

1 REAR ELEVATION (WEST)  
1/4" = 1'-0"



2 DRIVE THRU ELEVATION (SOUTH)  
1/4" = 1'-0"

- DRC NOTES:**
- EXISTING TILE ROOF TO REMAIN. CLEAN, PATCH AND OR REPAIR AS NEEDED. EXISTING TILE ROOF MATCHES MAIN BUILDINGS IN PROFILE AND COLOR.
  - EXISTING CORNICE TO REMAIN. PATCH AND OR REPAIR FINISH AS NEEDED. PREPARE FOR NEW PAINT. EXISTING CORNICE MATCHES MAIN BUILDINGS IN PROFILE AND COLOR.
  - EXISTING RAISED TRIM TO REMAIN. PATCH AND OR REPAIR FINISH AS NEEDED. PREPARE FOR NEW PAINT. EXISTING TRIM MATCHES MAIN BUILDINGS IN PROFILE AND COLOR.
  - EXISTING CEMENTITIOUS FINISH TO REMAIN. PATCH AND OR REPAIR FINISH AS NEEDED. PREPARE FOR NEW PAINT. EXISTING FINISH TO BE PAINTED TO BE IN THE SIMILAR COLOR PALETTE AS MAIN BUILDINGS.
  - NEW WORD MARK SIGNAGE IS SAME COLOR AS MAIN BUILDINGS SIGNAGE AND SIMILAR FONT STYLE.

- KEY NOTES:**
- CB CONCRETE BLOCK W/ CEMENTITIOUS FINISH. NEW FINISH TO MATCH EXISTING TEXTURE. C1 COLOR: BENJAMIN MOORE FAIRVIEW TAUPE HC-85. C2 COLOR: RAL 1022. C3 "IRON ORE" SW1069 BY SHERWIN WILLIAMS.
  - CC CORNICE CAP TREATMENT. NEW TO MATCH EXISTING MATERIAL & PROFILE. COLOR: WHITE.
  - CJ CONTROL JOINT.
  - C2 ALUMINUM CANOPY SYSTEM. COLOR: RAL 1022.
  - D HOLLOW METAL DOOR. PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE.
  - DO DOWNSPOUT. 3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER. COLOR: RAL 1022.
  - EJ EXPANSION JOINT. SEE DETAIL 1/A4.1.
  - FB CO2 - BULK CO2 FILL BOX (EQFM SCHEDULE ITEM 49.02). BO - BULK OIL FILL BOX (EQFM SCHEDULE ITEM 100.0).
  - GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH. PAINT: "IRON ORE" SW1069 BY SHERWIN WILLIAMS.
  - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL. C1 - COLOR: C1 WHITE C2 - GOLD.
  - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL. COLOR: PLATINUM SILVER.
  - PB PIPE BOLLARD - PAINTED YELLOW.
  - PT (RTHC) COIN COLLECTOR. MODEL: 4UFT STD. CALL 1-888-743-7435 TO ORDER.
  - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. COLOR: BENJAMIN MOORE, FAIRVIEW TAUPE HC-85.
  - TR EXISTING TILE ROOF. CLEAN TILE AND PATCH AS REQUIRED.
  - WJ EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS. COLOR: DARK BRONZE.
  - WU DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM. MANUAL OPEN. ELECTRONIC RELEASE. COLOR: DEEP BRONZE. SLIDE DIRECTION: RL - RIGHT TO LEFT. LR - LEFT TO RIGHT.
  - UN METAL UNDERSCORE. COLOR: GOLD.

DRAWN BY: **CMS**  
 STD. ISSUE DATE: **-**  
 REVIEWED BY: **SJP**  
 DATE ISSUED: **05.23.2025**

**McDonald's USA, LLC**  
 PREPARED FOR: **McDonald's USA, LLC**  
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**SCOTT J. PURDY ARCHITECTURE, INC.**  
 1711 NORTH HIMES AVENUE, TAMPA, FLORIDA 33607  
 PH 813.253.0033 FAX 813.253.4330 WWW.SJPARCH.COM

TITLE: **CONVERSION EXISTING MASONRY/WOOD**  
 DESCRIPTION: **8" MASONRY LOAD BEARING WALLS - CI INT STEEL STUD WALL WOOD TRUSS ROOF FRAMING STUCCO FINISHES**  
 SHEET NO.: **A2.1**  
 2402.15  
 AA-0003276

REV	DATE	DESCRIPTION
1	10.29.25	DRC COMMENTS

PREPARED BY: **CMS**  
 DATE: **10.29.25**  
 REV: **1**  
 DATE: **10.29.25**  
 DESCRIPTION: **DRC COMMENTS**

DRAWN BY: **CMS**  
 DATE: **10.29.25**  
 REVIEWED BY: **SJP**  
 DATE ISSUED: **05.23.2025**

SITE ADDRESS: **2550 PINE ISLAND RD., HOLLYWOOD, FL 33024**  
 NAT # **43805**  
 009-2805

## McDonald's - Cooper City

County	BROWARD		Civil Engineer	Bohler
State	FL		OPC Prepared By	ZE
			Current Date	10/30/25
<b>Onsite</b>				
<b>Storm Drainage</b>				
<b>Storm Sewer</b>	Quantity	Unit	Unit Cost	Current Working OPC
6" HDPE Pipe	29	LF	\$30.00	\$870
Subtotal				<b>\$870</b>
<b>Water and Sanitary Service</b>	Quantity	Unit	Unit Cost	Current Working OPC
<b>Water Service</b>				
<b>Sanitary Sewer</b>				
6" PVC Gravity	47	LF	\$144.00	\$6,768
4" PVC	4	LF	\$88.62	\$354
Cleanout	4	EA	\$350.00	\$1,400
GB-500 Grease Trap (Private)	1	EA	\$11,615.00	\$11,615
Subtotal				<b>\$8,168</b>
<b>Asphalt Paving</b>	Quantity	Unit	Unit Cost	Current Working OPC
Light duty asphalt (incl. base)	1,260	SY	\$31.00	\$39,060
Subtotal				<b>\$39,060</b>
<b>Concrete</b>	Quantity	Unit	Unit Cost	Current Working OPC
Standard duty concrete (incl. base) including sidewalk	204	SY	\$65.63	\$13,389
Curb - Type D	908	LF	\$20.00	\$18,160
Subtotal				<b>\$31,549</b>
<b>Sub-Total</b>				<b>\$79,646.52</b>
<b>Additional Fees</b>				
Maintenance Of Traffic (MOT)	1	EA	5%	\$3,982
Mobilization (MOB)	1	EA	8%	\$6,372
<b>Onsite Sub-Total</b>				<b>\$90,000.57</b>
<b>TOTAL SITE COSTS (EXCLUDING IMPACT FEES)</b>				<b>\$90,001</b>

This item has been digitally signed and sealed by Mohammed Merouane El Kaoussi, PE, on the date adjacent to the seal. Signature must be verified on any electronic copies.

\_\_\_\_\_  
 Merouane El Kaoussi, P.E.  
 Florida Professional Engineer License No. 88591

November 10, 2025



GENERAL NOTES

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING PLLC...
2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS CONTAINED HEREIN...
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION...
4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...
5. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REPORTS AND CONDITIONS OF APPROVAL...
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE WITH THE PROFESSIONAL OF RECORD AND BOHLER THE MOST APPROPRIATE ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS...
7. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS...
8. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS...
9. THE CONTRACTOR MUST IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD AND BOHLER IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR OMISSIONS ARE NOTED...
10. THE CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ASSURANCE OF A CERTIFICATE OF OCCUPANCY...
11. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REFERENCED CONSTRUCTION DOCUMENTS...
12. PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS SUBSTANCES, HAZARDOUS SUBSTANCE CONTAMINATION, ABOUT OR UNDER THE PROPERTY...
13. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION...
14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC...
15. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE...
16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES...
17. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION...
18. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERSECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND CABLES AND EQUIPMENT DAMAGED DURING CONSTRUCTION...
19. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS...
20. THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE TO BUILD OR CONSTRUCT WITH APPROVED PLANS, RULES, STATUTES AND THE LIKE...
21. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKERS COMPENSATION INSURANCE...
22. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES...
23. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS...
24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACTED WITH THE OWNER/DEVELOPER...
25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN...
26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS...
27. CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS...
28. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS...
29. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS...
30. THE CONTRACTOR MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND DESIGN...
31. THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO...
32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PRACTICE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE...

DEMOLITION NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS...
2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS...
3. WHEN DEMOLITION/REMOVAL ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY...
4. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS...
5. THE CONTRACTOR MUST PROVIDE ALL METHODS AND MEANS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES...
6. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION...
7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY...
8. THE CONTRACTOR MUST BE AWARE OF ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE...
9. THE CONTRACTOR MUST BE AWARE OF ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE...
10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:
A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES...
B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION...
C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE...
D. LOCATE AND PROTECT ALL UTILITIES AND SERVICES...
E. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE...
F. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS...
G. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL...
H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS...
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL...
11. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
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SITE LAYOUT NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS...
2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP)...
3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)...
4. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY...
5. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING...
6. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
7. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
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16. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...

OUTSIDE SOURCE NOTES

ANY INFORMATION, DRAWINGS, DATA, PLANS, SPECIFICATIONS, MATERIALS, FIGURES, DOCUMENTATION, REPORTS, AND THE LIKE WHICH IS INDICATED TO HAVE BEEN PREPARED BY OTHERS...
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S U.S.A., LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

ACCESSIBILITY DESIGN GUIDELINES

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET...
2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES...
3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE ADA COMPONENTS AND ACCESSIBLE ROUTES...
4. ACCESSIBLE PARKING SPACES AND ACCESSIBLE SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION...
5. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH MINIMUM WIDTH (48-INCHES PREFERRED)...
6. ACCESSIBLE RAMP SLOPES MUST NOT EXCEED 1:50 (2.0%) GRADE...
7. ACCESSIBLE RAMP SLOPES MUST NOT EXCEED 1:50 (2.0%) GRADE...
8. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%)...
9. DOORWAY LANDINGS ARE MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL...
10. WHEN CONSTRUCTION OF EXISTING DRIVEWAYS OR SURFACES...
11. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE...
12. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE...

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS...
2. EROSION CONTROL MEASURES MUST CONFORM TO THE FLORIDA GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL...
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY .08 ACRES...
4. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
5. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
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9. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES...
10. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES...
11. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...
12. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...
13. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...
14. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...
15. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...
16. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS...

DRAINAGE AND UTILITY NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS...
2. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE...
3. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE...
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H:\2024\124124-000\CADD\DRAWINGS\PS\PLANS\REV\_04P-CIVIL-CNSL-FL-240124\04-000-1-LAYOUT\_C-102.GENERAL NOTES

Table with columns: ISSUE REF, DESCRIPTION, DATE, REV, FINAL PLAN SIGNATURES, P.M., G.C., OJO, OFFICE ADDRESS, DATE, PLAN APPROVALS, SIGNATURE (2 REQUIRED), DATE, REGIONAL MGR, CONST. MGR, OPERATIONS DEPT., REAL ESTATE DEPT., CONTRACTOR OWNER, STATUS, DATE, BY, PLAN CHECKED, DATE, PLAN APPROVALS, AS-BUILT, REGIONAL DWG. NO, PLAN DESCRIPTION, CONTRACTOR OWNER.

McDonald's logo and address: 110 N CARPENTER STREET, CHICAGO, IL 60607. Includes text: THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S U.S.A., LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

Sunshine 811 logo and address: 2550 PINE ISLAND ROAD, COOPER CITY, FL. Includes text: ALWAYS CALL 811 It's fast. It's free. It's the law. FINAL SITE PLAN. PLAN SCALE: AS NOTED. STREET ADDRESS: 2550 PINE ISLAND ROAD. CITY: COOPER CITY. COUNTY: BROWARD COUNTY. STATE: FL. STATUS: PRELIMINARY. DATE: 09/22/25. BY: RN. PLAN CHECKED: 09/22/25. SC. AS-BUILT: XXXX. XXXX. REGIONAL DWG. NO: 92805. PLAN DESCRIPTION: GENERAL NOTES. CONTRACTOR OWNER: C-102. CAD FILE: P-CIVIL-CNSL-FL240124-00-0A.





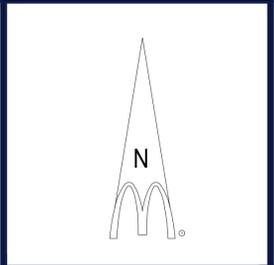
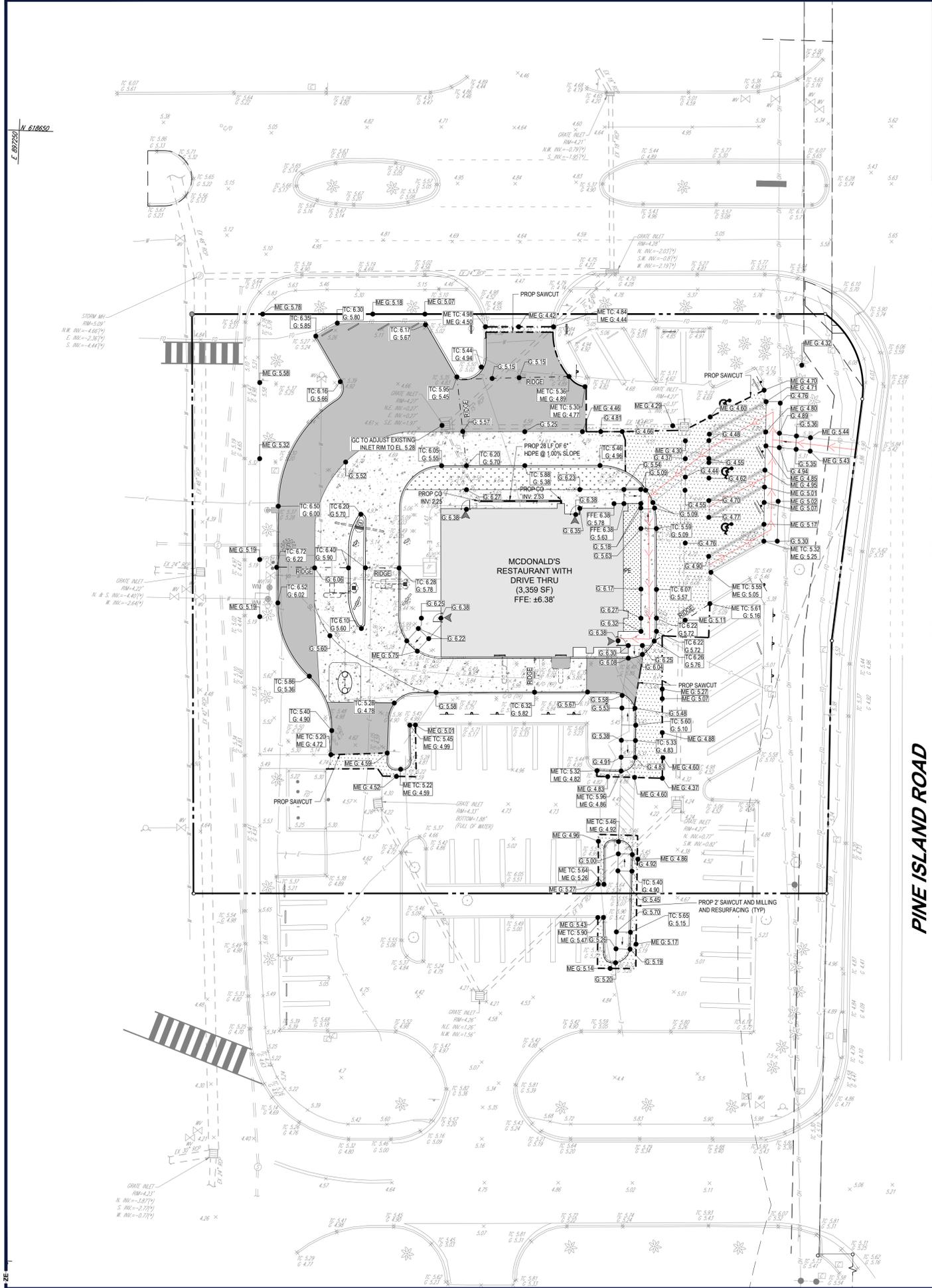




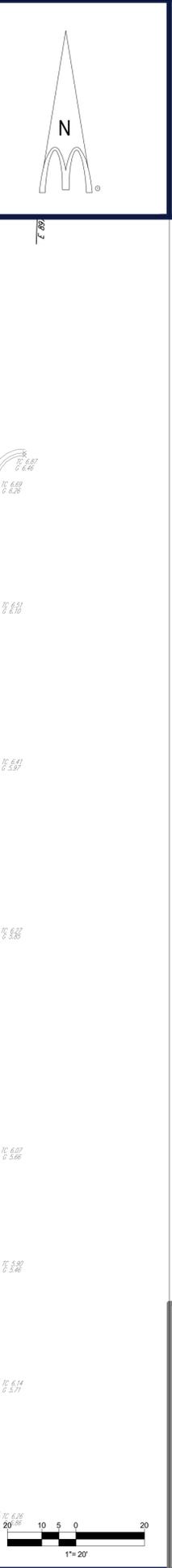








**PINE ISLAND ROAD**  
 VARIABLE WIDTH R/W  
 ASPHALT PAVED PUBLIC ROADWAY  
 P.B. 170, PG. 119

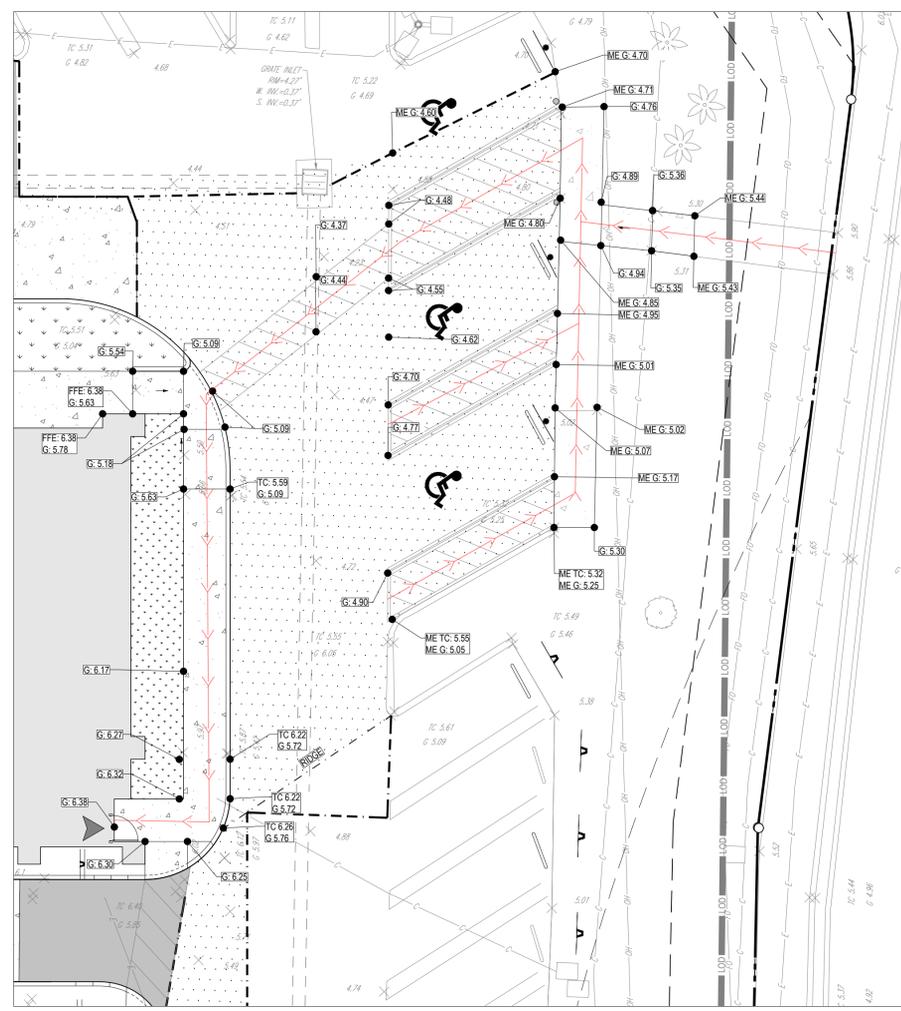


**FEMA MAP INFORMATION:**

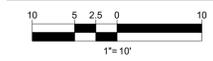
THE SITE APPEARS TO BE IN FLOOD ZONE X, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS SHOWN IN THE FLOOD INSURANCE RATE MAP, 12001CO105D MAP REVISED 08/16/2006 NATIONAL FLOOD INSURANCE PROGRAM.

**PAVEMENT LEGEND:**

- PROP STANDARD DUTY PAVEMENT
- PROP STANDARD CONCRETE
- PROP MILLING AND RESURFACING



**ADA ENLARGEMENT**



**BOHLER**

**Sunshine811**

ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**SITE CIVIL AND CONSULTING ENGINEERING**  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

1900 NW CORPORATE BOULEVARD  
 SUITE 101E  
 BOCA RATON, FLORIDA 33431  
 Phone: (561) 571-0280  
 Fax: (561) 571-0281  
 FLORIDA BUSINESS CERT. OF AUTH. NO. 30780

**FINAL SITE PLAN**  
 PLAN SCALE: AS NOTED  
 STREET ADDRESS  
 2550 PINE ISLAND ROAD

CITY  
 COOPER CITY

STATE  
 FL

COUNTY  
 BROWARD COUNTY

REGIONAL DWG. NO  
 92805

PLAN DESCRIPTION  
 GRADING &  
 DRAINAGE PLAN

ISSUE REF	BY	DESCRIPTION	DATE	REV	FINAL PLAN SIGNATURES
					P.M.
					G.C.
					O/O

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

**McDonald's**

OFFICE ADDRESS  
 110 N. CARPENTER STREET  
 CHICAGO, IL 60607

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	

CO-SIGN SIGNATURES	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

STATUS	DATE	BY
PRELIMINARY	09/22/25	RN
PLAN CHECKED	09/22/25	SC
AS-BUILT	XXXX	XXXX

**C-401**

CAD FILE: P-CIVL-GRD-FLB240124-00-0A

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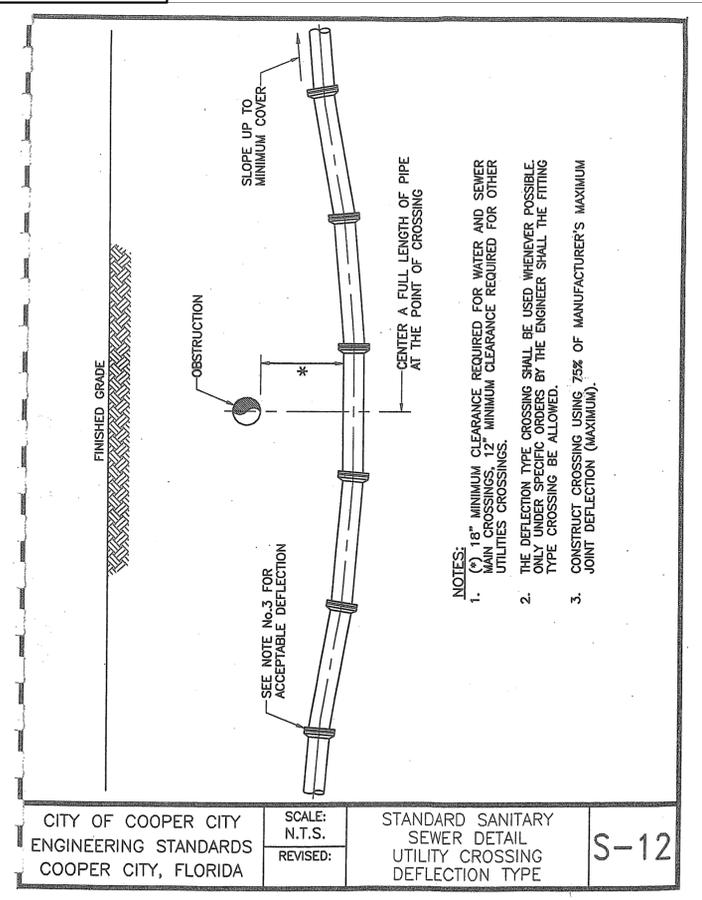
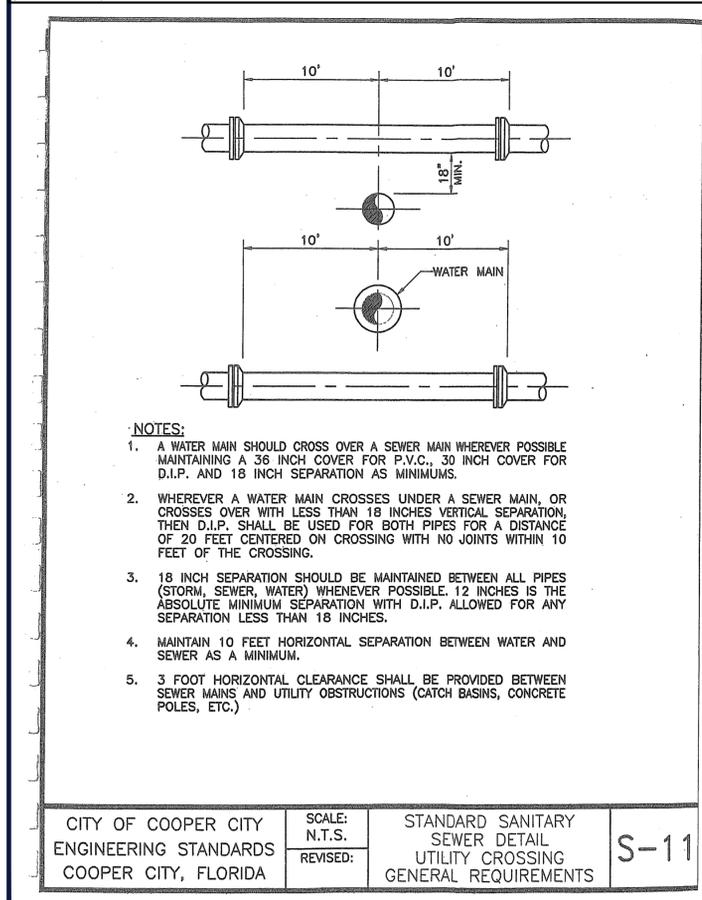
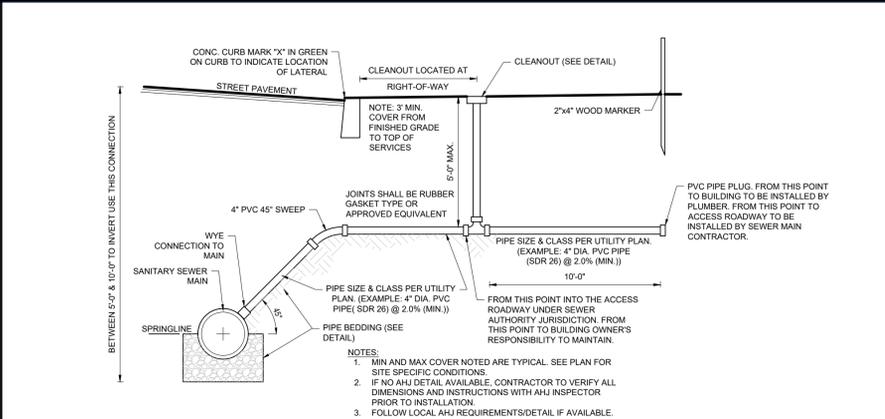
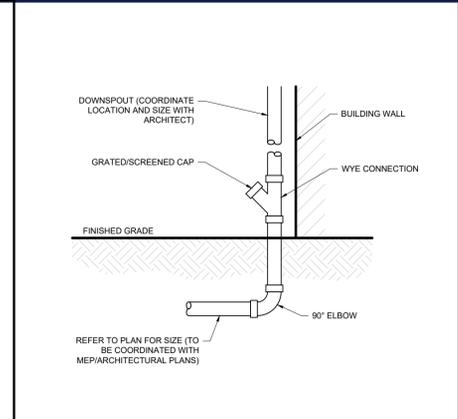
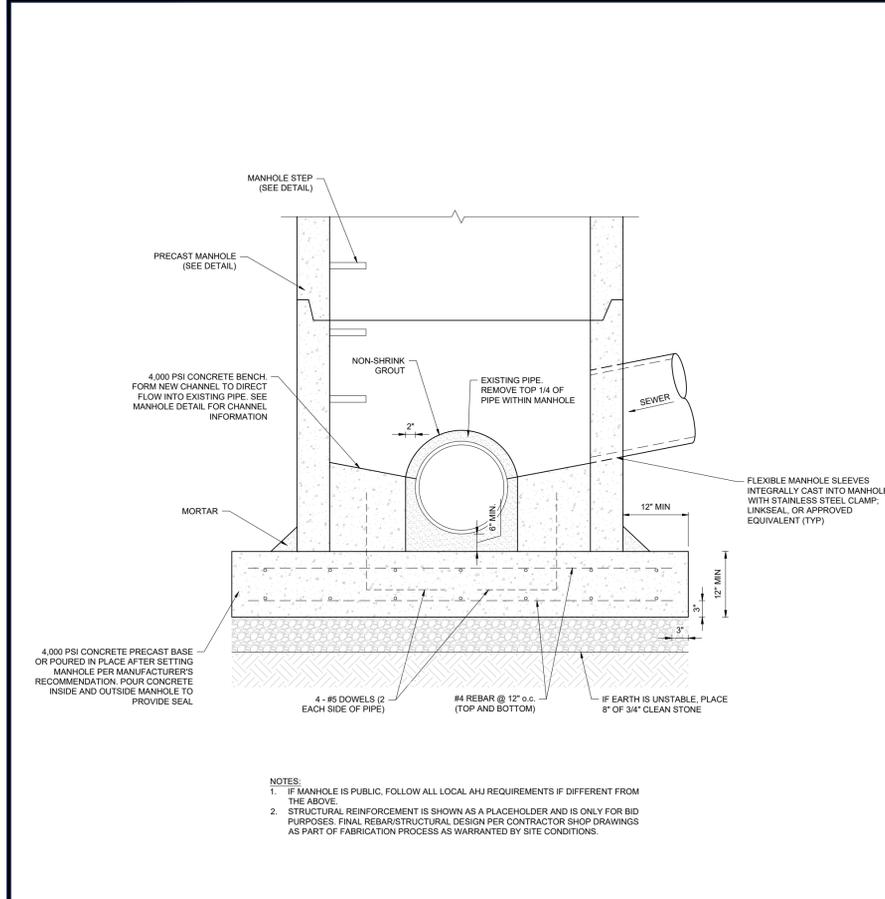












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**Sunshine 811**

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**SITE CIVIL AND CONSULTING ENGINEERING**  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

1900 NW CORPORATE BOULEVARD  
SUITE 101E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 571-0280  
Fax: (561) 571-0281  
FLORIDA BUSINESS CERT. OF AUTH. NO. 30780

**FINAL SITE PLAN**  
PLAN SCALE: AS NOTED  
STREET ADDRESS  
2550 PINE ISLAND ROAD  
CITY COOPER CITY STATE FL  
COUNTY BROWARD COUNTY  
REGIONAL DWG. NO 92805  
PLAN DESCRIPTION CONSTRUCTION DETAILS

STATUS DATE BY  
PRELIMINARY 09/22/25 RN  
PLAN CHECKED 09/22/25 SC  
AS-BUILT XXXX XXXX

REGIONAL MGR.  
CONST. MGR.  
OPERATIONS DEPT.  
REAL ESTATE DEPT.

CONTRACTOR OWNER

**McDonald's**  
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OFFICE ADDRESS 110 N. CARPENTER STREET CHICAGO, IL 60607

PLAN APPROVALS	DATE	ISSUE REF
SIGNATURE (2 REQUIRED)		
CO-SIGN SIGNATURES		

FINAL PLAN SIGNATURES  
P.M. G.C. O/O

**C-902**

CAD FILE: P-CIVL-CNDS-FLB240124-00-0A







# LETTER OF TRANSMITTAL

## CORPORATE PROPERTY SERVICES, INC.

1239 E. NEWPORT CENTER DRIVE, SUITE 113

DEERFIELD BEACH, FLORIDA 33442

**TELEPHONE:** (954) 426-5144

**FACSIMILE:** (954) 570-3391

**E-MAIL:** daryl\_cps@bellsouth.net

November 13, 2025

To: City of Cooper City  
Planning & Zoning Department  
9090 SW50 Place  
Cooper City FL 33328  
954-434-4300

CPS Job No: 2411-47
Attention: Jason Chockley
RE: McDonald's L/C#009-2805
2550 Pine Island Road
Cooper City, FL

Via:  U.S. Mail       Overnight Delivery       Hand Delivery

We are sending you the following items:

Copies	Description
8	24"x 36" signed & sealed plans – Cover Sheet, Survey (Sheets 1 & 2), General Notes, General Legend, Demolition Plan, Overall Site Plan, Site Plan, Vehicle turning plan, grading & drainage plan, Utility plan, Tree disposition plan
8	Comment Response Letter
8	11x 17 Signage packages
8	11 x 17 Colored elevations w/ color chips
8	Letter of Intent & Parking Variance Justification
8	Letter of Intent & Signage Waiver Justification
1	Sunbiz Report
1	Signage Package Application
1	General Application
1	Sign Waiver Application
1	Site Plan Application
1	Parking Statement
1	Engineer Cost Estimate
1	Flash Drive with all pdfs submitted

**These are transmitted** as checked below:

For approval       For your use       For review and comment

Remarks:

Copy to: file

Signed:

# COVER SHEET

## SIGNAGE SITE PLAN

## ELEVATIONS

## ELEVATIONS CONTINUED

(A)	<b>ILLUMINATED ARCH CHANNEL LETTERS</b>	(14 SQFT)
(B)	<b>ILLUMINATED CHANNEL LETTERS (RACEWAY)</b>	(32.8 SQFT)
(C)	<b>DOUBLE CLEARANCE</b>	(6.76 SQFT)
(D) (D)	<b>DIGITAL PRESELL</b>	(8.8 SQFT)
(E) (E)	<b>CANOPY - SPRINGBOARD MODEL</b>	
(F) (F)	<b>DIGITAL MENU BOARD</b>	(17.76 SQFT)
(G) (G)	<b>DIRECTIONALS CUSTOM - 36"H W/ FACES 12"H x 18"W</b>	(1.5 SQFT)



1740 HILL AVENUE  
WEST PALM BEACH, FL.  
33407  
561-840-6382  
(FAX) 561-840-6385

McDonald's #43805  
"COOPER CITY SHE - 1"  
2550 PINE ISLAND ROAD  
HOLLYWOOD, FL 33024

**SALES PERSON:**  
DRAWN BY: NICHOLE BURLESON  
SCALE: AS NOTED

**DATE DRAWN:**  
1.31.2025



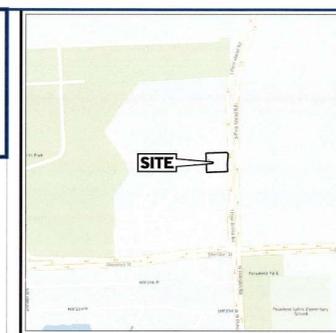
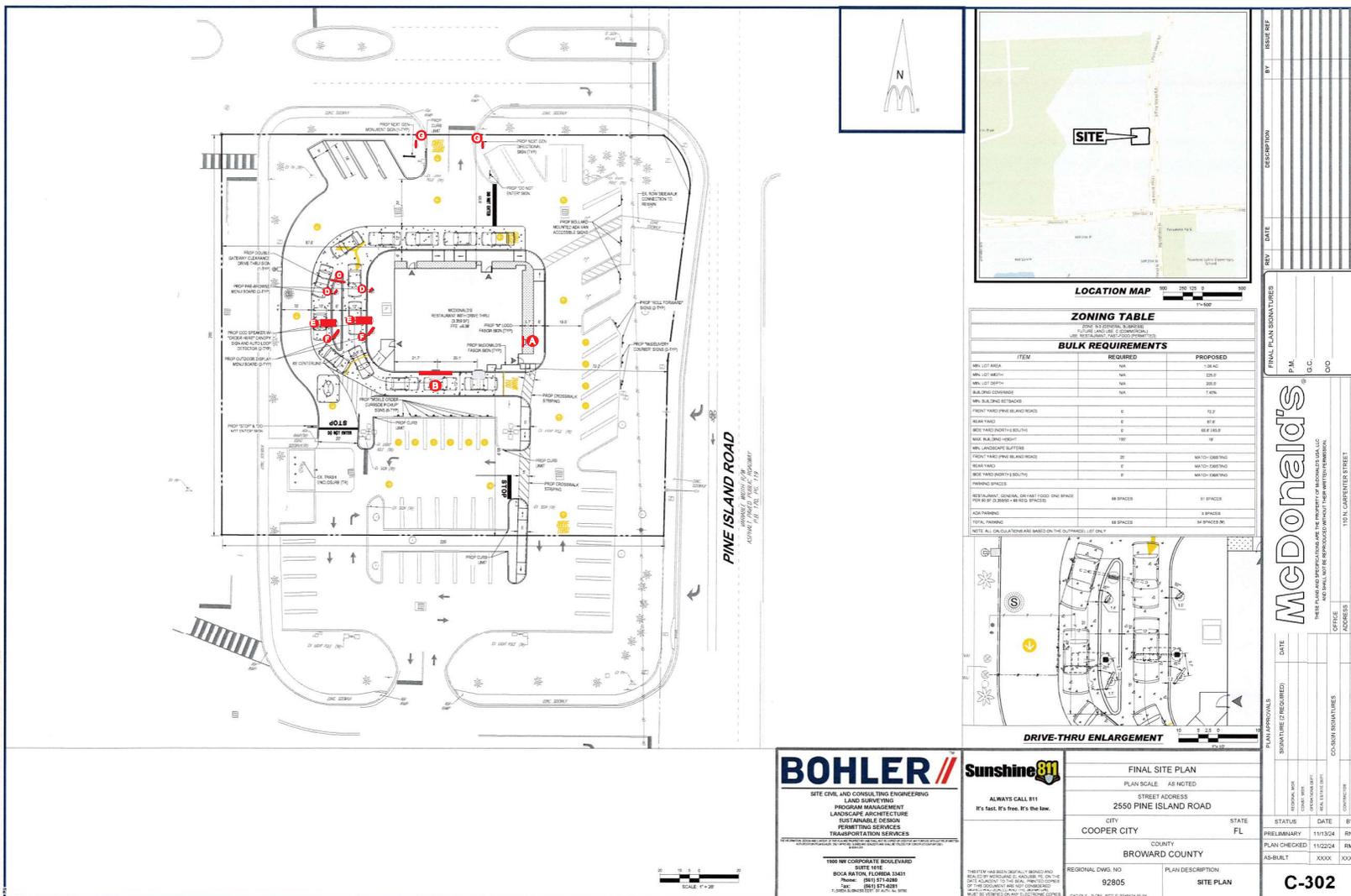
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CUSTOMER APPROVAL:

DATE:

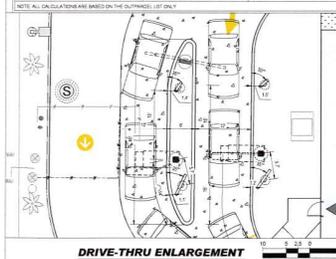
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# SITE PLAN



LOCATION MAP

ZONING TABLE		
ZONING DISTRICT: S-1 (SINGLE-FAMILY RESIDENTIAL)		
BULK REQUIREMENTS		
ITEM	REQUIRED	PROPOSED
MIN. LOT AREA	NA	1.0 AC
MIN. LOT WIDTH	NA	20.0'
MIN. LOT DEPTH	NA	20.0'
BUILDING COVERAGE	NA	7.4%
MIN. BUILDING SETBACK	5'	12.0'
FRONT YARD (SIDE) SETBACK	5'	5.0'
REAR YARD	5'	5.0'
SIDE YARD (NORTH-SOUTH)	5'	5.0' @ 18.0'
MAX. BUILDING HEIGHT	10'	10'
MIN. LANDSCAPE BUFFER	5'	5'
FRONT YARD (SIDE) SETBACK	5'	5.0' @ 18.0'
REAR YARD	5'	5.0' @ 18.0'
SIDE YARD (NORTH-SOUTH)	5'	5.0' @ 18.0'
PARKING SPACES		
RESIDENTIAL (GENERAL, ON-STREET ONLY) ONE SPACE PER 100 SF OF GROSS FLOOR SPACE	48 SPACES	51 SPACES
OFF-PARKING	0 SPACES	0 SPACES
TOTAL PARKING	48 SPACES	51 SPACES



DRIVE-THRU ENLARGEMENT

**BOHLER** // **Sunshine811**

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1500 NW CORPORATE BOULEVARD  
SUITE 516  
BOCA RATON, FLORIDA 33481  
Phone: (561) 974-8889  
Fax: (561) 974-2881  
www.sunshine811.com

FINAL SITE PLAN  
PLAN SCALE: AS NOTED  
STREET ADDRESS: 2550 PINE ISLAND ROAD  
CITY: COOPER CITY STATE: FL  
COUNTY: BROWARD COUNTY  
REGIONAL DWS NO: 92805 PLAN DESCRIPTION: SITE PLAN

REV.	DATE	DESCRIPTION	BY	ISSUE REF.

DATE	
STATUS	
DATE	
BY	
PRELIMINARY	11/13/24 RN
PLAN CHECKED	11/22/24 RM
AS-BUILT	XXXX XXXX

DATE	
STATUS	
DATE	
BY	
PRELIMINARY	11/13/24 RN
PLAN CHECKED	11/22/24 RM
AS-BUILT	XXXX XXXX

FINAL PLAN SIGNATURES

P.M. \_\_\_\_\_  
D.C. \_\_\_\_\_  
O.O. \_\_\_\_\_

**McDonald's**

1101 N. CARPENTER STREET  
CHICAGO, IL 60607



1740 HILL AVENUE  
WEST PALM BEACH, FL.  
33407  
561-840-6382  
(FAX) 561-840-6385

McDonald's #43805  
"COOPER CITY SHE - 1"  
2550 PINE ISLAND ROAD  
HOLLYWOOD, FL 33024

**SALES PERSON:**  
DRAWN BY: NICHOLE BURLESON

SCALE: AS NOTED

**DATE DRAWN:**  
2.10.2025

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UL ALL ELECTRICAL TO BE U.L. LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

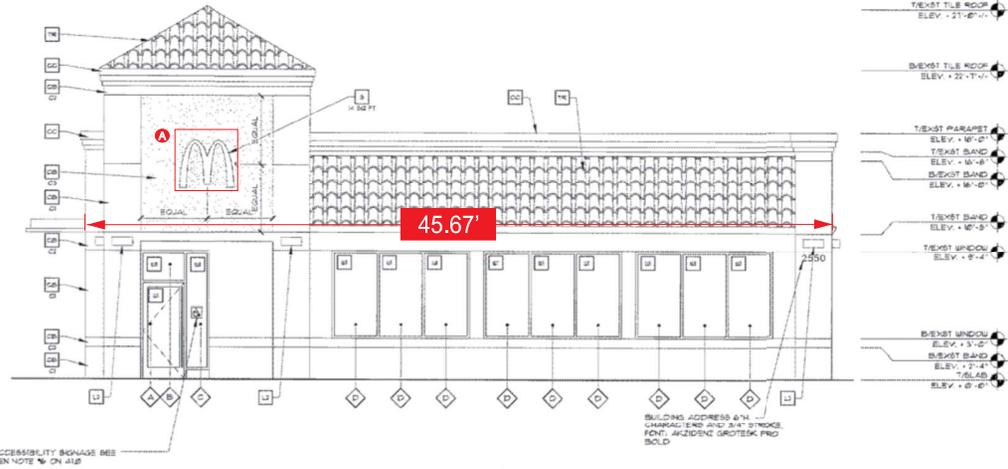
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BUILDING DATA	
WIND VELOCITY ( mph )	120
IMPORTANCE FACTOR	1.00
BUILDING CATEGORY	C
EXPOSURE CATEGORY	C
INTERNAL PRESSURE COEFFICIENT +/- ( ENCLOSED BUILDING )	0.18
MEAN ROOF HEIGHT ( ft )	19.80'
BUILDING WIDTH ( ft )	45.67'
BUILDING LENGTH ( ft )	85.67'
ROOF SLOPE ( X : Y : Z )	0

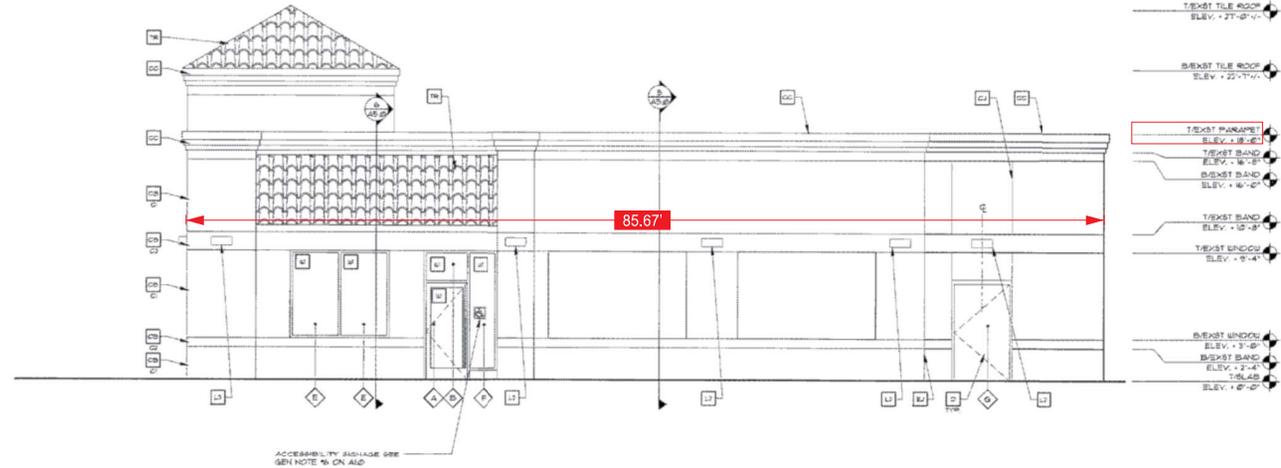
FLORIDA BUILDING CODE - 2023 - PRESSURES NOTED ARE ADD. PRESSURES. A & B FACTOR HAS BEEN APPLIED

WALL OPENINGS SCHEDULE						
OPENING MARK	DESCRIPTION	LOCATION ZONE	OPENING ELEVATION	OPENING WIDTH	OPENING HEIGHT	MAX POSITIVE PRESSURE psf
A	GLASS DOOR	5	3.9	3	7	33.89
B	FIXED GLASS	5	8.71	3	2.24	26.75
C	FIXED GLASS	5	9	7.83	8.67	33.29
D	FIXED GLASS	5	6.71	3.42	6.34	33.29
E	FIXED GLASS	5	5	3.67	6.34	33.29
F	FIXED GLASS	5	9	2.71	8.67	35.21
G	SERVICE DOOR	4	3.9	4	7	33.29
H	SERVICE DOOR	4	3.9	3.9	7	33.29
I	SERVICE DOOR	4	4.67	2	3	26.75
J	FIXED GLASS	4	7.84	4	3.4	36.75
K	FIXED GLASS	4	6.71	5.5	6.34	33.29

PRODUCT APPROVAL SCHEDULE				
DESCRIPTION	MANUFACTURER	STATE OR NDA NO.	EXPIRATION	
EXISTING FLY ROOF SYSTEM	JOHNS MANVILLE	NOA 22-8429-07	02/08/2027	
ROOF HATCH	BILCO COMPANY	NOA 24-0259-02	02/02/25	
EMERGENCY EXIT DOOR ASSEMBLY	SCHLAGE LOCKS CO.	FL 3-0803-04	02/28/26	
GLASS THROUGH WINDOW	READY ACCESS	FL 3-0223-01	02/10/29	
STONEFRONT PANEL WALLS	TUBELITE INC.	FL 28-011-06	02/10/26	
STONEFRONT DOORS	TUBELITE INC.	FL 28-011-02	02/10/27	



1 FRONT ELEVATION (EAST)  
1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION (NORTH)  
1/4" = 1'-0"

KEY NOTES:

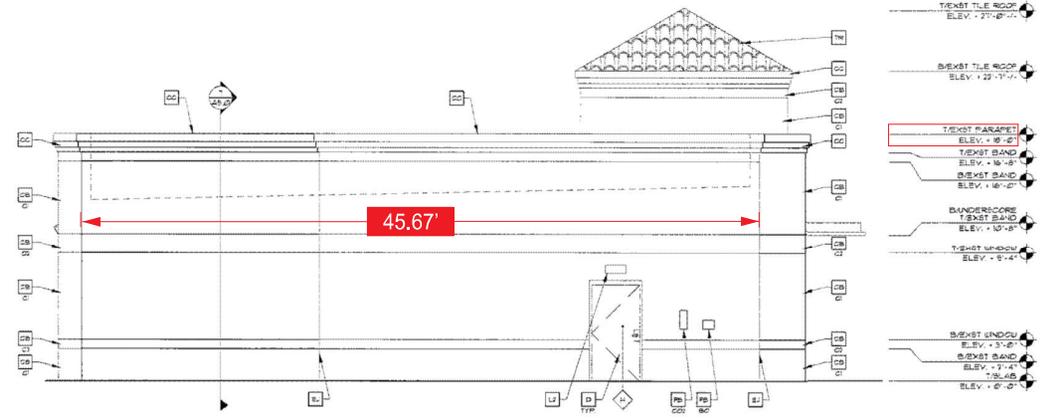
- 01 CONCRETE BLOCKS OF CONSTRUCTION FROM NEW FRAME TO MATCH EXISTING TEXTURE
- 02 COLOR BRUSHED DOOR
- 03 FANVIBU TAUPH HC-88
- 04 WHITE
- 05 TRICK ONE SYSTEMS BY SHERWIN WILLIAMS
- 06 CONCRETE CURB HEIGHT NEW TO MATCH EXISTING MATERIAL + PROFILE FOR NEW WALK
- 07 CONTROL JOINT
- 08 ALUMINUM GLAZING SYSTEM COLOR: RAL 102
- 09 HOLLOW METAL DOOR PAINT: FARRVIBU TAUPH HC-88 BY SHERWIN WILLIAMS
- 10 DOWNSPUT 3" DOWNSPUT BY CANOPY SYSTEM MANUFACTURER COLOR: RAL 102
- 11 EXPANSION JOINT, SEE DETAIL 1/44
- 12 GUT + BULK GUT FULL BOX (FROM SCHEDULE ITEM VALUE)
- 13 GUT + BULK GUT FULL BOX (FROM SCHEDULE ITEM VALUE)
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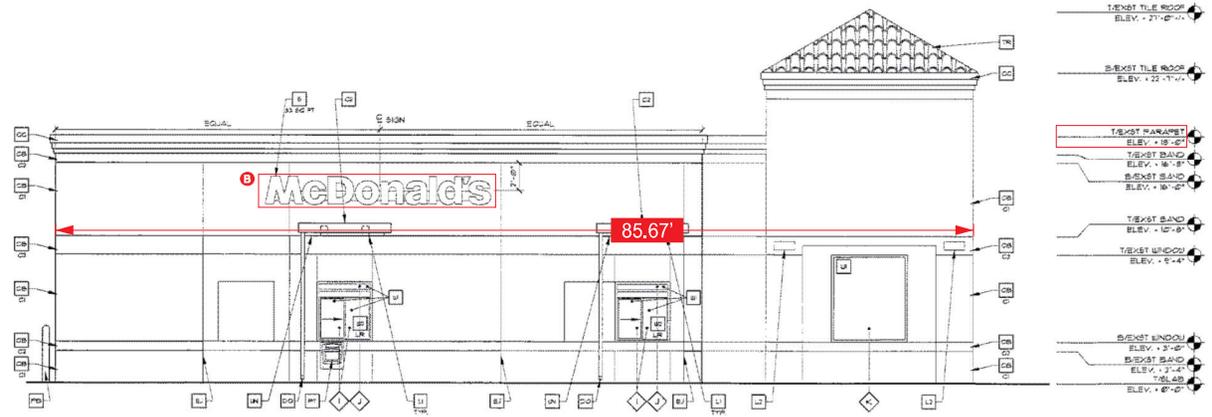
Digitally signed by Scott Purdy  
Date: 2025.01.30 14:57:37 - 05:00

McDonald's USA, LLC  
CONVERSION EXISTING MASONRY/WOOD

PREPARED FOR: PURDY + MURROFF ARCHITECTURE, INC.  
DESIGNED BY: SCOTT PURDY  
CHECKED BY: SCOTT PURDY  
DATE: 01/30/25  
PROJECT NO: 2402.15  
SHEET NO: A2.0  
AA-0003276



1 REAR ELEVATION (WEST)  
1/4" = 1'-0"



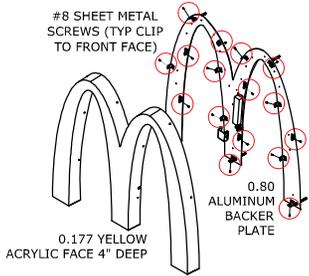
2 DRIVE THRU ELEVATION (SOUTH)  
1/4" = 1'-0"

KEY NOTES:

- 101 CONCRETE BLOCK w/ CONCRETE FINISH  
BELIEVE TO MATCH EXISTING TEXTURE
- 102 COLOR BLENDED MASONRY
- 103 FAIRFAX TILE MASONRY
- 104 METAL UNDERSCORE
- 105 EXPANSION JOINT SEE DETAIL T-441
- 106 COG + BULK COG FILL BOX (EQUIV TO SCHEDULE 10TH AISC)
- 107 BOARD WALL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT - ROCK OREST SYSTEMS BY SARGENT WILLIAMS
- 108 RECESSED DOWN LIGHT FIXTURES - SEE ELECTRICAL
- 109 COLOR: CW - WHITE CS - GOLD
- 110 RADIAL SCIENCE LIGHT FIXTURES - SEE ELECTRICAL  
COLOR PLATING SILVER
- 111 PIPE SQUILLARD - PAINTED YELLOW
- 112 METAL UNDERSCORE  
COLOR: GOLD
- 113 EXISTING TILE ROOF  
CLEAR TILE AND PATCH AS REQUIRED
- 114 EXTERIOR WINDOW ASSEMBLY - TEmPERED GLASS  
COLOR DARK BRONZE
- 115 DRIVE THRU WINDOW BY HEAVY ACCESS  
MODEL: ADD DRIVER AS REQUIRED (EQUIV WITH TRANSIT)  
MANUAL OPEN, ELECTRIC RELEASE  
COLOR: DUSK BRONZE  
PLUS DIMENSION: RL - RIGHT TO LEFT  
LR - LEFT TO RIGHT
- 116 METAL UNDERSCORE  
COLOR: GOLD

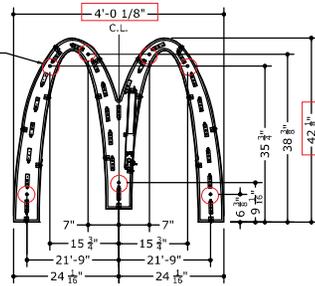
Digitally signed by Scott Purdy Date: 2025.01.30 14:53:10 -0500 14573							
<b>Prepared by:</b> Purdy + Muroff Architecture, Inc. 14573							
Prepared for: McDonald's USA, LLC 14573							
Project: Conversion Existing Masonry/Wood 14573							
Date Issued: 01/30/25 14573							
Scale: 1/4" = 1'-0" 14573							
Sheet No.: A2.1 14573							

# A ILLUMINATED ARCH CHANNEL LETTER (14 SQFT)



**1 BACKER PLATE ATTACHMENT**  
1 NOT TO SCALE DETAIL

ANCHOR LOCATIONS, TYP  
ANCHOR TYPE TO HOST SUBSTRATE PER SCHEDULE



**2 SIGN DIMENSIONS**  
1 NOT TO SCALE VIEW

Wall Arch Sign Area Calculation				
Arch Height (inches)	Arch Width (inches)	Sqft Calculation	Sqft per side	Total Proposed Sqft
42 1/8"	48 1/8"	(42.125 * 48.125) / 144	14.08	3 42.24



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COLBY BENNARDO, PE FL PE# 95197 CA# 9885

**WALL MOUNTED SIGN GENERAL NOTES**  
THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH EDITION (2023) & ASCE 7-22

**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
V<sub>ULT</sub> = 175 MPH EXPOSURE "C", V<sub>ASD</sub> = sqrt(0.6 \* V<sub>ULT</sub>)  
RESULTANT DESIGN LOADING = +35/-50 PSF

**THIS SUBMITTAL IS A STRUCTURAL WIND ANALYSIS AND CERTIFICATION ONLY.** ANY IMPACT FROM FLYING DEBRIS SHALL INVALIDATE THIS CERTIFICATION AS ADDITIONAL FORCES MAY CONTRIBUTE TO FAILURES NOT WITHIN THE DESIGN SCOPE.  
ALL NON STRUCTURAL ELECTRICAL & MECHANICAL UNITS AND COMPONENTS SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS. ANY INFORMATION NOT REFERENCED HEREIN SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR THIS PRODUCT.

**STRUCTURAL MATERIALS:**  
1. ALL STRUCTURAL ALUMINUM MEMBERS SHALL BE ALUMINUM ALLOY 6063-T6 MIN U.O.N.  
2. ALL STRUCTURAL STEEL MEMBERS SHALL BE A36 MIN U.O.N.  
3. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.

**CONNECTIONS & ANCHORAGE:**  
**TO SOLID CONCRETE HOST OR GROUTED CMU WALL HOST**  
1. CONCRETE ANCHORS TO BE 1/4" DIAMETER ITW TAPCONS, DEWALT WEDGE-BOLTS, OR MNFR. RATED EQUAL INTO CONCRETE (FC = 3KSI MIN) OR GROUT FILLED ASTM C90 BLOCK (FM = 2KSI MIN), WITH 1-3/4" MIN EMBEDMENT AFTER FINISHES, & 4" MIN. EDGE DISTANCE.

**TO WOOD FRAMED HOST**  
2. WOOD ANCHORS CENTERED IN 1-1/2" MIN PT WOOD STUD (SYP #2, G = 0.55 MIN) TO BE NON-CORROSIVE #12 WOOD SCREWS OR 1/4" DIAMETER LAG BOLTS (GRADE 2 MIN), ITW TAPCONS, DEWALT WEDGE-BOLTS OR MNFR. RATED EQUAL, WITH 1-1/2" EMBEDMENT.

**TO METAL FRAMED HOST**  
3. METAL ANCHORS INTO STEEL (1/8" THK, A36 MIN) OR ALUMINUM (1/8" THK, 6063-T6 MIN) TO BE NON-CORROSIVE 1/4-20 (GRADE 2 MIN) PENETRATING 3 PITCHES PAST THE THREAD PLANE. AND 3/8" MIN E.D.  
4. THRU-BOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.O.N.  
5. BOLTS TO BE A-325, GRADE 5. A 2" MAX EXPOSED SHANK IS TO BE USED U.O.N.

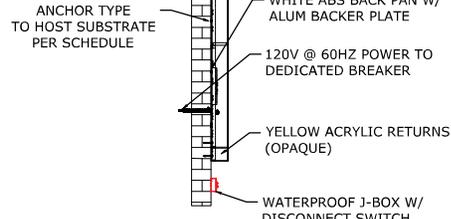
6. BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16" TYP  
**IF ANCHOR SPACING UNSPECIFIED**  
7. USE 18" O.C. MAX SPACING FOR ALL ANCHORS (USE STANDARD SPACING TO MATCH THE HOST STRUCTURE SUBSTRATE). INSTALL ANCHORS NO LESS THAN 4" FROM EACH END OR CORNER OF SOLID HOST SUBSTRATE UNLESS NOTED OTHERWISE.

8. (3) ANCHORS MIN. SHALL BE USED FOR ALL INDIVIDUAL CHANNEL LETTERS OR EACH SECTION OF RACEWAY. MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO FINISHES, OR SHIM SPACING.  
9. ANCHOR QUANTITIES INDICATED IN DETAILS ARE FOR GRAPHICAL PURPOSES ONLY. DO NOT SCALE DIAMETER, LENGTH, OR PENETRATION(S). HEAD STYLE(S) ARE FREELY INTERCHANGEABLE.  
10. INTEGRITY & CERTIFICATION OF THE ATTACHMENT OF THE SIGN TO THE FRAMING & ALL SIGN COMPONENTS & CONNECTIONS SHALL BE BY MANUFACTURER. CERTIFICATION IS SOLELY FOR CONNECTION TO BASE & FOUNDATION DESIGN

**CERTIFICATION & LIABILITY**  
1. ELECTRICAL NOTES ARE INCLUDED FOR REFERENCE ONLY & ARE NOT INCLUDED IN THIS CERTIFICATION. ELECTRICAL GROUND, WHEN REQUIRED, TO BE DESIGNED & INSTALLED BY OTHERS. DESIGNS & DIRECTION SHALL BE PERMITTED BY A LICENSED ELECTRICAL CONTRACTOR. DESIGN & CERTIFICATION OF ANY SEALANT OR WATERPROOFING IS NOT INCLUDED HEREIN.  
2. USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED & INSTALLATION REQUIREMENTS  
3. ALL ELEMENTS OF THIS DESIGN SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ENGINEERING EXPRESS SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE OUR WORK UPON A DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.  
4. THIS ENGINEER HAS NOT VISITED THE JOBSITE. INFORMATION CONTAINED HEREIN IS BASED ON CONTRACTOR SUPPLIED DATA & MEASUREMENTS. ENGINEERING EXPRESS SHALL NOT BE HELD RESPONSIBLE OR LIABLE IN ANY WAY FOR ERRONEOUS OR INACCURATE DATA OR MEASUREMENTS. DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. THEY MAY VARY SLIGHTLY, BUT MUST REMAIN WITHIN THE LIMITATIONS SPECIFIED HEREIN.  
5. ALTERNATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION  
6. SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS CERTIFICATION BY ANY OTHER PARTY IS UNAUTHORIZED. THE INDICATED HARMLESS THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.  
7. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED



**3 SIGN IMAGE AND COLOR**  
1 NOT TO SCALE DETAIL



**4 HOST ATTACHMENT**  
1 NOT TO SCALE DETAIL

- ELECTRICAL NOTES (FOR REFERENCE - NOT INCLUDED IN ENGINEERING EXPRESS CERTIFICATION)**
- PRIMARY WIRE SIZE: #12 THWN
  - DISCONNECT SWITCH: 20 AMP DISCONNECT IN FRONT OF SIGN, BEFORE ENTERING STRUCTURE IN WEATHERPROOF BOX PER NEC 600.6
  - MAXIMUM LOAD: 16 AMPS 120 VOLTS PER CIRCUIT; MAXIMUM CIRCUIT SIZE 20 AMPS PER NEC 600.6A
  - BALLAST/POWER SUPPLY: AGILIGHT #PS12-60WSL-100-277V 12VDC 60 W VAC100-277 VOLT
  - LAMPS/LED: AGILIGHT #LS-U659-50K-B200-A, 70 LED MODULES PER 60W POWER SUPPLY. SIGN CONTAINS 25 LED MODULES
  - CONDUIT: MINIMUM 1/2"
  - TOTAL SIGN LOAD: 1.7 AMPS @ 12V
  - TOTAL CIRCUIT REQUIRED: 1

ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C AND STATE, COUNTY & LOCAL CODES.  
ALL SIGNS SHALL BE BONDED TO BUILDING EQUIPMENT BONDING CONDUCTOR PER N.E.C - 2017 ARTICLE 250

SUBSTRATE	ANCHOR DESCRIPTION
CMU/CONCRETE	USE (5 MIN) 1/4" ITW TAPCONS THROUGH FINISH INTO CMU GROUT FILLED CELL OR 3000 PSI CONCRETE HOST AT LOCATIONS NOTED. (2 ANCHORS ACCEPTABLE FOR APOSTROPHE). MAINTAIN 1.75" ANCHOR EMBEDMENT INTO SUBSTRATE, 4" EDGE SPACING, AND 3" ANCHOR SPACING MIN.
WOOD	USE (5 MIN) #12 WOOD SCREWS THROUGH FINISH INTO WOOD OF ACM AT LOCATIONS NOTED. (2 ANCHORS ACCEPTABLE FOR APOSTROPHE). MAINTAIN 2.25" ANCHOR EMBEDMENT INTO SUBSTRATE (ADD STRUCTURAL BLOCKING AS NECESSARY), 2" EDGE SPACING, AND 1.25" ANCHOR SPACING MIN.

**EVERBRITE LLC IS THE SIGN MANUFACTURER & LICENSE HOLDER  
UL FILE NUMBER E6733**



1740 HILL AVENUE  
WEST PALM BEACH, FL.  
33407  
561-840-6382  
(FAX) 561-840-6385

McDonald's #43805  
"COOPER CITY SHE - 1"  
2550 PINE ISLAND ROAD  
HOLLYWOOD, FL 33024

**SALES PERSON:**  
DRAWN BY: NICHOLE BURLESON  
SCALE: AS NOTED

**DATE DRAWN:**  
1.31.2025

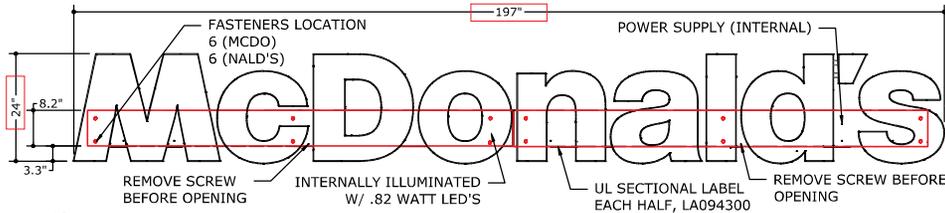


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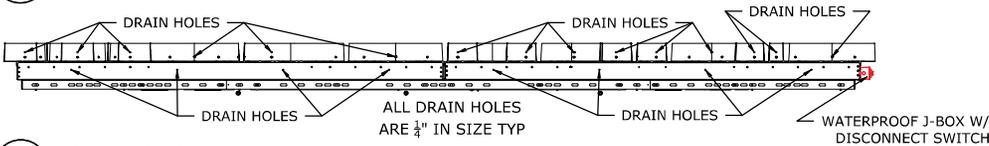
**CUSTOMER APPROVAL:**

**DATE:**

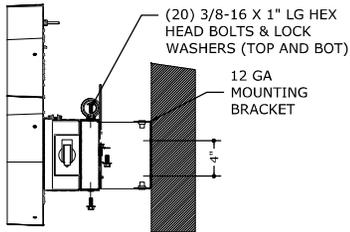
# B ILLUMINATED CHANNEL LETTERS (RACEWAY) (32.8 SQFT)



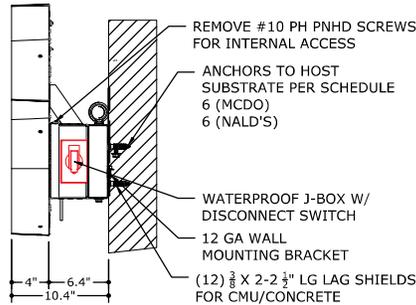
1 FRONT OF SIGN  
1 NOT TO SCALE FRONT VIEW



2 BOTTOM OF SIGN  
1 NOT TO SCALE DETAIL VIEW



3 SIGN ATTACHMENT  
1 NOT TO SCALE DETAIL VIEW



4 SIGN ANCHORAGE  
1 NOT TO SCALE DETAIL VIEW

## ELECTRICAL NOTES (FOR REFERENCE - NOT INCLUDED IN ENGINEERING EXPRESS CERTIFICATION)

- PRIMARY WIRE SIZE: #12 THWN
- DISCONNECT SWITCH: 20 AMP DISCONNECT IN FRONT OF SIGN, BEFORE ENTERING STRUCTURE IN WEATHERPROOF BOX PER NEC 600.5
- MAXIMUM LOAD: 16 AMPS 120 VOLTS PER CIRCUIT; MAXIMUM CIRCUIT SIZE 20 AMPS PER NEC 600.6A
- BALLAST/POWER SUPPLY: (2) AGLIGHT #PS12-60WSL-100-27V
- LAMPS/LED: AGLIGHT #LS-PRO260-50K-2G3B, 81 LED MODULES
- CONDUIT: MINIMUM 1/2"
- TOTAL SIGN LOAD: 9.4 AMPS @ 12V
- TOTAL CIRCUIT REQUIRED: 2-
  - CIRCUIT 1 (MCDO) - 41 LED MODULES, 12 VDC, 57 WATT MAX, 4.8 AMPS
  - CIRCUIT 2 (NALD'S) - 40 LED MODULES, 12 VDC, 56 WATT MAX, 4.6 AMPS

ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C AND STATE, COUNTY, OR LOCAL CODES  
ALL SIGNS SHALL BE BONDED TO BUILDING EQUIPMENT BONDING CONDUCTOR PER N.E.C - 2017 ARTICLE 250

Wordmark Height (Inches)	Wordmark Width (Inches)	Sqft Calculation	Sqft per side	Number of sides	Proposed Qty.	Total Proposed Sqft
24"	197"	(24"197")144	32.8	1	1	32.8

Units & Equations:  
Units: 144 Sqin = 1 Sqft  
To convert measurement use the following conversion ratio: Sqft = Sqin/144  
Face Sqft = (Face Height \* Face Width)/144  
Total Proposed Sqft = (Face Sqft)/Proposed Qty.)

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COLBY BENNARDO, PE FL PE# 95197 CA# 9885

**WALL MOUNTED SIGN GENERAL NOTES**  
THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH EDITION (2023) & ASCE 7-22

**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
V<sub>50</sub> = 175 MPH EXPOSURE "C" V<sub>50</sub> = SQRT(0.6) \* V<sub>10</sub>  
RESULTANT DESIGN LOADING = +35/-45 PSF

**THIS SUBMITTAL IS A STRUCTURAL WIND ANALYSIS AND CERTIFICATION ONLY.** ANY IMPACT FROM FLYING DEBRIS SHALL INVALIDATE THIS CERTIFICATION AS ADDITIONAL FORCES MAY CONTRIBUTE TO FAILURES NOT WITHIN THE DESIGN SCOPE.  
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**STRUCTURAL MATERIALS:**  
1. ALL STRUCTURAL ALUMINUM MEMBERS SHALL BE ALUMINUM ALLOY 6063-T6 MIN U.O.N.  
2. ALL STRUCTURAL STEEL MEMBERS SHALL BE A36 MIN U.O.N.  
3. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.

**CONNECTIONS & ANCHORAGE:**  
**TO SOLID CONCRETE HOST OR GROUTED CMU WALL HOST**  
1. CONCRETE ANCHORS TO BE 3/8" DIAMETER ITW EXPANSION ANCHORS, DEWALT WEDGE-BOLTS, OR MNFR. RATED EQUAL INTO CONCRETE (FC= 3KSI MIN) OR GROUT FILLED ASTM C90 BLOCK (FM= 2KSI MIN), WITH 1-1/2" MIN EMBEDMENT AFTER FINISHES, & 3" MIN. EDGE DISTANCE.  
**TO WOOD FRAMED HOST**  
2. WOOD ANCHORS CENTERED IN 1-1/2" MIN PT WOOD STUD (SYP #2, G = 0.55 MIN) TO BE MIN. NON-CORROSIVE 3/8" LAG SCREWS (GRADE 2 MIN), ITW TAPCONS, DEWALT WEDGE-BOLTS OR MNFR. RATED EQUAL WITH 3" MIN. EMBEDMENT, 1-1/2" SPACING, AND 1-1/2" MIN E.D.  
**TO METAL FRAMED HOST**  
3. METAL ANCHORS INTO STEEL (1/8" THK, A36 MIN) OR ALUMINUM (1/8" THK, 6063-T6 MIN) TO BE NON-CORROSIVE 1/4 - 20 UNC (GRADE 2 MIN) PENETRATING 3 PITCHES PAST THE THREAD PLANE, AND 3/4" MIN E.D.  
4. THRU-BOLTS SHALL BE FITTED WITH A 1" MIN. WASHER & DOUBLE NUT U.O.N.  
5. BOLTS TO BE A-325, GRADE 5. A 2" MAX EXPOSED SHANK IS TO BE USED U.O.N.  
6. BOLT HOLES SHALL BE DRILLED THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16" TYP  
**IF ANCHOR SPACING UNSPECIFIED**  
7. USE 18" O.C. MAX SPACING FOR ALL ANCHORS (USE STANDARD SPACING TO MATCH THE HOST STRUCTURE SUBSTRATE). INSTALL ANCHORS NO LESS THAN 4" FROM EACH END OR CORNER OF SOLID HOST SUBSTRATE UNLESS NOTED OTHERWISE.  
8. (3) ANCHORS MIN. SHALL BE USED FOR ALL INDIVIDUAL CHANNEL LETTERS OR EACH SECTION OF RACEWAY. MINIMUM EMBEDMENT DEPTH DOES NOT INCLUDE STUCCO FINISHES, OR SHIM SPACING.  
9. ANCHOR QUANTITIES INDICATED IN DETAILS ARE FOR GRAPHICAL PURPOSES ONLY. DO NOT SCALE DIAMETER, LENGTH, OR PENETRATION(S), HEAD STYLE(S) ARE FREELY INTERCHANGEABLE.  
10. INTEGRITY & CERTIFICATION OF THE ATTACHMENT OF THE SIGN TO THE FRAMING & ALL SIGN COMPONENTS & CONNECTIONS SHALL BE BY MANUFACTURER. CERTIFICATION IS SOLELY FOR CONNECTION TO BASE & FOUNDATION DESIGN

**CERTIFICATION & LIABILITY**  
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2. DESIGN & CERTIFICATION OF ANY SEALANT OR WATERPROOFING IS NOT INCLUDED HEREIN.  
3. USE OF THIS DOCUMENT CONSTITUTES ACCEPTANCE OF THE PROPOSED SYSTEM LAYOUT, COMPONENTS SELECTED & INSTALLATION REQUIREMENTS  
4. ALL ELEMENTS OF THIS DESIGN SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ENGINEERING EXPRESS SHALL BE NOTIFIED AND GIVEN AN OPPORTUNITY TO RE-EVALUATE OUR WORK UPON A DISCOVERY OF ANY INACCURATE INFORMATION PRIOR TO MODIFICATION OF EXISTING FIELD CONDITIONS AND FABRICATION AND INSTALLATION OF MATERIALS.  
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6. ALTERNATIONS OR ADDITIONS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION  
7. SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR IS INDEMNITIES & SAVES HARMLESS THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.  
8. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED



## COLOR NOTES:



EVERWRITE LLC IS THE SIGN MANUFACTURER & LICENSE HOLDER  
UL FILE NUMBER E8733

SUBSTRATE	ANCHOR DESCRIPTION
CMU/CONCRETE	USE (12 MIN) 3/8" ITW EXPANSION ANCHORS THROUGH FINISH INTO CMU GROUT FILLED CELL OR 3000 PSI CONCRETE HOST STRUCTURE AT LOCATIONS NOTED. (2 ANCHORS ACCEPTABLE FOR APOSTROPHE). MAINTAIN 3" ANCHOR EMBEDMENT INTO SUBSTRATE, 3" EDGE DISTANCE, & 3" ANCHOR SPACING MIN.
WOOD	USE (12 MIN) 3/8" LAG SCREWS WITH BOLT AND WASHER (FOR PLYWOOD) THROUGH FINISH INTO WOOD OF ACM AT LOCATIONS NOTED. SPACING TO BE 1-1/2" MIN, EDGE DISTANCE TO BE 1-1/2" MIN, EMBD TO HOST SUBSTRATE TO BE 3" MIN, 5/8" SAE WASHER TO BE 5/8" MIN O.D.

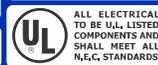


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(FAX) 561-840-6385

McDonald's #43805  
"COOPER CITY SHE - 1"  
2550 PINE ISLAND ROAD  
HOLLYWOOD, FL 33024

**SALES PERSON:**  
DRAWN BY: NICHOLE BURLESON  
SCALE: AS NOTED

**DATE DRAWN:**  
1.31.2025

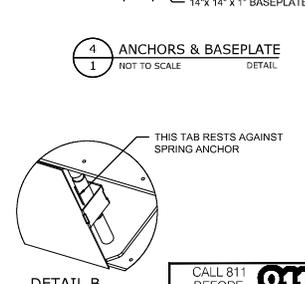
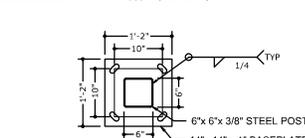
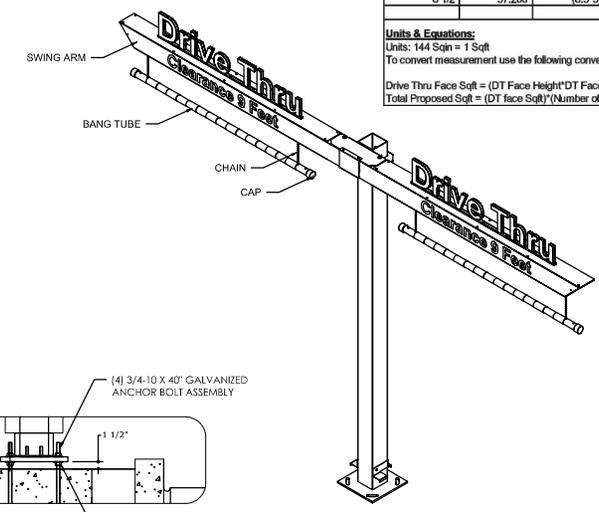
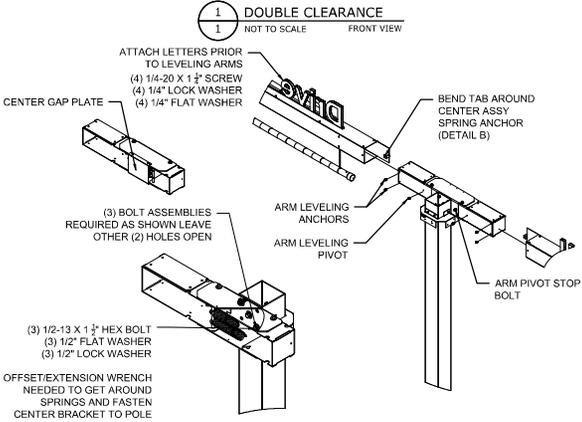
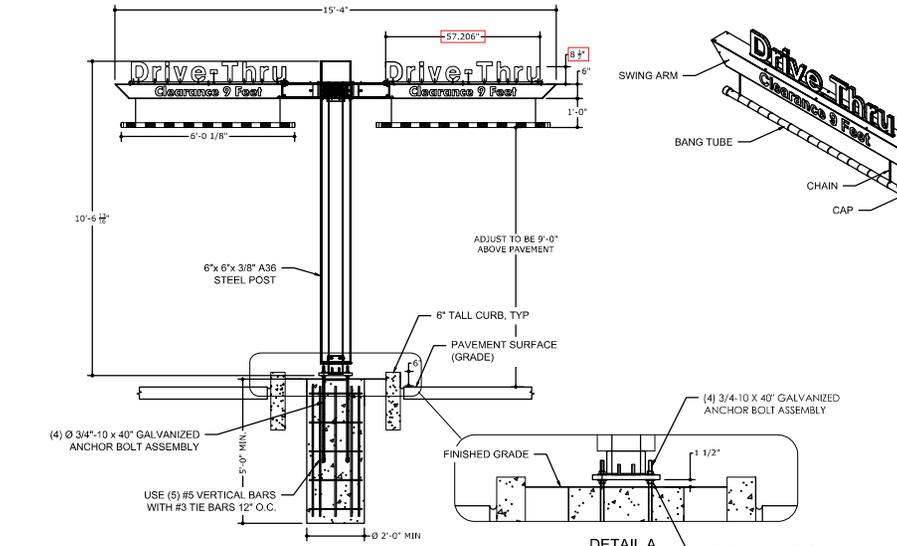


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CUSTOMER APPROVAL:

DATE:

# C DOUBLE GATEWAY CLEARANCE BAR



Drive Thru Face Height (Inches)	Drive Thru Face Width (Inches)	Drive Thru Face Sqft Calculation	Drive Thru Face Sqft	Number of sides	Proposed Qty.	Total Proposed Sqft
8' 1/2"	57' 206"	(8'57.206)/144	3.38	1	2	6.76

**Units & Equations:**  
 Units: 144 Sqin = 1 Sqft  
 To convert measurement use the following conversion ratio: Sqft = Sqin/144  
 Drive Thru Face Sqft = (DT Face Height\*DT Face Width)/144  
 Total Proposed Sqft = (DT Face Sqft)\*(Number of sides since ground sign)\*(Proposed Qty. of DT faces)

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 BOCA RATON, FL 33431  
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 IF HAND-SIGNED & SEALED, SCANNED COPIES ARE NOT TO BE USED FOR PERMIT

COLBY BENNARDO, PE FL PE# 95197 CA# 9885

**GROUND MOUNTED SIGN GENERAL NOTES**  
 THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH EDITION (2023) & ASCE 7-22

**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
 $V_{ult} = 175 \text{ MPH EXPOSURE 'C'}$ ,  $V_{ult} = \sqrt{0.6} * V_{ult}$  (SEISMIC SHALL NOT GOVERN)  
 RESULTANT DESIGN LOADING = 50 PSF

**THIS SUBMITTAL IS A STRUCTURAL WIND ANALYSIS AND CERTIFICATION ONLY.** ANY IMPACT FROM FLYING DEBRIS SHALL INVALIDATE THIS CERTIFICATION AS ADDITIONAL FORCES MAY CONTRIBUTE TO FAILURES NOT WITHIN THE DESIGN SCOPE.  
 ALL NON-STRUCTURAL ELECTRICAL / MECHANICAL UNITS AND COMPONENTS SHALL BE INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS. ANY INFORMATION NOT REFERENCED HEREIN SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS FOR THIS PRODUCT.

- STRUCTURAL MATERIALS:**
- ALL STRUCTURAL ALUMINUM MEMBERS SHALL BE ALUMINUM ALLOY 6063-T6 MIN U.O.N.
  - ALL STRUCTURAL STEEL MEMBERS SHALL BE A36 MIN U.O.N.
  - ALL WELDING MUST BE DONE BY AN AWS/AWS CERTIFIED WELDER AND SHALL CONFORM TO AISC STEEL CONSTRUCTION MANUAL 15TH ED & AWS D1.1 & D1.2. "STRUCTURAL WELDING CODE-STEEL", LATEST EDITION AS INSPECTED AND VERIFIED BY OTHERS.
  - ALL WELDS SHALL BE MADE USING LOW HYDROGEN ELECTRODES WITH MINIMUM TENSILE STRENGTH PER AWS D1.1 (MINIMUM 70 KSI, E70XX)
  - MIN. WELD IS 1/8" FULL FILLET WELD (U.N.O.). ALL WELDS NOT OTHERWISE IDENTIFIED SHALL BE CONTINUOUS.
  - WELDS SHALL SHOW UNIFORM SECTION, SMOOTHNESS OF WELD METAL, FREEDOM FROM POROSITY AND CLINKERS, AND ADEQUATE STRENGTH AND DURABILITY. FIELD WELDS SHALL BE CLEANED AND TOUCHED-UP WITH COLD-GALVANIZING COMPOUND AND TMEC 1099G PRIMER AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.

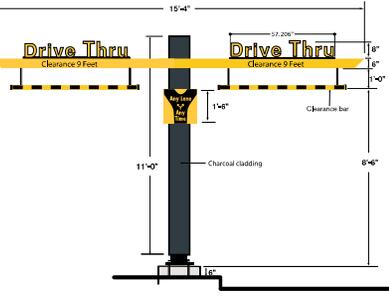
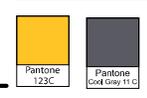
- CONCRETE, AND EARTHWORK:**
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 288 DAYS. ALL MIXING, TRANSPORTING, PLACING, & CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318. IF UNREINFORCED, CONCRETE SHALL INCLUDE 0.18% BY VOLUME OF FIBER MESH ADDITIVE.
  - STEEL REINFORCEMENT: ALL REINFORCEMENT SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 (U.N.O.), FREE FROM OIL, LOOSE SCALE AND RUST. REINFORCEMENTS SHALL BE BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE "ACI DETAILING MANUAL" AND ACI 318. ALL STEEL SHALL BE SECURELY HELD IN PLACE DURING POURING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. MINIMUM 3" EDGE DISTANCE FROM ANY CONCRETE FACE FOR ALL BARS UNLESS OTHERWISE NOTED IN THE DRAWING.
  - SOIL STATEMENT:** SURROUNDING SOIL TO BE WELL COMPACTED BY MECHANICAL MEANS TO 90% OPTIMUM DENSITY, BE FREE OF MUCK AND ORGANICS, AND ACHIEVE 2000 PSF MIN BEARING PRESSURE AND 150 PSF MIN LATERAL BEARING PRESSURE BELOW NATURAL GRADE. SHOULD CONDITIONS IN THE FIELD DURING CONSTRUCTION DIFFER, THIS ENGINEER SHALL BE NOTIFIED FOR SITE EVALUATION BEFORE COMPLETING THE FOUNDATION CONSTRUCTION.

**CONNECTIONS & ANCHORAGE:**  
 11. INTEGRITY & CERTIFICATION OF THE ATTACHMENT OF THE SIGN TO THE FRAMING & ALL SIGN COMPONENTS & CONNECTIONS SHALL BE BY MANUFACTURER. CERTIFICATION IS SOLELY FOR CONNECTION TO BASE & FOUNDATION DESIGN

**CERTIFICATION & LIABILITY:**  
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- EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED

**COLOR NOTES:**



DRIVE THRU LETTERS (3.38 SQFT EACH)  
 (DOUBLE ARM 6.76 SQFT TOTAL)  
 FOR REFERENCE ONLY

EVERBRITE LLC IS THE SIGN MANUFACTURER



1740 HILL AVENUE  
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 (FAX) 561-840-6385

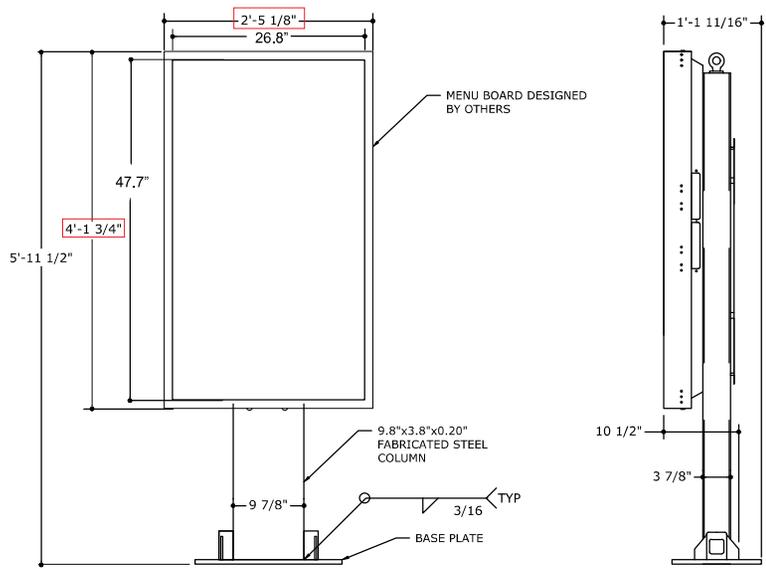
McDonald's #43805  
 "COOPER CITY SHE - 1"  
 2550 PINE ISLAND ROAD  
 HOLLYWOOD, FL 33024

**SALES PERSON:**  
 DRAWN BY: NICHOLE BURLESON  
 SCALE: AS NOTED  
**DATE DRAWN:**  
 1.31.2025



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CUSTOMER APPROVAL:	
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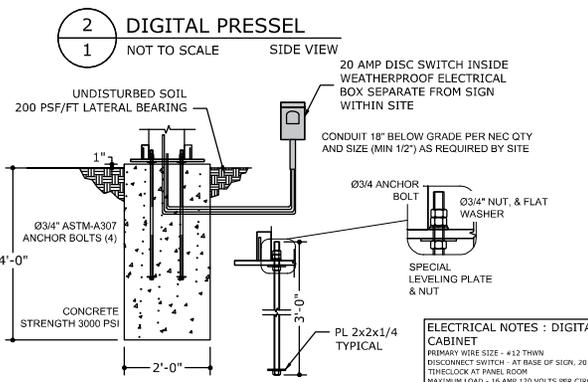
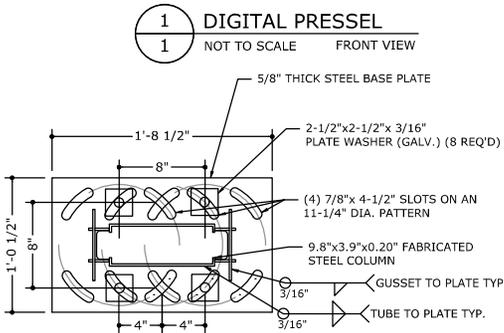
**D D DIGITAL PRESELL (10.06 SQFT w/TRIM)**



Digital Presell Sign Area Calculation						
Face Height (Inches)	Face Width (Inches)	Face Sqft Calculation	Face Sqft	Number of sides	Proposed Qty.	Total Proposed Sqft
4'-1 3/4"	2'-5 1/8"	(49.75*29.125)/144	10.06	1	2	20.12

**Units & Equations:**  
 Units: 144 Sqin = 1 Sqft  
 To convert measurement use the following conversion ratio: Sqft = Sqin/144  
 Face Sqft = (Face Height\*Face Width)/144  
 Total Proposed Sqft = (Face Sqft)\*(Number of sides F ground sign)\*(Proposed Qty. of faces)

**ILLUMINATED SQFT: 8.8**



**ELECTRICAL NOTES - DIGITAL PRESELL CABINET**  
 PRIMARY WIRE SIZE - #12 THINW  
 DISCONNECT SWITCH - AT BASE OF SIGN, 20 AMP DOUBLE POLE,  
 THREELOCK AT PANEL ROOM  
 MAXIMUM LOAD - 15 AMPS 120 VOLTS PER CIRCUIT MAXIMUM  
 CIRCUIT SIZE 20 AMPS PER NEC 600-6A  
 CONDUIT - MINIMUM 1/2"  
 TOTAL SIGN LOAD - 5.7 AMPS 120 VOLTS  
 TOTAL SIGN CIRCUITS - QTY 1 120/160 10 AMP  
 ALL COMPONENTS SHALL BE UL APPROVED  
 ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C. AND  
 STATE, COUNTY, OR LOCAL CODES  
 ALL SIGNS SHALL BE ROUNDED TO BUILDING EQUIPMENTS  
 BONDING CONDUCTOR PER N.E.C. 250

CALL 811 BEFORE YOU DIG OR VISIT WWW.C811.COM

COATES US IS THE LICENSE HOLDER  
 UL FILE NUMBER E360945

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 COLBY BENNARDO, PE FL PE# 95197 CA# 9885

**GROUND MOUNTED SIGN GENERAL NOTES**  
 THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH EDITION (2023) & ASCE 7-22

**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
 $V_{ult} = 175$  MPH EXPOSURE 'C',  $V_{ref} = 94ft(0.6) * V_{ult}$  (SEISMIC SHALL NOT GOVERN)  
 RESULTANT DESIGN LOADING = 50 PSF

**THIS SUBMITTAL IS A STRUCTURAL WIND ANALYSIS AND CERTIFICATION ONLY.** ANY IMPACT FROM FLYING DEBRIS SHALL INVALIDATE THIS CERTIFICATION AS ADDITIONAL FORCES MAY CONTRIBUTE TO FAILURES NOT WITHIN THE DESIGN SCOPE.  
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- STRUCTURAL MATERIALS:**
- ALL STRUCTURAL ALUMINUM MEMBERS SHALL BE ALUMINUM ALLOY 6063-T6 MIN U.O.N.
  - ALL STRUCTURAL STEEL MEMBERS SHALL BE A36 MIN U.O.N.
  - ALL WELDING MUST BE DONE BY AN ANSI/AWS CERTIFIED WELDER AND SHALL CONFORM TO AISC STEEL CONSTRUCTION MANUAL 15TH ED & AWS D1.1 & D1.2. "STRUCTURAL WELDING CODE-STEEL", LATEST EDITION AS INSPECTED AND VERIFIED BY OTHERS.
  - ALL WELDS SHALL BE MADE USING LOW HYDROGEN ELECTRODES WITH MINIMUM TENSILE STRENGTH PER AWS D1.1 (MINIMUM 70 KSI, E70XX)
  - MIN. WELD IS 1/8" FULL FILLET WELD (U.N.O.). ALL WELDS NOT OTHERWISE IDENTIFIED SHALL BE CONTINUOUS.
  - WELDS SHALL SHOW UNIFORM SECTION, SMOOTHNESS OF WELD METAL, FREEDOM FROM POROSITY AND CLINKERS, AND ADEQUATE STRENGTH AND DURABILITY. FIELD WELDS SHALL BE CLEANED AND TOUCHED-UP WITH COLD-GALVANIZING COMPOUND AND TMEC 1099G PRIMER AS REQUIRED.
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- CONCRETE, AND EARTHWORK:**
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  - STEEL REINFORCEMENT: ALL REINFORCEMENT SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NUB BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 (U.N.O.), FREE FROM OIL, LOOSE SCALE AND RUST. REINFORCEMENTS SHALL BE BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE "ACI DETAILING MANUAL" AND ACI 318. ALL STEEL SHALL BE SECURELY HELD IN PLACE DURING POURING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. MINIMUM 3" EDGE DISTANCE FROM ANY CONCRETE FACE FOR ALL BARS UNLESS OTHERWISE NOTED IN THE DRAWING.
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McDonald's #43805  
 "COOPER CITY SHE - 1"  
 2550 PINE ISLAND ROAD  
 HOLLYWOOD, FL 33024

**SALES PERSON:**  
 DRAWN BY: NICHOLE BURLESON  
 SCALE: AS NOTED  
**DATE DRAWN:**  
 1.31.2025

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 ALL ELECTRICAL TO BE UL LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS

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CUSTOMER APPROVAL: [X] DATE: [X]

# E CANOPY - SPRINGBOARD MODEL

(ORDER HERE LETTERS 1.73SQFT)

Springboard Canopy "ORDER HERE" Letters Sign Area Calculation						
Face Height (inches)	Face Width (inches)	Face Sqft Calculation	Face Sqft	Number of sides	Proposed Qty.	Total Proposed Sqft
7	35.58"	(7" x 35.58"/144)	1.73	1	2	3.46

**Units & Equations:**  
 Units: 144 Sqft = 1 Sqft  
 To convert measurement use the following conversion ratio: Sqft = Sqft/144  
 Face Sqft = (Face Height) \* (Face Width) / 144  
 Total Proposed Sqft = (Face Sqft) \* (Number of sides) \* (Proposed Qty. of faces)

**ENGINEERING EXPRESS**  
 POSTAL ADDRESS:  
 2234 NORTH FEDERAL HWY #7664  
 BOCA RATON, FL 33431  
 ENGINEERINGEXPRESS.COM

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COLBY BENNARDO, PE FL PE# 95197 CA# 9885

**GROUND MOUNTED SIGN GENERAL NOTES**  
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**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
 $V_{ULT} = 175$  MPH EXPOSURE "C",  $V_{ASD} = \text{sqrt}(0.6) * V_{ULT}$  (SEISMIC SHALL NOT GOVERN)  
 RESULTANT DESIGN LOADING = 55 PSF

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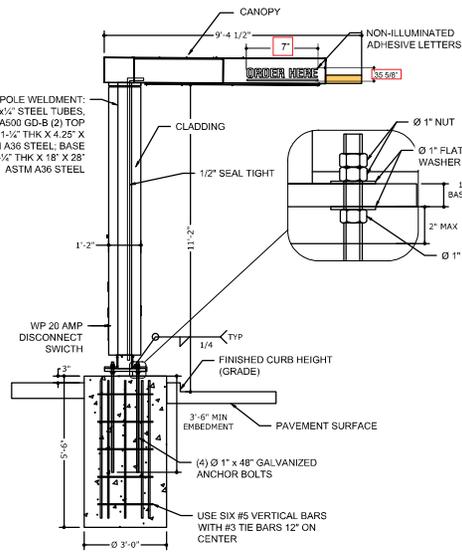
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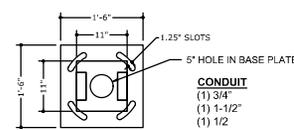
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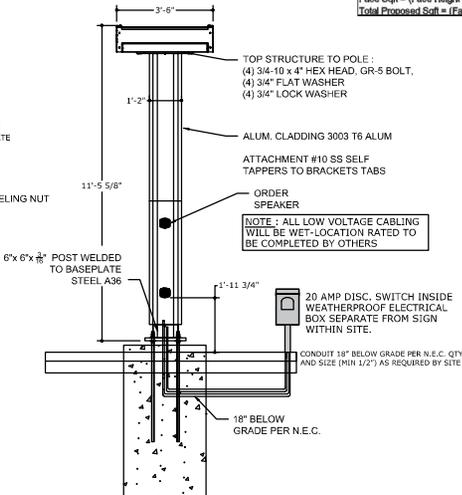
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1 SPRINGBOARD CANOPY  
 NOT TO SCALE  
 SIDE VIEW



3 ANCHORS & BASEPLATE  
 NOT TO SCALE  
 DETAIL



2 SPRINGBOARD CANOPY  
 NOT TO SCALE  
 FRONT VIEW



4 SPRINGBOARD CANOPY  
 FOR REFERENCE ONLY

**ELECTRICAL NOTES : ILLUMINATED CABINET**

PRIMARY WIRE SIZE - #12 THWN  
 DISCONNECT SWITCH - AT BASE OF SIGN, 20AMP PHOTOCELL, TIME CLOCK, OR ASTRONOMICAL CLOCK  
 MAXIMUM LOAD - 16 AMPS 120 VOLTS PER 20AMP CIRCUIT PER NEC 600-6A

CONDUIT - MINIMUM 1/2"  
 TOTAL SIGN LOAD - 1.5 AMPS, 120 VOLTS, 60 Hz  
 TOTAL SIGN CIRCUITS - 1

ALL COMPONENTS SHALL BE UL APPROVED, AND COMPLETE SIGN UNIT SHALL HAVE A UL LISTING STOCKER

ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C. AND STATE, COUNTY, OR LOCAL CODES  
 ALL SIGNS SHALL BE BONDED TO BUILDING EQUIPMENTS BONDING CONDUCTOR PER N.E.C. 250

CALL 811 BEFORE YOU DIG OR VISIT WWW.CALL811.COM

**COLOR NOTES:**



EVERRITE LLC IS THE SIGN MANUFACTURER & LICENSE HOLDER  
 UL FILE NUMBER E9733

**KEMP Signs & Service, Inc.**  
 ES0000229

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 WEST PALM BEACH, FL.  
 33407  
 561-840-6382  
 (FAX) 561-840-6385

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 1.31.2025

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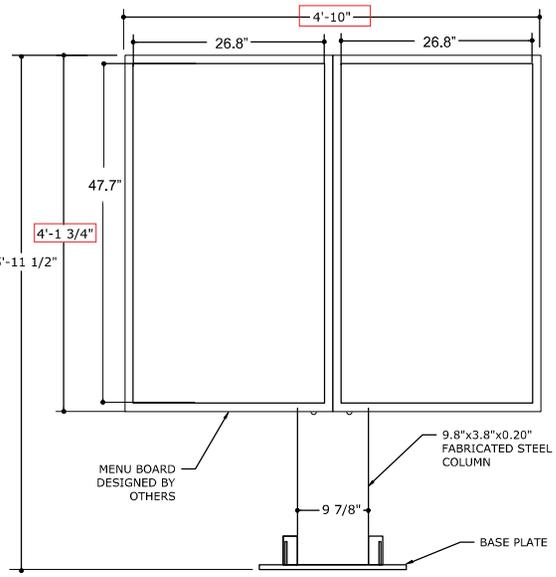
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CUSTOMER APPROVAL:	DATE:
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# F F DIGITAL MENU BOARD (20.04 SQFT w/TRIM)

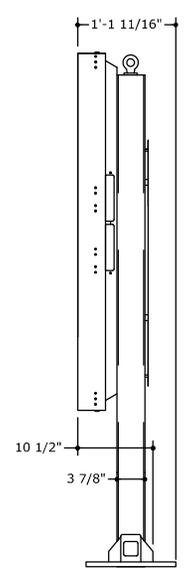
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COLBY BENNARDO, PE FL PE# 95197 CA# 9885



**1 DIGITAL MENU BOARD**  
 1 NOT TO SCALE FRONT VIEW

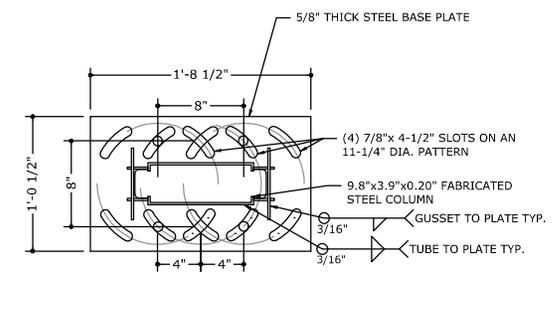


**2 DIGITAL MENU BOARD**  
 1 NOT TO SCALE SIDE VIEW

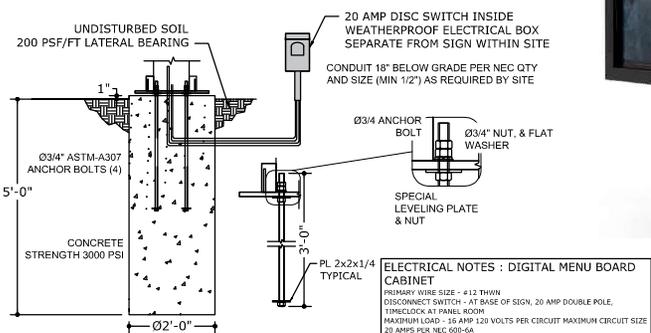
Face Height (inches)	Face Width (inches)	Face Sqft Calculation	Face Sqft	Number of sides	Proposed Qty.	Total Proposed Sqft
4'-1 3/4"	4'10"	(49.75*58)/144	20.04	1	2	40.08

**Units & Equations:**  
 Units: 144 Sqin = 1 Sqft  
 To convert measurement use the following conversion ratio: Sqft = Sqin/144  
 Face Sqft = (Face Height\*Face Width)/144  
 Total Proposed Sqft = (Face Sqft)\*(Number of sides IF ground sign)\*(Proposed Qty. of faces)

ILLUMINATED SQFT: 17.76



**3 BASEPLATE DETAIL**  
 1 NOT TO SCALE PLAN ELEVATION



**4 ANCHOR BOLT DETAIL**  
 1 NOT TO SCALE DETAIL

**ELECTRICAL NOTES - DIGITAL MENU BOARD CABINET**  
 PRIMARY WIRE SIZE - #12 THIN  
 DISCONNECT SWITCH - AT BASE OF SIGN, 20 AMP DOUBLE POLE, TIMECLOCK AT PANEL ROOM  
 MAXIMUM LOAD - 16 AMP 120 VOLTS PER CIRCUIT MAXIMUM CIRCUIT SIZE 20 AMP PER NEC 690.64  
 CONDUIT - MINIMUM 1/2"  
 TOTAL SIGN LOAD - 9.8 AMPS 120 VOLTS  
 TOTAL SIGN CIRCUITS - QTY 2 (1. 120V/160 15 AMP, 2. 120V/160 10 AMP)  
 ALL COMPONENTS SHALL BE UL APPROVED  
 ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C. AND STATE, COUNTY OR LOCAL CODES  
 ALL SIGNS SHALL BE BONDED TO BUILDING EQUIPMENTS BONDING CONDUCTOR PER N.E.C. 250



**COATES US IS THE LICENSE HOLDER**  
 UL FILE NUMBER E360945

**GROUND MOUNTED SIGN GENERAL NOTES**  
 THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 8TH EDITION (2023) & ASCE 7-22

**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
 $V_{ref} = 175$  MPH EXPOSURE 'C',  $V_{des} = 50(0.6)^{.2} V_{ref}$  (SEISMIC SHALL NOT GOVERN)  
 RESULTANT DESIGN LOADING = 50 PSF

**THIS SUBMITTAL IS A STRUCTURAL WIND ANALYSIS AND CERTIFICATION ONLY.** ANY IMPACT FROM FLYING DEBRIS SHALL INVALIDATE THIS CERTIFICATION AS ADDITIONAL FORCES MAY CONTRIBUTE TO FAILURES NOT WITHIN THE DESIGN SCOPE.  
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**STRUCTURAL MATERIALS:**  
 1. ALL STRUCTURAL ALUMINUM MEMBERS SHALL BE ALUMINUM ALLOY 6063-T6 MIN U.O.N.  
 2. ALL STRUCTURAL STEEL MEMBERS SHALL BE A36 MIN U.O.N.  
 3. ALL WELDING MUST BE DONE BY AN ANSI/AWS CERTIFIED WELDER AND SHALL CONFORM TO AISC STEEL CONSTRUCTION MANUAL 15TH ED & AWS D1.1 & D1.2. "STRUCTURAL WELDING CODE-STEEL", LATEST EDITION AS INSPECTED AND VERIFIED BY OTHERS.  
 4. ALL WELDS SHALL BE MADE USING LOW HYDROGEN ELECTRODES WITH MINIMUM TENSILE STRENGTH PER AWS D1.1 (MINIMUM 70 KSI, E70XX)  
 5. MIN. WELD IS 1/8" FULL FILLET WELD (U.N.O.). ALL WELDS NOT OTHERWISE IDENTIFIED SHALL BE CONTINUOUS.  
 6. WELDS SHALL SHOW UNIFORM SECTION, SMOOTHNESS OF WELD METAL, FREEDOM FROM POROSITY AND CLINKERS, AND ADEQUATE STRENGTH AND DURABILITY. FIELD WELDS SHALL BE CLEANED AND TOUCHED-UP WITH COLD-GALVANIZING COMPOUND AND TIMEC 1099G PRIMER AS REQUIRED.  
 7. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.

**CONCRETE, AND EARTHWORK:**  
 8. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 288 DAYS. ALL MIXING, TRANSPORTING, PLACING, & CURING OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318. IF UNREINFORCED, CONCRETE SHALL INCLUDE 0.18% BY VOLUME OF FIBER MESH ADDITIVE.  
 9. STEEL REINFORCEMENT - ALL REINFORCEMENT SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BULLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 (U.N.O.), FREE FROM OIL, LOOSE SCALE AND RUST. REINFORCEMENTS SHALL BE BENT, LAPPED, PLACED, SUPPORTED AND FASTENED ACCORDING TO THE "ACI DETAILING MANUAL" AND ACI 318. ALL STEEL SHALL BE SECURELY HELD IN PLACE DURING POURING OF CONCRETE. IF REQUIRED, ADDITIONAL BARS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. MINIMUM 3" EDGE DISTANCE FROM ANY CONCRETE FACE FOR ALL BARS UNLESS OTHERWISE NOTED IN THE DRAWING.  
 10. **SOIL STATEMENT:** SURROUNDING SOIL TO BE WELL COMPACTED BY MECHANICAL MEANS TO 90% OPTIMUM DENSITY, BE FREE OF MUCK AND ORGANICS, AND ACHIEVE 2000 PSF MIN BEARING PRESSURE AND 150 PSF MIN LATERAL BEARING PRESSURE BELOW NATURAL GRADE. SHOULD CONDITIONS IN THE FIELD DURING CONSTRUCTION DIFFER, THIS ENGINEER SHALL BE NOTIFIED FOR SITE EVALUATION BEFORE COMPLETING THE FOUNDATION CONSTRUCTION.

**CONNECTIONS & ANCHORAGE:**  
 11. INTEGRITY & CERTIFICATION OF THE ATTACHMENT OF THE SIGN TO THE FRAMING & ALL SIGN COMPONENTS & CONNECTIONS SHALL BE BY MANUFACTURER. CERTIFICATION IS SOLELY FOR CONNECTION TO BASE & FOUNDATION DESIGN

**CERTIFICATION & LIABILITY:**  
 12. ELECTRICAL NOTES ARE INCLUDED FOR REFERENCE ONLY & ARE NOT INCLUDED IN THIS CERTIFICATION. ELECTRICAL GROUND, WHEN REQUIRED, TO BE DESIGNED & INSTALLED BY OTHERS. DESIGNS & DIRECTION SHALL BE PERMITTED BY A LICENSED ELECTRICAL CONTRACTOR.  
 13. DESIGN & CERTIFICATION OF ANY SEALANT OR WATERPROOFING IS NOT INCLUDED HEREIN.  
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 19. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED



**1740 HILL AVENUE**  
**WEST PALM BEACH, FL.**  
**33407**  
**561-840-6382**  
**(FAX) 561-840-6385**

McDonald's #43805  
 "COOPER CITY SHE - 1"  
 2550 PINE ISLAND ROAD  
 HOLLYWOOD, FL 33024

**SALES PERSON:**  
 DRAWN BY: NICHOLE BURLESON

SCALE: AS NOTED

**DATE DRAWN:**  
 1.31.2025



#1 00.00.00  
 #1 00.00.00  
 #1 00.00.00  
 #1 00.00.00

CUSTOMER APPROVAL:

DATE:

# G G DIRECTIONAL 36" x 18" (1.5 SQFT)



POSTAL ADDRESS:  
2234 NORTH FEDERAL HWY #7664  
BOCA RATON, FL 33431  
ENGINEERINGEXPRESS.COM

IF THIS DOCUMENT IS DIGITALLY SIGNED, PRINTED COPIES ARE NOT CONSIDERED SIGNED & SEALED. SIGNATURE MUST BE VERIFIED BY THE FOLLOWING COPIES:  
IF HAND-SIGNED & SEALED, SCANNED COPIES ARE NOT TO BE USED FOR PERMIT

COLBY BERNARDO, PE FL PE# 95197 CA# 9885

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**WIND LOADING DESIGN CRITERIA (ALL CONDITIONS UP TO AND INCLUDING):**  
V<sub>ULT</sub> = 175 MPH EXPOSURE "C", V<sub>ASD</sub> = sqrt(0.6) \* V<sub>ULT</sub> (SEISMIC SHALL NOT GOVERN)  
RESULTANT DESIGN LOADING = 50 PSF

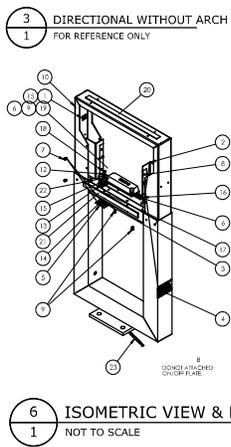
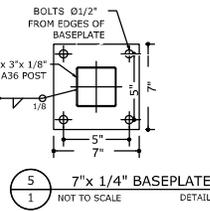
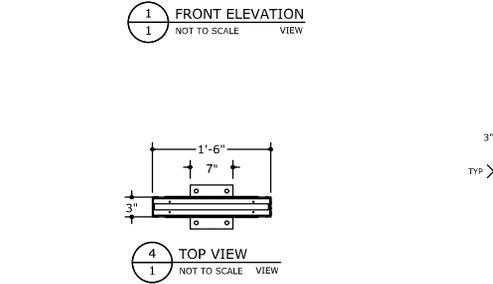
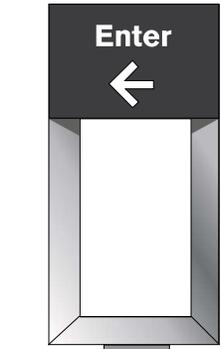
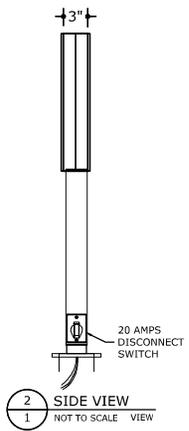
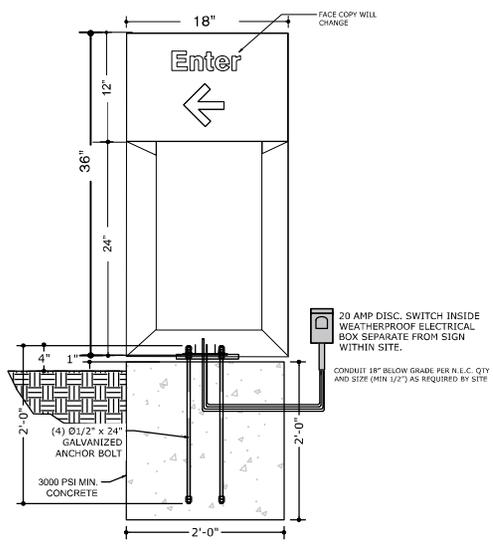
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ITEM NO.	PART NUMBER	Description	QTY.
1	CC0107006	CLIP MNTG PLATFORM	4
2	FMS281705	FAB. 063" LED BRKT 18X23 DR W/A	2
3	LAP94200	LABEL LIL ELEC	1
4	E4255400	LABEL IDENTITY SYS WFG SM	1
5	EA3134005	LABEL ON/OFF BLACK COPY	1
6	NI010200	#8-32 RHHD STALIC	2
7	R001100	RIVET PZR 316 D MAX G 7/16	4
8	R002100	RIVET 1/8-157-312 GRP RANGE	4
9	SC1118025	#8-32 X 1/2" PH PHD MS	2
10	0480010		1
11	TW001600	TEA N'LN CABL E	4
12	00800222	TERMINAL CRIMP 12 10GA	1
13	33030355	CONN TERM BLOCK 2COND 12AWG	2
14	33140034	SWITCH TOGGLE 277V 20A W/BOOT	1
15	04240202	PWRSPLY LED30W-24 THOMAS RESEA	1
16	31600108	TRK MCO 10P4X155 1A500R	1
17	SC109301	SCSW 8-32X1/2 PH FPHD TRF 2IN	1
18	NI009000	NUT #8-32 RHHD	1
19	W0594005	FAB 055" LED SUPP BRKT	1
20	W0133005	STRIP PORON 1/16" X 7/8" X 1'	1
21	W0134005	STRIP PORON 1/16" X 7/8" X 1.5'	4
22	W020108	WSR # 8 EXT 5/16" BNC	1
23	825-0018	WIRE THIN 12AWG-600V-BLK/W/G	1

**ELECTRICAL NOTES : ILLUMINATED CABINET**  
PRIMARY WIRE SIZE - #12 THWN  
DISCONNECT SWITCH - AT BASE OF SIGN, 20AMPAND PHOTOCELL, TIME CLOCK, OR ASTRONOMICAL CLOCK  
MAXIMUM LOAD - 16 AMPS 120 VOLTS PER 20AMP CIRCUIT PER NEC 600-6A  
POWER SUPPLY : AMPERON ANP90-30P1  
ILLUMINATION : LED MODULE  
CONDUIT: 3/4"  
TOTAL SIGN LOAD 1.30 AMPS @ 120 VOLTS  
TOTAL SIGN CIRCUITS - QTY 1  
ALL COMPONENTS SHALL BE UL APPROVED, AND COMPLETE SIGN UNIT SHALL HAVE A UL LISTING STICKER  
ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH N.E.C, AND STATE, COUNTY, OR LOCAL CODES  
ALL SIGNS SHALL BE BONDED TO BUILDING EQUIPMENTS BONDING CONDUCTOR PER N.E.C. 250

**INSTALLATION INSTRUCTIONS:**  
1. STAKE FOUNDATION AREA AND CONFIRM FINAL GRADE REQUIREMENTS WITH G.C.  
2. EXCAVATE FOUNDATION AREA.  
3. POUR FOUNDATION ( 24" x 24" ), INSERT (4) 01/2" x 24" ANCHOR BOLTS.  
4. ALLOW CONCRETE CURE TIME AS REQUIRED.  
5. PLACE (4) 01/2" LEVELING NUTS AND WASHERS ON THE FOUR ANCHOR BOLTS TO PROVIDE A 1" GAP BETWEEN THE FOUNDATION AND BASE PLATE OF THE SIGN.  
6. POSITION THE SIGN ONTO THE ANCHOR BOLTS AND SECURE IN PLACE WITH (4) 01/2" NUTS AND WASHERS.  
7. LEVEL POLE BY ADJUSTING THE 1/2" NUTS.  
8. MAKE WIRING CONNECTION.  
9. CLEAN SITE OF PACKAGING MATERIAL.  
10. TAKE PHOTO OF INSTALLATION AND HAVE FIELD SERVICE REPORT SIGNED BY OPERATOR OR MANAGER.

**FACE DETAILS :**  
• LASER CUR ALUMINUM  
• FACES PAINTED CHARCOAL  
• WHITE ILLUMINATED COPY AND ARROW

**AVAILABLE COPY :**  
• ENTER  
• EXIT  
• WELCOME  
• THANK YOU  
• DRIVE THRU

**COLOR NOTES:**



EVERBRITE LLC IS THE SIGN MANUFACTURER & LICENSE HOLDER  
UL FILE NUMBER E0733



1740 HILL AVENUE  
WEST PALM BEACH, FL.  
33407  
561-840-6382  
(FAX) 561-840-6385

McDonald's #43805  
"COOPER CITY SHE - 1"  
2550 PINE ISLAND ROAD  
HOLLYWOOD, FL 33024

SALES PERSON:  
DRAWN BY: NICHOLE BURLESON  
SCALE: AS NOTED  
DATE DRAWN:  
02.10.2025



#1 00.00.00  
#1 00.00.00  
#1 00.00.00  
#1 00.00.00

CUSTOMER APPROVAL: [X] DATE: [X]

**RESPONSE NARRATIVE**

**11/12/2025**

**MCDONALD'S CONVERSION @ CC COMMONS**

**SITE PLAN AMENDMENT # SPA 9/2/25**

**VARIANCE # V 9/1/25**

**2550 PINE ISLAND ROAD**

**COOPER CITY**

**POLICE DEPARTMENT COMMENTS:**

1. Provide hours of operation & security details/ops plan.

**RESPONSE: We are requesting the similar hours of operation to Taco Bell and if a condition of a camera system that ties into the City's Real Time Crime Center is required. We would provide this.**

**Proposed hours of operation are:**

<b>Monday – Thursday</b>	<b>(7 AM – 4 AM)</b>
<b>Friday</b>	<b>(7 AM – 4 AM)</b>
<b>Saturday</b>	<b>(8 AM – 4 AM)</b>
<b>Sunday</b>	<b>(8 AM – 4 AM)</b>

**LANDSCAPE COMMENTS:**

1. Comments will be forthcoming after site inspection but mainly centered around any missing or replacement of poor conditioned material.

**RESPONSE: ACKNOWLEDGED.**

**P&Z COMMENTS:**

1. See attached comments on applications/justification statements.

**RESPONSE: Acknowledged.**

2. Proposed signage shown on renderings exceed code allowances and will require a sign waiver.

**RESPONSE: A sign waiver is being requested for the proposed signage.**

3. Submit a new proposal sign package with white & yellow as outparcel sign colors.

**RESPONSE: A proposed sign package with white & yellow sign colors is provided.**

4. Indicate on color renderings what color/elements of the new proposed building will establish a “homogenous design” with the main building.

**RESPONSE: Please see the DRC notes on the updated 11 x 17 colored elevations.**

5. Create a pavement marking and signage sheet with the relevant detail exhibits from sheets 901 and 904. Reconcile striping conflicts between the exhibits. Code requires double stripes.

**RESPONSE: A Pavement Marking and Signage Plan has been created and is provided on Sheet C-304. Details from Sheets 901 through 904 were incorporated on C-305 and all conflicting striping information between those exhibits was reconciled.**

6. Show wheel stops on the parking stall layouts designed to have them.

**RESPONSE: Wheel stops have been provided as requested. Please note, the wheels stops are only provided along the parking areas that do not have 6” curb reveal.**

7. Provide height & type of proposed safety fence. FYI, code does not permit wind screen on fences.

**RESPONSE: A detail showing the height and type of the proposed safety fence has been added to Sheet C-801. No wind screen is included in accordance with code requirements.**

8. Consolidate inconsistencies with number of parking spaces provided/ needed for variance. There are 3 different scenarios throughout the submittal documents.

**RESPONSE: The inconsistencies with number of parking spaces has been consolidated on all documents to match.**

9. Be advised that CBWCD approval is required before petition will be scheduled for City Commission Approval.

**RESPONSE: Acknowledged.**

#### **ENGINEERING DEPT. COMMENTS:**

1. Sheet C-302 drive through lane minimum 12-foot width. Show solid yellow stripe at 12-foot width for all drive through lanes. Change 15-foot lane to 13 foot width and 17.9 lane width to a 15.9 width to accommodate the 12 drive through lanes.

**RESPONSE: Drive-through lane widths and striping have been revised as requested. A solid yellow stripe has been added at the 12-foot width for all drive-through lanes. The 15-foot lane has been adjusted to 13 feet, and the 17.9-foot lane has been revised to 15.9 feet to accommodate the 12-foot drive-through lanes.**

2. Sheet C501 on proposed sanitary dog house, what is the elevation difference on proposed invert verse existing invert? More that 2-foot difference would require an inside manhole drop.

**RESPONSE: The slope of the proposed pipe has been adjusted so the internal drop of the manhole is less than 2 feet, ensuring compliance with the requirement.**

3. Are there any changes to the water meter size?

**RESPONSE: Changes in the water meter size are not anticipated for this project.**

Engineering permit submittal requirements: See attached Engineering Permit.

1. Two sets of drawings
2. Engineer's cost estimate for water, sewer, paving & drainage.

**RESPONSE: Engineer's cost estimate enclosed.**

3. Performance bond.
4. Cert of Insurance naming Cooper City as second holder,
5. Copy of contractors license.

**Please see Sunbiz included that shows William W. Wayburn , Vice President of Real Estate.**

NOTES

- 1. APPROXIMATE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE PER A PRIVATE UTILITY MARKOUT PERFORMED BY BLOOD HOUND LLC...
2. THIS SURVEY WAS PERFORMED IN THE FIELD ON DECEMBER 19, 2024 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS...
3. ELEVATIONS ARE BASED ON NAVD83 DATUM DETERMINED BY GPS OBSERVATIONS AND TIED IN TO THE NGS BENCHMARK NO. AJ9044 WITH A PUBLISHED ELEVATION OF 8.87 FEET...
4. THE PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA...
5. ZONING: GENERAL BUSINESS (B-3)
BUILDING SETBACKS: FRONT: NONE REAR: NONE LEFT: NONE RIGHT: NONE
ALL ZONING INFORMATION WAS PROVIDED IN A ZONING REPORT PREPARED BY BOHLER ENGINEERING...
6. NO SURVEY OF SUBTERRANEAN STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS OR BASEMENTS WAS PERFORMED...
7. THERE IS NO RECENT EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK...
8. THERE ARE NOT ANY CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED...
9. TREES 4 INCHES DIAMETER AT BREAST HEIGHT (DBH) AND LARGER HAVE BEEN LOCATED WITHIN THE LIMITS OF TOPOGRAPHIC SURVEY SHOWN ON SHEET 3...
10. THERE ARE NO VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THE SURVEY AND LISTED BELOW...
11. THE PROPERTY HAS DIRECT ACCESS ALONG PINE ISLAND ROAD...
12. BOHLER WAS NOT MADE AWARE OF ANY WETLAND DELINEATION PERFORMED ON THE SUBJECT PROPERTIES...
13. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE 'STANDARDS OF PRACTICE' AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS...
14. THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM...
15. ALL DISTANCES ARE MEASURED GROUND DISTANCES UNLESS NOTED OTHERWISE...
16. PARKING: 59 STANDARD 3 ADA 62 TOTAL SPACES
17. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY ANYONE OTHER THAN THE SIGNING PARTY...
18. THIS MAP IS INTENDED TO BE DEPICTED AT A SCALE OF 1"=20' ON 24"x36" SHEETS...
19. SOME TOPOGRAPHIC FEATURES MAY BE EXAGGERATED IN SCALE FOR CLARITY...
20. © COPYRIGHT 2025 BY BOHLER ENGINEERING FL, LLC. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND STAMP...

REFERENCES (\*):

PIPES, SIZES AND INVERTS AT THESE LOCATION ARE REFERENCED FROM A PLAN 'PAVING & DRAINAGE PLAN' REVISION DATE NOVEMBER 3, 2000, PROJECT NUMBER: 085307 BY MILLER LEGG & ASSOCIATES, INC. AND A PLAN 'AS BUILT SANITARY SEWER' REVISION DATE JUNE 03, 2002, PROJECT NUMBER 085307 BY FLORIDA INTERNATIONAL LAND SURVEYORS, INC. THE CONDITIONS OF THE STRUCTURES AT THESE LOCATIONS IS NOTED ON THE SURVEY. FIELD VERIFICATION SHOULD BE CONDUCTED PRIOR TO ANY DESIGN.

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY SUNSHINE 811 UTILITY SYSTEM (1-800-432-4770) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 198401477

Table with 2 columns: UTILITY COMPANY and PHONE NUMBER. Rows include A & T DISTRIBUTION, BROWARD COUNTY TRAFFIC ENGINEERING, CITY OF PEMBROKE PINES / CH2M, COMCAST CABLE, COOPER CITY UTILITIES, FLORIDA POWER & LIGHT - SOUTH FIBER, FLORIDA POWER & LIGHT - BROWARD.

TITLE DESCRIPTION:

PARCEL 1: LEASEHOLD PARCEL

LESSEE'S INTEREST IN THAT CERTAIN LEASE BY AND BETWEEN PUBLIX SUPERMARKETS, INC., A FLORIDA CORPORATION, AS LESSOR, AND MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS LESSEE, DATED 2024, (THE 'LEASE'), MEMORIALIZED BY THAT CERTAIN MEMORANDUM OF LEASE DATED 2024, RECORDED UNDER INSTRUMENT NUMBER 2024, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DEMISING THE FOLLOWING DESCRIBED LAND:

OUTPARCEL #5 AS DESCRIBED IN DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS RECORDED IN OFFICIAL RECORDS BOOK 31921, PAGE 1105, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID OUTPARCEL BEING A PORTION OF 'PARCEL "A", COOPER CITY COMMONS' AS RECORDED IN PLAT BOOK 170, PAGE 120, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT REFERENCE POINT "D" AS DESCRIBED IN SAID OFFICIAL RECORDS BOOK 31921, PAGE 1105, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY OF PINE ISLAND ROAD, 700.04' NORTH OF (AS MEASURED ALONG THE EASTERLY LINE OF SECTION 5, TOWNSHIP 51 SOUTH, RANGE 41 EAST) AND 68.27' WEST OF (MEASURED AT RIGHT ANGLES TO PREVIOUS COURSE) THE SOUTHEAST CORNER OF SAID SECTION 5/5141; THENCE FROM SAID POINT OF COMMENCEMENT ALONG THE EASTERLY BOUNDARY OF SAID PARCEL "A", NORTH 00°54'06" WEST 118.78 FEET; THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY, SOUTH 87°49'40" WEST 12.00 FEET; THENCE CONTINUE ALONG SAID BOUNDARY, NORTH 00°54'06" WEST 127.89 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°49'40" WEST 225.04 FEET; THENCE NORTH 02°10'20" WEST 205.00 FEET; THENCE NORTH 87°49'40" EAST 225.04 FEET TO A POINT ON A 32.00 FOOT RADIUS NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST WHOSE RADIUS POINT BEARS SOUTH 33°29'13" WEST; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 61°43'59" AN ARC DISTANCE OF 34.48 FEET TO A POINT OF TANGENCY; THENCE SOUTH 05°13'12" WEST 86.31 FEET; THENCE SOUTH 00°54'06" EAST 89.32 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING, AND BEING IN COOPER CITY, BROWARD COUNTY, FLORIDA.

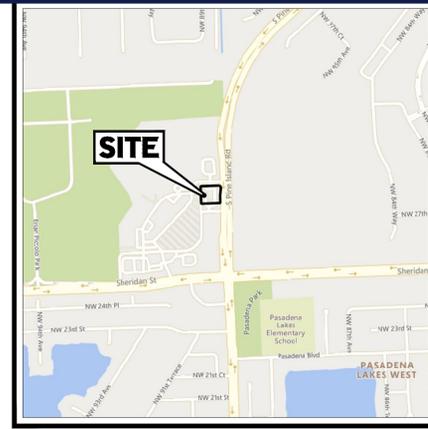
PARCEL 2: EASEMENT PARCEL

TOGETHER WITH NON-EXCLUSIVE EASEMENT(S) FOR INGRESS, EGRESS AND ACCESS, FOR THE BENEFIT OF PARCEL 1 ABOVE, AS SET FORTH AND CREATED BY THAT CERTAIN BY AND BETWEEN PUBLIX SUPERMARKETS, INC., A FLORIDA CORPORATION, AND MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED UNDER INSTRUMENT NUMBER 2024, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, OVER, UNDER AND ACROSS THE LANDS DESCRIBED THEREIN. SUBJECT TO THE TERMS, PROVISIONS AND CONDITIONS SET FORTH IN SAID INSTRUMENT.

TITLE NOTES:

THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER 11897820, WITH A COMMITMENT DATE OF JULY 7, 2025 AND A REVISION NUMBER, REV. A - 07/24/2025. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, PART II EXCEPTIONS FROM COVERAGE:

- 5. DEDICATIONS, RESTRICTIONS, LIMITATIONS, EASEMENTS AND OTHER MATTERS CONTAINED ON THE PLAT OF COOPER CITY COMMONS, RECORDED OCTOBER 23, 2001 IN PLAT BOOK 170, PAGE 119, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT FILED MAY 12, 2004 IN OFFICIAL RECORDS BOOK 37442, PAGE 1223, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND AGREEMENT FOR AMENDMENT OF NOTATION ON PLAT FILED MARCH 12, 2015 UNDER INSTRUMENT NUMBER 112861480, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECT TITLE PARCEL 1, PLOTTABLE ITEMS SHOWN.
6. RESERVATIONS FOR CANAL AND DRAINAGE, CONTAINED IN DEED NO. 16160 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA DATED JUNE 4, 1908 FILED JULY 20, 1909 IN DEED BOOK 49, PAGE 213, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AS TO ALL PARCELS); THE TITLE PARCELS ARE WITHIN THE AREA DESCRIBED IN THE GRANT, NOT A SURVEY MATTER.
7. EASEMENT GRANTED TO FLORIDA POWER AND LIGHT COMPANY, FILED IN OFFICIAL RECORDS BOOK 2288, PAGE 696, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS MODIFIED BY DOCUMENT FILED SEPTEMBER 1, 1984 IN OFFICIAL RECORDS BOOK 2866, AT PAGE 702, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (AS TO ALL PARCELS); DOES NOT AFFECT THE TITLE PARCELS, AFFECTS THE LANDS TO THE SOUTH.
8. ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS INCLUDING PRIVATE CHARGES AND/OR ASSESSMENTS, AND LIENS FOR AMOUNTS OF MONEY OR CHARGES OR ASSESSMENTS FOR VARIOUS PURPOSES, AS CONTAINED IN THE DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS, FILED JULY 31, 2001 IN OFFICIAL RECORDS BOOK 31921, PAGE 1105, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AS AMENDED BY AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS, FILED DECEMBER 10, 2001 IN OFFICIAL RECORDS BOOK 32468, PAGE 1884; AND SECOND AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS FILED NOVEMBER 18, 2002 IN OFFICIAL RECORDS BOOK 34121, PAGE 798; 'SECOND AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS, FILED DECEMBER 2, 2003 IN OFFICIAL RECORDS BOOK 36513, PAGE 1489; FOURTH AMENDMENT TO DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS, FILED JUNE 1, 2009 IN OFFICIAL RECORDS BOOK 46267, PAGE 384; (AS TO ALL PARCELS); AFFECTS THE TITLE PARCELS. DOCUMENT CONTAINS USE RESTRICTIONS, AND EASEMENTS THAT ARE GENERAL IN NATURE. CONTAINS A SIGN EASEMENT THAT IS SOUTH OF PARCEL 1.
9. DECLARATION OF COVENANTS AND RESTRICTIONS DATED MARCH 11, 1988, FILED NOVEMBER 14, 1988 IN OFFICIAL RECORDS BOOK 15952, PAGE 857, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS THE TITLE PARCELS, PLOTTABLE ITEMS SHOWN.
10. TERMS AND PROVISIONS, RESTRICTIONS, LIMITATIONS AND EASEMENTS, OF THAT DEVELOPMENT ORDER, AND ATTACHMENTS THERETO, EVIDENCED BY RESOLUTION NO. 2000-7-4 FILED JULY 25, 2000 IN OFFICIAL RECORDS BOOK 30700, PAGE 1807, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS MAY BE AMENDED FROM TIME TO TIME. (AS TO ALL PARCELS); AFFECT THE TITLE PARCELS, NOT A SURVEY MATTER.
11. TERMS AND PROVISIONS, RESTRICTIONS, LIMITATIONS AND EASEMENTS, OF THAT DEVELOPMENT ORDER, AND ATTACHMENTS THERETO, EVIDENCED BY RESOLUTION NO. 2001-01-5, FILED FEBRUARY 2, 2001 IN OFFICIAL RECORDS BOOK 31241, PAGE 828, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AS MAY BE AMENDED FROM TIME TO TIME. (AS TO ALL PARCELS); AFFECT THE TITLE PARCELS, NOT A SURVEY MATTER.
12. TERMS AND PROVISIONS OF RIGHT OF WAY CONSENT AGREEMENT WITH FLORIDA POWER AND LIGHT COMPANY FILED APRIL 12, 2011 IN OFFICIAL RECORDS BOOK 31477, PAGE 863, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); DOES NOT AFFECT THE TITLE PARCELS, AFFECTS THE LAND TO THE SOUTH.
13. TERMS AND PROVISIONS OF MAINTENANCE AGREEMENT WITH CENTRAL BROWARD WATER CONTROL DISTRICT FILED JULY 11, 2001 IN OFFICIAL RECORDS BOOK 31829, PAGE 448, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS THE TITLE PARCELS, NOT A SURVEY MATTER.
14. ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS AS CONTAINED IN THE DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS FILED OCTOBER 20, 2004 IN OFFICIAL RECORDS BOOK 38399, PAGE 568, AND AMENDMENT TO DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS, FILED JULY 20, 2006 IN OFFICIAL RECORDS BOOK 42437, PAGE 1687, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS THE TITLE PARCELS, GRANTS EASEMENTS THAT ARE GENERAL IN NATURE.
15. ROAD IMPACT AGREEMENT FILED OCTOBER 23, 2001 IN OFFICIAL RECORDS BOOK 32268, PAGE 488, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS THE TITLE PARCELS, NOT A SURVEY MATTER.
16. EASEMENT GRANTED TO BELLSOUTH TELECOMMUNICATIONS, INC., FILED MARCH 29, 2002 IN OFFICIAL RECORDS BOOK 32966, PAGE 1419, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS THE TITLE PARCEL 1, EASEMENT SHOWN.
17. EASEMENT GRANTED TO BROWARD COUNTY FILED MAY 24, 2002 IN OFFICIAL RECORDS BOOK 33180, PAGE 268, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE SOUTH.
18. EASEMENT GRANTED TO CITY OF COOPER CITY FILED JUNE 25, 2003 IN OFFICIAL RECORDS BOOK 35460, PAGE 1736, AS AFFECTED BY RESOLUTION NO. 13-2-4 REGARDING PARTIAL RELEASE OF UTILITY EASEMENT FILED MARCH 8, 2013 IN OFFICIAL RECORDS BOOK 46861, PAGE 1985, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); AFFECTS TITLE PARCEL, EASEMENT SHOWN.
19. ROAD IMPACT AGREEMENT FILED MAY 12, 2004 IN OFFICIAL RECORDS BOOK 37442, PAGE 1232, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AS AFFECTED BY PARTIAL RELEASE OF ROAD IMPACT FEE AGREEMENT AND STATEMENT OF ACKNOWLEDGMENT FILED MARCH 12, 2015 UNDER INSTRUMENT NUMBER 112861482; OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO ALL PARCELS); DOES NOT AFFECT TITLE PARCEL 1, AFFECTS THE LANDS TO THE WEST.
20. TERMS AND PROVISIONS OF THAT CERTAIN LEASE BY AND BETWEEN PUBLIX SUPERMARKETS, INC., A FLORIDA CORPORATION, AS LESSOR, AND MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS LESSEE, DATED 2024, MEMORIALIZED BY THAT CERTAIN MEMORANDUM OF LEASE DATED 2024 RECORDED UNDER INSTRUMENT NUMBER 2024, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; DOCUMENT NOT PROVIDED.
21. EASEMENT AGREEMENT BY AND BETWEEN PUBLIX SUPERMARKETS, INC., A FLORIDA CORPORATION, AND MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED 2024 UNDER INSTRUMENT NUMBER, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; DOCUMENT NOT PROVIDED.
22. RESOLUTION OF THE CITY OF COOPER CITY, FLORIDA, ISSUING DEVELOPMENT ORDER NO. 04-06, AND ATTACHMENTS THERETO INCLUDING WATER AND SEWER DEVELOPER'S AGREEMENT FILED AUGUST 2, 2004 IN OFFICIAL RECORDS BOOK 37940, PAGE 1294, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 1); AFFECTS TITLE PARCEL 1, NOT A SURVEY MATTER.
23. EASEMENT GRANTED TO FLORIDA POWER AND LIGHT COMPANY, FILED NOVEMBER 18, 2004 IN OFFICIAL RECORDS BOOK 38564, PAGE 58, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 1); AFFECTS TITLE PARCEL 1, EASEMENT SHOWN.
24. RESOLUTION NO. 2004-11-06 OF THE CITY OF COOPER CITY, FLORIDA, AND ATTACHMENTS THERETO INCLUDING UTILITY EASEMENTS FILED NOVEMBER 29, 2004 IN OFFICIAL RECORDS BOOK 38600, PAGE 919, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 1); AFFECTS THE TITLE PARCEL 1, EASEMENT SHOWN.
25. DRAINAGE EASEMENT GRANTED TO BROWARD COUNTY FILED MAY 24, 2002 IN OFFICIAL RECORDS BOOK 33180, PAGE 136, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 2); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE WEST.
26. DRAINAGE FLOWAGE AND STORAGE RETENTION EASEMENT GRANTED TO BROWARD COUNTY FILED MAY 24, 2002 IN OFFICIAL RECORDS BOOK 33180, PAGE 265, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 2); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE WEST.
27. EASEMENT GRANTED TO FLORIDA POWER AND LIGHT COMPANY, FILED OCTOBER 7, 2008 IN OFFICIAL RECORDS BOOK 45734, PAGE 557, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 2); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE WEST.
28. EASEMENT FOR IMPROVEMENTS BY PUBLIX SUPER MARKETS, INC., A FLORIDA CORPORATION, ("GRANTOR"), AND AS COOPER CITY OWNER, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ("GRANTEE"), FILED JULY 5, 2019 UNDER INSTRUMENT NUMBER 115911232, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (AS TO PARCEL 2); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE NORTHWEST, SHOWN.
29. INFORMATIONAL NOTES ONLY, AND NOT EXCEPTIONS. NOT A SURVEY MATTER.
A. RESOLUTION OF THE CENTRAL BROWARD DRAINAGE DISTRICT FILED JUNE 8, 1967 IN OFFICIAL RECORDS BOOK 3438, PAGE 60, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, PUTTING THE PUBLIC ON NOTICE OF THE RULES AND REGULATIONS CONCERNING THE PROTECTION AND PROMULGATION OF DRAINAGE WITHIN THE BOUNDARIES OF THE DISTRICT.
B. NOTICE PURSUANT TO SECTION 713.10(2) OF THE FLORIDA STATUTES, FILED APRIL 29, 2021 UNDER INSTRUMENT NUMBER 117232212, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
C. AGENT OF RECORD FOR NOTICE OF EXPIRATION OF FINDINGS OF ADEQUACY FILED OCTOBER 23, 2001 IN OFFICIAL RECORDS BOOK 32288, PAGE 503, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
D. AGENT OF RECORD FOR NOTICE OF EXPIRATION OF FINDINGS OF ADEQUACY FILED MAY 12, 2004 IN OFFICIAL RECORDS BOOK 37442, PAGE 1246, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
30. DRAINAGE EASEMENT AGREEMENT RECORDED MARCH 10, 2025, IN INSTRUMENT NUMBER 120094825. (AS TO EASEMENT PARCELS); DOES NOT AFFECT TITLE PARCEL 1, EASEMENT IS LOCATED TO THE SOUTH.
31. MAINTENANCE AGREEMENT RECORDED MARCH 11, 2025, IN INSTRUMENT NUMBER 120095118. (AS TO EASEMENT PARCELS); AFFECTS THE EASEMENT PARCEL, NO PLOTTABLE ITEMS.



SITE LOCATION MAP SCALE: 1"=1,000' SOURCE: AUTODESK GEOLOCATION

BOHLER logo and company information: BOHLER // SITE CIVIL AND CONSULTING ENGINEERING, PROJECT MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

REVISIONS

Table with 5 columns: REV, DATE, COMMENT, UPDATED TITLE, DRAWN BY. Row 1: 1, 09/12/2025, COMMITMENT, P.D.

PROJECT No.: FLB240124.00.1A
DRAWN BY: S.M.
CHECKED BY: S.M.
DATE: 01/17/2025
CAD ID: S-ALTA-SURV
FIELD DATE: 12/19/2024
CREW CHIEF: J.V.
APPROVED: C.W.



PROJECT: ALTAINSPS LAND TITLE SURVEY FOR McDonald's logo.

2550 PINE ISLAND ROAD CITY OF HOLLYWOOD BROWARD COUNTY

BOHLER //

1900 NW CORPORATE BOULEVARD SUITE 101E BOCA RATON, FLORIDA 33431 Phone: (561) 571-0280 Fax: (561) 571-0281

TO: MCDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, MCDONALD'S REAL ESTATE COMPANY, MCDONALD'S CORPORATION; CHICAGO TITLE INSURANCE COMPANY; AND PUBLIX SUPERMARKETS, INC., A FLORIDA CORPORATION. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTAINSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 7(C), 8, 9, 10(A), 11(B), 13, 16, 17 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 19, 2024.

COLLIN WOODYARD PROFESSIONAL SURVEYOR AND MAPPER NO. L57423 DATE THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

SHEET NUMBER: 1 OF 2 REVISION 1 - 09/12/2025

C:\BOHLER\CAD\_USERDATA\TEMP\ACMPUBLISH\_19825-S-ALTA-SURV\FLB240124.00.1A...LAYOUT: SHEET 1

