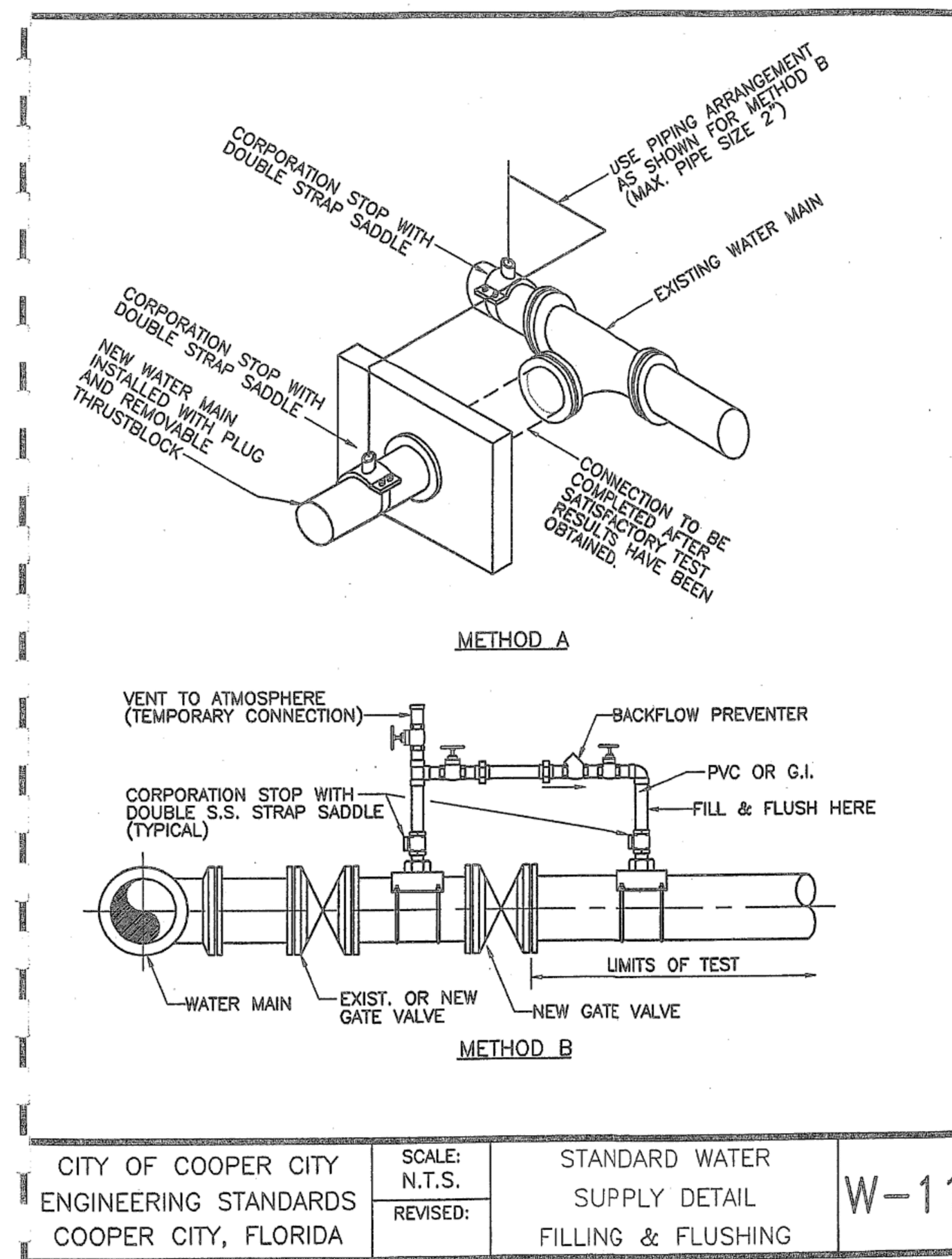


CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL UTILITY CROSSING FITTING TYPE

W-10

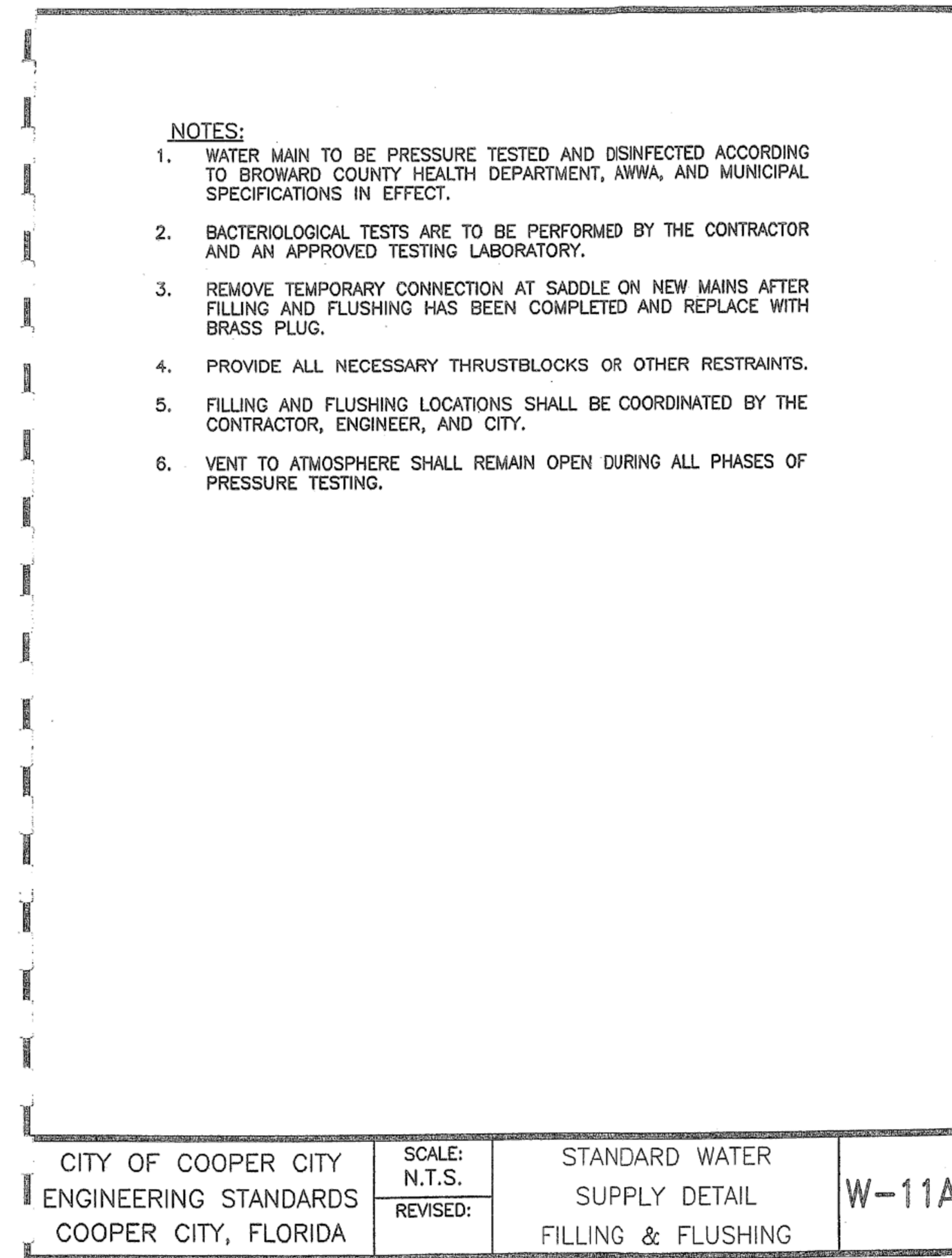


CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL FILLING & FLUSHING

W-11



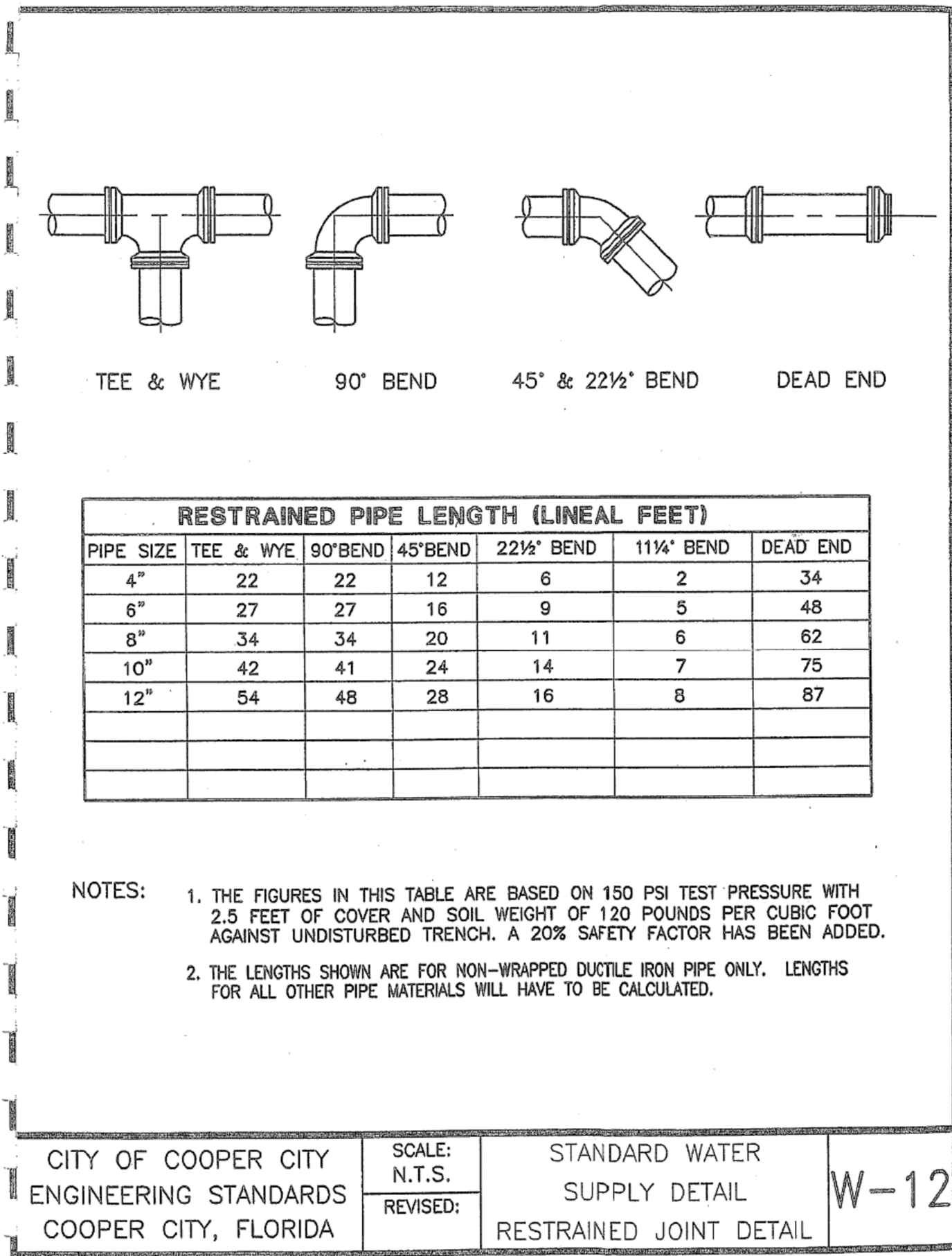
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL FILLING & FLUSHING

W-11A

Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

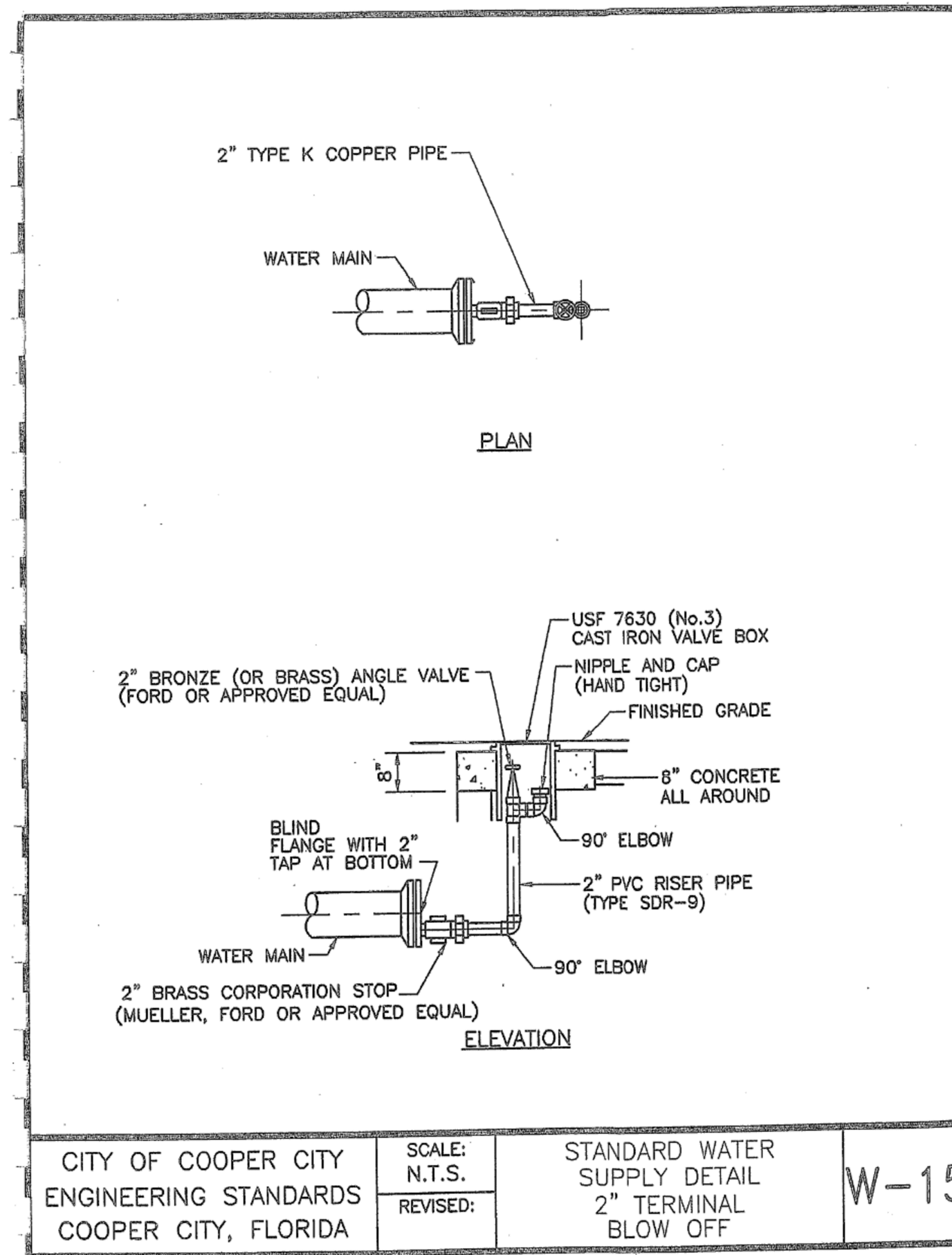
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STANDARD WATER SUPPLY DETAIL RESTRAINED JOINT DETAIL

W-12

Revised October 2022

Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

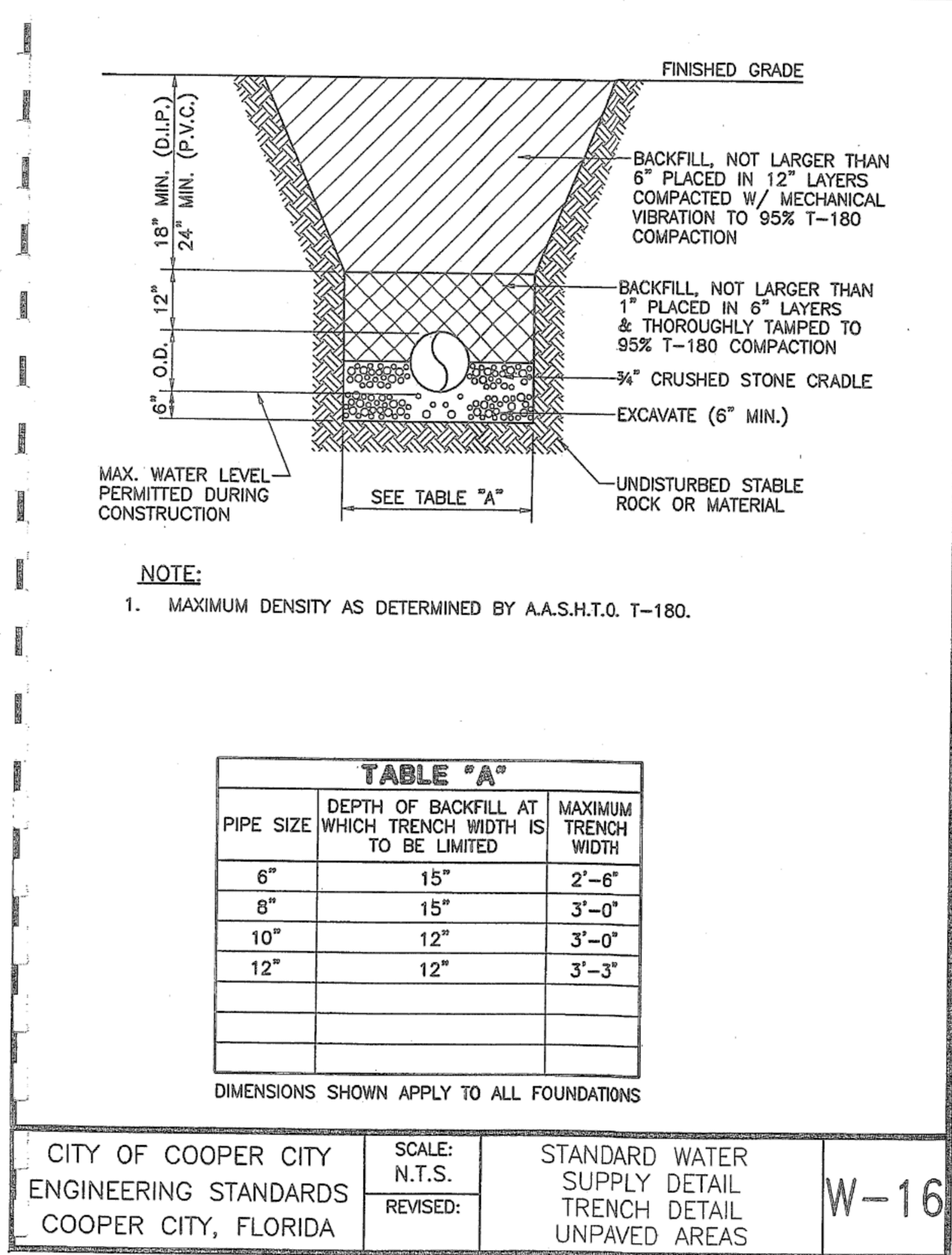
SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL 2" TERMINAL BLOW OFF

W-15

Revised October 2022

Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

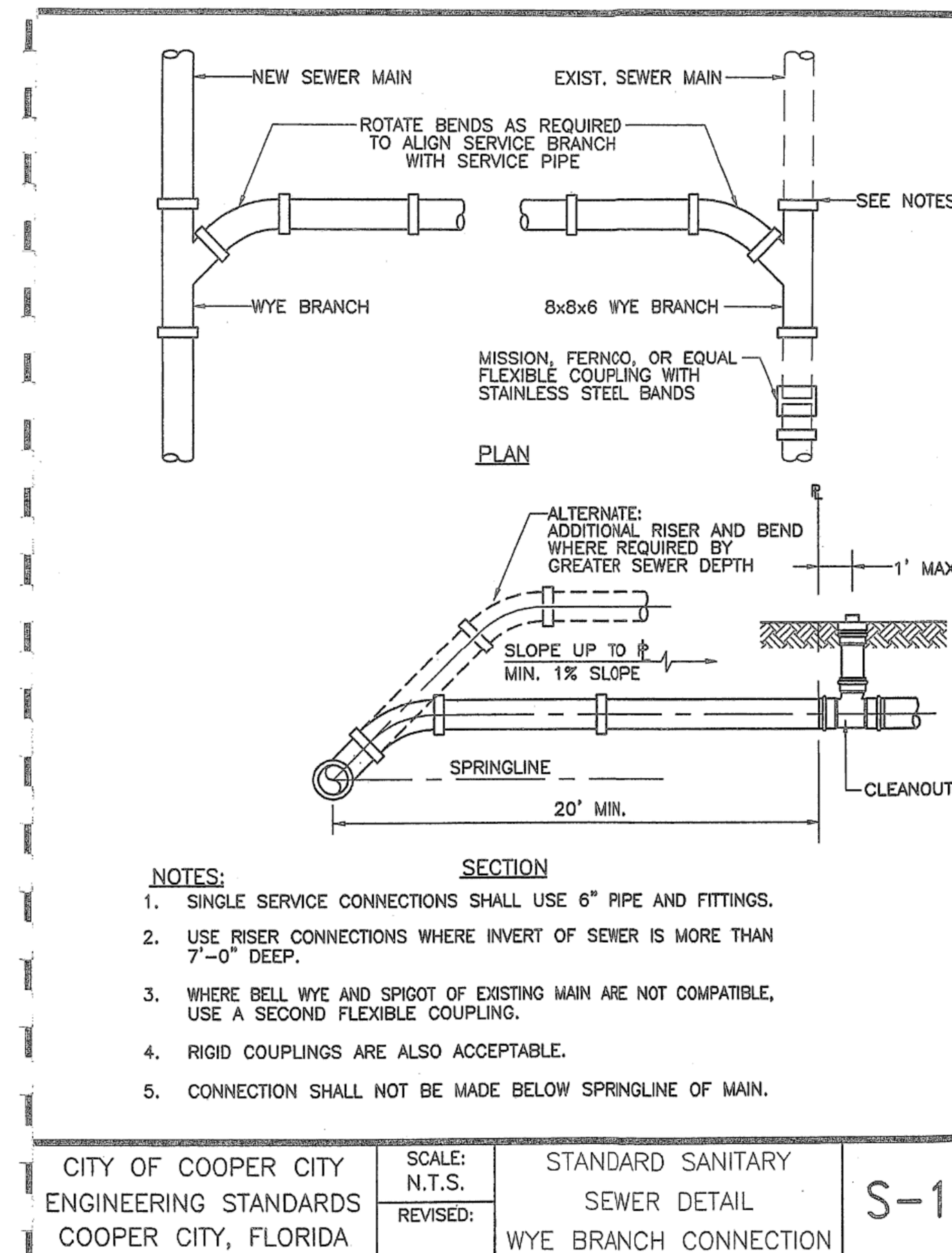
SCALE: N.T.S. REVISED:

STANDARD WATER SUPPLY DETAIL TRENCH DETAIL UNPAVED AREAS

W-16

Revised October 2022

Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA

SCALE: N.T.S. REVISED:

STANDARD SANITARY SEWER DETAIL WYE BRANCH CONNECTION

S-1

Revised October 2022

Revised October 2022

February 21, 2024 6:26:11 PM - 11921 NW 23rd Street, Pembroke Pines, FL 33026 - 305-535-5885 - LB 36416

NO.	DATE	DESCRIPTION	BY

COOPER CITY  
STANDARD DETAILS

GRIFIN 106  
SUBDIVISION  
CC HOMES AT  
COOPER CITY, LLC

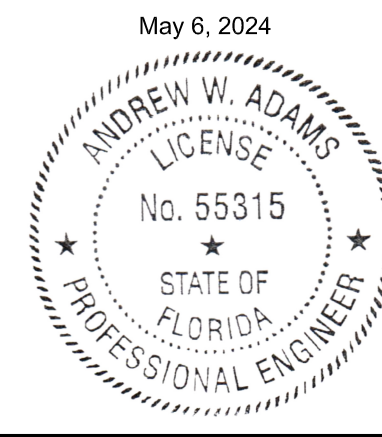
11921 NW 23rd STREET  
PEMBROKE PINES, FL 33026  
(305) 535-5885 - LB 36416

**WCE**  
WHITMORE  
CONSULTING  
ENGINEERS

SEAL

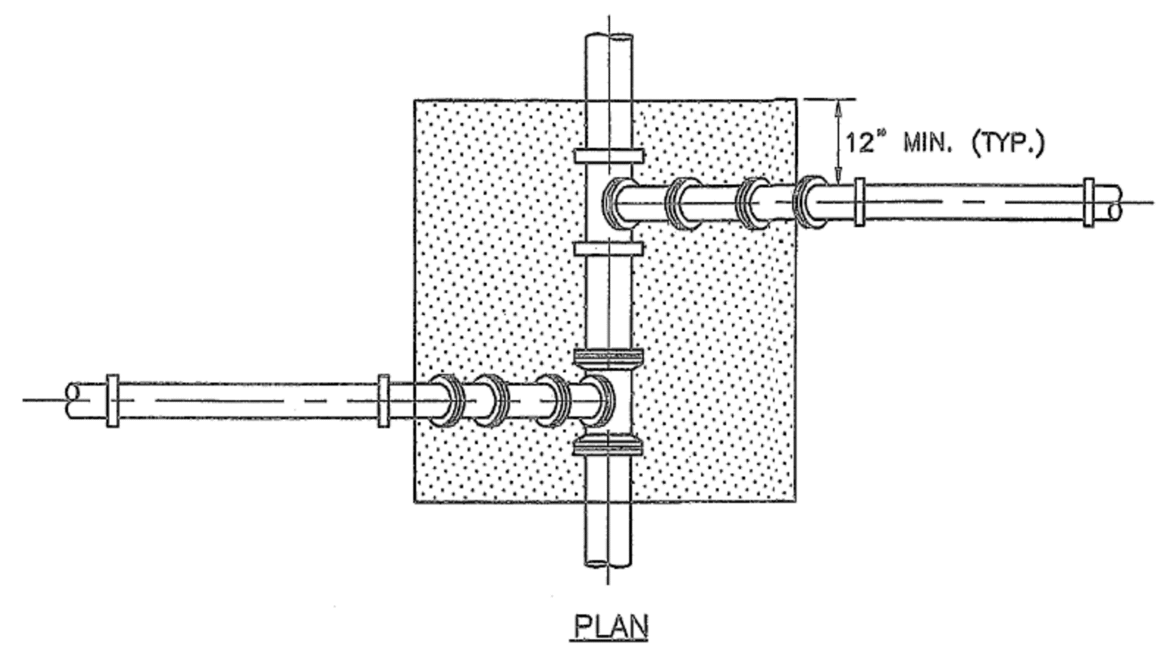
ANDREW W. ADAMS  
REGISTERED ENGINEER #55315  
STATE OF FLORIDA

DESIGNED: AWA  
DRAWN: AWA  
CHECKED: AWA  
SCALE: AS NOTED  
DATE: 08/30/2023  
PROJ. NO.  
2306A  
SHEET  
C-27  
OF 33 SHEETS



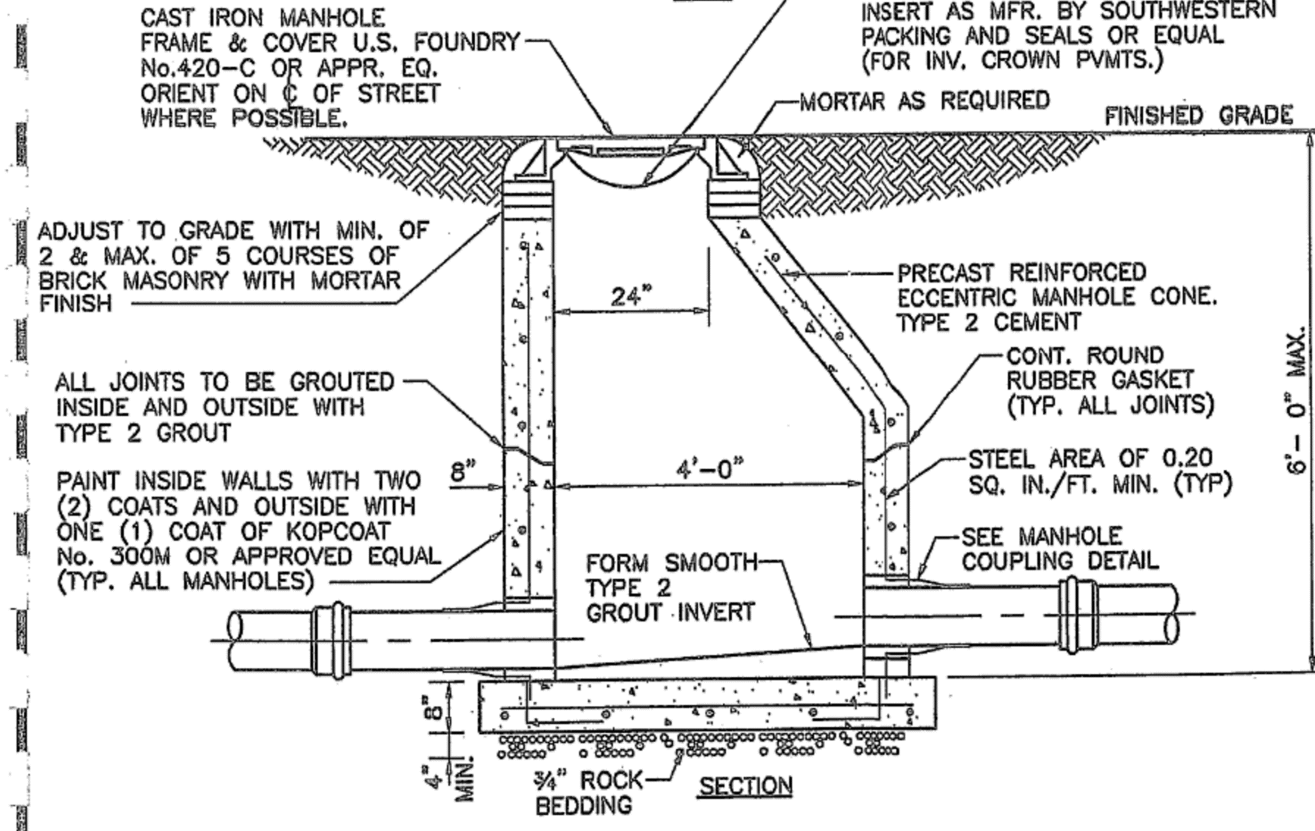
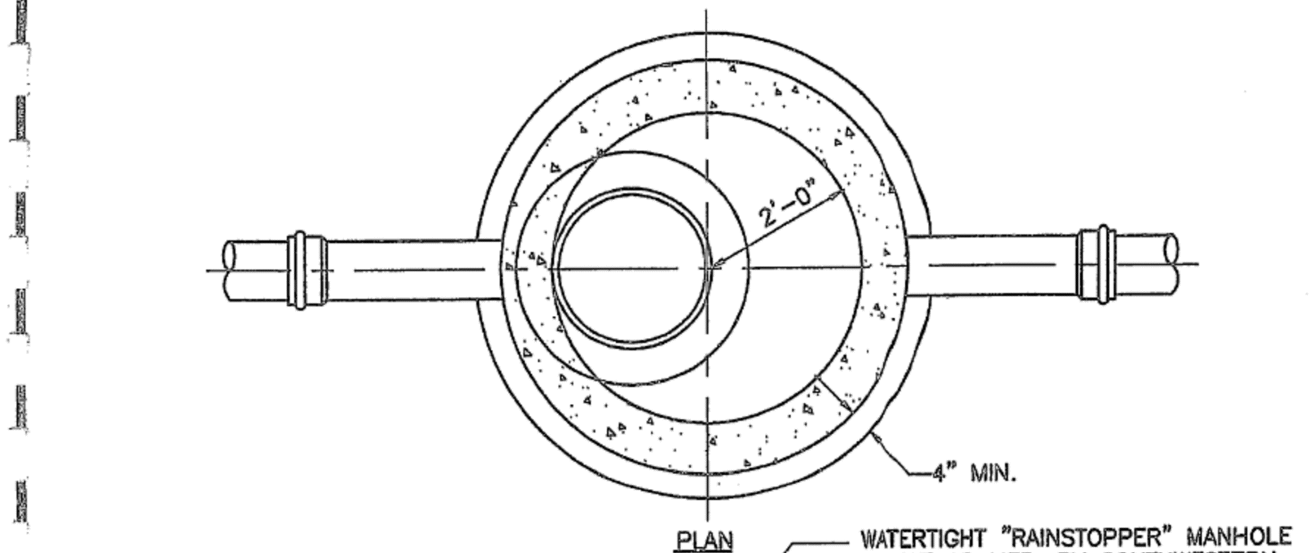
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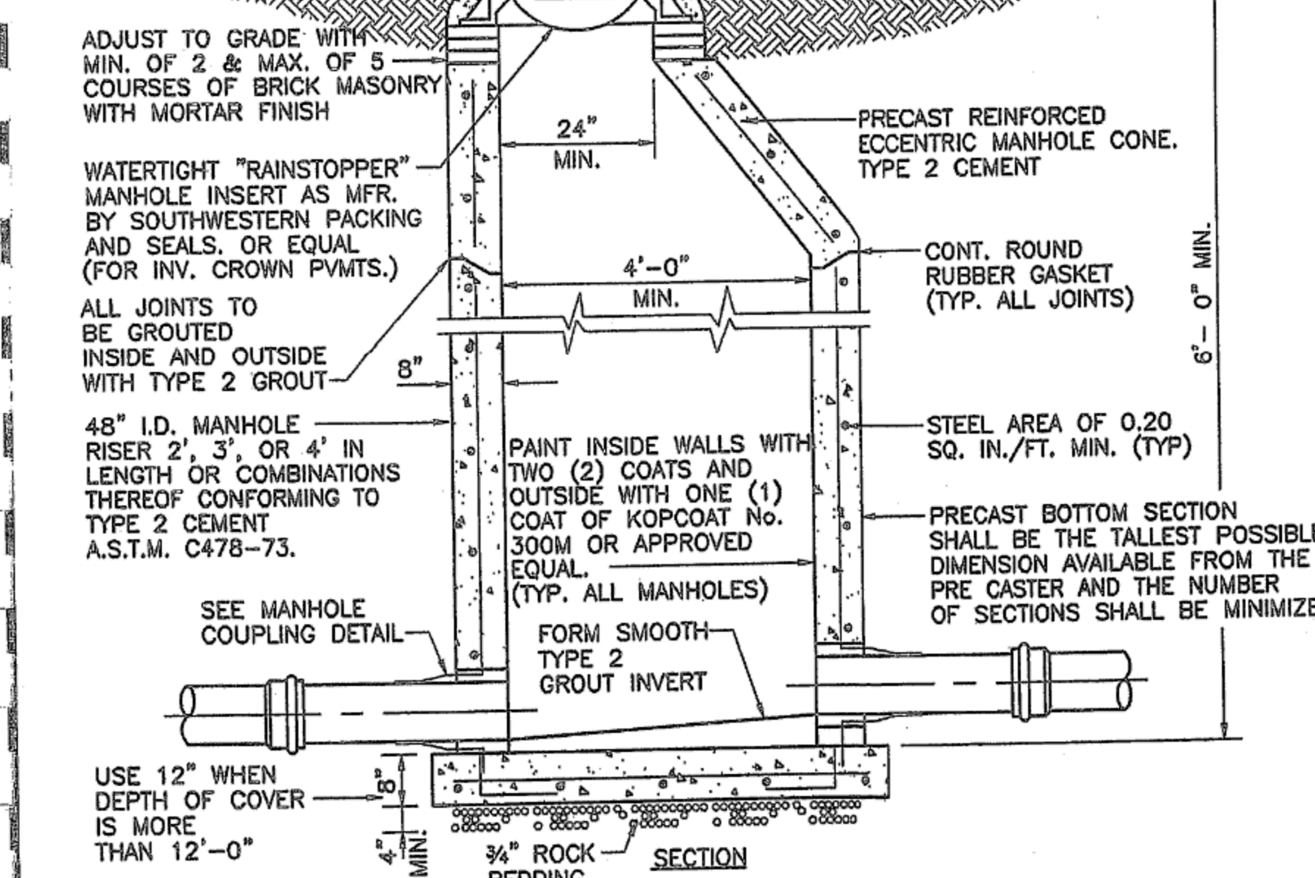
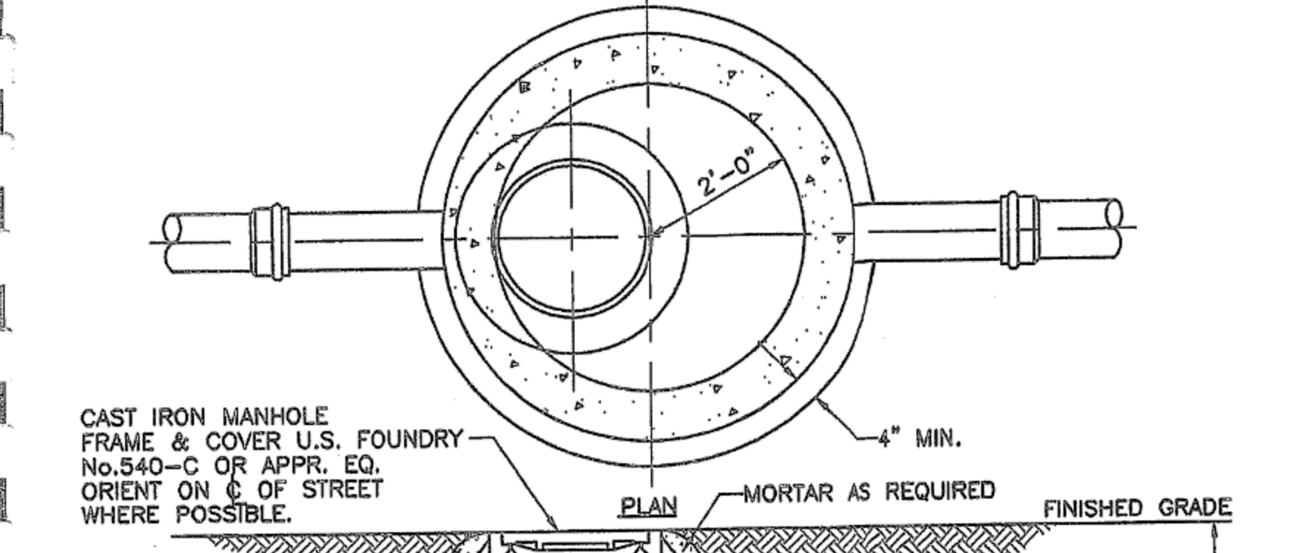


- NOTES:**
1. MODIFIED RISER CONNECTION TO BE USED ONLY WHEN DIRECTED BY ENGINEER.
  2. 1/2" DRAINFIELD LIMEROCK SHALL BE USED AS BEDDING OVER UNDISTURBED SOIL, FOR P.V.C. PIPE, AT WYE CONNECTION TO MAIN.

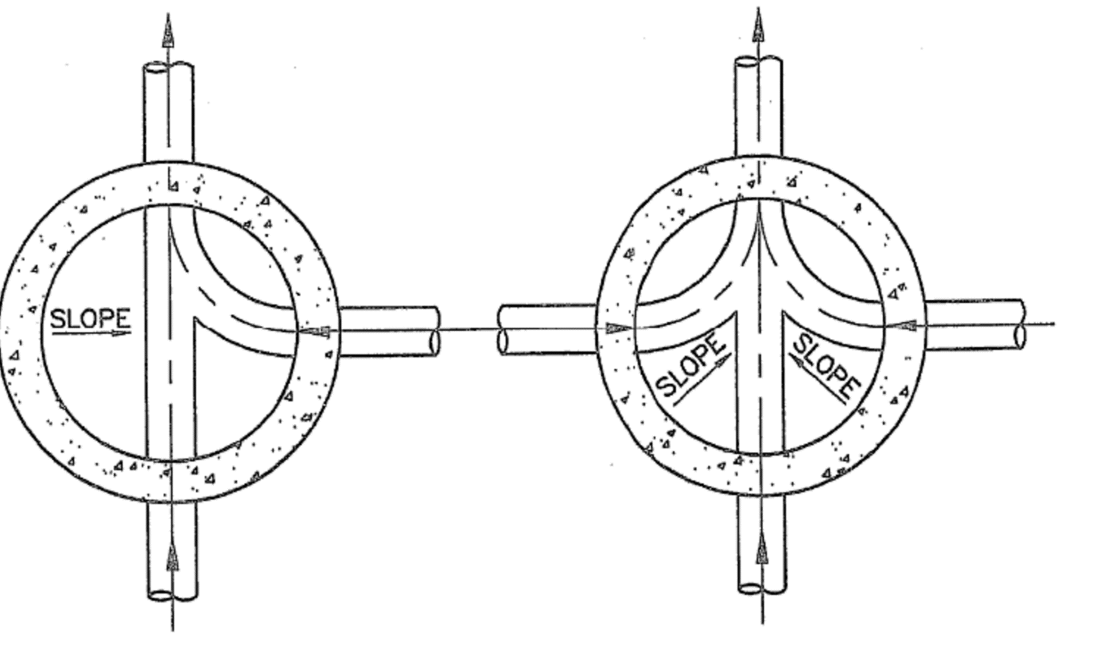
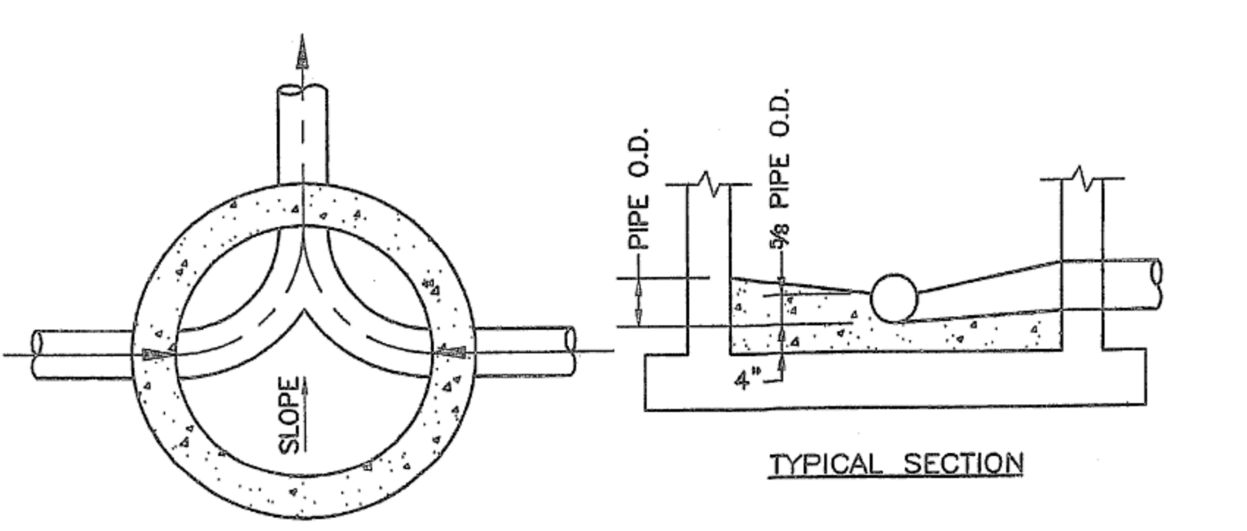
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL ALT. RISER CONNECTION (7" OR DEEPER)	S-2
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CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL SHALLOW MANHOLE (6'-0" DEPTH & UNDER)	S-4
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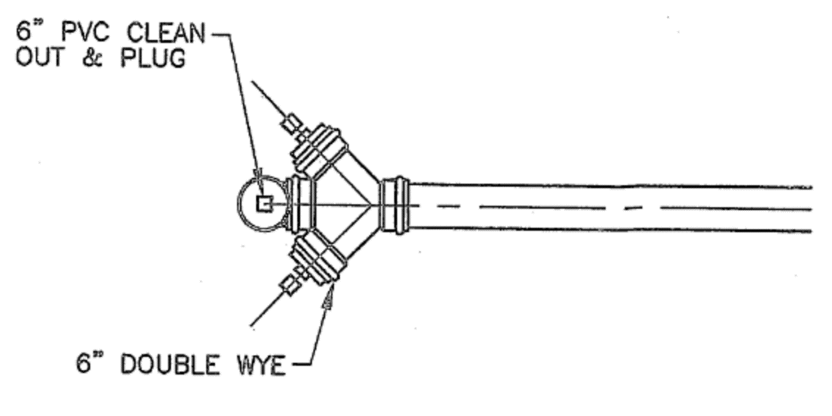
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL ECCENTRIC MANHOLE (6'-0" DEPTH & GREATER)	S-6
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- NOTES:**
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
  2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
  3. CHANNELS TO BE FORMED IN ALL MANHOLES TO ACCEPT T.V. CAMERA.
  4. WHEN DIRECTIONAL CHANNELS EXCEEDING 45° OCCUR, AN EXTRA FLOW LINE ELEVATION DROP OF 0.05" ACROSS MANHOLE SHALL BE PROVIDED.

CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL MANHOLE FLOW CHANNELS	S-7
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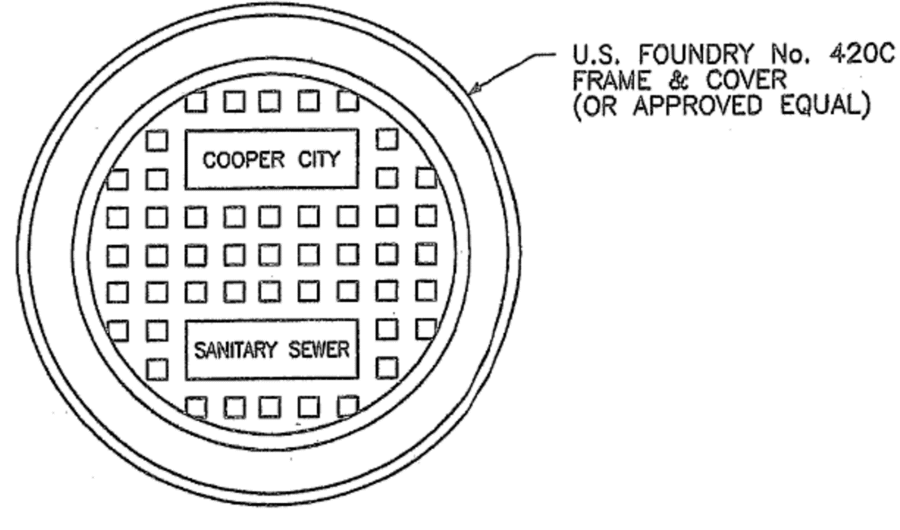
Revised October 2022



- NOTES:**
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
  2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS MORE THAN 7'-0" DEEP.
  3. WHERE BELL WYE AND SPOOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.
  4. RIGID COUPLINGS ARE ALSO ACCEPTABLE.
  5. CONNECTION SHALL NOT BE MADE BELOW SPRINGLINE OF MAIN.

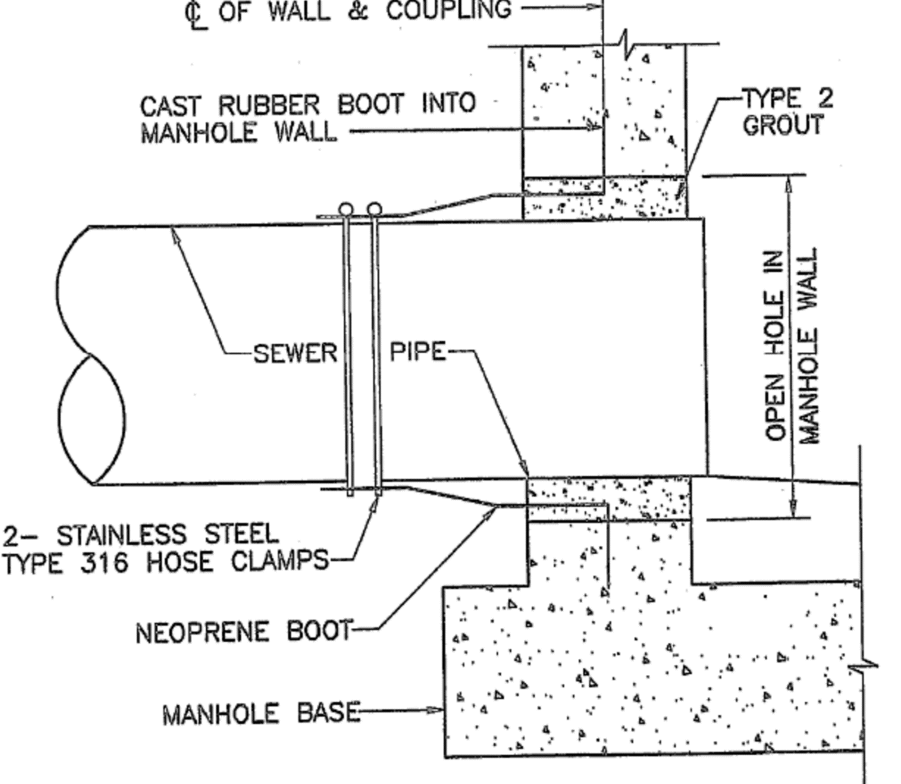
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL RESIDENTIAL WYE BRANCH CONNECTION	S-1A
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Revised October 2022



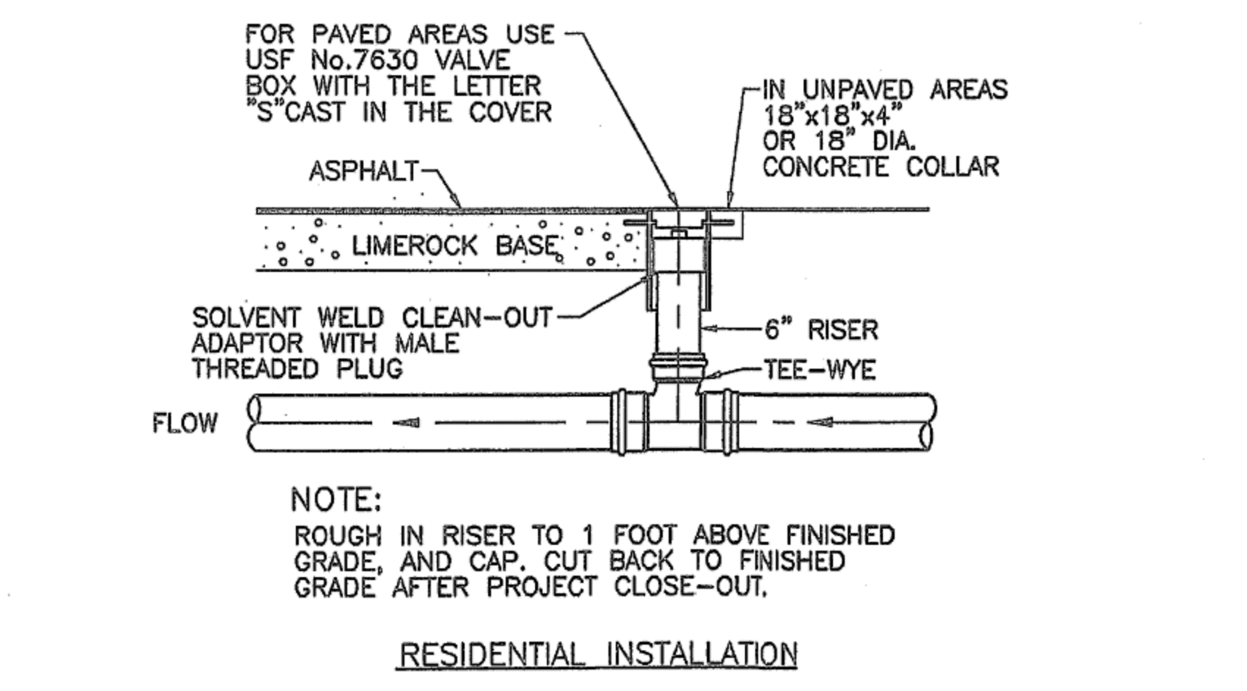
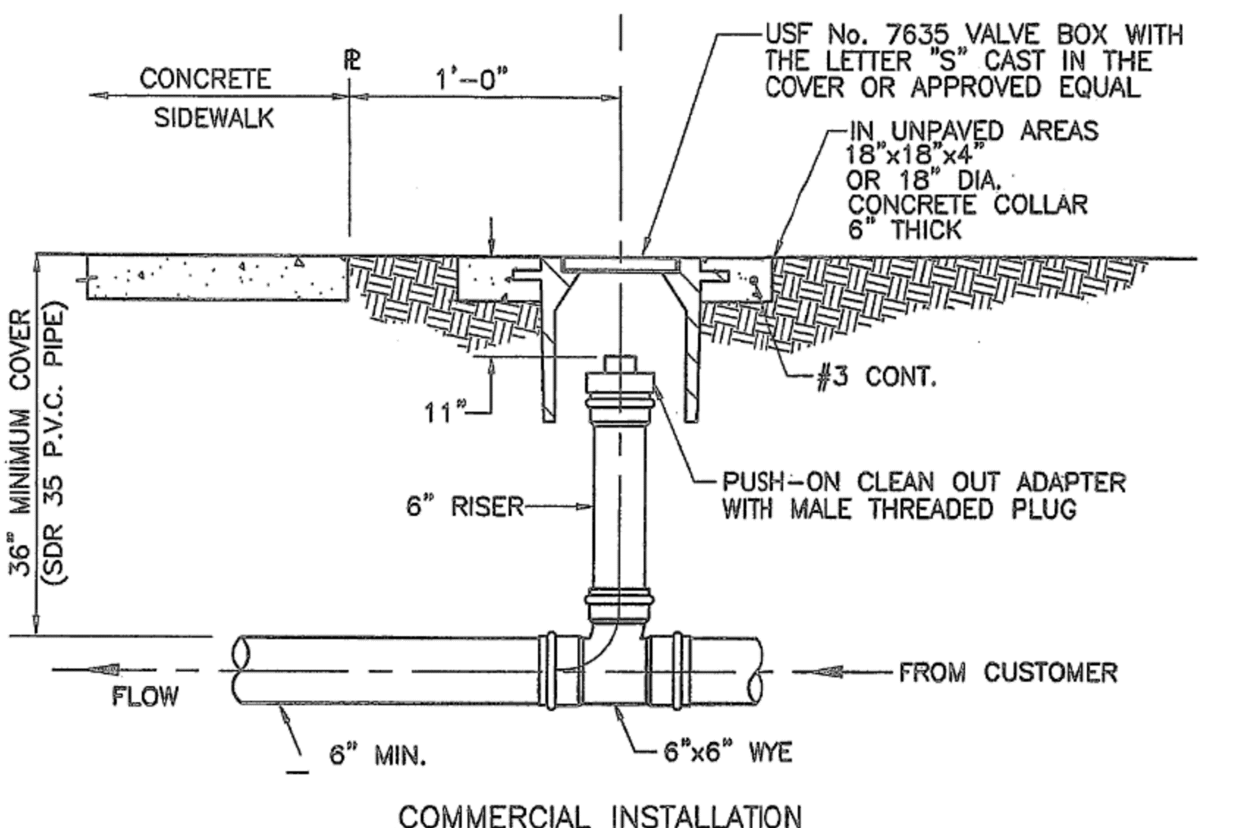
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL FRAME & COVER DETAIL	S-8
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Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL MANHOLE COUPLING DETAIL	S-9
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Revised October 2022



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD SANITARY SEWER DETAIL CLEANOUT	S-10
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Revised October 2022

Revised October 2022

Revised October 2022

Revised October 2022

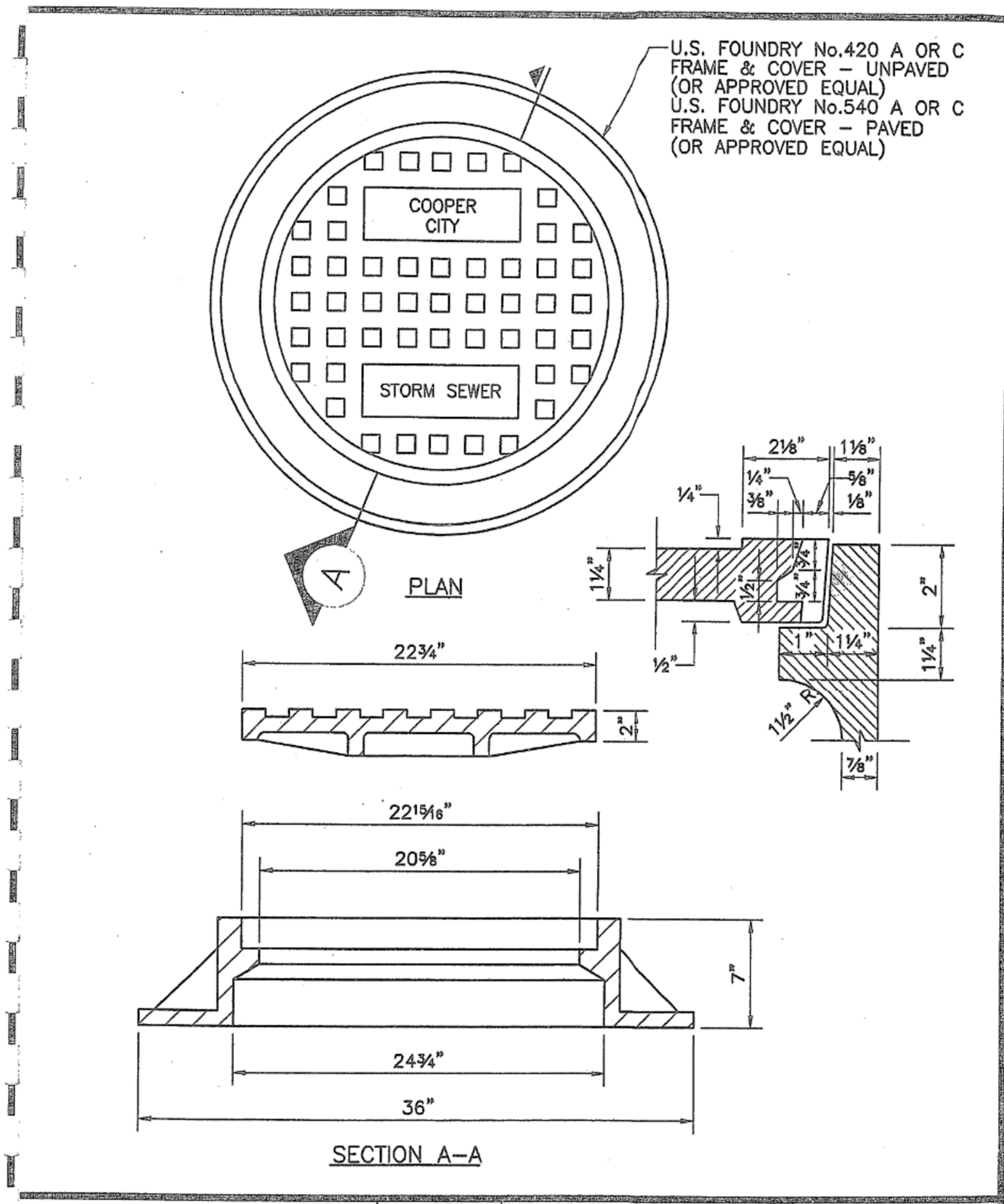
GRIFIN 106 SUBDIVISION CC HOMES AT COOPER CITY, LLC	COOPER CITY	STANDARD DETAILS
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	ANDREW W. ADAMS REGISTERED ENGINEER #53186 STATE OF FLORIDA	DESIGNED: AWA DRAWN: AWA CHECKED: AWA SCALE: AS NOTED DATE: 08/30/2023 PROJ. NO. 2306A SHEET C-28 OF 33 SHEETS



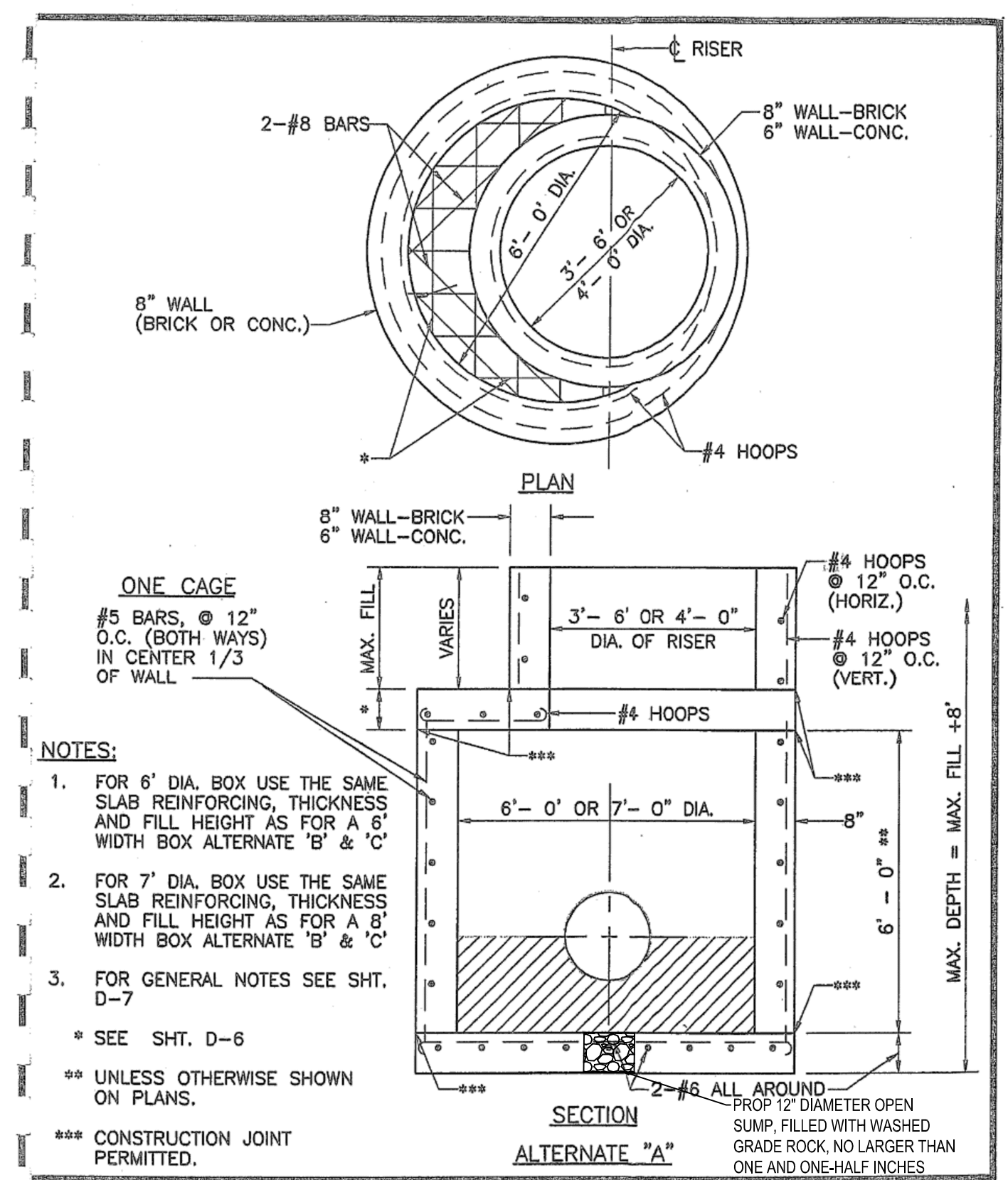
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February 21, 2024 6:26:08 PM - W:\Projects\2306A - Griffin 106\Drawings\2306A - Standard Details\2306A - Standard Details - R.dwg - Harrison P. Adams\Projects\2306A - Griffin 106\Drawings\2306A - Standard Details\2306A - Standard Details - R.dwg - SHEETS - R.dwg

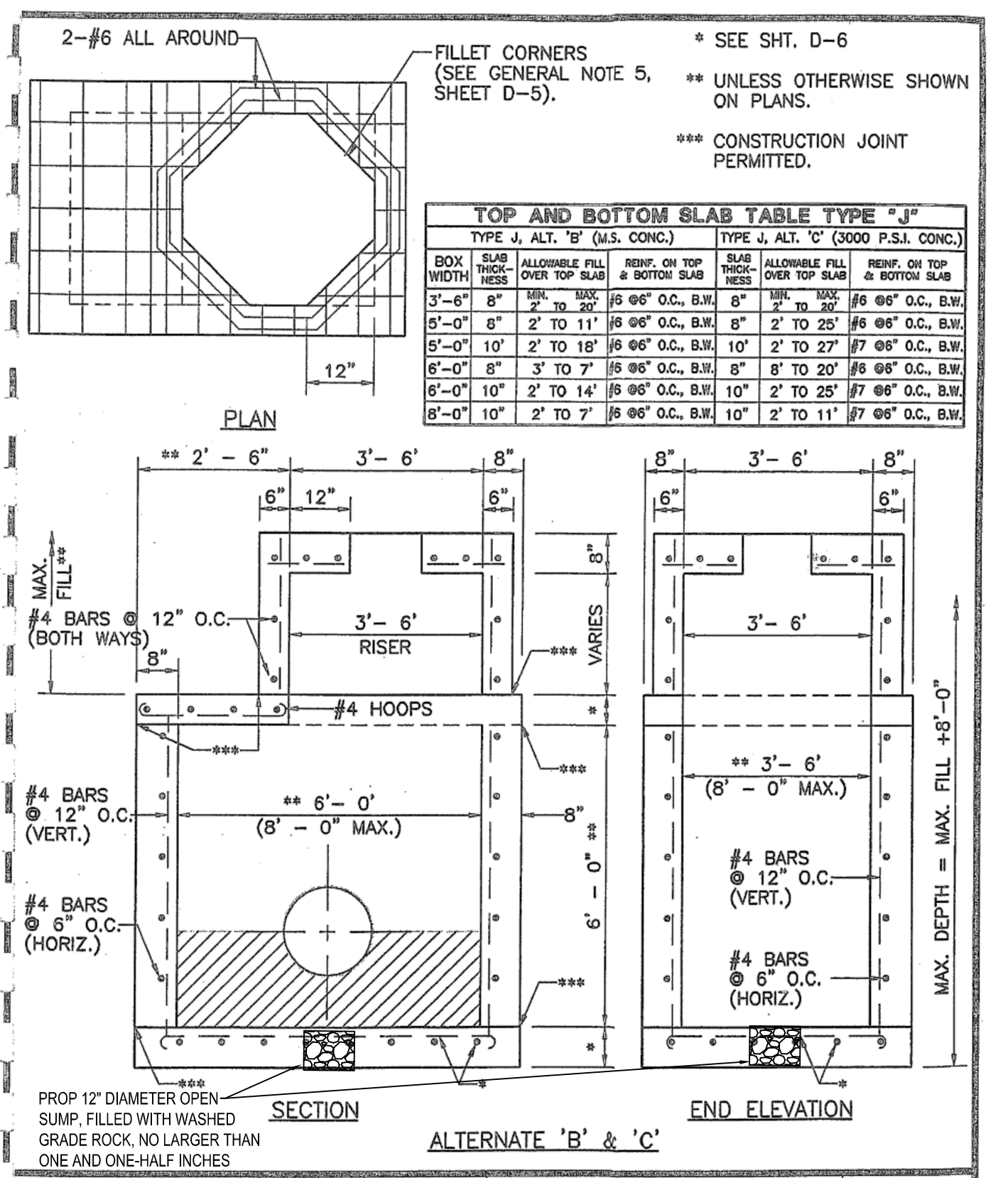




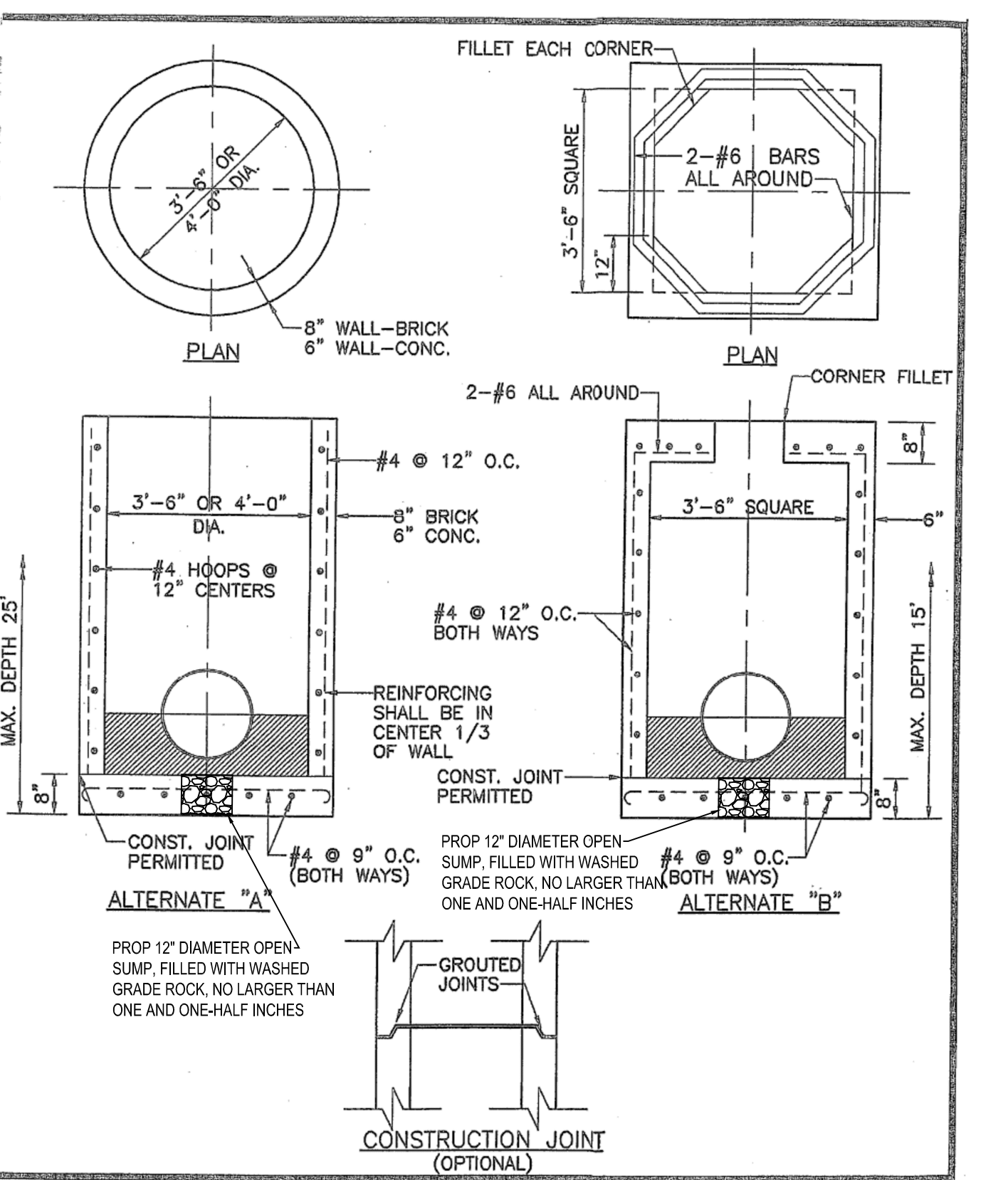
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL STORM SEWER MANHOLE FRAME AND COVER  
 D-1



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL INLET, MANHOLE & JUNCTION BOX (TYPE J)  
 D-2



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL INLET, MANHOLE & JUNCTION BOX (TYPE J)  
 D-3



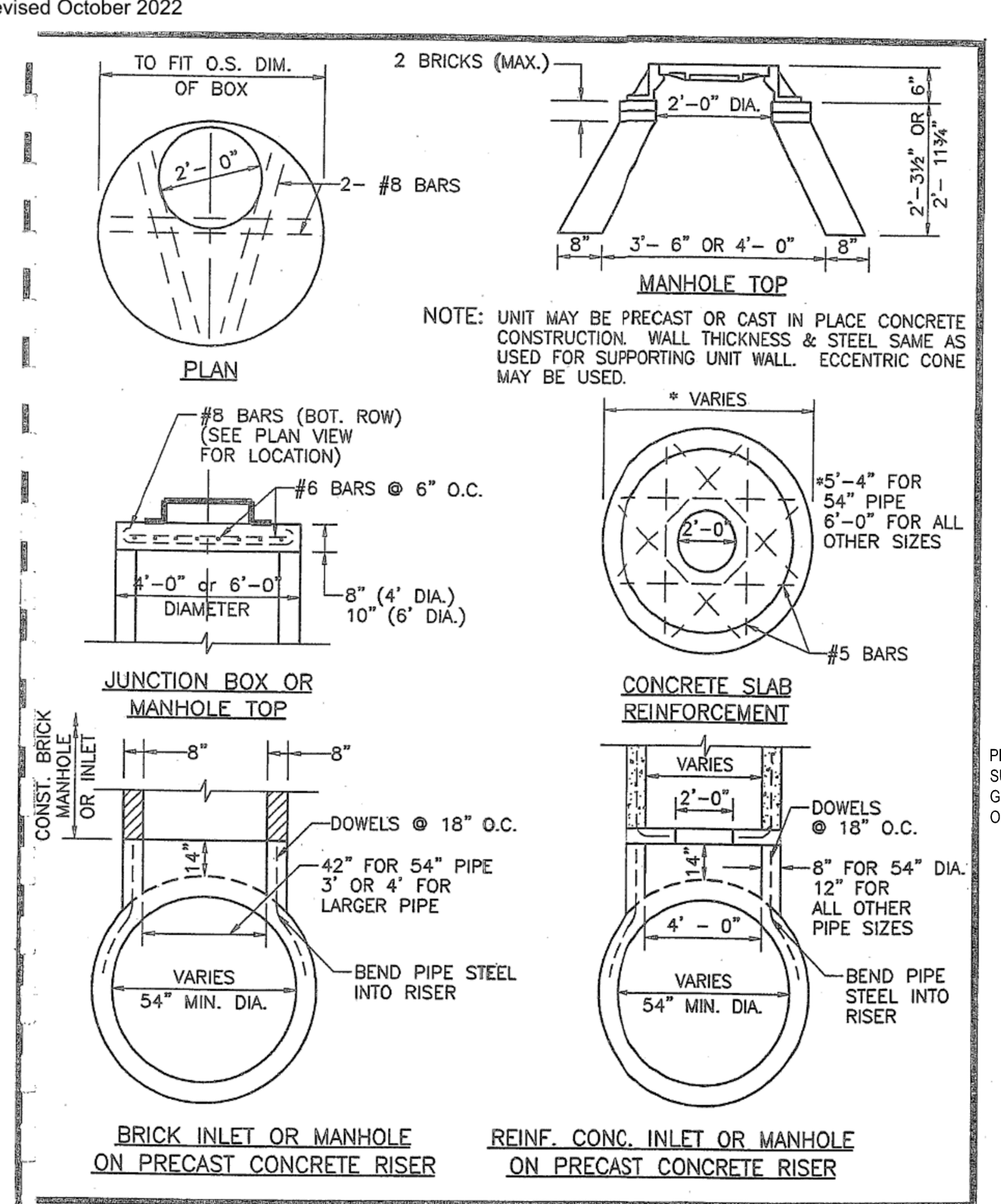
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL INLET, MANHOLE & JUNCTION BOX (TYPE P)  
 D-4

Revised October 2022

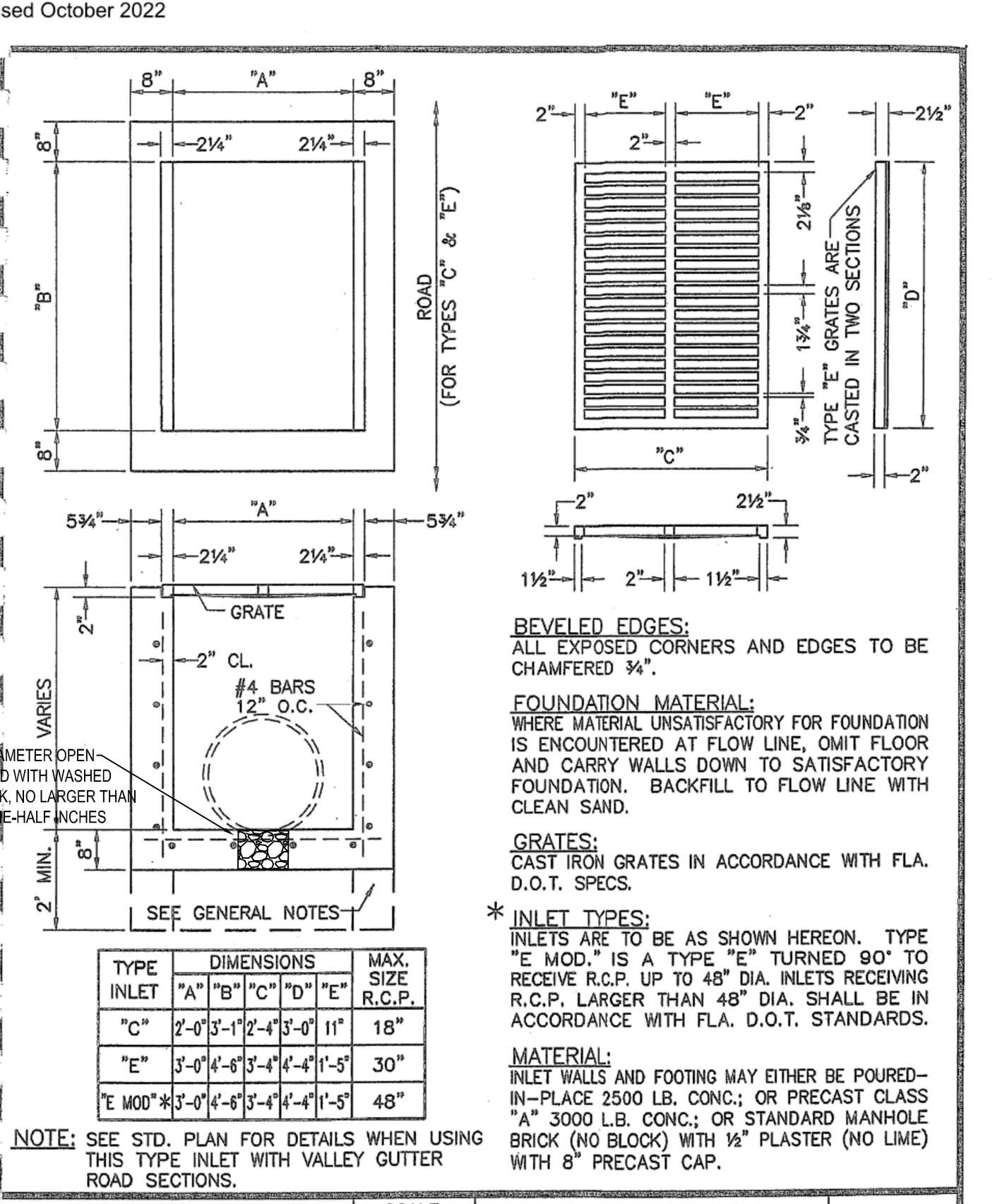
**GENERAL NOTES:**

- CIRCULAR STRUCTURES (ALTERNATES 'A') MAY BE CONSTRUCTED OF CONCRETE OR BRICK, BUT RECTANGULAR STRUCTURES (ALTERNATES 'B' & 'C') SHALL BE CONSTRUCTED OF CONCRETE ONLY. THE CONCRETE MAY BE CAST-IN-PLACE OR PRECAST.
- WALL REINFORCEMENT AND THICKNESS ARE FOR EITHER CAST-IN-PLACE OR PRECAST CONCRETE EXCEPT THAT FOR PRECAST CIRCULAR UNITS A.S.T.M. SPECIFICATIONS C-76, TABLE III, FOR 8 WALL REINFORCED CONCRETE PIPE OR PRECAST CIRCULAR UNITS IN ACCORDANCE WITH ASTM SPECIFICATION C-478 WILL BE ACCEPTABLE. TOP AND FLOOR SLAB THICKNESS AND REINFORCEMENT ARE FOR ALL TYPES OF CONSTRUCTION.
- PRECAST TOP AND/OR FLOOR SLABS MAY BE OF THE SAME CONCRETE AS SPECIFIED IN ASTM SPECIFICATIONS C-478 FOR PRECAST CIRCULAR UNITS.
- SMOOTH FLOW CHANNELS COMPOSED OF CONCRETE, OR BRICK AND MORTAR, SHALL BE CONSTRUCTED IN THE BOTTOMS OF ALL STRUCTURES TO A DEPTH EQUAL TO HALF THE DIAMETER OF THE LARGEST PIPE.
- CORNER FILLETS SHOWN FOR RECTANGULAR STRUCTURES ARE NECESSARY ONLY WHEN STRUCTURES ARE USED IN CONJUNCTION WITH CIRCULAR TOPS.
- STRUCTURES SHALL BE SECURED TO INLET THROATS, RISERS OR MANHOLE TOPS WITH A MINIMUM OF 6-NO. 4 BARS 12" LONG.
- ANY INLET, MANHOLE, OR JUNCTION BOX MAY BE USED IN CONJUNCTION WITH ANY INLET THROAT OR MANHOLE TOP.
- MORTAR USED TO SEAL THE PIPE IN THE WALLS OF THE PRECAST UNITS SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNITS. MAXIMUM OPENING FOR PIPE SHALL BE MAXIMUM REQUIRED O.D. + 6".
- THE OUTSIDE OF BRICK WALLS SHALL BE PLASTERED WITH 1:2 CEMENT MORTAR.

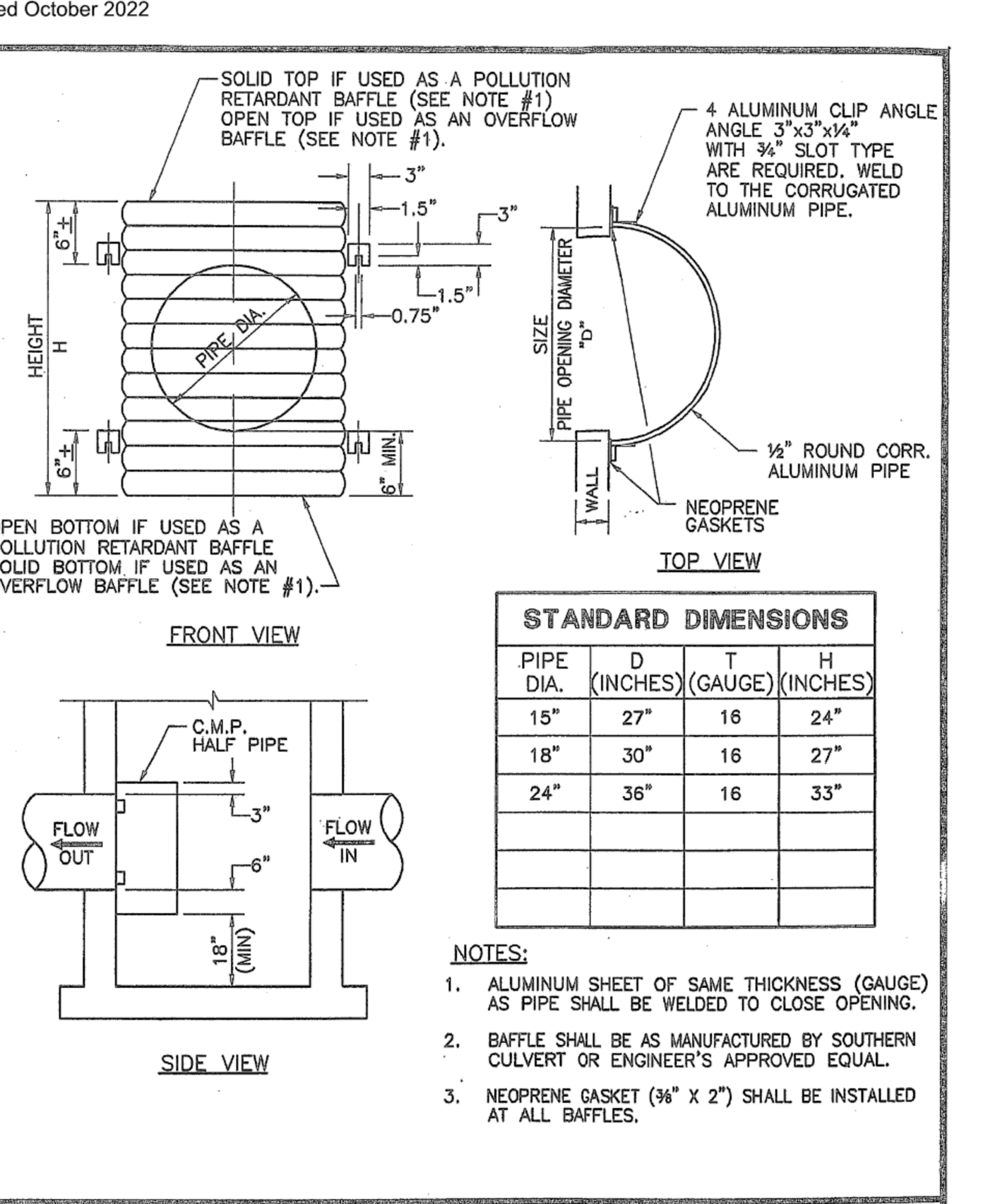
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL INLET, MANHOLE, & JUNCT. BOX (TYPES P & J)  
 D-5



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL JUNCT. BOX, MANHOLE TOP & PRECAST CONC. RISER  
 D-6



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL STORM SEWER INLETS  
 D-7



CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA  
 SCALE: N.T.S. REVISED:  
 STANDARD STORM DRAINAGE DETAIL POLLUTION RETARDANT BAFFLE  
 D-9

Revised October 2022

Revised October 2022

Revised October 2022

Revised October 2022

WHITMORE CONSULTING ENGINEERS

11921 NW 23rd STREET  
 PEMBROKE PINES, FL 33026  
 (305) 338-5885 - LB 36416

GRiffin 106 SUBDIVISION  
 CC HOMES AT COOPER CITY, LLC

COOPER CITY  
 STANDARD DETAILS

C-29  
 OF 33 SHEETS

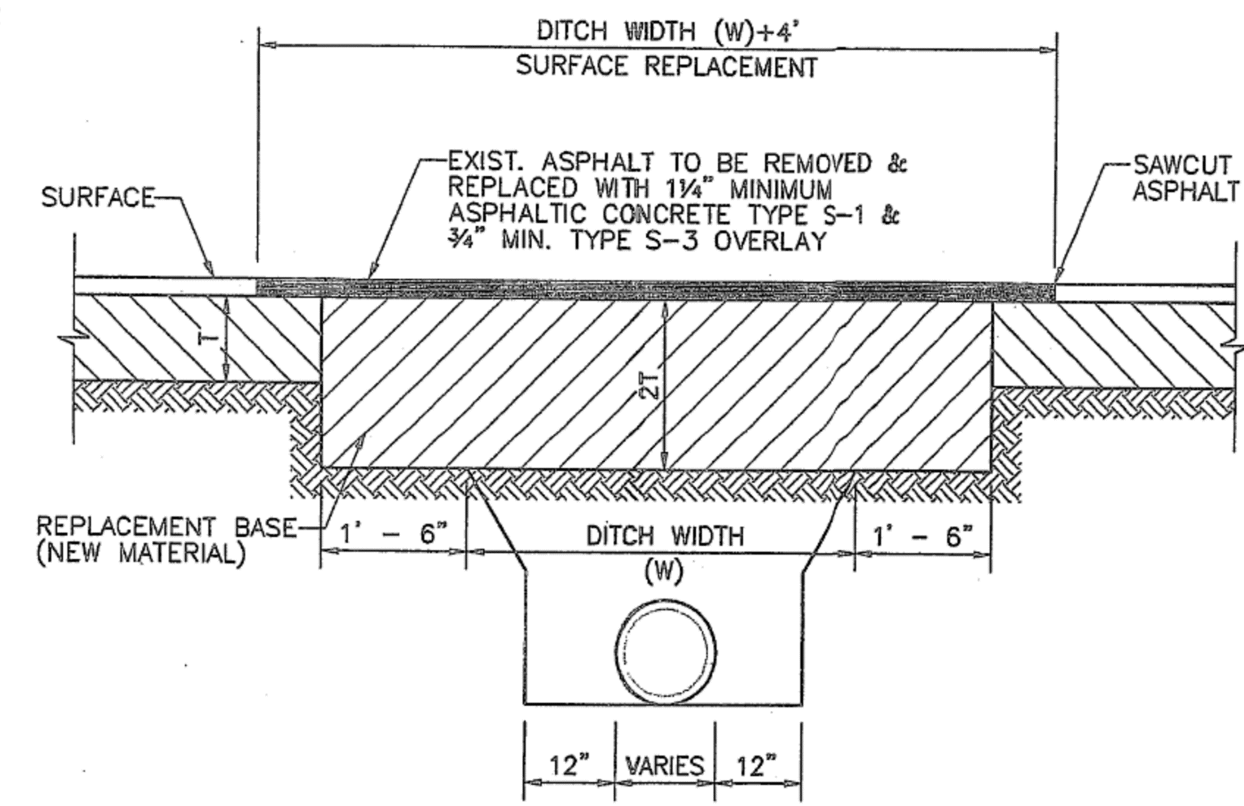
ANDREW W. ADAMS  
 REGISTERED ENGINEER #6319  
 STATE OF FLORIDA

DESIGNED: AWA  
 DRAWN: AWA  
 CHECKED: AWA  
 SCALE: AS NOTED  
 DATE: 08/30/2023  
 PROJ. NO. 2306A  
 SHEET



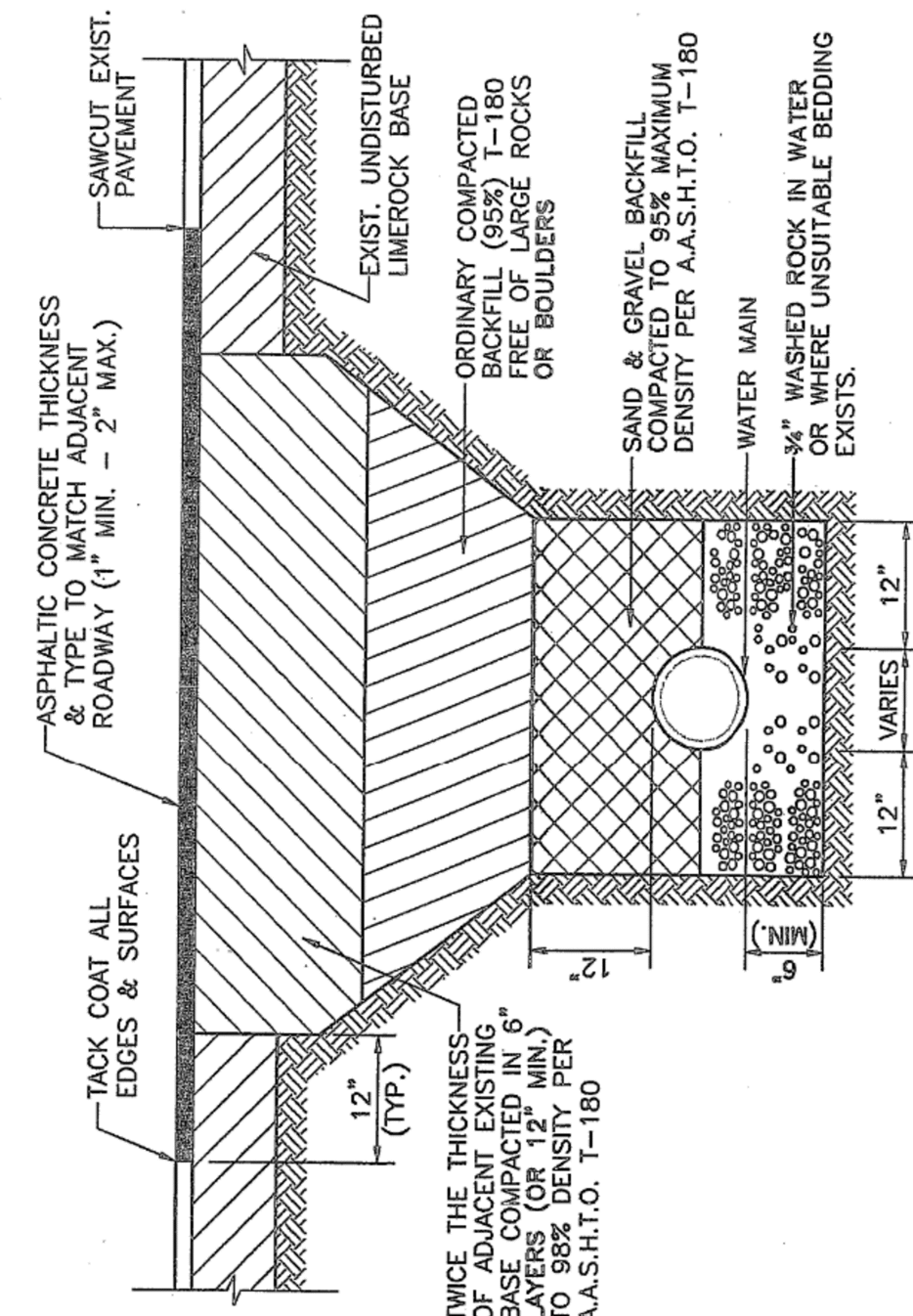




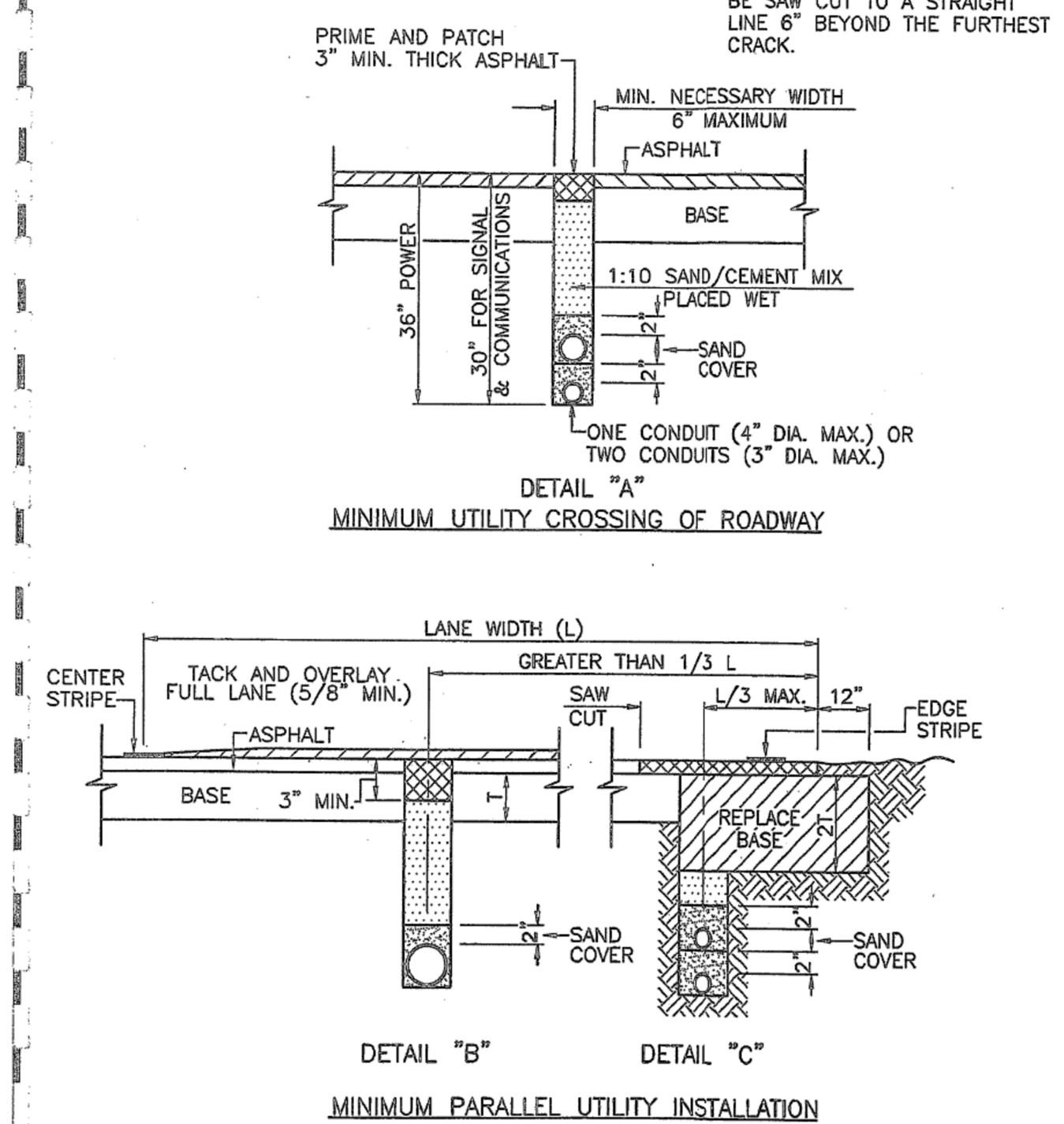


- NOTES:**
1. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. (6" MIN. & 18" MAX.)
  2. BASE MATERIAL SHALL BE PLACED IN 6" LAYERS AND EACH LAYER COMPACTED TO 98% DENSITY PER A.A.S.H.T.O. T-180.
  3. SUBGRADE MATERIAL SHALL BE PLACED IN A 12" LAYER AND COMPACTED TO 95% DENSITY PER A.A.S.H.T.O. T-180.
  4. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
  5. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE CONTENT OF 70% (60% FOR LOCAL STREETS).
  6. IF THE DITCH IS FILLED TEMPORARILY, IT SHALL BE COVERED WITH A 2" THICK ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING, UNTIL PLACED WITH A PERMANENT PATCH.

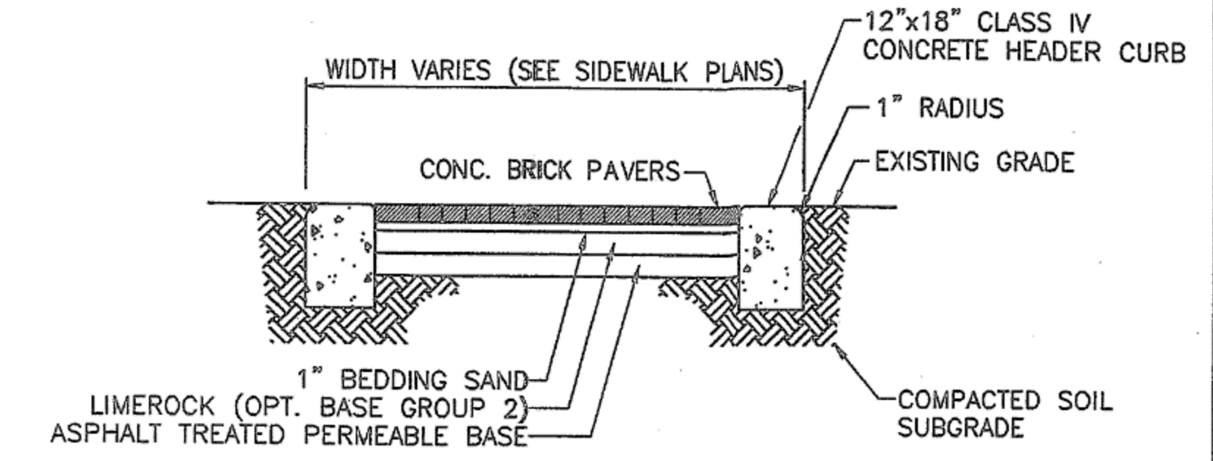
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD ROAD DETAIL PAVEMENT RESTORATION PERPENDICULAR CROSSING	R-15
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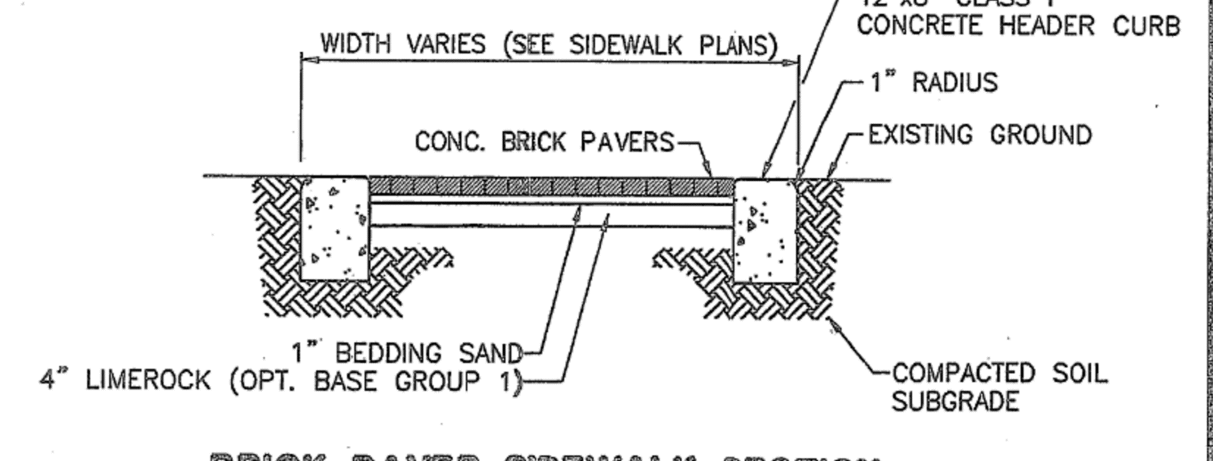
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD ROAD DETAIL PAVEMENT RESTORATION LOCAL ROADS-WATER MAIN	R-17
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CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD ROAD DETAIL PAVEMENT RESTORATION FOR DIRECT BURIAL CABLE OR CONDUIT	R-18
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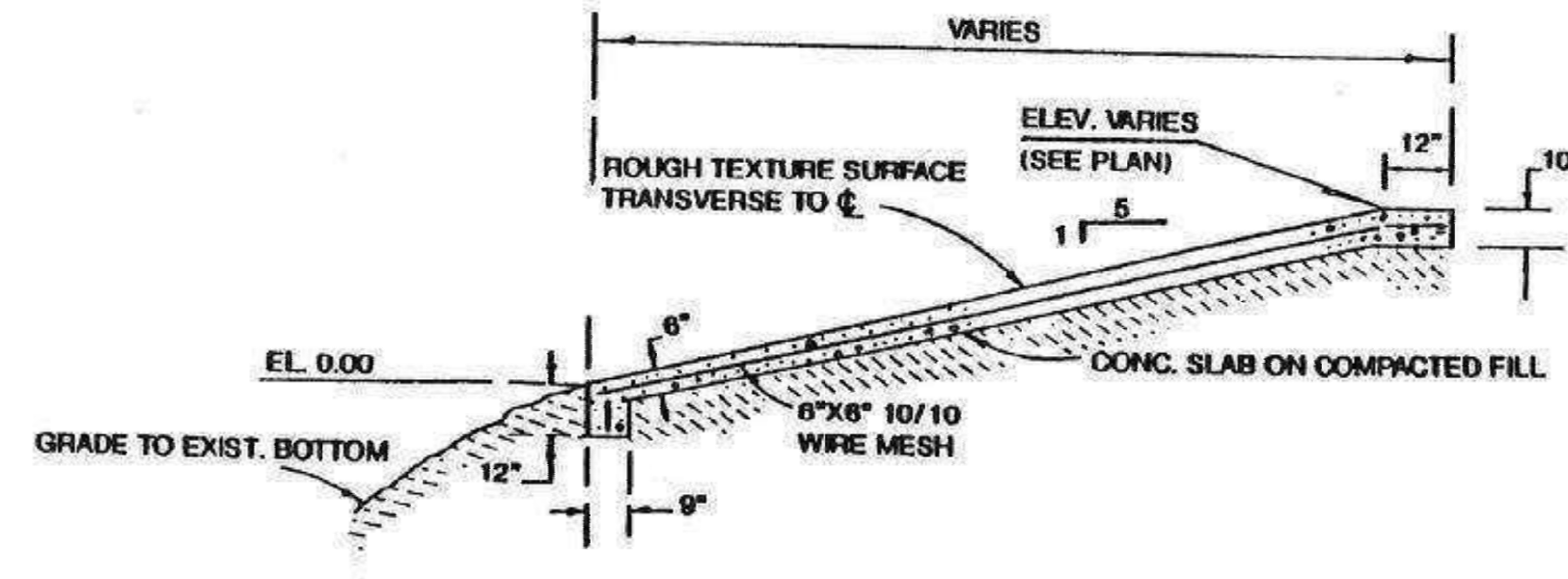


- BRICK PAVER CROSSWALK SECTION**
- NOTES:**
1. BEDDING SAND TO CONFORM TO ASTM C 33 COMMONLY KNOWN AS MANUFACTURED CONCRETE SAND. DO NOT USE MASONRY SAND.
  2. PROVIDE 1/4" WIDE x 1/4" DEEP SAWS CONTRACTION JOINTS AT 10' CENTERS (MAX.) NO LATER THAN 12 HOURS AFTER THE CONCRETE TAKES INITIAL SET. COMPARABLE TOOLED JOINTS MAY BE PROVIDED IN LIEU OF SAWS JOINTS.



- BRICK PAVER SIDEWALK SECTION**
- NOTES:**
1. BEDDING SAND TO CONFORM TO ASTM C 33 COMMONLY KNOWN AS MANUFACTURED CONCRETE SAND. DO NOT USE MASONRY SAND.
  2. THIS SIDEWALK SECTION IS FOR THE NON-VEHICULAR SIDEWALK AREAS ONLY.
  3. PROVIDE 1/4" WIDE x 1/4" DEEP SAWS CONTRACTION JOINTS IN CONCRETE AT 10' CENTERS (MAX.) NO LATER THAN 12 HOURS AFTER INITIAL SET. COMPARABLE TOOLED JOINTS MAY BE PROVIDED IN LIEU OF SAWS JOINTS.

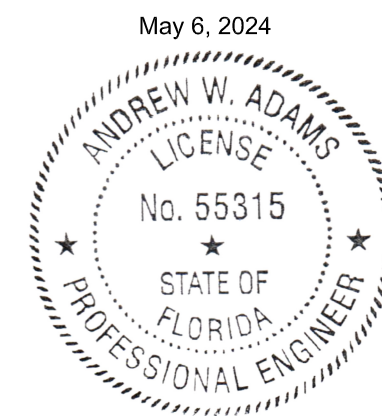
CITY OF COOPER CITY ENGINEERING STANDARDS COOPER CITY, FLORIDA	SCALE: N.T.S. REVISED:	STANDARD DETAIL BRICK PAVERS	R-22
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**BOAT RAMP DETAIL**  
NTS

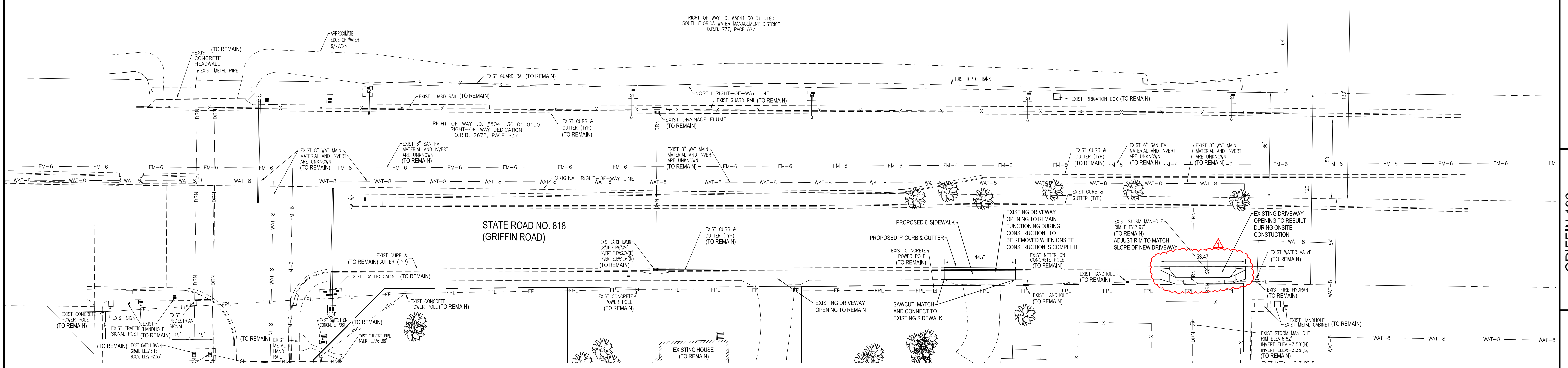
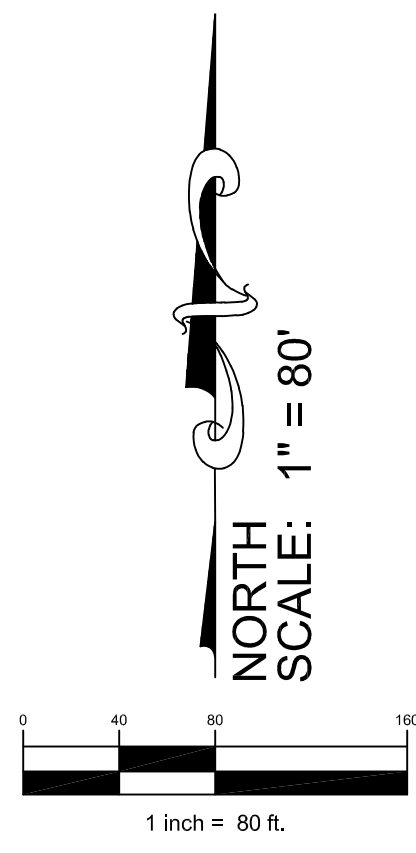
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W. ADAMS, P.E. ON THE DATE ADJACENT  
TO THE SEAL.  
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GRiffin 106 SUBDIVISION CC HOMES AT COOPER CITY, LLC	COOPER CITY	STANDARD DETAILS	NO. DATE	DESCRIPTION	BY APP
11921 NW 23rd STREET Pembroke Pines, FL 33026 WHITMORE CONSULTING ENGINEERS (305) 339-5885 - LB 36416					
SEAL					
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA					
DESIGNED: AWA					
DRAWN: AWA					
CHECKED: AWA					
SCALE: AS NOTED					
DATE: 08/30/2023					
PROJ. NO. 2306A					
SHEET C-31 OF 33 SHEETS					





**DEMOLITION NOTES**

- CONTRACTOR IS FOLLOW ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- ALL EXISTING UTILITIES TO BE REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
- CONTRACTOR SHALL MAINTAIN COPIES OF ALL PERMITS AND APPROVALS ON SITE AND AVAILABLE FOR REVIEW.
- CONTRACTOR SHALL INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
- THE EXISTING FPL TRANSMISSION LINES AND EXISTING FUEL LINE ARE TO REMAIN UNDISTURBED. THESE LINES ARE TO BE PROTECTED AND BE MAINTAINED IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- CONTRACTOR IS TO CONTACT THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANYTIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL VILLAGE, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. ALL DEBRIS SHALL BE DISPOSED OFFSITE AT A LICENSED DISPOSAL FACILITY.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ANY UNDERGROUND STRUCTURES FOUND ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- SITE TO BE COMPACTED AND LEFT GRADED LEVEL.
- EXISTING OVERHEAD ELECTRIC AND TRANSFORMERS TO BE REMOVED BY FPL.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW W. ADAMS, P.E., ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



BY APP	
DESCRIPTION	
NO.	DATE
3	03/08/24
PER FOOT ACCESS REVIEW COMMENTS	
GRIFFIN 106 SUBDIVISION	
CC HOMES AT COOPER CITY, LLC	
11921 NW 23rd STREET PEMBROKE PINES, FL 33026 (305) 339-5885 - LB 36416	
WCE WHITMORE CONSULTING ENGINEERS	
SEAL	
ANDREW W. ADAMS REGISTERED ENGINEER #55315 STATE OF FLORIDA	
DESIGNED: AWA	
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SHEET	
C-32	
OF 33 SHEETS	
FDOT RW DEMOLITION PLAN	

March 08, 2024 9:14:51 AM  
 PROJECT: GRIFIN 106 SUBDIVISION  
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