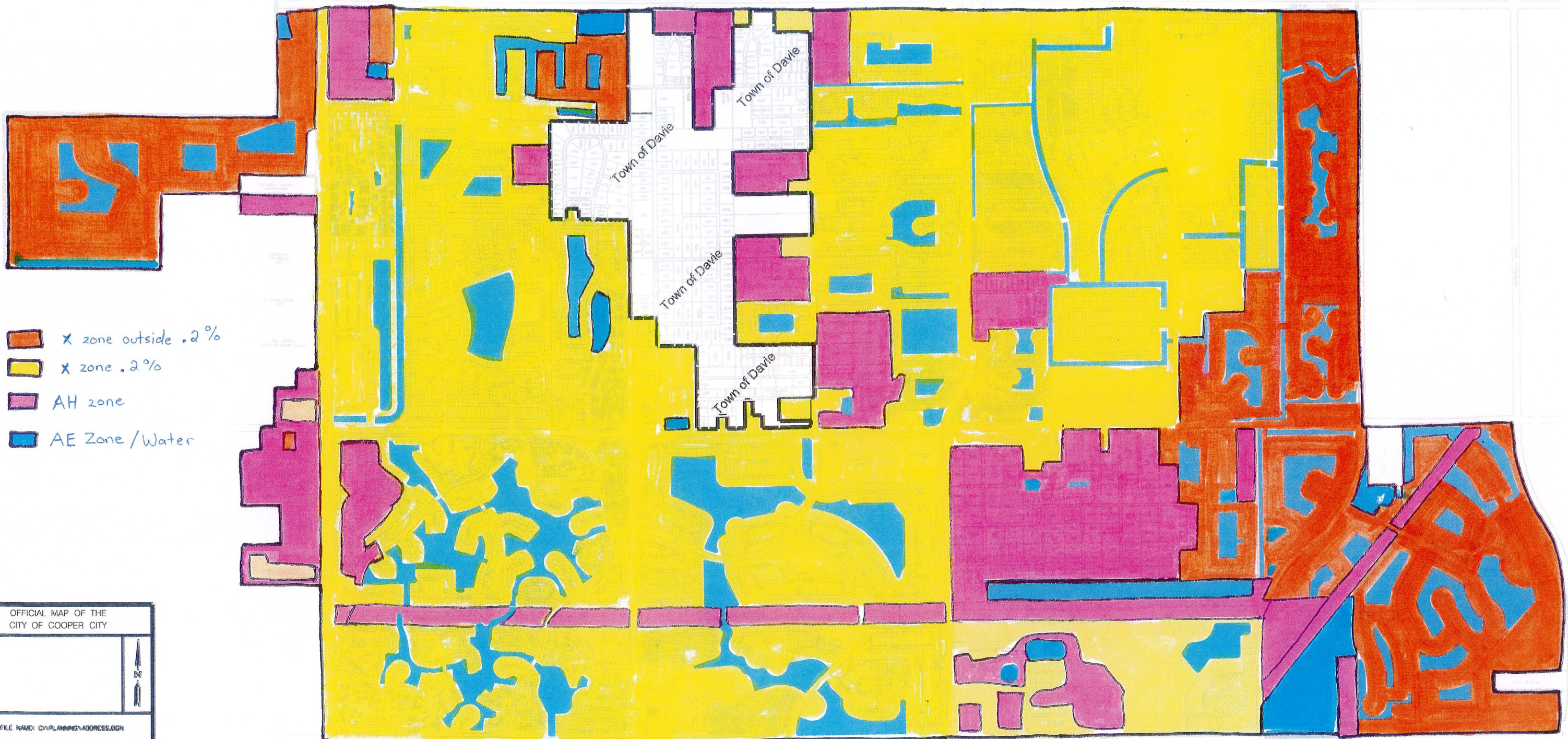


EXHIBIT C

Maps





- X zone outside .2%
- X zone .2%
- AH zone
- AE Zone / Water

OFFICIAL MAP OF THE
CITY OF COOPER CITY



FILE NAME: C:\PLANNING\ADDRESS.DGN

This map shall not be reproduced in any form except by the express written consent of the City of Cooper City.

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or Floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded tenth-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be checked in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations (CBFEs) shown on this map apply only landward of 0.3 North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in preparation of this map was Transverse Mercator State Plane Florida East FIPS 9801. The horizontal datum was NAD83 HARN. GRS 1980 spheroid. Differences in datum, spheroid, projection or State Plane zones used in production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
 NOAA, NINGS12
 National Geodetic Survey
 SSMC-3, #3202
 1315 East-West Highway
 Silver Spring, Maryland 20910-3282
 (301) 713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by Broward County. The original orthorectified base imagery was provided in color with a one-foot pixel resolution at a scale of 1" = 300' from photography flown in 2008.

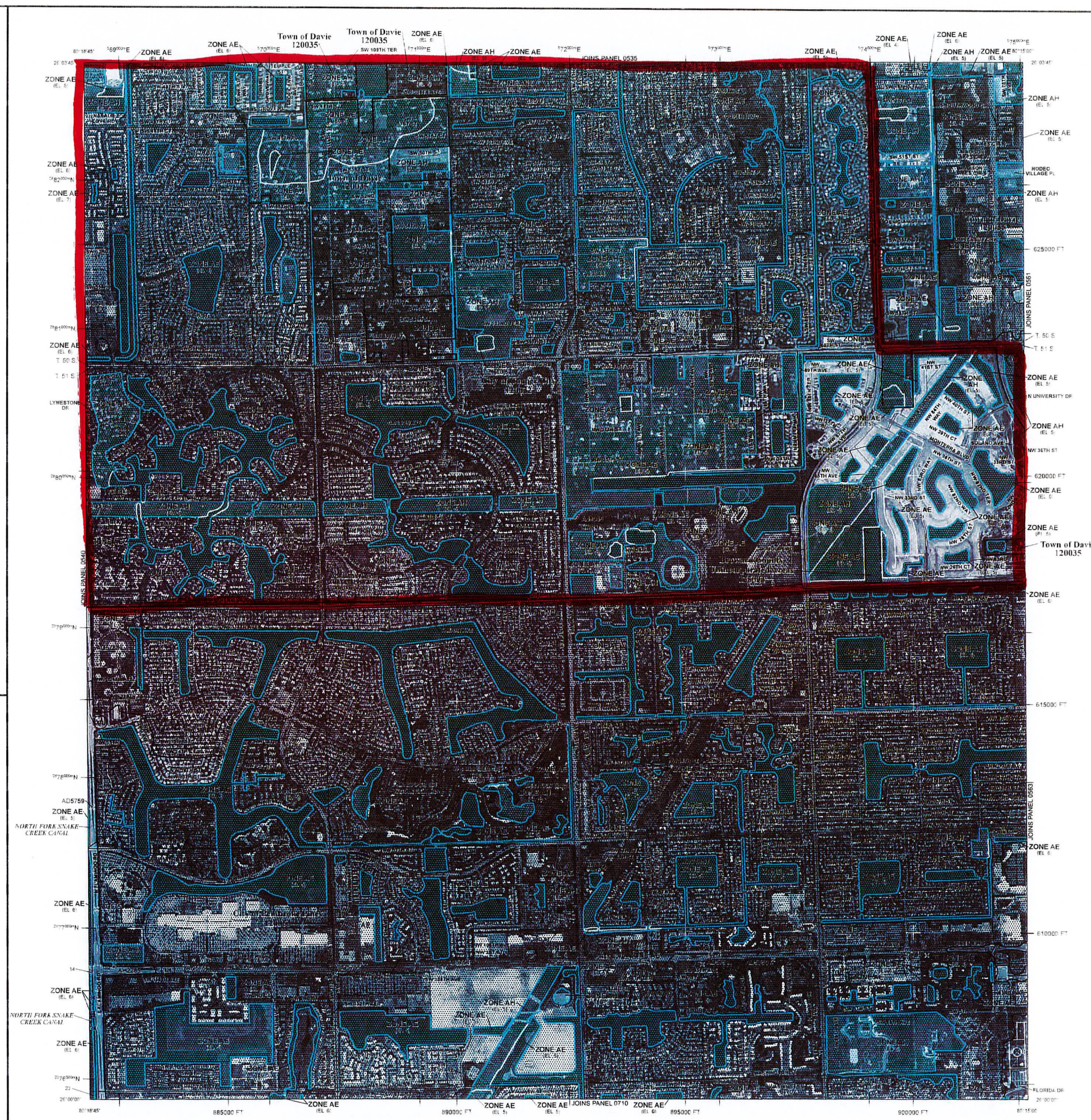
This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contain authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information and questions about this map, available products associated with this FIRM including historic versions of the FIRM, how to order products, or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2827) or visit the FEMA Map Service Center website at <http://www.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website. Users may determine the current map date for each FIRM panel by visiting the FEMA Map Service Center website or by calling the FEMA Map Information eXchange.

The "profile base lines" depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result of improved topographic data, the profile base line, in some cases, may deviate significantly from the channel centerline or appear outside the SFHA.



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AC, AV, and VE. The Base Flood Elevation is the water surface elevation of the 1% annual chance flood.

ZONE F: No Base Flood Elevations determined

ZONE AE: Base Flood Elevations determined

ZONE AH: Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined

ZONE AC: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depth determined. For areas of alluvial fan flooding, velocities also determined

ZONE AR: Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently determined. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood

ZONE AV: Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined

ZONE VE: Coastal flood zone with velocity hazard (wave action); no Base Flood Elevation determined

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights

OTHER FLOOD AREAS

ZONE D: Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depth of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 1% annual chance flood

OTHER AREAS

ZONE G: Areas determined to be outside the 0.2% annual chance floodplain

ZONE C: Areas in which flood hazards are undetermined, but possible

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas

1% annual chance floodplain boundary
 0.2% annual chance floodplain boundary
 Floodway boundary
 Zone C boundary
 CBRS and OPA boundary
 Boundary dividing Special Flood Hazard Area Zone AE and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities
 Base Flood Elevation line and value; elevation in feet
 Base Flood Elevation value whose uniform water zone elevation in feet
 (Elev. 967)
 Referenced to the North American Vertical Datum of 1988

⊕ Cross section line
 ⊕ Transsect line
 87°07'30" 32°22'30"
 6000000 FT
 1:25000
 1:12500

MAP REPOSITORIES
 Refer to Map Repositories List or Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP August 18, 2014

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-5623

MAP SCALE 1" = 1000'

0 500 1000 1500 2000 FEET

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0545H

FIRM

FLOOD INSURANCE RATE MAP

BROWARD COUNTY, FLORIDA

AND INCORPORATED AREAS

PANEL 545 OF 751

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS

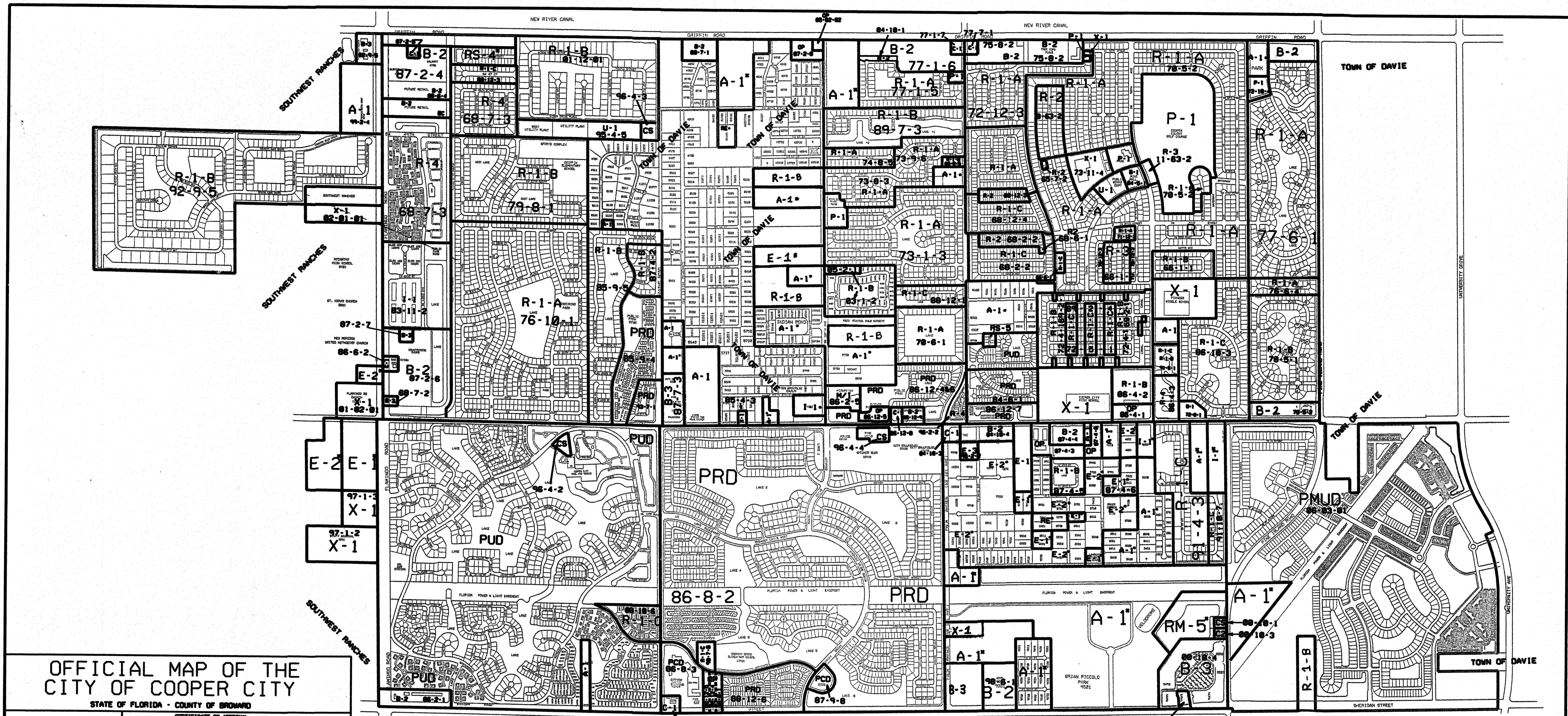
COMMUNITY	NUMBER	PANEL	SUFFIX
BROWARD COUNTY	12000	0545	H
COOPER CITY CITY OF	13000	0545	H
DAVIE TOWN OF	13000	0545	H
RENOUVILLE PINES CITY OF	13000	0545	H

Notes to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
 12011C0545H

EFFECTIVE DATE
 AUGUST 18, 2014

Federal Emergency Management Agency



OFFICIAL MAP OF THE CITY OF COOPER CITY

STATE OF FLORIDA - COUNTY OF BROWARD

CERTIFICATE OF APPROVAL

SEE 7/20/88
 THIS MAP IS A REVISION OF THE CITY ZONING DISTRICTS MAP OF COOPER CITY, FLORIDA, WHICH WAS APPROVED BY THE BOARD OF CITY COMMISSIONERS ON 11/12/87. THE CITY COMMISSIONERS HAVE REVIEWED THIS MAP AND HAVE APPROVED IT AS SHOWN ON THIS DATE. THE CITY COMMISSIONERS HAVE REVIEWED THIS MAP AND HAVE APPROVED IT AS SHOWN ON THIS DATE. THE CITY COMMISSIONERS HAVE REVIEWED THIS MAP AND HAVE APPROVED IT AS SHOWN ON THIS DATE.



- COOPER CITY ZONING DISTRICTS**
- | | |
|------------------------------|---------------------------------------|
| RESIDENTIAL | COMMERCIAL |
| R-1 SINGLE FAMILY | B-1 PLANNED NEIGHBORHOOD BUSINESS |
| R-1.1 SINGLE FAMILY | B-2 PLANNED COMMUNITY BUSINESS CENTER |
| R-1.2 SINGLE FAMILY | B-3 GENERAL BUSINESS |
| R-2 DUPLEX | C-1 SERVICE STATION |
| R-3 MULTIFAMILY | C-2 VEHICLE SERVICE |
| TH-1 TOWNHOUSE | I-1 LIGHT INDUSTRY |
| R-4 MULTIFAMILY | OP OFFICE PARK |
| R-5 ONE FAMILY | PCO PLANNED COMMERCIAL |
| PRD PLANNED RESIDENTIAL | P-1 PARKS & RECREATION |
| PMUD PLANNED MIXED USE | U-1 PUBLIC UTILITY |
| PUD PLANNED UNIT DEVELOPMENT | X-1 CIVIC |
| E-1 RURAL ESTATE | M/I MEDICAL/INSTITUTIONAL |
| E-2 RURAL ESTATE | A-1 AGRICULTURE |
| ES AGRICULTURAL ESTATE | |

COUNTY ZONING DISTRICTS WITHIN COOPER CITY BOUNDARIES

- | | |
|-------------|--|
| A-1* | AGRICULTURAL ESTATE |
| E-1* | 1-ACRE ESTATE |
| E-2* | 2-ACRE ESTATE |
| I-1* | INSTITUTIONAL AND EDUCATIONAL DISTRICT |
| RM-5* | MULTIPLE-FAMILY DWELLING DISTRICT |
| RS-4*/RS-5* | ONE-FAMILY DETACHED DWELLING DISTRICT |
| RE* | RURAL ESTATE |

FILE: ZONING2007.DGN
 DATE: 05/27/88

ORDINANCE	DATE	FROM	TO	ORDINANCE	DATE	FROM	TO	ORDINANCE	DATE	FROM	TO	ORDINANCE	DATE	FROM	TO	ORDINANCE	DATE	FROM	TO	ORDINANCE	DATE	FROM	TO
1	1988			1	1988			1	1988			1	1988			1	1988			1	1988		
2	1988			2	1988			2	1988			2	1988			2	1988			2	1988		
3	1988			3	1988			3	1988			3	1988			3	1988			3	1988		
4	1988			4	1988			4	1988			4	1988			4	1988			4	1988		
5	1988			5	1988			5	1988			5	1988			5	1988			5	1988		
6	1988			6	1988			6	1988			6	1988			6	1988			6	1988		
7	1988			7	1988			7	1988			7	1988			7	1988			7	1988		
8	1988			8	1988			8	1988			8	1988			8	1988			8	1988		
9	1988			9	1988			9	1988			9	1988			9	1988			9	1988		
10	1988			10	1988			10	1988			10	1988			10	1988			10	1988		

* 2-1-99 ZONING DISTRICT NAME CHANGE