



Columbus Business Development Center

General Information

Project Name: PROJECT GREEN		
Project Physical Address: 1301 VICTORY DRIVE		Parcel Id: 023-010-003
City: COLUMBUS	State: GA	Zip: 31901
Proposed Type of Business/Service Enterprise: Manufacturing Warehousing/Distribution Processing Telecommunications Tourism Research & Development Finance Insurance Real Estate Day-Care Other (SIC Code):5083		
Benefit Type: Renovate Existing Facility X New Facility Expand Existing Facility X Machinery/Equipment		
Is the Project Located in a Vacant Building? Yes X No (CONCRETE FOUNDATION EXISTS)		
Applicant Organization/Agency: SUNSOUTH PROPERTIES COLUMBUS LLC		
Federal Tax ID Number: 874420420	SIC Code: 5083	
Type of Organization: S-Corporation C-Corporation X LLC Other:		
Public Corporation: Yes; incorporated or formed (year): No X		
Primary Product: SMALL AG, LARGE AG, CCE (SMALL INDUSTRIAL EQUIPMENT) DEALERSHIP, PRIMARILY JOHN DEERE EQUIPMENT		
Contact Information		
Primary Business Representative: JOSHUA HOLE CPA, MT		
Title: PRESIDENT	Phone: 614-581-9209	
Fax:	Email: JOSH@BRIMSTON.COM	
Mailing Address: 2127 1ST AVENUE N.		

City: Birmingham	State: AL	Zip: 35203
Local Contact Person: MARTY HOWARD		
Title: PRESIDENT	Phone: 334-678-7861	
Fax: N/A	Email: MHOWARD@SUNSOUTH.COM	
Mailing Address: 4100 HARTFORD HWY		
City: DOTHAN	State: AL	Zip: 36305

Columbus Business Development Center
Enterprise Zone Business Application

Updated 02/18/20

Project Description

Provide a description of the company's plans, including projected capital investment of the business in the zone for a 10-year project designation period (expansion, consolidation, relocation, etc.)

Projected Capital Investment:

(To be made in the Zone over the entire 10-year tax abatement period)

THE SITE IS A 10,000 SQ FT AIRPORT HANGER BUILT IN 1939, USING ONLY THE FOUNDATION AND THE STEEL STRUCTURE FOR THE BUILDOUT. THE TOTAL INVESTMENT WILL TOTAL \$6-\$7M.

Land:	\$
Buildings:	\$6,000,000
Manufacturing Machinery:	\$
Other Machinery and Equipment:	\$750,000
Other:	\$250,000
Grand Total:	\$7,000,000

Business Description

Provide an introduction, history, and description of the qualified business. Its products, services, total sales, number of employees, locations (international, national, and in Georgia), description of primary materials purchased, product transportation, etc.

OUR WEBSITE IS WWW.SUNSOUTH.COM. OUR COMPANY CURRENTLY HAS 21 STORES AND 450 EMPLOYEES. ANNUAL REVENUE FOR 2021 IN COLUMBUS WAS \$13.5M. WE ARE A SMALL AG, LARGE AG, CCE (SMALL INDUSTRIAL EQUIPMENT) DEALERSHIP, PRIMARILY JOHN DEERE EQUIPMENT.

Columbus Business Development Center Enterprise Zone Business Application

Local Significance

Explain specifically how the project will benefit Muscogee County residents. Attach any additional information

INVESTMENT OF \$6-\$7M WILL HELP LOCAL CONTRACTORS AND VENDORS. CREATING UP TO 10 NEW JOBS (8 FULL TIME AND 2 PART TIME) WITH WAGES RANGING FROM \$15 / HR TO \$30 / HR WILL BENEFIT THE ENTIRE AREA AND THE ENTERPRISE ZONE SPECIFICALLY.

**Job Creation
(Projected for 10-Year Tax Abatement Period)**

The business making the investment and paying taxes must also create the jobs and be the project designee. In order to be eligible for incentives, eligible businesses must:

- * Increase employment by five or more new full-time jobs;*
- * Maintain the jobs for the duration of the tax exemption period;*
- * Whenever possible, at least 10% of the new employees filling the jobs that satisfy the job creation requirement should be low or moderate income individuals.*

Note: Leased, contract, temporary, and construction employees do not qualify as new employees.

Number of New Full-Time Jobs to be Created (5 Minimum): 8

Number of Low/Moderate Income People Hired (10%): 1

A Low/Moderate Income Individual is Defined in (A-H), In Which Category(ies) Your New Employees Qualify? (Select all that apply): ALL - TBD SPECIFICS

- (A) Unemployed or unemployed for three of the six months prior to the date of hire;
- (B) Homeless;
- (C) A resident of public housing;
- (D) Receiving temporary assistance for needy families or who has received temporary assistance for needy families at any time during the 18 months previous to the date of hire;
- (E) A participant in the Workforce Investment Act or who has participated in the Workforce Investment Act at any time during the 18 months previous to the date of hire;
- (F) A participant in a job opportunity where basic skills are required or who has participated in such a job opportunity at any time during the 18 months previous to the date of hire;
- (G) Receiving supplemental social security income; or
- (H) Receiving food stamps.

Number of Local Residents Hired: 5

Estimated Amount of Payroll for YR : \$ 250,000/YEAR

New Jobs Breakdown (4 YR Period Example)

Title	Annual Salary or Hourly Rate	Year One	Year Two	Year Three	Year Four
1.Store Mgr	33.12	1			
2.Service	19.50	3			
3.Service Mgr	32.50	1			
4.Parts Sales	19.00		1		
5.Parts Manager	25.97		1		
6.Customer Service	18.65	1			
7.Admin Assist	21.50		1		
8.Sales Assoc	15.38		1		
Annual Grand Total					

Columbus Business Development Center Enterprise Zone Business Application

Updated 02/18/20

Financing Plan

Describe or attach the project financing plan. Submit any financial supporting documentation if applicable, for example bank commitment letters, balance sheets, and profit and loss statements.

The project will be financed with owners equity and a loan from the bank. Bank letter of credit is attached.

Additional Requirements

Columbus' Ordinance (#98-30) requires that projects receiving tax exceptions must

incorporate a landscaping requirement. If the façade material is visible from the street and is of brick, masonry, or glass, Option B as explained in #98-30 must be pursued. Which option will you pursue?:

X (BID COMING 11-3) Option A, Landscaping Option B, Façade Material/Landscaping

Additional Incentives Requested

Other incentives that may be granted will be negotiated on a case-by-case basis by the Planning Department and could include exemption from any or all of the following:

Building Permit fees Sign Permit fees Business License Administration fees
Rezoning fees Engineering fees Other local fees:

Project Timeline

Construction Start Date:	1/1/23
Construction Completion Date:	10/31/23
Operation Start Date:	11/1/23

Date Begin Hiring New Employees:	4/1/23
Date Purchase of Machinery/Equipment:	3/1/23
Date Other Improvements like Landscaping or Façade Material will be Incorporated:	10/1/23
Tax Abatement Start Date (NLT Completion). Attach Plat with Identified Phases (if applicable):	VALUATIONS 2024 AND BEYOND

Columbus Business Development Center Enterprise Zone Business Application

Project Timeline

<i>Project Name - Timeline</i> Deliverables Owner Duration	Year One				Year Two				Year Three				Year Four				Year Five				Year Six		
	Q 1	Q 2	Q 3	Q 4	Q 1	Q 2	Q 3	Q 4	Q 1	Q 2	Q 3	Q 4	Q 1	Q 2	Q 3	Q 4	Q 1	Q 2	Q 3	Q 4	Q 1	Q 2	Q 3
Acquisition Phase																							
COMPLETE					x																		

I certify that the information contained in this application is true and correct and that it contains no misrepresentations, falsifications, intentional omissions, or concealment of material facts and that the information given is true and complete to the best of my knowledge and belief.

Signature of Authorized Official

Marty Howard

Name of Authorized Official

Marty Howard

Title

President

Date

Application Checklist

Completed Application	<input checked="" type="checkbox"/>		
Financial Supporting documentation (if applicable), for example bank commitment letters, appraisal report, profit & loss statement.	<input checked="" type="checkbox"/>		
Three years of financials must include income statements/balance sheets.	<input type="checkbox"/>		
Copy of the Muscogee County Business License or application and Evidence of property access, i.e., copy of warranty deed or executed lease agreement.	<input checked="" type="checkbox"/>		
Site Plan Drawing. Include Proposed Landscaping Areas, if needed.	<input type="checkbox"/>		
Project Timeline	<input checked="" type="checkbox"/>		

Submit this application and all required information using one of the following methods:

Rex "Trey" Wilkinson

Planning Department PO Box 1340
Columbus, GA 31902

Email to
wilkinson.rex@columbusga.org

For Official Use Only			
	Approving Authority	Approve	Disapprove
Development Authority			
Planning Department			
Inspections and Code Enforcement			
Engineering Department			
Finance			
Occupational Tax			
Tax Assessors Office			

ADDENDUM #1

October 20, 2022

A NEW SHOWROOM AND MAINTENANCE FACILITY FOR SUNSOUTH PROPERTIES COLUMBUS, LLC COLUMBUS, GA

BID DATE: WEDNESDAY, NOVEMBER 16, 2022
BID TIME: 2:00 P.M. LOCAL TIME
BID PLACE: DONOFRO ARCHITECTS, INC.
137 N. ST. ANDREWS STREET, SUITE 1
DOTHAN, ALABAMA 36303

THE ATTENTION OF ALL BIDDERS IS DIRECTED TO THE FOLLOWING CHANGES IN THE DRAWINGS AND SPECIFICATIONS WHICH AMEND AND BECOME PART OF THEM. IT IS REQUESTED THAT THIS ADDENDUM BE FASTENED TO THE INSIDE COVER OF YOUR PROJECT MANUAL OR BOUND INTO THE PROJECT MANUAL.

SPECIFICATIONS

1. Please refer to the Notice to Contractors and note that the Bid Date has changed from November 03, 2022 to Wednesday, November 16, 2022, at 2:00 p.m., Local Time.
2. Refer to Geotechnical Report and the revised Bid Form attached where Add Alternate #1 has been added for excavation and fill \$___/cy. (See attached example breakdown sheet.)
3. Refer to the attached Polished Concrete specification.
4. Refer to Section 08211, Wood Flush Doors, 2.1 Products (A) and add Oshkosh and Mesker to approved manufacturers.
5. Refer to Section 09510, Acoustical Ceilings and clarify: All grid where scheduled shall be 15/16".
6. Refer to Section 10900, Miscellaneous Specialties, 1.2 Products, Item B and add: HC Folding seat equal to Bobrick B-5192 Commercial Folding Shower Seat, Phenolic.
7. Refer to Section 10900, Miscellaneous Specialties, 1.2 Products, Item B and add: Soap dispenser equal to Bobrick B-412 SS.
8. Refer to Section 10900, Miscellaneous Specialties, 1.2 Products, Item D and clarify: Door signage will be provided by Owner and installed by Contractor.
9. Refer to Section 10900, Miscellaneous Specialties and add Item N: Strap Supported Metal Canopy; Mapes Super Lumideck Hanger Rod Specification attached.
10. Refer to Door Types on A1.4, Type D7 and Section 10900, Miscellaneous Specialties and add Item O: Coiling rated service shutter equal to Overhead Door Fire King 640. Fusible link, 22 ga, gray, electric operated. See attached.

DRAWINGS

1. Refer to Sheet T1.4 and clarify: The only space to be sprinkled is the Shop Area "S1". The incoming line, riser and FD Connection are indicated on the Plumbing Plans.
2. See Revised LSP.1 for rated wall assembly instructions.
3. Refer to Sheet A1.1 and note all interior framing shall be light gauge metal for Type II noncombustible construction. Interior metal stud framing shall be minimum 16 gauge.
4. Refer to Sheet A1.4, Door Schedule and delete reference to Door Elevation, Type D6. Where D6 is scheduled for 120C, 120D, 120E, 120F, 120H, 120J, 120K, and 120L substitute Door Type D5.
5. Refer to Sheet A1.6 and delete reference to diaper changing table.
6. Refer to Details 1/A3.1 and 1/A3.5 and delete reference to 5/8" cdx over steel purlins.
7. Refer to Sheet 4/A3.5 and clarify back framing can be wood or light gauge metal.
8. See Detail 3/A3.5 for Mezzanine decking.
9. Exterior signage will be provided and installed by Owner's sign vendor and final connections made by General Contractor.
10. See Revised Structural for purlin spacing.
11. See Revised Structural for purlin gauge on existing Hangar Building wall.
12. See Structural revised foundation.
13. See Structural for revised canopy roof framing.
14. The POC for the utility service: No initial contact was made. The notes on the drawings direct the EC to field-coordinate with the utility engineer. Typically, the utility engineer will not coordinate until permitted and ready for construction.
15. See notes on E0.2 and clarify: Per the NEC, only the service-entrance equipment is required to have the labeling that is shown.
16. Sheet E1.1 and E1.2 see notes to electrical contractors in the areas for minor repair garages: Room 120 pertaining to seal offs clarify: The room reference may be a typo, but in the Service Dept. and areas where combustible material may be stored, the devices/panels/etc. must be a minimum of 18" or greater from the floor. If the conduit comes through the slab and continuous to 18" or higher, no seal should be required. The equipment should be installed greater than 18" to avoid seals as well.
17. Refer to Electrical drawings and specifications with reference to fees: If the local utility engineer cannot provide a standard cost for the UG service, then the engineer recommends the cost be charged directly to the Owner at that time. The Architect/Owner need to be made aware of the cost once it has been obtained.
18. Location and design of dumpster pad and enclosure see Revised Sheets T1.5, C3.0, and C4.0.
19. Roof water collection shall be to splash block and surface to area drain inlets. See Revised Civil.

20. Instructions for excavation and fill. See Revised Bid Form for unit prices for excavation and fill.
21. See Revised Civil for Inlet sizes.
22. Refer to Civil drawings, site construction specifications and notes and clarify: All testing for backfill, underlayment, concrete, footings, etc. shall be performed by a third party and paid for by the Owner. Approved testing labs as follows:
 - A. Christian Testing Laboratories, Montgomery, AL
 - B. Building and Earth Sciences, Montgomery, AL
 - C. Quality Assurance Testing Lab, Montgomery, AL
 - D. Carmichael Engineering, Montgomery, AL

For coordination purposes, we have attached the following to Addendum #1:

- Revised Bid Form with Add Alternate 1 added.
- Example of Unit Price Breakdown Sheet
- Mapes Super Lumideck Hanger Rod Specification.
- Fire Rated Counter Door Cut Sheet.
- Northstar Engineering Services Responses and Specification for Polished Concrete.
- Dumpster Addendum Sheet

Any inquiries for substitutions, questions, etc. shall be sent to:
Joseph Donofro via mail: joseph@donofro.com or faxed: 334-794-0969

END OF ADDENDUM NO. 1

DONOFRO ARCHITECTS, INC.
architecture + planning + eco/energy + interiors

137 NORTH ST. ANDREWS STREET • SUITE 1 • DOTHAN, ALABAMA 36303 • 334/793-3333 • FAX 334/794-0969

**A NEW SHOWROOM AND MAINTENANCE FACILITY
FOR
SUNSOUTH PROPERTIES COLUMBUS, LLC
COLUMBUS, GEORGIA**

REVISED BID FORM

(May be removed or reproduced by Bidder)

Mr. Marty Howard
CEO/President
SunSouth Properties Columbus, LLC
4100 Hartford Hwy.
Dothan, AL 36305

Dear Mr. Howard:

The undersigned Bidder declares that he has read and understands the plans and specifications, entitled; **"A NEW SHOWROOM AND MAINTENANCE FACILITY FOR SUNSOUTH PROPERTIES COLUMBUS, LLC, COLUMBUS, GEORGIA"**, prepared by donofro, Architects, 137 N. St. Andrews Street, Suite 1, Dothan, Alabama 36303.

The undersigned Bidder further declares he has visited the site and has acquainted himself with all conditions of the work and has reflected those conditions in his proposal.

The undersigned Bidder further declares that he will do all the work called for, or implied in the above mentioned documents, in strict accordance with the governing laws and ordinances, furnishing all labor, material, equipment, superintendence and incidental items necessary to complete the work and that he will accept as compensation therefore, in the sum of:

BASE BID:

_____ (\$ _____) Dollars

Contractor is requested to breakout site package for review by Owner to include paving, grading, walks, utilities, curbs, etc. 10'-0" outside building walls of 3 structures. This is for accounting only. Award will be based on Base Bid.

_____ (\$ _____) Dollars

ADD ALTERNATE #1: Unit pricing for excavation and fill.

_____ (\$ _____ /CY)

If this proposal is accepted and this Bidder should fail to enter into contract aforesaid within fifteen (15) days from date of mailing written notice to him at the address given herein, that the contract is ready for signature, the Owner may, at his option, declare the bid abandoned and this proposal and acceptance thereof, be null and void and Bid Bond, or Check forfeited.

The undersigned agrees not to withdraw his bid for forty-five (45) days from the time set to receive bids.

If awarded this Contract, this Bidder agrees to commence construction within 5 days of the date of the Notice to Proceed, and to complete construction in all respects within 300 calendar days from the date, set as the proceed date.

BIDDER: _____

BY: _____

TITLE: _____

GENERAL CONTRACTOR'S GEORGIA

LICENSE# _____

DATE: _____

Owner: SunSouth Properties Columbus, LLC
4100 Hartford Hwy.
Dothan, AL 36305

Architect: donofro Architects, Inc.
P.O. Box 1447
Dothan, AL 36302
Georgia License #RA08886

UNIT PRICE SCHEDULE

(EXAMPLE)

ITEM	QUANTITY	UNIT PRICE	TOTAL
*NON-NEGOTIABLE ITEMS			
ROCK EXCAVATION (TRENCH)		CY	LEFT ON SITE
ROCK EXCAVATION (BULK)	0-250	CY	LEFT ON SITE
ROCK EXCAVATION (BULK)	0-750	CY	LEFT ON SITE
ROCK EXCAVATION (BULK)	0-10,000	LF	LEFT ON SITE
MISCELLANEOUS CUT & FILL (OUTSIDE OF LUMP SUM DIRECTED BY OWNER)		CY	
UNDERCUTTING & REPLACED WITH COMPACTED FILL FROM SITE		CY	
REMOVE/HAUL-OFF UNSUITABLE UNDERCUT SOILS FROM SITE		CY	
DRAIN TILE		LF	
GRADED AGGRAGATE BASE (GAB)		TON	
#3 SURGE STONE		TON	
#57 STONE		TON	
#89 STONE		TON	
M-10 SAND		TON	
FINAL STABILIZATION (Ds4) Sod		SY	
TEMPORARY ROCK SEDIMENT TRAP (Sd4-C)		EA	
CHECK DAM (Cd-S)		EA	
RIP-RAP (Rp)		SY	
TOTAL			\$0.00

***NOTE**

SHOULD ANY OF THESE ITEMS OCCUR IN THE JOB, THESE WILL BE THE UNIT PRICES PAID

CONTRACTOR:



Mapes Super Lumideck® Hanger Rod Specifications

Part 1: General

- 1.1 Description of Work
 - A. Work in this section includes furnishing and installation of extruded aluminum overhead hanger rod style canopies as manufactured by Mapes Industries Inc.
 - B. Related Items and Considerations
 - 1. Flashing of various designs may be required. Supplied by the installer.
 - 2. Determine wall construction, make-up and thickness.
 - 3. Ensure adequate wall condition to carry canopy loads where required.
 - 4. Consider water drainage away from canopy where necessary.
 - 5. Any necessary removal or relocation of existing structures, obstructions or materials.
- 1.2 Quality Assurance
 - A. Products meeting these specifications established standard of quality required as manufactured by Mapes Industries, Inc. Lincoln, Nebraska 1-888-273-1132.
- 1.3 Field Measurement
 - A. Confirm dimensions prior to preparation of shop drawings when possible.
 - B. If requested, supply manufacturer's standard literature and specifications for canopies.
 - C. Submit shop drawings showing structural component locations/positions, material dimensions and details of construction and assembly.
- 1.4 Performance Requirements
 - A. Canopy must conform to local building codes.
 - B. Determine if specific load requirements have been established for canopies and if stamped calculations are required for location in which canopy is installed.
- 1.5 Deliver, Storage, Handling
 - A. Deliver and store all canopy components in protected areas.

Part 2: Products

- 2.1 Manufacturer
 - A. Mapes Canopies
Lincoln, Nebraska
Phone: 1-888-273-1132.
Fax: 1-877-455-6572.
- 2.2 Materials
 - A. Decking and fascia shall be extruded aluminum, alloy 6063-T6, in profile and thickness shown in current Mapes brochures.
 - B. Decking Shall be 2 3/4" Extruded .078" Decking
 - C. Hanger rods and attachment hardware shall be powder coated to match canopy.
 - D. Fascia shall be standard 8" extruded "J" style (minimum .125 aluminum)

640/641

FIRE DOORS

DOOR D7



FIRE-RATED COUNTER DOORS



COMMON APPLICATIONS INCLUDE FACTORIES, SCHOOLS, CONCESSIONS, HOSPITALS, CAFETERIAS AND RETAIL SETTINGS

- **Built-in safety**
 - Fusible links separate at 165°F (74°C) for ambient conditions under 100°F (38°C), or at 212°F (100°C) for ambient conditions over 100°F (38°C), to close the door automatically under governor control
 - Meets strict fire safety testing standards
- **Options for added safety and simplified operation**
 - Choice of a crank or electric operator
 - A variety of smoke detectors
 - UL-listed FireLite® vision lites
- **Optional Fire Sentinel® for fail-safe protection**
 - UL-listed, fail-safe device provides a 10-second time-delay release on alarm (up to 60 seconds optional) as allowed by Authority Having Jurisdiction
- **Choice of galvanized or stainless steel**
- **Fire-rated countertop for integrated design**
 - 1 1/2-hour rated countertop features a fire-resistant core and is available in a variety of decorative laminate finishes



INDUSTRY LEADING
COMMERCIAL & INDUSTRIAL SOLUTIONS



October 19, 2022

Addendum Number 1 for
Sunsouth Tractor Columbus GA

1. Do Concrete SOG for building get both WWF (note 4.1) and Synthetic Fibers (note 4.5). **WWF is required but synthetic fibers may be added using the ACI code.**
2. On drawings section 1 A3.5, note 6 says to see structural for additional girts as required. I see no additional girts attaching to the existing building frame on the S sheets. Are any required? **The porch is a stand-alone structure, so no need for additional girts.**
3. Should S1.7 show the roof framing for the two canopies on S1.12 on the new construction side of column line 7. **See drawings S1.1-S1.19.**
4. Should S1.1 show the foundations & SOG for the same two canopies? **See drawing S1.1.**
5. Will a spec be issued for polished concrete?

1.01 SUMMARY

A. SPECIFICATIONS FOR POLISHED CONCRETE

1. This specification includes specific requirements for concrete mix, placement and protection of concrete work. It is the General Contractors, GC responsibility to insure all trades are aware of proper care for and protection of concrete surface during construction to ensure the best quality finish product.
2. GC is to provide posted rules at jobsite for concrete floor protection. Concrete surface must be fully and uniformly protected for 28 days after pour.
3. No satisfactory chemical or cleaning procedure is available to remove petroleum based or other deep stains from within the concrete surface (including many oils, fuels, paint products, glues, or other penetrating stains). Prevention is therefore essential.
4. GC to provide for and ensure maintenance of protection system to protect concrete surfaces during construction.

1.02 RELATED WORK

A. CONCRETE MIX DESIGN

1. Concrete Mixture shall be 3000 PSI or higher, non-air entrained.
 - a. Any admixtures, plasticizers, or anything taking the place of Portland-based cement shall be kept to a minimum.
 - b. Confirm there is NO Slag or Fly Ash in the mix – as these materials will affect the polishing process.
 - c. The cement shall be Portland Cement type 1, conforming to ASTM C 150.
 - d. Maintain concrete temperature below 85 degrees. Keep concrete as cool and moist for as long as possible. In essence, decrease rate of hydration and drying to minimize cracking.
 - e. Wet cures are most suitable, but if this cannot be achieved, use a dissipating cure and seal. If the cure and seal has not dissipated before grinding has begun, extra cost may be incurred for its removal.
 - f. Use one source for cement, aggregates and pozzolans throughout the job. Monitor and control incoming material consistency. Do not use calcium chloride-based

admixtures. Non-chloride admixtures may be used.

g. Wash out all drums before loading. Keep slumps consistent with a maximum of 5. Minimize driver added water maintaining a .45 water content ratio.

h. Place concrete to achieve as true and smooth a top surface as possible. Mounds or dips are not acceptable. GC shall control overall flatness and levelness, including on sloping areas to within tolerances permitted by specification – ASTM E1155.

i. Floor flatness (FF) rating of at least 40 and level (FL) rating of 30. Slab shall be protected from indentation, contaminants and footprints during pour and curing.

j. Prepare construction joints: joints saw cut spacing 30-35 times at slab thickness (4" slab would have cuts 10'-12' on center). Cut 1/8 – 3/16 wide, cut 1/3 the concrete thickness is ideal. If a softcut saw or an "early entry saw" is used the same day then 25% is typically adequate. If the cuts are done the next day then the full third is recommended. To leave concrete undamaged from sawing, conventional saw cutting must be delayed, usually 4 to 12 hours but not so long that uncontrolled cracking of concrete could occur. Fill all joints full depth with polyurea or equal.

1.03 PROJECT/SITE CONDITIONS

A. Floor areas to be polished are to be free and clear of all obstacles including racking, fixtures and temporary equipment and materials in order to provide an open and uninhibited concrete slab.

B. Protection: General Contractor shall protect areas to receive concrete finish at all times during construction to prevent oils, dirt, metal, excessive water and other potentially damaging materials from affecting the finished concrete surface. Protection measures listed below shall begin immediately after the concrete slab is poured.

1. All hydraulic powered equipment shall be diapered to avoid staining of the concrete.

2. All vehicle parking shall be prohibited on the finish slab area. If necessary to complete their scope of work; drop cloths shall be placed under vehicles at all times.

3. No pipe-cutting machine shall be used on the finish floor slab.

4. Steel shall not be placed on the finish slab to avoid rusting.

5. Acids and acidic detergents will not come in contact with slab.

6. All painters will use drop cloths on the concrete. If paint gets on the concrete, it must be immediately removed.

7. All trades will be informed that the slab must be protected at all times.

8. A minimum of 28 days of cure on new concrete should be provided before system installation is initiated.

9. The best degree of concrete floor flatness and levelness should be strived for since the floor finish may enhance imperfections such as high and low spots resulting from placement and finishing. A floor flatness rating of 40 +/- 5 and a floor levelness of 35 +/- 5 is required on newly placed concrete.

10. Block off areas to traffic for the duration of the system's installation.

11. Ensure that adequate lighting has been installed to support surface preparation and application.

1.04 SURFACE PREPARATION

A. Protection: Protect surrounding areas and adjacent surfaces from the following:

1. Minimal accumulation of slurry from grinding and polishing.

2. Contact with overspray of concrete densifier.

3. Contact with overspray of concrete sealer.

4. Surface Preparation: Prepare surfaces in accordance with installer's instructions.

5. Clean Surfaces: Remove dirt, dust, debris, oil, grease, curing agents, bond breakers, paint, coatings, and other surface contaminants which could adversely affect installation of polished concrete floor system.

1.05 INSTALLATION

A. Install polished concrete floor system in accordance with installer's instructions at locations indicated on the Drawings.

B. Specify Aggregate Exposure:

1. Cream/Sand/Medium Aggregate/Full Aggregate Exposure

2. Specify Shine: Horiba Gloss Reading: Low (20-30), Medium (30-40), High (50 or higher)

3. Preparation Step:

a. Remove existing floor coatings (if present, Installer should be notified to adjust pricing)

b. Start the grinding phase a diamond grit and hardness based on the floor conditions.

c. Wet polish to a hone.

d. Apply concrete densifier to total saturation.

e. Remove residue of concrete densifier dried on floor surface.

4. Final Polish: Wet polish until desired surface sheen meets the requirements listed above.

a. Apply concrete stain protection.

b. Burnish in between each coat.

4. Edge Finishing:

1. Specify edge finishing: Polished Edges /Painted Edges

1.06 FIELD QUALITY CONTROL

A. Inspect completed polished concrete floor system with Owner, Contractor, Architect (As-needed), and Installer.

B. Review procedures with Architect (as-needed) to correct unacceptable areas of completed polished concrete floor system.

1.07 PROTECTION

A. Protect completed polished concrete floor system from damage until Substantial Completion.

1. Do not allow vehicle and pedestrian traffic on unprotected floor.

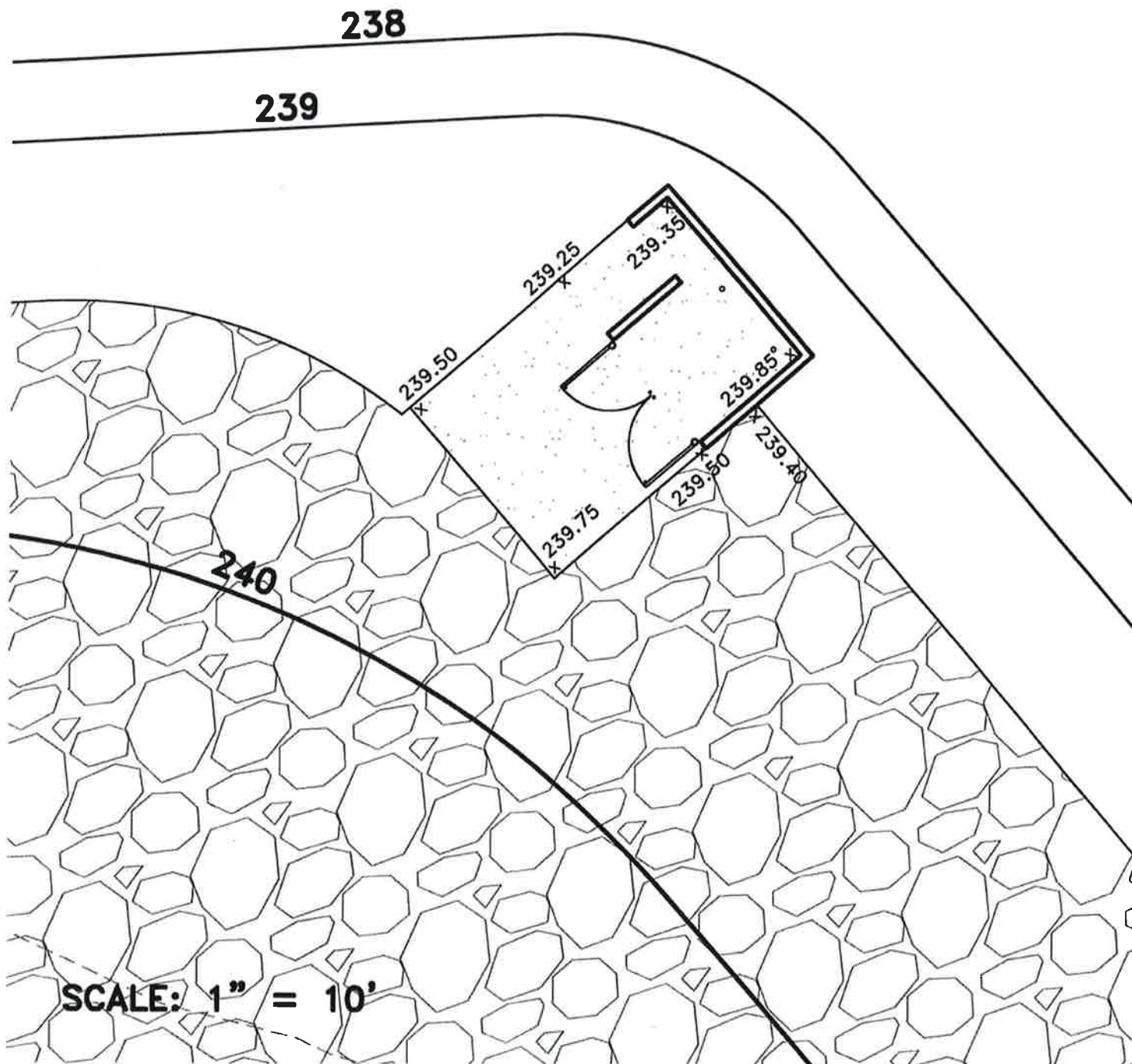
2. Do not allow construction materials, equipment, and tools on unprotected floor.

B. Immediately remove mortar splatter, spilled liquids, oil, grease, paint, coatings, and other surface contaminants which could adversely affect completed polished concrete floor system.

C. Repair damaged areas of completed polished concrete floor system to satisfaction of Owner or Architect (as-needed).

6. Drawing S1.12: Will there be any required decking above the offices? $\frac{1}{2}$ " Plywood
7. Drawing S2.2: Footing F-2 is not shown on the schedule. Can this information be provided. See drawing S2.2.
8. Drawing CX.2: Loading ramp details states to refer to structural drawing. There are no details for the loading ramp in the structural drawings. Can these details be provided. See drawings S2.13
9. Can details be provided for the aprons around all buildings (ie required reinforcing, concrete psi)? Concrete compressive strength should be 3000 psi. See sheet S1.1, S1.2, S2.1, S2.2, S3.1, and S3.2 for required reinforcing.
10. Drawing A1.2 (Waste Oil Containers) Wall. Will a footing be required for the 8" CMU Wall? If so, can details be provided? See sheet S1.1 and S1.2.
11. Will engineering be needed for the stud framing? No, just normal wood framing following the NDS for wood construction manual 2018 edition.

DUMPSTER ADDENDUM



SunSouth Income/Expense Review

As of: December 31, 2021

Generated: October 20, 2022 10:14 AM

Columbus

<<< Click Dropdown to change location.

Sales	<u>Current Month</u>	<u>% of Sales</u>	<u>Guideline</u>	<u>Year To Date</u>	<u>% of Sales</u>
Sales	\$622,972.58	100.00%		\$9,998,272.60	100.00%
Cost of Sales	\$531,121.17	85.26%		\$9,331,187.88	93.33%
GROSS MARGIN	\$91,851.41	14.74%		\$667,084.72	6.67%
Expenses	\$51,252.25	8.23%		\$641,858.03	6.42%
Other Income	\$64,639.25	10.38%		\$243,172.31	2.43%
Other Deductions	\$0.00	0.00%		\$0.00	0.00%
Other Expenses	\$1,171.92	0.19%		\$19,991.36	0.20%
Default Account	\$0.00	0.00%		\$0.00	0.00%
NET PROFIT	\$104,066.49	16.70%		\$248,407.64	2.48%

Parts	<u>Current Month</u>	<u>% of Sales</u>		<u>Year To Date</u>	<u>% of Sales</u>
Sales	\$168,702.02	100.00%		\$2,623,447.22	100.00%
Cost of Sales	\$113,450.18	67.25%		\$1,853,289.52	70.64%
GROSS MARGIN	\$55,251.84	32.75%		\$770,157.70	29.36%
Expenses	\$62,259.19	36.90%		\$609,348.20	23.23%
Other Income	\$189.69	0.11%		\$39,589.06	1.51%
Other Deductions	\$0.00	0.00%		\$0.00	0.00%
Other Expenses	\$0.00	0.00%		\$0.00	0.00%
Default Account	\$0.00	0.00%		\$0.00	0.00%
NET PROFIT	(\$6,817.66)	-4.04%		\$200,398.56	7.64%

Service	<u>Current Month</u>	<u>% of Sales</u>		<u>Year To Date</u>	<u>% of Sales</u>
Sales	\$68,697.37	100.00%		\$889,255.89	100.00%
Cost of Sales	\$21,699.28	31.59%		\$329,647.53	37.07%
GROSS MARGIN	\$46,998.09	68.41%		\$559,608.36	62.93%
Expenses	\$55,946.59	81.44%		\$620,834.65	69.82%
Other Income	\$100.00	0.15%		\$9,605.57	1.08%
Other Deductions	\$0.00	0.00%		\$0.00	0.00%
Other Expenses	\$0.00	0.00%		\$0.00	0.00%
Default Account	\$0.00	0.00%		\$0.00	0.00%
NET PROFIT	(\$8,848.50)	-12.88%		(\$51,620.72)	-5.80%

Other	<u>Current Month</u>	<u>% of Sales</u>		<u>Year To Date</u>	<u>% of Sales</u>
Sales	\$0.00			\$1,050.00	100.00%
Cost of Sales	\$0.00			\$808.50	77.00%
GROSS MARGIN	\$0.00			\$241.50	23.00%
Expenses	\$0.00			\$0.00	0.00%
Other Income	\$0.00			\$0.00	0.00%
Other Deductions	\$0.00			\$0.00	0.00%
Other Expenses	\$0.00			\$0.00	0.00%
Default Account	\$0.00			\$0.00	0.00%
NET PROFIT	\$0.00			\$241.50	23.00%

Columbus Total	<u>Current Month</u>	<u>% of Sales</u>		<u>Year To Date</u>	<u>% of Sales</u>
Sales	\$860,371.97	100.00%		\$13,512,025.71	100.00%
Cost of Sales	\$666,270.63	77.44%		\$11,514,933.43	85.22%
GROSS MARGIN	\$194,101.34	22.56%		\$1,997,092.28	14.78%
Expenses	\$169,458.03	19.70%		\$1,872,040.88	13.85%
Other Income	\$64,928.94	7.55%		\$292,366.94	2.16%
Other Deductions	\$0.00	0.00%		\$0.00	0.00%
Other Expenses	\$1,171.92	0.14%		\$19,991.36	0.15%
Default Account	\$0.00	0.00%		\$0.00	0.00%
NET PROFIT	\$88,400.33	10.27%		\$397,426.98	2.94%



SmartBank

10/24/2022

RE: Bank Letter / Brimston

To whom it may concern,

SmartBank is in preliminary discussions with SunSouth Properties Columbus LLC. on a construction property for development located at 1301 Victory Drive Columbus GA. Once construction bids have been received the actual loan amount and interest rate will be determined.

Please reach out if you have any questions.
Thank you,

A handwritten signature in blue ink that reads "Susan Wilkins".

Susan Wilkins
VP | Corporate Relationship Manager

Occupation Tax License

City of Columbus, Georgia

THIS RECEIPT NOT OFFICIAL UNLESS VALIDATED

PAID

Aug 17 2022

Occupation Tax
Columbus Consolidated Government

Fee Type	Revenue Code	Fee Amount
Occupation Tax Administrative Fee	4140	\$75.00

Date Issued: August 17, 2022

Expires: **December 31, 2022**

Renew by: April 01, 2023

Occupational Tax#: OCC009925-08-2022 C.O. #: Z200700969 Account #: 07160701

Business Address:

SUNSOUTH, LLC
WINSLETT, KIM
210 PARKMAN AVE
COLUMBUS, GA 31901

Mailing Address:

SUNSOUTH, LLC
ATTN: DAVID PARKMAN
4100 HARTFORD HWY
DOTHAN, AL 36305

Business Name:

SUNSOUTH, LLC

Type of Occupation:

FARM & GARDEN MACH & EQUIP WHOLSALERS

042182 DOM FARM & GARDEN MACH & EQUIP WHOLSALERS

2022



Angelia Alexander
FINANCE DIRECTOR

The above named having in accordance with the ordinance of Columbus, Georgia paid to the treasurer of said city the amounts shown above on this license, is hereby authorized to conduct the business stated above at the address outlined above in said city, provided however, that this license is granted subject to all provisions of the general tax ordinance of said city.

NOTICE OF INTENT

VERSION September 24, 2018

**State of Georgia
Department of Natural Resources
Environmental Protection Division**

GAR189954-V1

Permittee NOI Number

4/26/2022

Application Submittal Date

**For Coverage Under the 2018 Re-Issuance of the NPDES General Permits
To Discharge Storm Water Associated With Construction Activity**

THESE PERMITS EXPIRE JULY 31, 2023

Facility Information

Facility Name: SunSouth-John Deere
Mailing Address 1: 1301 Victory Drive Mailing Address 2: _____
County: Muscogee City: Columbus State: GA Zip Code: 31901
Facility/Property Address 1: 1301 Victory Drive Address 2: _____
County: Muscogee City: Columbus State: GA Zip Code: 31901
Latitude: 32.447119 Longitude: -84.975472

PRIMARY PERMITTEE

NOTICE OF INTENT:

- Initial Notification Re-Issuance Notification Change of Information
 Change of Owner/Operator: Formerly Known As: _____

I. SITE/OWNER/OPERATOR INFORMATION

Facility Ownership Type: Privately Owned Facility
Owner's Name: SunSouth Properties Columbus LLC Phone: 334-678-7861
Email Address: mhoward@sunsouth.com Address: 4100 Hartford Highway
City: Dothan State: AL Zip Code: 36305
Duly Authorized Representative(s): _____ Phone: _____
Email Address: _____
Operator's Name: _____ Phone: _____
Email Address: _____ Address: _____
City: _____ State: GA Zip Code: _____
Facility/Construction Site Contact: Marty Howard Phone: 229-202-0018
Email Address: mhoward@sunsouth.com

II. CONSTRUCTION SITE ACTIVITY INFORMATION AND FEE CALCULATONS

Start Date: 05/13/2022 Completion Date: 07/31/2023

Regulated by a certified Local Issuing Authority (LIA): Yes No

Name of Local Issuing Authority: Columbus Consolidated Government

Is this an Agricultural Building? (ex.chicken house): Yes No

Is this a public water system reservoir?: Yes No

Is this project regulated by the Public Service Commission (PSC)? (ex. Electricity, natural gas, telecom, pipeline): Yes No

Is this project under the direct supervision of the Natural Resource Conservation Service (NRCS)?: Yes No

Is this a construction and/or maintenance project undertaken and/or financed in whole or in part by the Department of Transportation, The Georgia

Highway Authority, or the State Road and Tollway Authority?: Yes No

Is this a road construction and/or road maintenance project (including sidewalks, bike routes, multi-use paths or trails)?: Yes No

Acres Disturbed (to the nearest tenth (1/10th) acre) 8.0 X \$40/acre = 320

Regulated by a certified Local Issuing Authority

TOTAL FEE SUBMITTED = 320

Does the Erosion, Sedimentation and Pollution Control Plan (Plan) provide for disturbing more than 50 acres at any one time for each individual permittee (i.e., primary, secondary or tertiary permittees), or more than 50 contiguous acres total at any one time ?

YES - _____ Date of EPD Written Authorization

NO

N/A - if construction activities are covered under the General NPDES Permit No. GAR100002 for Infrastructure construction projects

Construction Activity Type:

Commercial Industrial Municipal/Institutional Mixed Use

Water Quality/Aquatic Habitat Restoration Linear Utility Residential

Agricultural Buildings Other: _____

III. RECEIVING WATER INFORMATION

A. Name of Initial Receiving Water(s): Chattahoochee River

Trout Stream Water Supporting Warm Water Fisheries

B. Name of MS4 Receiving Waters: Chattahoochee River

N/A Trout Stream Water Supporting Warm Water Fisheries

Name of MS4 Owner/Operator: Columbus Consolidated Govt

C. Sampling of Receiving Stream(s):

Trout Stream (Δ 10 NTU) Water Supporting Warm Water Fisheries (Δ 25 NTU)

D. Sampling of Outfall(s):

N/A

Trout Stream

Water Supporting Warm Water Fisheries

A summary chart (if applicable) delineating the following information for each outfall must be attached:

Number of Sampling Outfalls: 1 Construction Site Size (acres): 15.3

Appendix B NTU Value: 50 Surface Water Drainage Area (square miles): 0-4.99

E. Does the facility/construction site discharge storm water into an Impaired Stream Segment, or within one (1) linear mile upstream of and within the same watershed as, any portion of an Impaired Stream Segment identified as "not supporting" its designated use(s), as shown on Georgia's most current "305(b)/303(d) List Documents (Final)" listed for the criteria violated, "Bio F" (Impaired Fish Community) and/or "Bio M" (Impaired Macroinvertebrate Community), within Category 4a, 4b or 5, and the potential cause is either "NP" (nonpoint source) or "UR" (urban runoff) ?

No Yes, Name of Impaired Stream Segment(s): _____

F. Does the facility/construction site discharge storm water into an Impaired Stream Segment where a Total Maximum Daily Load (TMDL) Implementation Plan for "sediment" was finalized at least six (6) months prior to the submittal of the Initial NOI ?

No Yes, Name of Impaired Stream Segment(s): _____

IV. CERTIFICATIONS:

I certify that to the best of my knowledge and belief, that the Erosion, Sedimentation and Pollution Control Plan (Plan) was prepared by a design professional, as defined by this permit, that has completed the appropriate certification course approved by the Georgia Soil and Water Conservation Commission in accordance with the provisions of O.C.G.A. 12-7-19 and that I will adhere to the Plan and comply with all applicable requirements of this permit.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based upon my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations.

Responsible Official: Marty Howard
Email: kilcrease@south.com

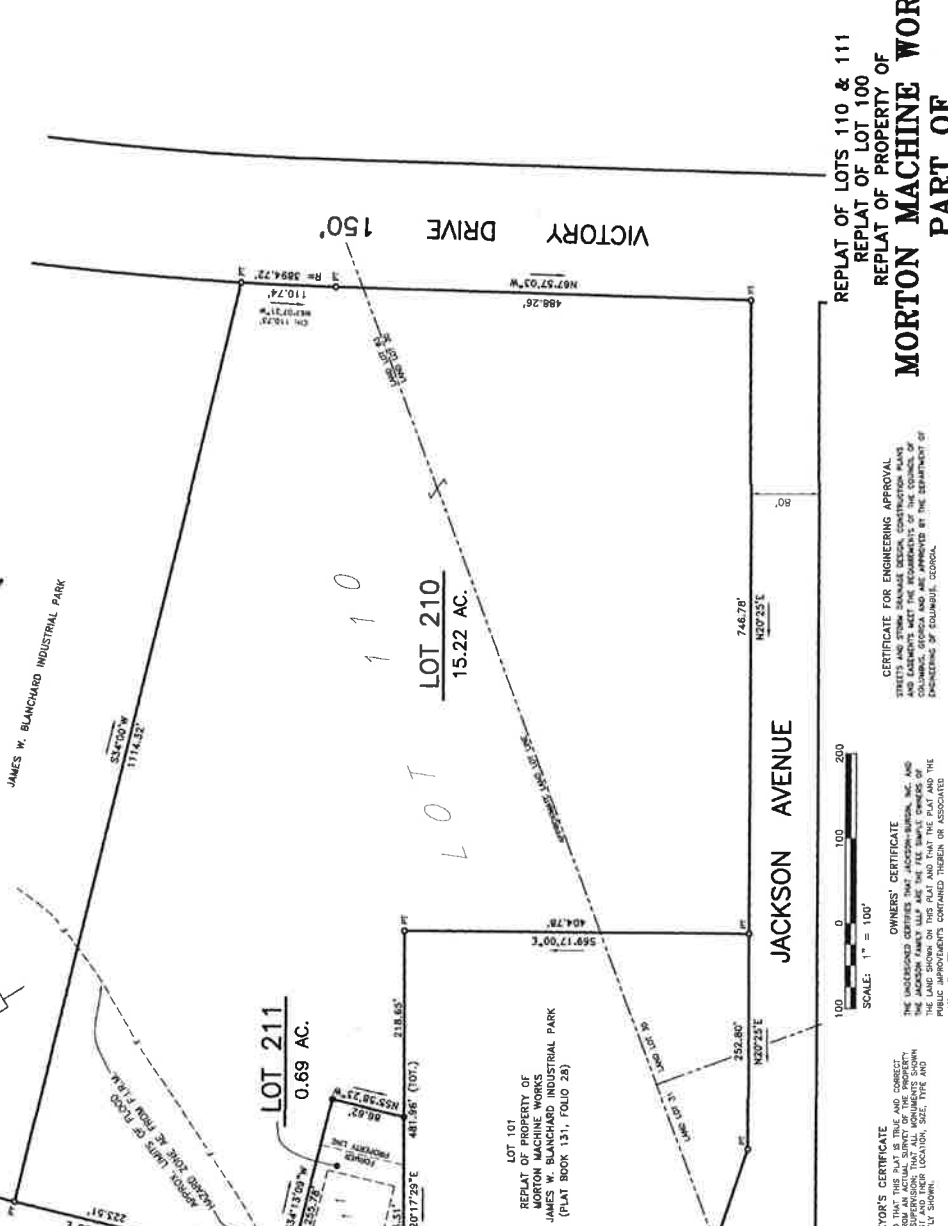
2022000940 B, 167 P, 55 PLAT
 01/11/2022 02:23:00 PM Page 1 of 1
 Danielle F. Forts County Recorder
 Muscogee County, Georgia
 eFile Participant ID#: 2521098160

LEGEND
 REBAR & CAP SET (MMWV LSF 87)
 PINCHED TOP IRON FOUND
 LIMITS OF FLOOD HAZARD
 BASE FLOOD ELEVATION

NOTES:
 1. ALL DRAINAGE BANKS ARE SUBJECT TO NATURAL EROSION AND SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO BANKS OR THE STABILIZATION THEREOF.
 2. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY UNLAWFUL ACTS OR VIOLATIONS OF ANY APPLICABLE SECTIONS OF CITY ORDINANCE NO. 02-43.
 3. 15A, MUSCOGEE COUNTY, GEORGIA, 152, FOLD

Name, this date, examined the FLOOD INSURANCE RATE MAP (Community No. 151588). Subject parcels are located on Panel 210 & 211 of said map. Only the eastern portion of Lots 210 & 211 are in Flood Hazard Zone AE as shown hereon.
 Jeffrey W. Forts, R.L.S. - Georgia Reg. No. 2787

LOT 211
 0.69 AC.
LOT 210
 15.22 AC.



SURVEYOR'S CERTIFICATE
 IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACCURATE SURVEY OF THE PROPERTY HEREON ACTUALLY PLAT AND THEIR LOCATION, SIZE, TYPE AND BOUNDARIES ARE CORRECTLY SHOWN.
 THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS BEEN OBTAINED BY ME OR UNDER MY SUPERVISION AND HAS BEEN CHECKED BY ME OR UNDER MY SUPERVISION AND WAS OBTAINED USING COMPASS, LEVEL, TRANSIT, STATION, AND ANGLE MEASUREMENTS.
 THE FOLLOWING TYPE COORDINATE WAS USED TO OBTAIN THE LINEAL AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT: TYPICAL OPEN STATION.
 THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN MORE THAN 40,000 FEET.
 I, Jeffrey W. Forts, R.L.S., do hereby certify that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Professional Engineers and Land Surveyors, and set forth in O.C.G.A. Section 15-6-67.
 Jeffrey W. Forts, R.L.S. - Georgia Reg. No. 2787

OWNERS' CERTIFICATE
 THE UNDERSIGNED CERTIFIES THAT JACKSON-BURN, INC. AND THE JACKSON FAMILY TRUST ARE THE TRUE AND SOLE OWNERS OF THE PUBLIC IMPROVEMENTS CONTAINED THEREON OR ASSOCIATED THEREWITH MEET ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE COLOMBUS UNITED DEVELOPMENT CODE.
 OWNERS' NAME: JACKSON-BURN, INC. (LOT 210)
 OWNERS' ADDRESS: P. O. BOX 2347
 COLUMBIA, GA 31902
 DATE: 11/13/22

CERTIFICATE FOR ENGINEERING APPROVAL
 THE ENGINEER HAS EXAMINED THE PLAT AND THE REQUIREMENTS OF THE COLOMBUS UNITED DEVELOPMENT CODE AND HAS DETERMINED THAT THE REQUIREMENTS OF THE DEPARTMENT OF ENGINEERING OF COLOMBUS, GEORGIA, ARE MET.
 DATE: 11-11-22
 Michael R. Mize, R.L.S. - Georgia Reg. No. 2787

CERTIFICATE FOR FINAL PLAT APPROVAL
 ALL REQUIREMENTS OF THE COLOMBUS UNITED DEVELOPMENT CODE HAVING BEEN REPRESENTED AS BEING FULFILLED BY THIS PLAT, THE ENGINEER HAS DETERMINED THAT THE PLAT COMPLETES ALL REQUIREMENTS OF THE COLOMBUS UNITED DEVELOPMENT CODE.
 DATE: 11-11-22
 Michael R. Mize, R.L.S. - Georgia Reg. No. 2787

REPLAT OF LOTS 110 & 111
REPLAT OF LOT 100
MORTON MACHINE WORKS
PART OF
JAMES W. BLANCHARD
INDUSTRIAL PARK
LYING IN LAND LOTS 30 & 63, COMETA RESERVE
COLUMBUS, MUSCOGEE COUNTY, GEORGIA
 Scale 1" = 100'
 13 December 2021
 MOON MEEKS & ASSOCIATES, INC.
 (GA. REG. NO. H206485)
 Civil Engineers - Land Surveyors
 100 Southern Way, Suite A, Columbus, Georgia 31904
 (706) 327-8308



AS REQUIRED BY SUBSECTION (c) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY AN APPLICABLE LOCAL AUTHORITY. SUCH APPROVALS, STAMPS, OR STATEMENTS CONFIRMED BY THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO THE ACCURACY OF THE DATA UPON WHICH THIS PLAT IS BASED SHALL NOT BE A WAIVER OF THE SURVEYOR'S OBLIGATION TO OBTAIN THE FIELD DATA UPON WHICH THIS PLAT IS BASED AND TO CHECK THE SAME FOR ACCURACY AND TO OBTAIN THE NECESSARY MEASUREMENTS TO PREPARE THIS PLAT.

PROPOSED LOT D-110
(0.73 ACRES)

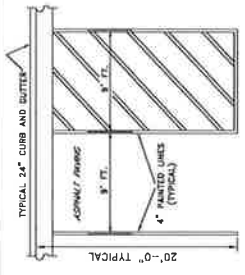
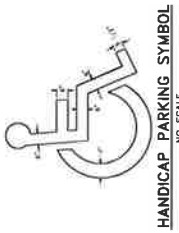
PROPOSED LOT C-110
(2.05 ACRES)

PROPOSED LOT B-110
(1.87 ACRES)

PROPOSED LOT A-110
(7.58 ACRES)

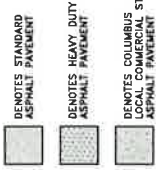
PROPOSED DETENTION

NOTE: INDICATE THE LOCATION OF ALL UTILITIES, CHARACTER AND MATERIALS OF EXISTING UNDERGROUND UTILITIES, AND THE LOCATION OF ALL EXISTING ABOVE GROUND UTILITIES. THE ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.



PARKING REQUIREMENTS:
AS PER U.D.C. TABLE A-1.3 (FOR EQUIPMENT SALES)
1 SPACE PER 250 CSF
17,142 SF
17,142 / 250 = 68 SPACES REQUIRED/ALLOWED
SPACE PER 4,500 CSF OF OUTDOOR SALES
31,000 / 4,500 = 7 SPACES REQUIRED/ALLOWED
TOTAL SPACES REQUIRED = 75 SPACES
SPACES PROVIDED = 37 SPACES
(VARIANCE REQUEST HAS BEEN SUBMITTED)

NOTE:
ALL DIMENSIONS TO FACE OF CURB UNLESS NOTED OTHERWISE
ALL MAIN DIMENSION OTHER 3' OR 15' UNLESS NOTED OTHERWISE



BENCHMARK:
CROSSING OF MAIN

JACKSON AVENUE 80'

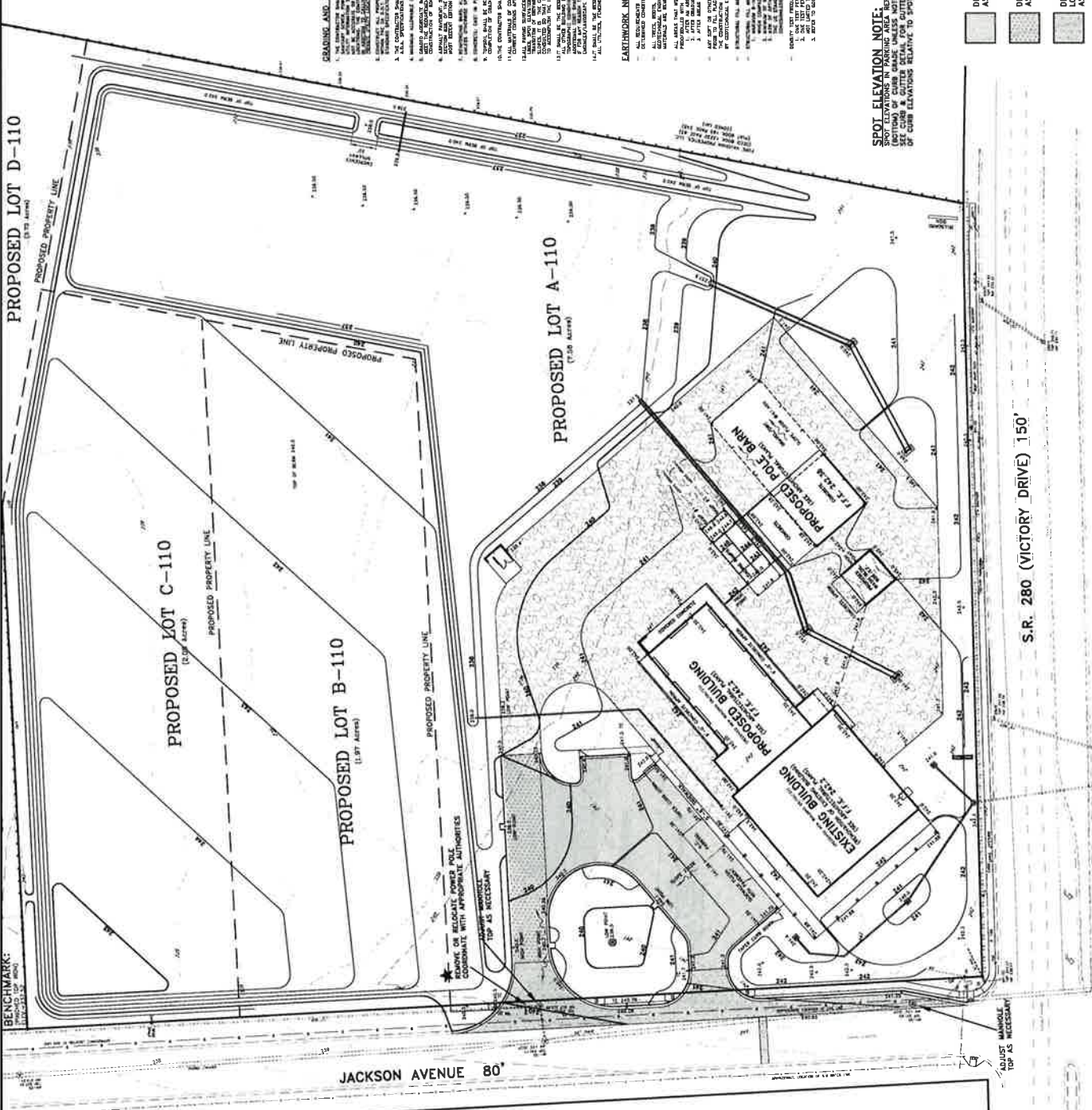
S.R. 280 (VICTORY DRIVE) 150'

NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND DECIMALS THEREOF.
 2. THE GRADING PLAN IS BASED ON THE SURVEY AND GRADE DATA PROVIDED BY THE CLIENT.
 3. THE GRADING PLAN IS BASED ON THE ASSUMPTION THAT ALL UTILITIES ARE AS SHOWN ON THE SURVEY.
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GRADING AND FINISHING NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND DECIMALS THEREOF.
 2. THE GRADING PLAN IS BASED ON THE SURVEY AND GRADE DATA PROVIDED BY THE CLIENT.
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 10. THE GRADING PLAN IS BASED ON THE ASSUMPTION THAT ALL UTILITIES ARE AS SHOWN ON THE SURVEY.

EARTHWORK NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND DECIMALS THEREOF.
 2. THE GRADING PLAN IS BASED ON THE SURVEY AND GRADE DATA PROVIDED BY THE CLIENT.
 3. THE GRADING PLAN IS BASED ON THE ASSUMPTION THAT ALL UTILITIES ARE AS SHOWN ON THE SURVEY.
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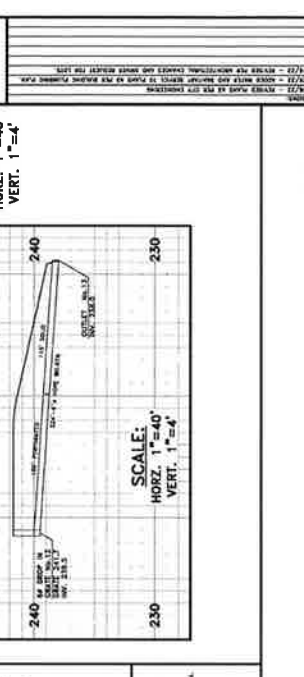
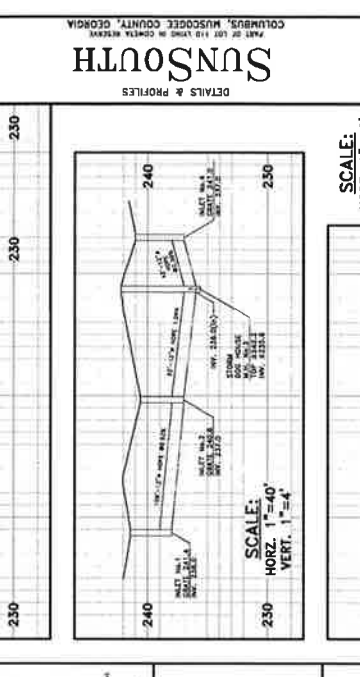
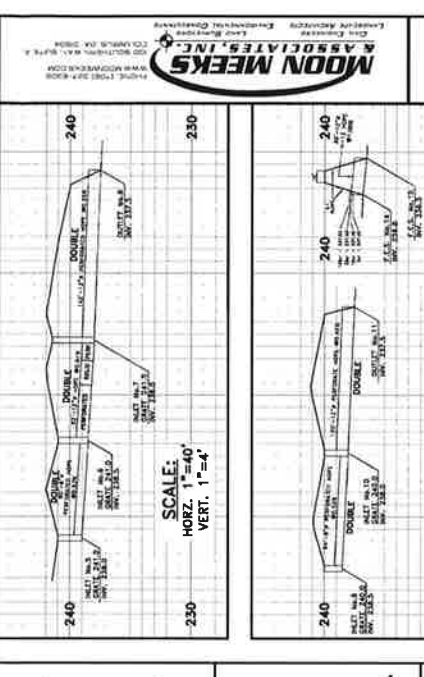
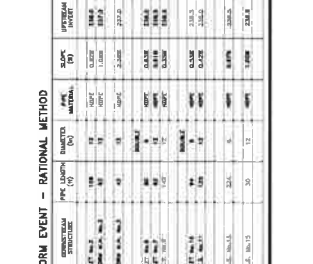
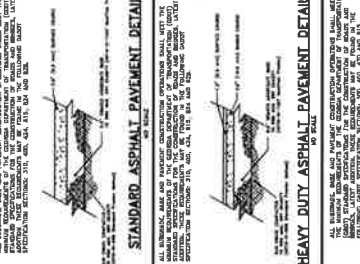
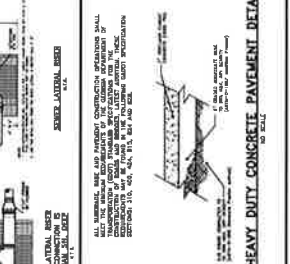
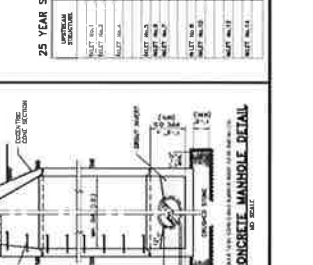
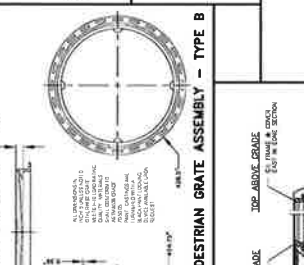
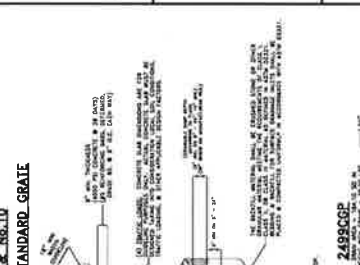
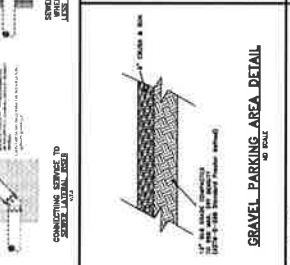
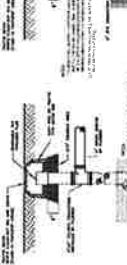
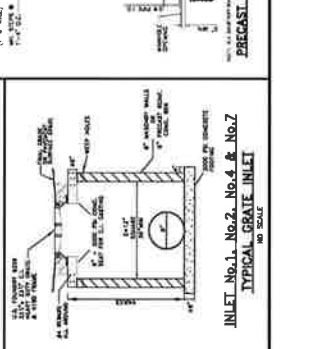
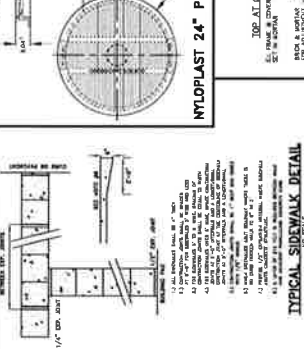
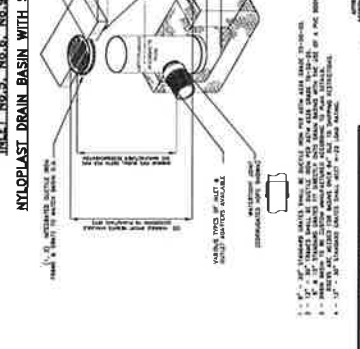
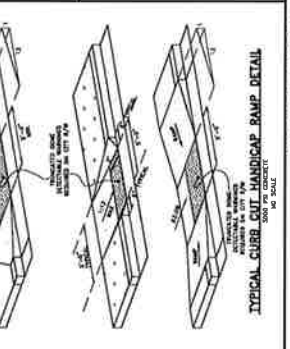
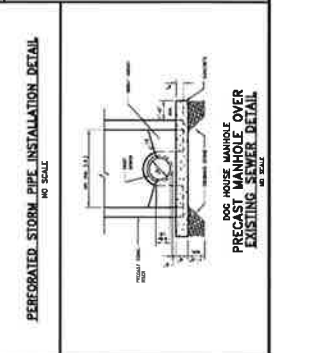
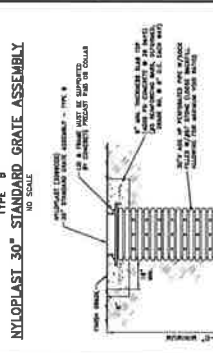
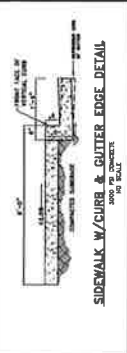
SPOT ELEVATION NOTE:
 1. SPOT ELEVATIONS ARE SHOWN AT THE CORNERS OF THE LOTS AND AT THE INTERSECTIONS OF THE LOTS.
 2. SPOT ELEVATIONS ARE SHOWN AT THE CORNERS OF THE LOTS AND AT THE INTERSECTIONS OF THE LOTS.
 3. SPOT ELEVATIONS ARE SHOWN AT THE CORNERS OF THE LOTS AND AT THE INTERSECTIONS OF THE LOTS.
 4. SPOT ELEVATIONS ARE SHOWN AT THE CORNERS OF THE LOTS AND AT THE INTERSECTIONS OF THE LOTS.
 5. SPOT ELEVATIONS ARE SHOWN AT THE CORNERS OF THE LOTS AND AT THE INTERSECTIONS OF THE LOTS.



PROJECT NO. 17081 327-2300
 DATE: 04/10/21
 SCALE: 1" = 30'

GEORGIA 811
 Call before you dig
 1-800-4-A-DAWG

LEGEND:
 DENOTES STANDARD ASPHALT PAVEMENT
 DENOTES HEAVY DUTY ASPHALT PAVEMENT
 DENOTES COLUMBUS LOCAL COMMERCIAL STREET ASPHALT PAVEMENT



DRAINAGE CALCULATIONS

25 YEAR STORM EVENT - RATIONAL METHOD

SECTION	AREA (AC)	RUNOFF COEFFICIENT	PEAK DISCHARGE (CFS)	PEAK FLOW (MGD)	PEAK FLOW (MGD)	PEAK FLOW (MGD)	PEAK FLOW (MGD)	PEAK FLOW (MGD)	PEAK FLOW (MGD)
1	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
2	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
3	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
4	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
5	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
6	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
7	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
8	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
9	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001
10	1.0	0.5	100	0.001	0.001	0.001	0.001	0.001	0.001

PROJECT No.
372-2807

DATE: AUG 9, 2022
SCALE: 3/16"=1'-0"

DRAWN BY:
C. PLANT

APPROVED BY:
R. BANTON

REVISIONS

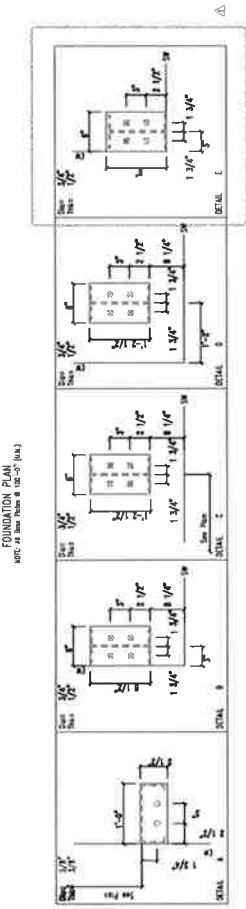
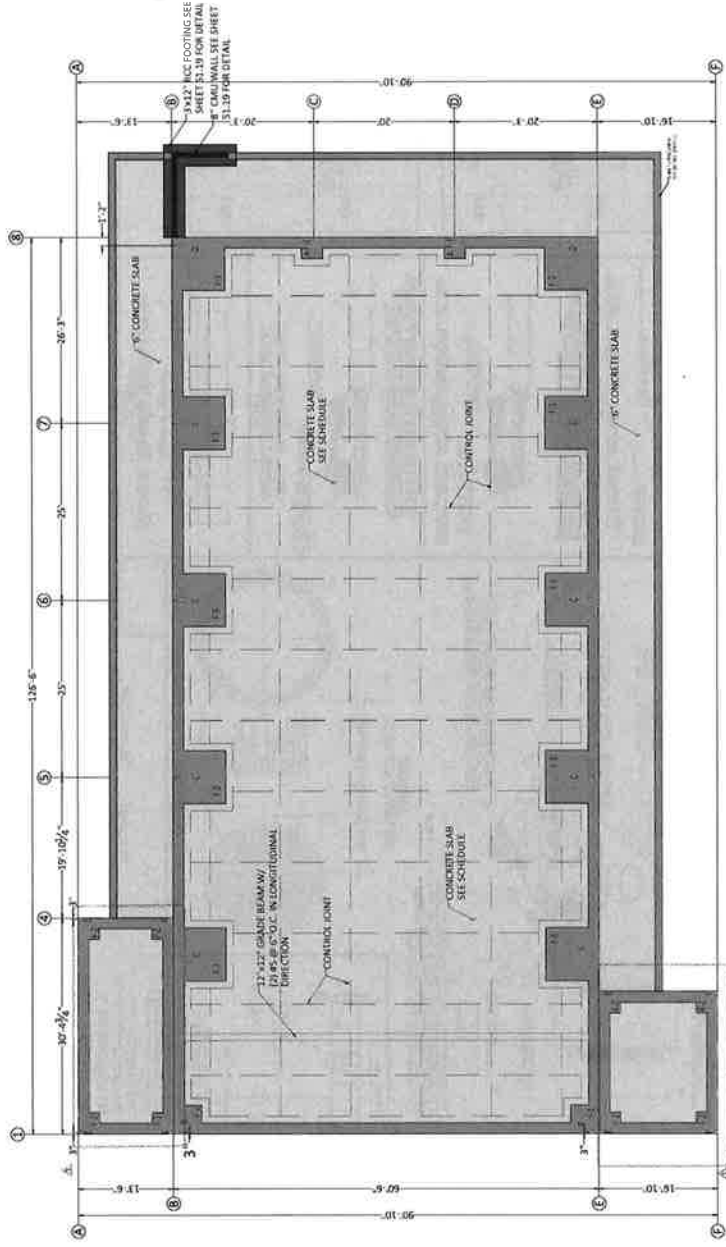
STRUCTURAL PLANS FOR STANFORTH TRACTOR COLLEGE, GA 31801



REG. OFFICE: 201 N. W. 10th St., Tallahassee, FL 32302-5372
REG. OFFICE: 1000 S. G St., Tallahassee, FL 32302-5372



SHEET S11
OF 57



PROJECT No.
37-2007
DATE: AUG 9, 2022
SCALE: 1"=1'-0"

DRAWN BY:
C. PULANT
APPROVED BY:
P. BANERJEA

REVISIONS:

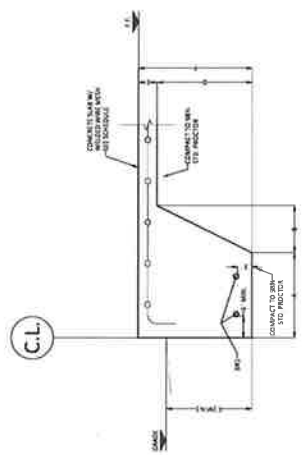
STRUCTURAL PLANS FOR
SUNSHOUT
TRACTOR
COLUMN, GA 31001
FOUNDATION DETAILS



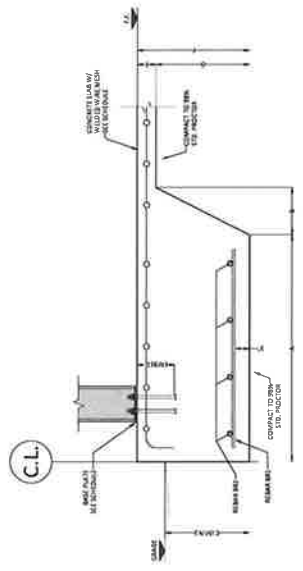
AS CDET. OF ALA. REG.
NO. 25-17-1-7000-5
PROFESSIONAL ENGINEER
CIVIL ENGINEERING
L-50002-000



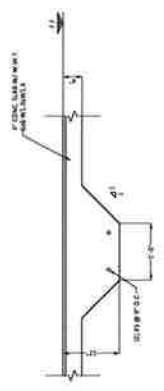
SHEET 512
OF 57



TYP CONTINUOUS FOOTING
SCALE: 1"=1'-0"

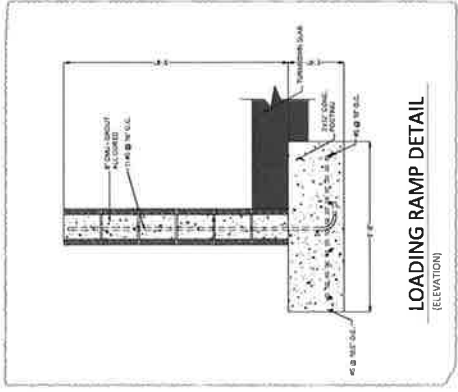


TYP COLUMN FOOTING
SCALE: 1"=1'-0"

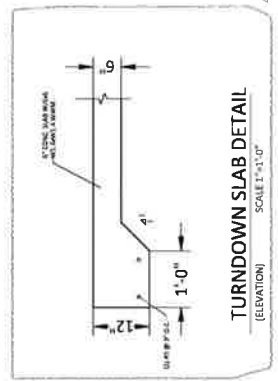


TYP GRADE BEAM
SCALE: 1"=1'-0"

TYPE	DESCRIPTION	REMARKS	DATE	BY	CHKD.
1.1	CONCRETE	CONCRETE SHALL BE 4000 PSI STRENGTH	08/09/22	CP	PL
1.2	STEEL	STEEL SHALL BE A603 GRADE 60 REBAR	08/09/22	CP	PL
1.3	SOIL	SOIL SHALL BE COMPACTED TO 95% RELATIVE DENSITY	08/09/22	CP	PL
1.4	FORMWORK	FORMWORK SHALL BE 1/2" THICK PLYWOOD	08/09/22	CP	PL
1.5	REINFORCEMENT	REINFORCEMENT SHALL BE TYPICAL	08/09/22	CP	PL
1.6	ANCHOR BOLTS	ANCHOR BOLTS SHALL BE 1/2" DIA. X 6" LONG	08/09/22	CP	PL
1.7	CONCRETE	CONCRETE SHALL BE 4000 PSI STRENGTH	08/09/22	CP	PL
1.8	STEEL	STEEL SHALL BE A603 GRADE 60 REBAR	08/09/22	CP	PL
1.9	SOIL	SOIL SHALL BE COMPACTED TO 95% RELATIVE DENSITY	08/09/22	CP	PL
1.10	FORMWORK	FORMWORK SHALL BE 1/2" THICK PLYWOOD	08/09/22	CP	PL
1.11	REINFORCEMENT	REINFORCEMENT SHALL BE TYPICAL	08/09/22	CP	PL
1.12	ANCHOR BOLTS	ANCHOR BOLTS SHALL BE 1/2" DIA. X 6" LONG	08/09/22	CP	PL
1.13	CONCRETE	CONCRETE SHALL BE 4000 PSI STRENGTH	08/09/22	CP	PL
1.14	STEEL	STEEL SHALL BE A603 GRADE 60 REBAR	08/09/22	CP	PL
1.15	SOIL	SOIL SHALL BE COMPACTED TO 95% RELATIVE DENSITY	08/09/22	CP	PL
1.16	FORMWORK	FORMWORK SHALL BE 1/2" THICK PLYWOOD	08/09/22	CP	PL
1.17	REINFORCEMENT	REINFORCEMENT SHALL BE TYPICAL	08/09/22	CP	PL
1.18	ANCHOR BOLTS	ANCHOR BOLTS SHALL BE 1/2" DIA. X 6" LONG	08/09/22	CP	PL
1.19	CONCRETE	CONCRETE SHALL BE 4000 PSI STRENGTH	08/09/22	CP	PL
1.20	STEEL	STEEL SHALL BE A603 GRADE 60 REBAR	08/09/22	CP	PL



LOADING RAMP DETAIL
SCALE: 1"=1'-0"



TURNDOWN SLAB DETAIL
SCALE: 1"=1'-0"

PROJECT NO.
37-2507

DATE: AUG 9, 2022
SCALE: 3/16" = 1'-0"

DRAWN BY:
G. PHANI
APPROVED BY:
S. SANDHA

REVISIONS:

STRUCTURAL PLANS FOR
SUNOUTH
TRACTOR
COLMURS, GA 31801
CRANE PLAN

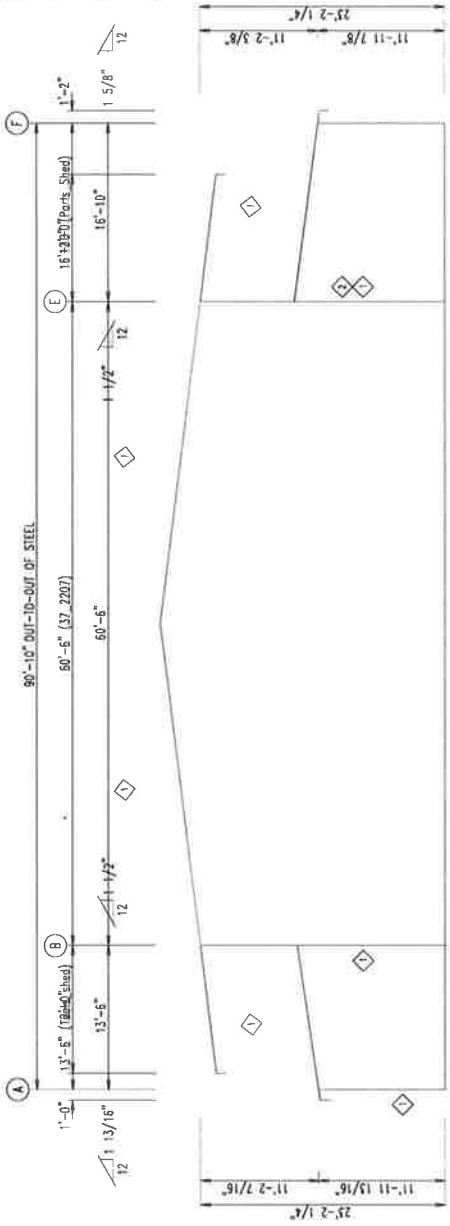


AL: 00457 OF 00476
FL: 00457 OF 00476
GA: 00457 OF 00476
SC: 00457 OF 00476
MS: 00457 OF 00476

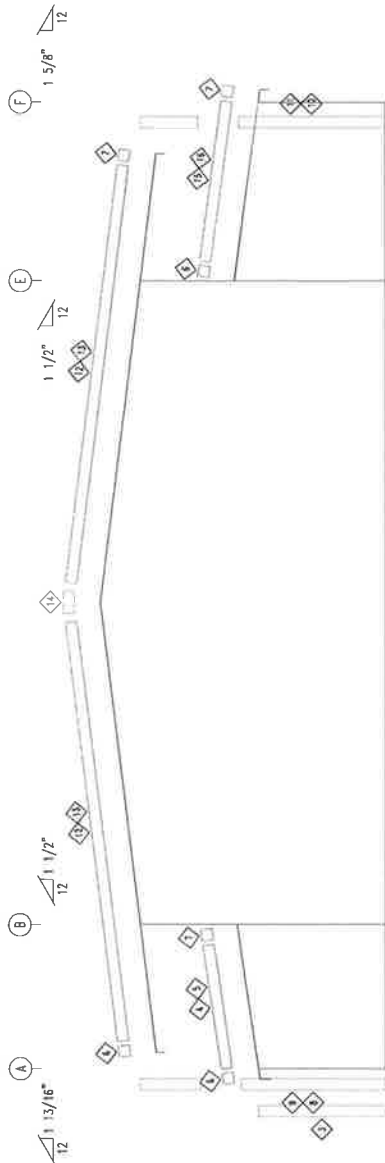


SHEET **S13**
OF **57**

NO.	DATE	DESCRIPTION
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2	08/09/22	ISSUE FOR PERMIT
3	08/09/22	ISSUE FOR PERMIT
4	08/09/22	ISSUE FOR PERMIT
5	08/09/22	ISSUE FOR PERMIT
6	08/09/22	ISSUE FOR PERMIT
7	08/09/22	ISSUE FOR PERMIT
8	08/09/22	ISSUE FOR PERMIT
9	08/09/22	ISSUE FOR PERMIT
10	08/09/22	ISSUE FOR PERMIT
11	08/09/22	ISSUE FOR PERMIT
12	08/09/22	ISSUE FOR PERMIT
13	08/09/22	ISSUE FOR PERMIT
14	08/09/22	ISSUE FOR PERMIT
15	08/09/22	ISSUE FOR PERMIT
16	08/09/22	ISSUE FOR PERMIT
17	08/09/22	ISSUE FOR PERMIT
18	08/09/22	ISSUE FOR PERMIT
19	08/09/22	ISSUE FOR PERMIT
20	08/09/22	ISSUE FOR PERMIT
21	08/09/22	ISSUE FOR PERMIT
22	08/09/22	ISSUE FOR PERMIT
23	08/09/22	ISSUE FOR PERMIT
24	08/09/22	ISSUE FOR PERMIT
25	08/09/22	ISSUE FOR PERMIT
26	08/09/22	ISSUE FOR PERMIT
27	08/09/22	ISSUE FOR PERMIT
28	08/09/22	ISSUE FOR PERMIT
29	08/09/22	ISSUE FOR PERMIT
30	08/09/22	ISSUE FOR PERMIT



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PROJECT No.
37-2071
DATE: AUG 9, 2022
SCALE: 3/16"=1'-0"

DRAWN BY:
C. PLYANT
APPROVED BY:
P. MANTHA

REVISIONS:

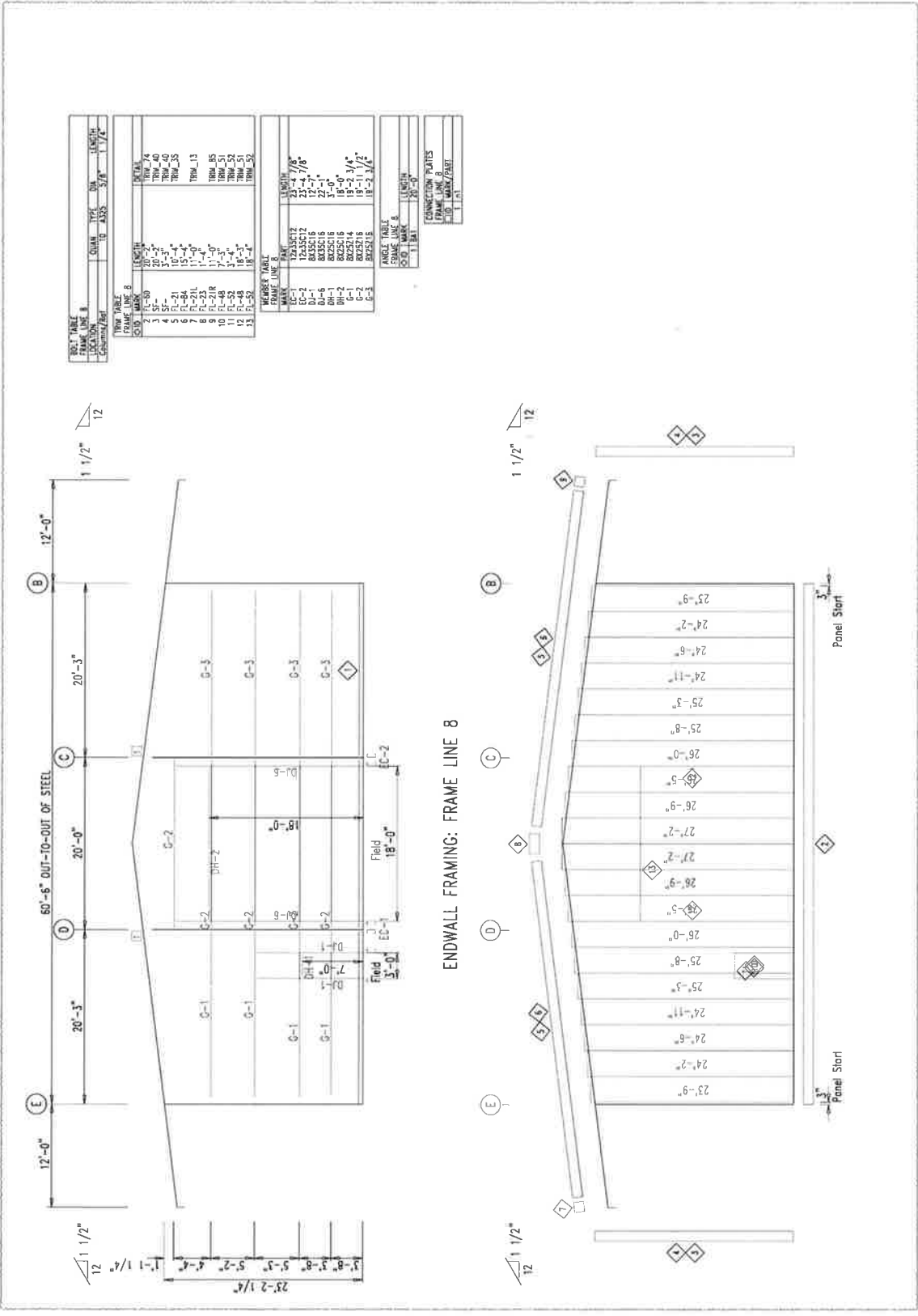
STRUCTURAL PLANS FOR
SUNOUTH
TRACTOR
COLUMBUS, GA 31801
BW FRAMING/SHEETING



AS CEIT OF ALTA
2022-1-7908-3
2022-1-7908-3
2022-1-7908-3
AS CEIT OF ALTA
L-0002600



SHEET S1.4
OF 57



BEAM TABLE

MEMBER	TYPE	SPAN	LENGTH
1	TRM-40	20'-3"	20'-3"
2	TRM-40	20'-0"	20'-0"
3	TRM-40	18'-0"	18'-0"
4	TRM-40	20'-3"	20'-3"
5	TRM-40	20'-0"	20'-0"
6	TRM-40	18'-0"	18'-0"
7	TRM-40	20'-3"	20'-3"
8	TRM-40	20'-0"	20'-0"
9	TRM-40	18'-0"	18'-0"
10	TRM-40	20'-3"	20'-3"
11	TRM-40	20'-0"	20'-0"
12	TRM-40	18'-0"	18'-0"
13	TRM-40	20'-3"	20'-3"
14	TRM-40	20'-0"	20'-0"
15	TRM-40	18'-0"	18'-0"

MEMBER TABLE

MEMBER	TYPE	SPAN	LENGTH
1	TRM-40	20'-3"	20'-3"
2	TRM-40	20'-0"	20'-0"
3	TRM-40	18'-0"	18'-0"
4	TRM-40	20'-3"	20'-3"
5	TRM-40	20'-0"	20'-0"
6	TRM-40	18'-0"	18'-0"
7	TRM-40	20'-3"	20'-3"
8	TRM-40	20'-0"	20'-0"
9	TRM-40	18'-0"	18'-0"
10	TRM-40	20'-3"	20'-3"
11	TRM-40	20'-0"	20'-0"
12	TRM-40	18'-0"	18'-0"
13	TRM-40	20'-3"	20'-3"
14	TRM-40	20'-0"	20'-0"
15	TRM-40	18'-0"	18'-0"

ANGLE TABLE

MEMBER	TYPE	SPAN	LENGTH
1	TRM-40	20'-3"	20'-3"
2	TRM-40	20'-0"	20'-0"
3	TRM-40	18'-0"	18'-0"
4	TRM-40	20'-3"	20'-3"
5	TRM-40	20'-0"	20'-0"
6	TRM-40	18'-0"	18'-0"
7	TRM-40	20'-3"	20'-3"
8	TRM-40	20'-0"	20'-0"
9	TRM-40	18'-0"	18'-0"
10	TRM-40	20'-3"	20'-3"
11	TRM-40	20'-0"	20'-0"
12	TRM-40	18'-0"	18'-0"
13	TRM-40	20'-3"	20'-3"
14	TRM-40	20'-0"	20'-0"
15	TRM-40	18'-0"	18'-0"

CONNECTION PLATES

MEMBER	TYPE	SPAN	LENGTH
1	TRM-40	20'-3"	20'-3"
2	TRM-40	20'-0"	20'-0"
3	TRM-40	18'-0"	18'-0"
4	TRM-40	20'-3"	20'-3"
5	TRM-40	20'-0"	20'-0"
6	TRM-40	18'-0"	18'-0"
7	TRM-40	20'-3"	20'-3"
8	TRM-40	20'-0"	20'-0"
9	TRM-40	18'-0"	18'-0"
10	TRM-40	20'-3"	20'-3"
11	TRM-40	20'-0"	20'-0"
12	TRM-40	18'-0"	18'-0"
13	TRM-40	20'-3"	20'-3"
14	TRM-40	20'-0"	20'-0"
15	TRM-40	18'-0"	18'-0"

ENDWALL SHEETING & TRIM: FRAME LINE 8
PANELS: 26 Ga. PBR - Need Std. Color

PROJECT No.
37-2507

DATE: AUG 9, 2022
SCALE: 3/16"=1'-0"

DRAWN BY:
G. PLYANT
APPROVED BY:
P. BANTORA

REVISIONS:

STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMBUS, GA 31901
FW FRAMING/SHEETING



A. C. C. OF ARCH.
IN STATE OF ALA.
2017-11-15
SOUTHERN REGIONAL
US COUNCIL OF ARCH.
LICENSED



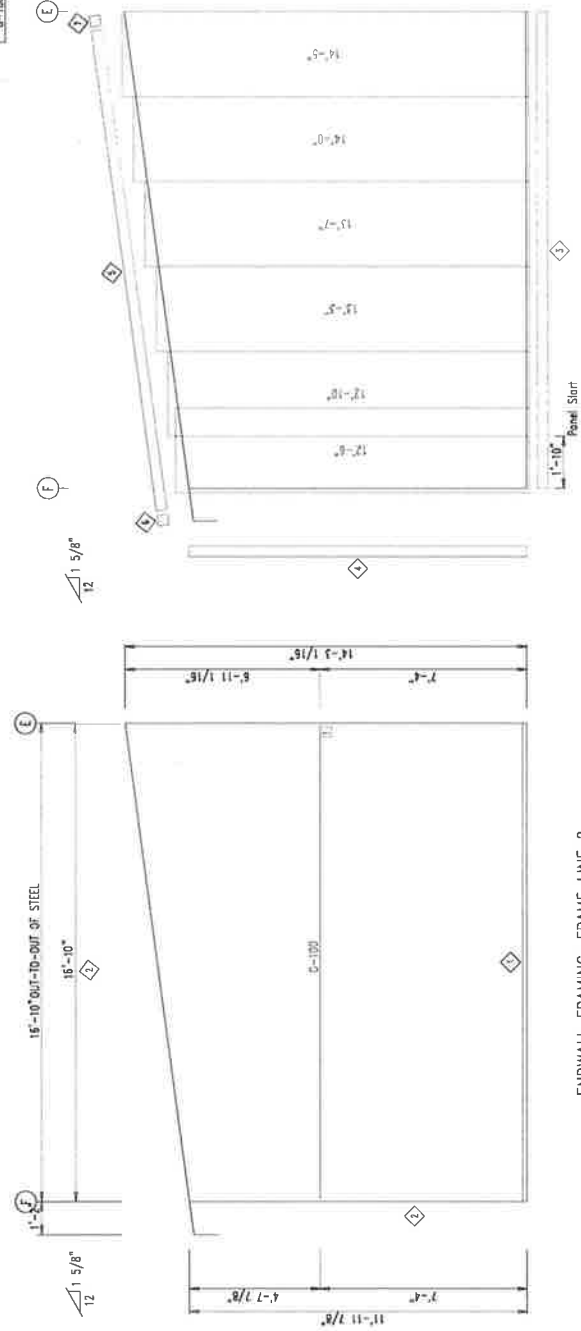
SHEET S15
OF 57

TRIM TABLE FRAME LINE 2		DETAIL	
Q.D. MARK	LENGTH	TRIM 74	TRIM 76
3	20'-2"	TRIM 74	TRIM 76
4	67'-0"	TRIM 74	TRIM 76
5	11'-0"	TRIM 13	TRIM 15
6	11'-0"	TRIM 13	TRIM 15
7	11'-0"	TRIM 13	TRIM 15

WEARER TABLE FRAME LINE 2		LENGTH	
MARK	PART	LENGTH	MARK
E-100	8X5X16	16'-7 7/8"	

ANGLE TABLE FRAME LINE 2		LENGTH	
Q.D. MARK	MARK	LENGTH	MARK
1	BA1	20'-0"	
2	LSA1	20'-0"	

CONNECTION PLATES FRAME LINE 2		MARK/PART	
Q.D. MARK	MARK	MARK	PART
1	118B		



ENDWALL FRAMING: FRAME LINE 2

ENDWALL SHEETING & TRIM: FRAME LINE 2

PANELS: 26 Co. PBR - Need Std. Color

PROJECT No
J7-2807

DATE: AUG 9, 2022

SCALE: 1/4"=1'-0"

DRAWN BY:
G. PLYANT

APPROVED BY:
P. SANTORA

REVISIONS:

STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMBUS, GA 31801

BW FRAMING/SHEETING

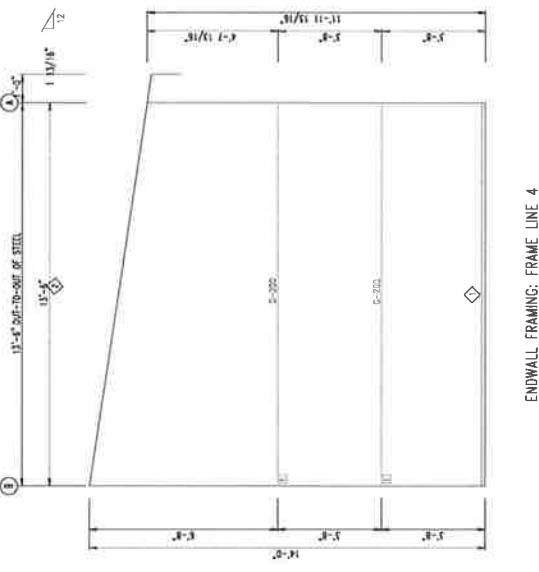
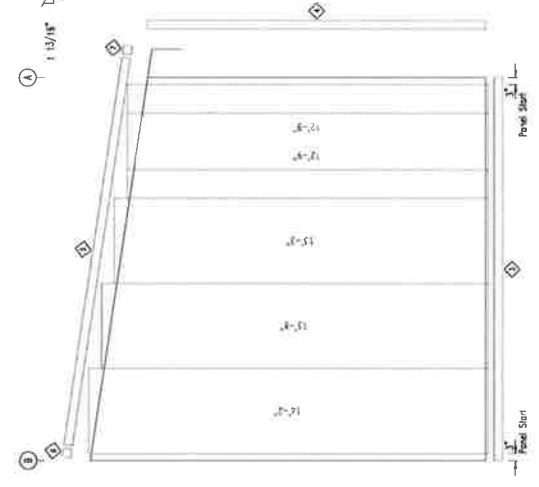


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SYSTEMS WITHOUT PERMISSION
IN WRITING FROM NORTHSTAR
ENGINEERING SERVICES, LLC



SHEET S16
OF 57

NO.	DESCRIPTION	DATE
1	AS SHOWN	08/09/22
2	REVISED	08/09/22
3	REVISED	08/09/22
4	REVISED	08/09/22
5	REVISED	08/09/22
6	REVISED	08/09/22
7	REVISED	08/09/22
8	REVISED	08/09/22



4

PROJECT NO:
SP-2207
DATE: AUG 9, 2022
SCALE: 1/4"=1'-0"

DRAWN BY:
G. PLANT
APPROVED BY:
R. SANTIAGA

REVISIONS:

STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMBUS, GA 31901
RIGID FRAME LINE 1



ALL WORK TO BE DONE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
AS BUILT
AS SHOWN ON THIS PLAN
AS NOTED ON THIS PLAN
AS NOTED ON THIS PLAN
AS NOTED ON THIS PLAN
AS NOTED ON THIS PLAN
AS NOTED ON THIS PLAN

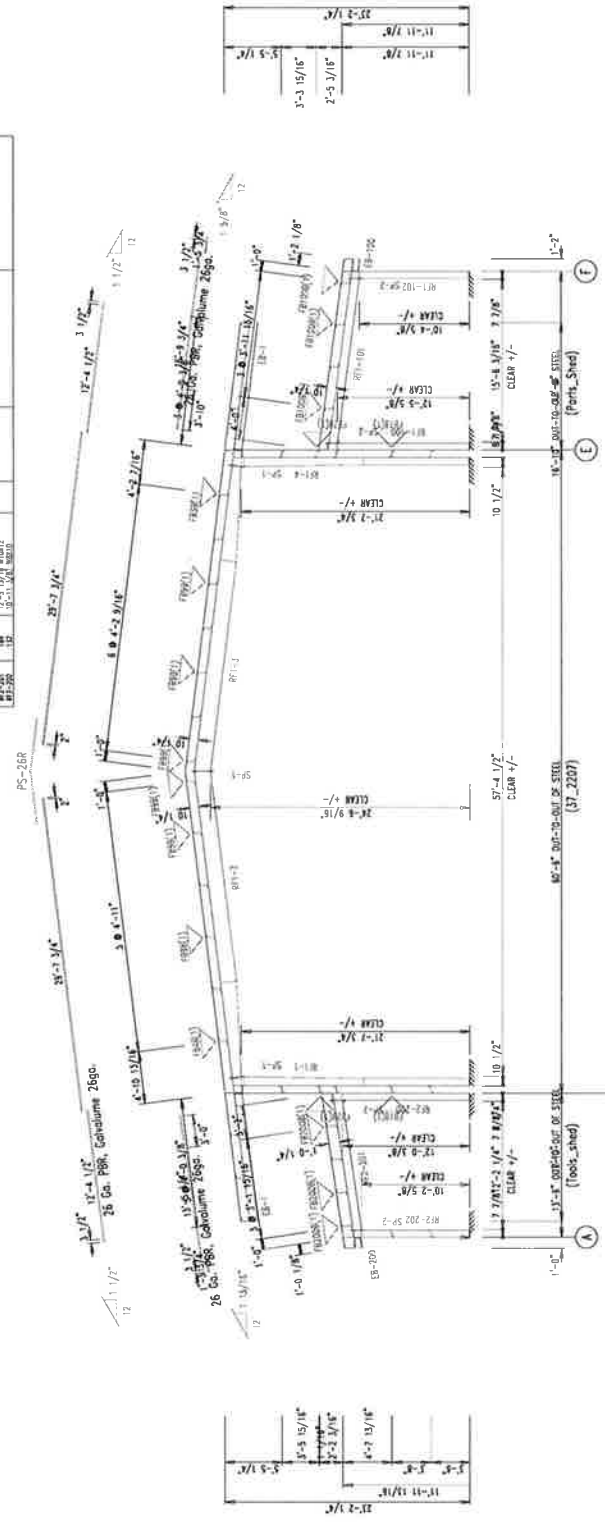


SHEET S17
OF 57

MEMBER	TYPE	LENGTH	DEPTH	AREA	WEIGHT	SECTION
RF-1	26 Ga. PBR, Galvalume 26ga.	12'-4 1/2"	12.8	10.5	12.8	12.8 x 12.8
RF-2	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-3	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-4	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-5	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-6	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-7	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-8	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-9	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8
RF-10	26 Ga. PBR, Galvalume 26ga.	20'-0 7/8"	12.8	10.5	20.0	12.8 x 12.8

SPACE	DELT	DELTA	DELTA	DELTA	DELTA	DELTA
SP-1	0	4	0	AD25	0.625	2.00
SP-2	4	4	0	AD25	0.625	1.75

▽ FLOOR FINISH: Bch. Slat(UN)
R = 20000000



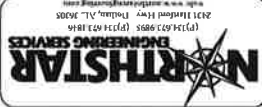
RIGID FRAME ELEVATION: FRAME LINE 1

PROJECT No.
37-252P
DATE: AUG. 9, 2022
SCALE: 1/4" = 1'-0"

DRAWN BY:
C. PLANT
APPROVED BY:
R. SANDRA

REVISIONS:

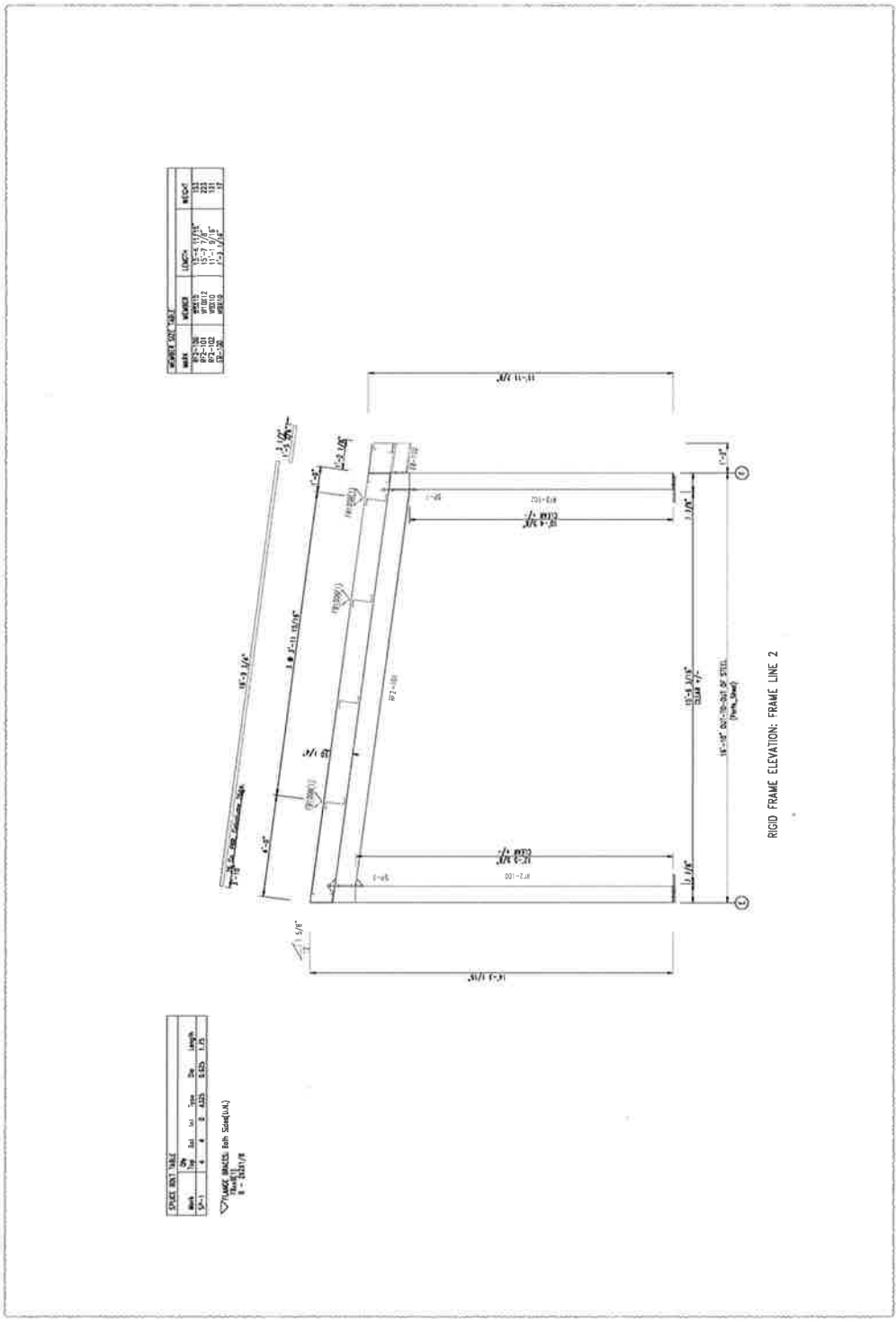
STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMNS, GA 31801
RIGID FRAME LINE 2



AL. CERT. OF AUTH. #13-0000000000
PE. CERT. OF AUTH. #13-0000000000
S.E. CERT. OF AUTH. #13-0000000000
E-338222222



SHEET S18
OF 57



MARK	NUMBER	LENGTH	WEIGHT
82-10	W8X10	11'-4 1/4"	111
82-12	W8X10	11'-4 1/4"	111
82-14	W8X10	11'-4 1/4"	111
82-16	W8X10	11'-4 1/4"	111

SPACE	BY	DATE	REVISION
1			
2			
3			
4			

1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"

RIGID FRAME ELEVATION: FRAME LINE 2

PROJECT NO.
317-2207

DATE: AUG 9, 2022

SCALE: 1/8"=1'-0"

DRAWN BY:
G. PLANT

APPROVED BY:
P. SANDRA

REVISIONS:

STRUCTURAL PLANS FOR
SUN SOUTH
TRACTOR
COLUMBUS, GA 31901

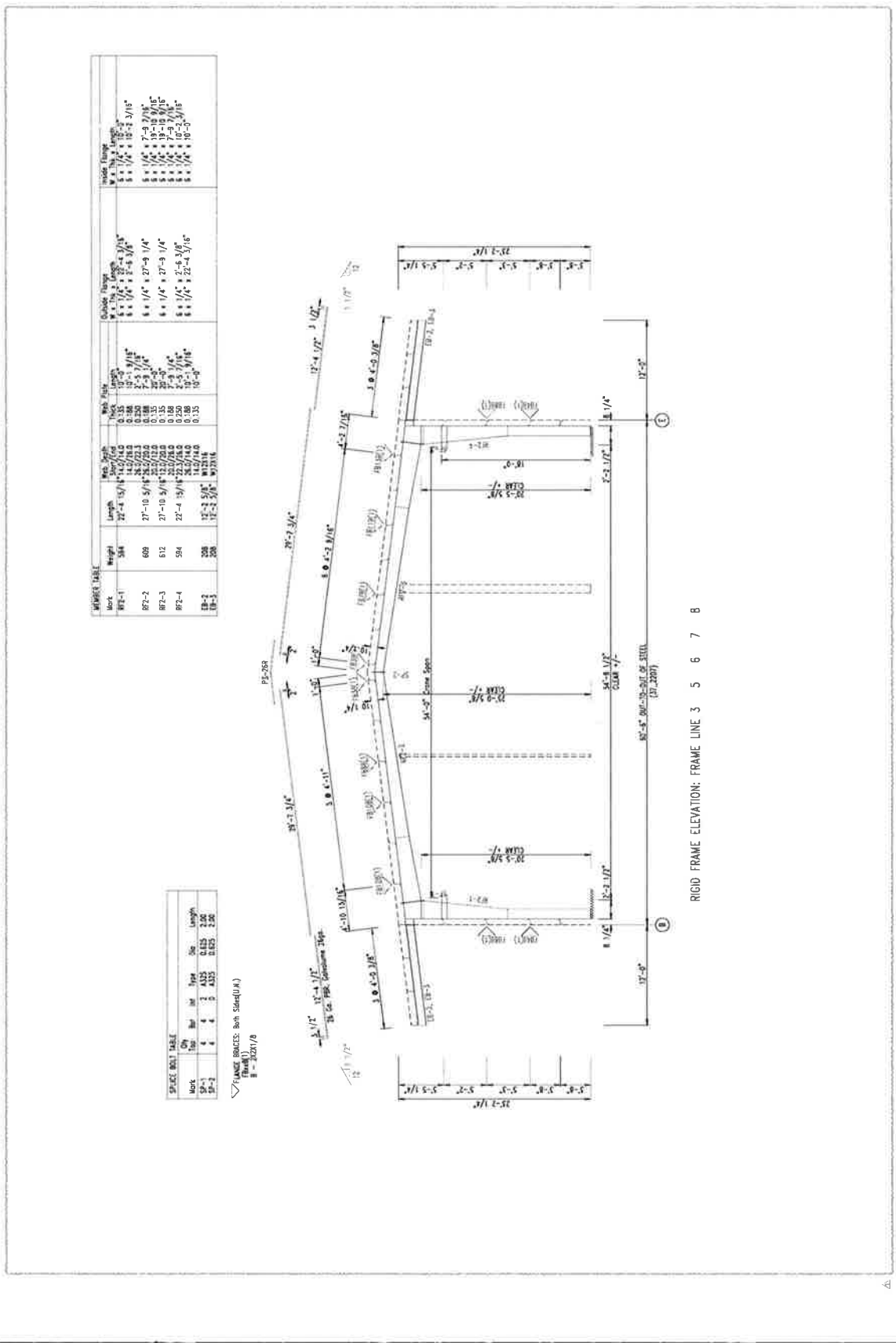
RIGID FRAME LINE 3, 5, 6, 7, 8



STATE OF ALABAMA
REGISTERED PROFESSIONAL
ENGINEER
NO. 15252 - G. PLANT
EXPIRES 12/31/2024



SHEET **S19**
OF **57**



Mark	Weight	Length	Mod. Area	Mod. Depth	Mod. Moment of Inertia	Mod. Section Modulus	Mod. Torsion Constant	Mod. Plastic Section Modulus	Mod. Yielding Strength	Mod. Tensile Strength
R7-1	584	27'-4 1/2"	11.07/14.0	0.335	10.9	1.0	1.0	1.0	44	58
R7-2	689	27'-10 5/8"	24.0/32.3	0.390	23.5	1.0	1.0	1.0	44	58
R7-3	612	27'-10 5/8"	24.0/32.3	0.390	23.5	1.0	1.0	1.0	44	58
R7-4	594	27'-4 1/2"	11.07/14.0	0.335	10.9	1.0	1.0	1.0	44	58
R7-5	508	17'-2 1/2"	11.07/14.0	0.335	10.9	1.0	1.0	1.0	44	58
R7-6	508	17'-2 1/2"	11.07/14.0	0.335	10.9	1.0	1.0	1.0	44	58

SPICE WELT TABLE

Mark	Qty	Size	Length	Weight
R7-1	4	4	2.00	0.055
R7-2	4	4	2.00	0.055

FLANGE BRACKETS: Both Sides (U/L)
Part 11
= 2021/10

PROJECT No.
37-2627

DATE: AUG 9, 2022

SCALE: 1/8" = 1'-0"

DRAWN BY:
C. PELANT

APPROVED BY:
P. SANDRA

REVISIONS

STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMNS, GA 31801
RIGID FRAME LINE 4



A. CHIT OF ARCHT.
A. CHIT OF ARCHT.
PHOTO. 2022-5
SUNSOOTH TRACTOR
COLUMNS, GA 31801
A. CHIT OF ARCHT.
E-2000-0001

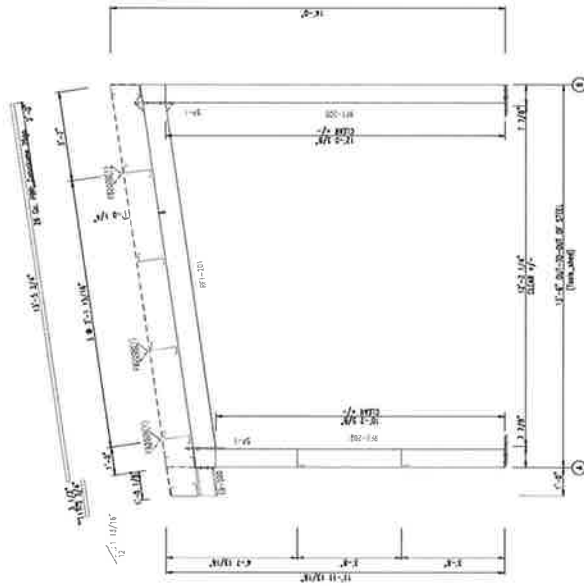


SHEET **S110**
Of **57**

MARK	NUMBER	LENGTH	NOTES
87-200	WB18	14'-0"	18
87-200	WB12	14'-0"	18
87-200	WB10	14'-0"	18
87-200	WB8	14'-0"	18

SPACE	NO.	BY	DATE	DESCRIPTION
1	1	ADP	8/10/22	ISSUE FOR PERMIT

△ MARK SPACE WITH SPACE NO.
P. SANDRA



RIGID FRAME ELEVATION: FRAME LINE 4

PROJECT NO:
21-4207

DATE: AUG 9, 2022

SCALE: 1/8"=1'-0"

DRAWN BY:
P. SANTORA

APPROVED BY:
P. SANTORA

REVISIONS:

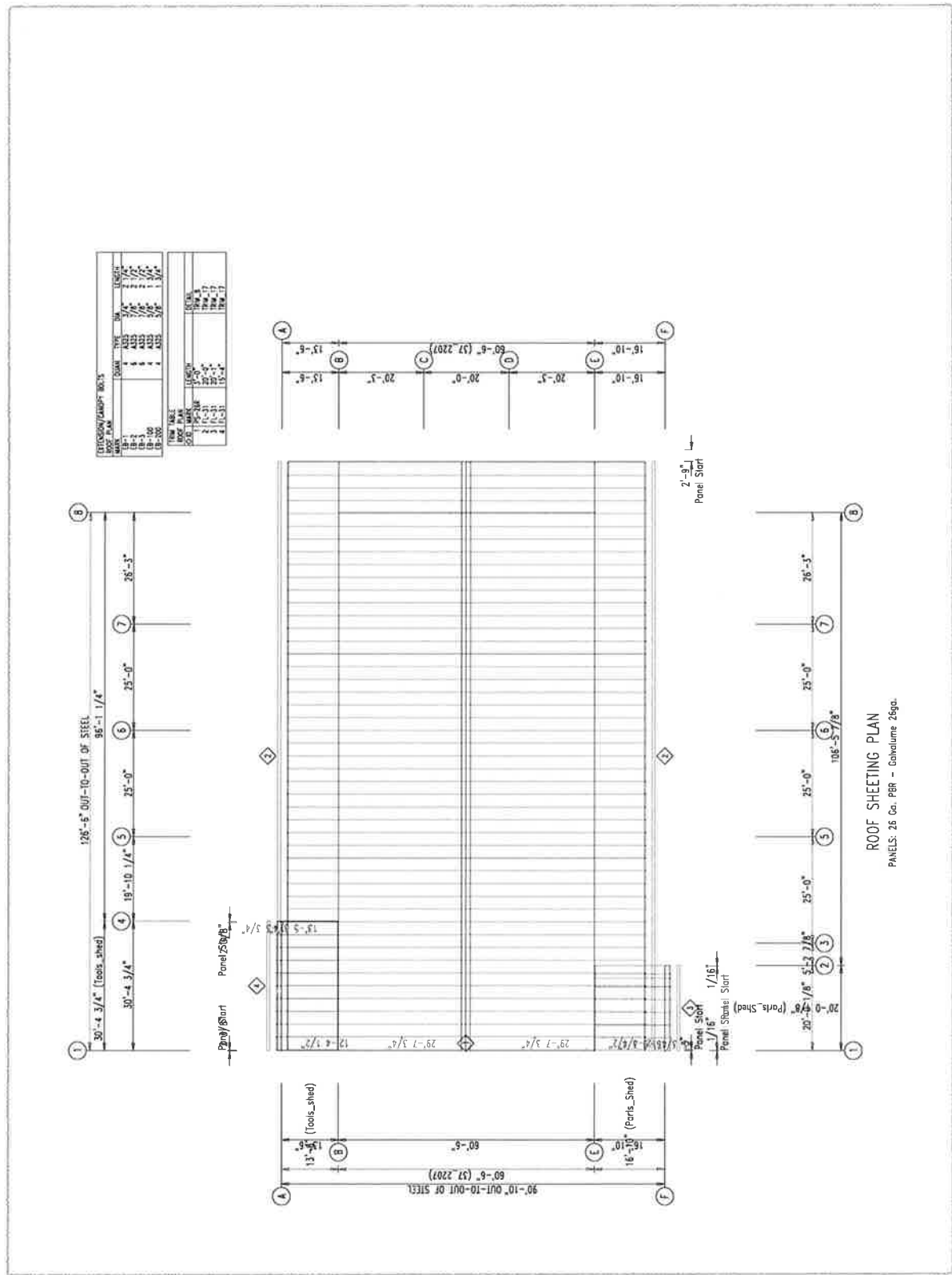
STRUCTURAL PLANS FOR
SUNSHINE TRACTOR
COLUMNS, GA 31801
ROOF SHEETING PLAN



ALL CITY OF ALBUQUERQUE
PERMITS
1. CITY OF ALBUQUERQUE
2. CITY OF ALBUQUERQUE
3. CITY OF ALBUQUERQUE
4. CITY OF ALBUQUERQUE
5. CITY OF ALBUQUERQUE
6. CITY OF ALBUQUERQUE
7. CITY OF ALBUQUERQUE
8. CITY OF ALBUQUERQUE
9. CITY OF ALBUQUERQUE
10. CITY OF ALBUQUERQUE



SHEET 57
OF



NO.	DESCRIPTION	DATE	BY	REASON
1	ISSUED FOR PERMITS	8/9/22	PS	
2	REVISED PER COMMENTS	8/10/22	PS	
3	REVISED PER COMMENTS	8/10/22	PS	
4	REVISED PER COMMENTS	8/10/22	PS	
5	REVISED PER COMMENTS	8/10/22	PS	
6	REVISED PER COMMENTS	8/10/22	PS	
7	REVISED PER COMMENTS	8/10/22	PS	
8	REVISED PER COMMENTS	8/10/22	PS	
9	REVISED PER COMMENTS	8/10/22	PS	
10	REVISED PER COMMENTS	8/10/22	PS	

ROOF SHEETING PLAN
PANELS: 26 Ga. PBR - Galvalume 26ga.

PROJECT NO.
37-2027

DATE: AUG 4, 2022
SCALE: 1/8"=1'-0"

DRAWN BY:
G. PLANT
APPROVED BY:
P. SANTORA

REVISIONS:

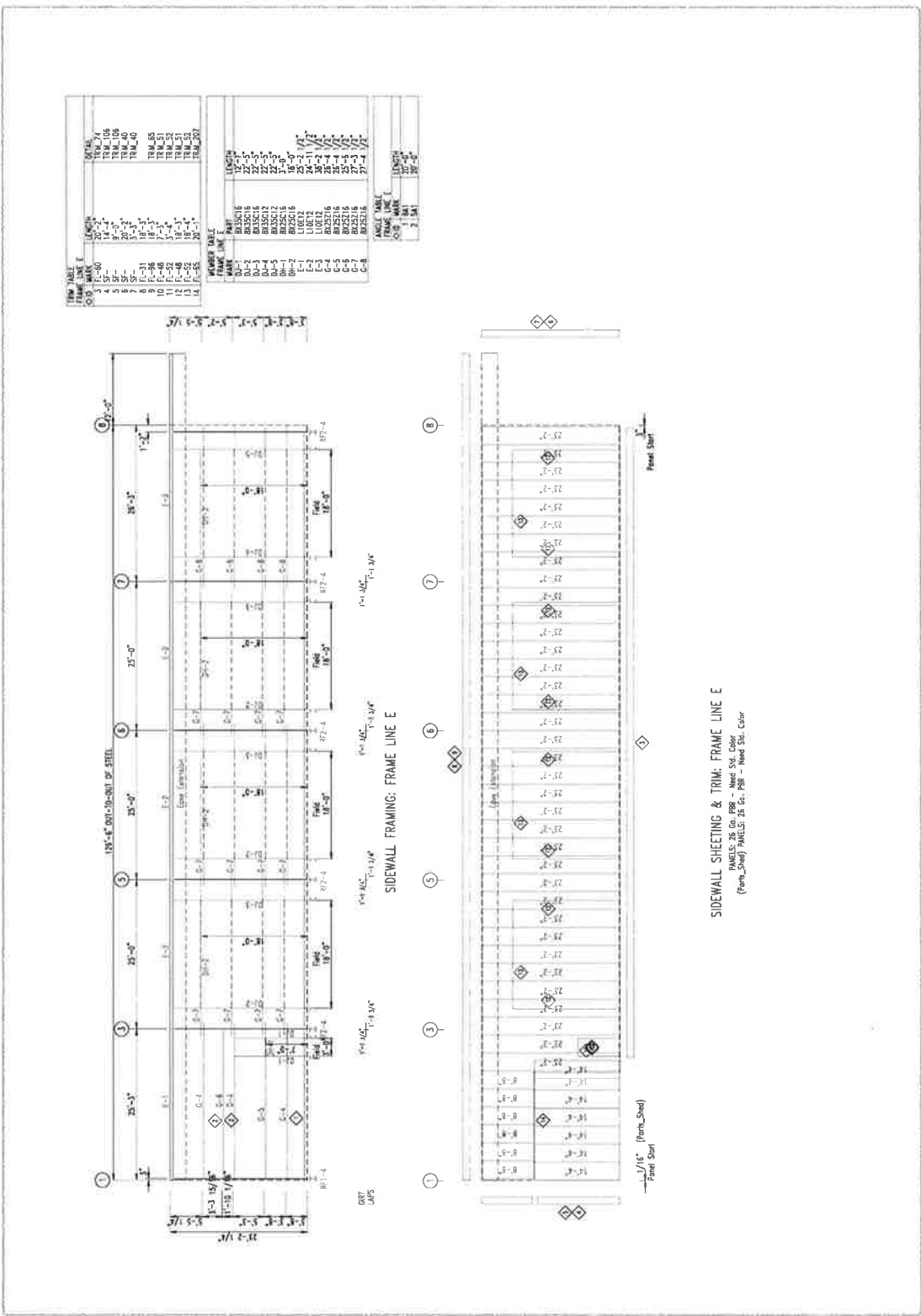
STRUCTURAL PLANS FOR
SUNOUTH
TRACTOR
COLUMBUS, GA 31801
SW FRAMING/SHEETING



2931 Highland Drive
Prichard, AL 36069
(205) 833-1000
www.northstar-engineering.com



SHEET S113
OF 57



MEMBER ID	MEMBER TYPE	MEMBER SIZE	MEMBER LENGTH
1-1	COL	18x18	20'-0"
1-2	COL	18x18	20'-0"
1-3	COL	18x18	20'-0"
1-4	COL	18x18	20'-0"
1-5	COL	18x18	20'-0"
1-6	COL	18x18	20'-0"
1-7	COL	18x18	20'-0"
1-8	COL	18x18	20'-0"
2-1	BEAM	18x18	20'-0"
2-2	BEAM	18x18	20'-0"
2-3	BEAM	18x18	20'-0"
2-4	BEAM	18x18	20'-0"
2-5	BEAM	18x18	20'-0"
2-6	BEAM	18x18	20'-0"
2-7	BEAM	18x18	20'-0"
2-8	BEAM	18x18	20'-0"
3-1	BEAM	18x18	20'-0"
3-2	BEAM	18x18	20'-0"
3-3	BEAM	18x18	20'-0"
3-4	BEAM	18x18	20'-0"
3-5	BEAM	18x18	20'-0"
3-6	BEAM	18x18	20'-0"
3-7	BEAM	18x18	20'-0"
3-8	BEAM	18x18	20'-0"
4-1	BEAM	18x18	20'-0"
4-2	BEAM	18x18	20'-0"
4-3	BEAM	18x18	20'-0"
4-4	BEAM	18x18	20'-0"
4-5	BEAM	18x18	20'-0"
4-6	BEAM	18x18	20'-0"
4-7	BEAM	18x18	20'-0"
4-8	BEAM	18x18	20'-0"
5-1	BEAM	18x18	20'-0"
5-2	BEAM	18x18	20'-0"
5-3	BEAM	18x18	20'-0"
5-4	BEAM	18x18	20'-0"
5-5	BEAM	18x18	20'-0"
5-6	BEAM	18x18	20'-0"
5-7	BEAM	18x18	20'-0"
5-8	BEAM	18x18	20'-0"
6-1	BEAM	18x18	20'-0"
6-2	BEAM	18x18	20'-0"
6-3	BEAM	18x18	20'-0"
6-4	BEAM	18x18	20'-0"
6-5	BEAM	18x18	20'-0"
6-6	BEAM	18x18	20'-0"
6-7	BEAM	18x18	20'-0"
6-8	BEAM	18x18	20'-0"
7-1	BEAM	18x18	20'-0"
7-2	BEAM	18x18	20'-0"
7-3	BEAM	18x18	20'-0"
7-4	BEAM	18x18	20'-0"
7-5	BEAM	18x18	20'-0"
7-6	BEAM	18x18	20'-0"
7-7	BEAM	18x18	20'-0"
7-8	BEAM	18x18	20'-0"
8-1	BEAM	18x18	20'-0"
8-2	BEAM	18x18	20'-0"
8-3	BEAM	18x18	20'-0"
8-4	BEAM	18x18	20'-0"
8-5	BEAM	18x18	20'-0"
8-6	BEAM	18x18	20'-0"
8-7	BEAM	18x18	20'-0"
8-8	BEAM	18x18	20'-0"

SIDEWALL SHEETING & TRIM: FRAME LINE E

PANELS: 25 G. PSB - Hard Std. Color
(Form_Sheet) PANELS: 25 G. PSB - Hard Std. Color

PROJECT No
SP-2323
DATE: AUG 9, 2022
SCALE: 1/8"=1'-0"

DRAWN BY:
C. PLANT
APPROVED BY:
P. SANDHA

REVISIONS:

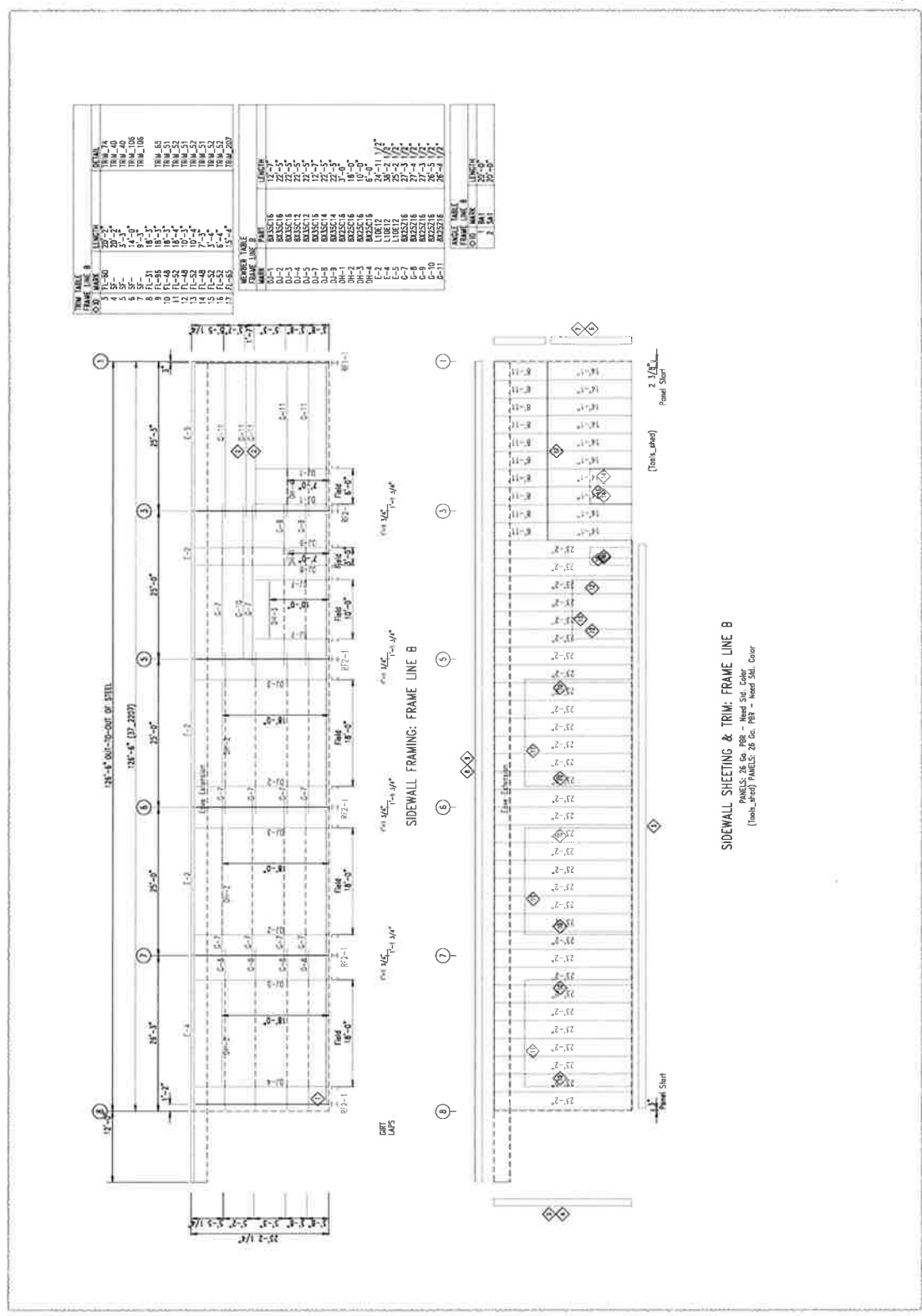
STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMBUS, GA 31901
SW FRAMING/SHEETING



A. STATE OF GA. 14
B. STATE OF GA. 14
C. STATE OF GA. 14
D. STATE OF GA. 14
E. STATE OF GA. 14
F. STATE OF GA. 14
G. STATE OF GA. 14
H. STATE OF GA. 14
I. STATE OF GA. 14
J. STATE OF GA. 14
K. STATE OF GA. 14
L. STATE OF GA. 14
M. STATE OF GA. 14
N. STATE OF GA. 14
O. STATE OF GA. 14
P. STATE OF GA. 14
Q. STATE OF GA. 14
R. STATE OF GA. 14
S. STATE OF GA. 14
T. STATE OF GA. 14
U. STATE OF GA. 14
V. STATE OF GA. 14
W. STATE OF GA. 14
X. STATE OF GA. 14
Y. STATE OF GA. 14
Z. STATE OF GA. 14



SHEET S114
OF 57



ITEM	DESCRIPTION	QUANTITY	UNIT
1	2x12	20	LF
2	2x12	20	LF
3	2x12	20	LF
4	2x12	20	LF
5	2x12	20	LF
6	2x12	20	LF
7	2x12	20	LF
8	2x12	20	LF
9	2x12	20	LF
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96	2x12	20	LF
97	2x12	20	LF
98	2x12	20	LF
99	2x12	20	LF
100	2x12	20	LF

SIDEWALL SHEETING & TRIM: FRAME LINE B
 PANELS: 26' 0" JIB - Need 2x4 Color
 (Note: 26' PANELS @ 6' 0" - Need 2x4 Color)

PROJECT NO:
21-259P

DATE: AUG 9, 2022

SCALE: 1/8"=1'-0"

DRAWN BY:
G. PICANI

APPROVED BY:
P. SANTORA

REVISIONS:

STRUCTURAL PLANS FOR
SUN SOUTH
TRACTOR
COLUMNS, GA 31801
SW FRAMING/SHEETING

NORTHSTAR
ENGINEERING SERVICES

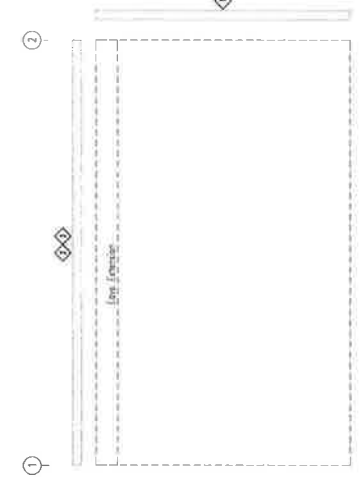
2115 Hedden Hwy
Palm Bay, FL 32909
Tel: (321) 423-1846
Fax: (321) 423-1846
www.northstar-engineering.com

FL. REG. NO. 28527
FL. REG. NO. 2001224
FL. REG. NO. 2001224

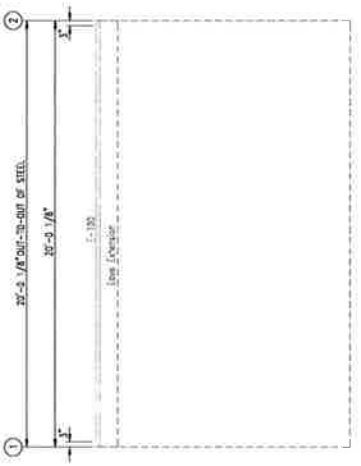


REV	DATE	DESCRIPTION	BY	CHKD
1	11-22	17'-0"	TRM	JOB
2	11-21	20'-1"		
3	12-26	20'-1"	TRM	JOB

NUMBER	DATE	LENGTH	LENGTH
E-100	11/21/24	18'-11 7/8"	



SIDEWALL SHEETING & TRIM: FRAME LINE F



SIDEWALL FRAMING: FRAME LINE F

PROJECT No.
37-2507
DATE: AUG 9, 2022
SCALE: 1/8"=1'-0"

DRAWN BY:
C. PLANT
APPROVED BY:
R. SATOHA

REVISIONS:

STRUCTURAL PLANS FOR
SUNOUTH
TRACTOR
COLUMBUS, GA 31901
SW FRAMING/SHEETING

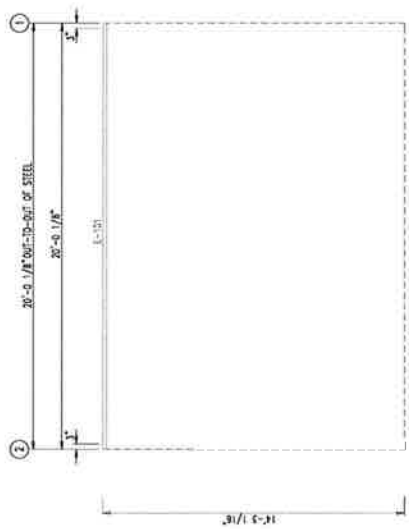


A. C. DEPT. OF ARCH.
C. A. DEPT. OF ARCH.
D. DEPT. OF ARCH.
E. DEPT. OF ARCH.
F. DEPT. OF ARCH.



SHEET S116
OF 57

NUMBER	DATE	DESCRIPTION	BY	LENGTH
1	8/9/22	ADD SHEET	CP	19'-11 1/8"

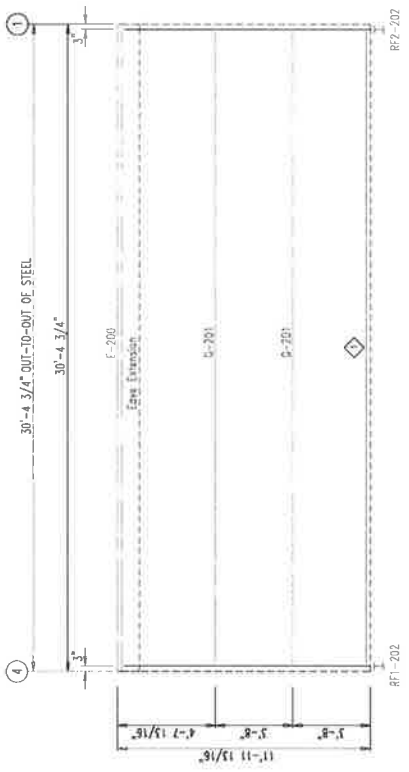


SIDEWALL FRAMING: FRAME LINE E

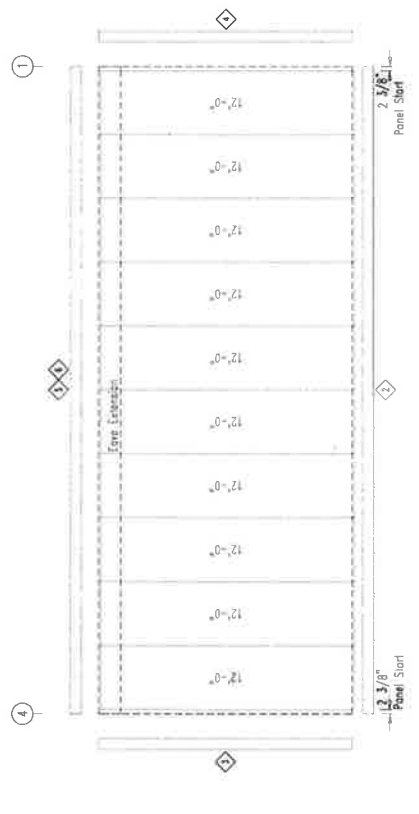


SIDEWALL SHEETING & TRIM: FRAME LINE E

TRIM TABLE		MEMBER TABLE	
FRAME LINE A	LENGTH	FRAME LINE A	LENGTH
1	12'-0"	E-200	11223E14
2	12'-0"	E-200	30'-4" 1/4"
3	12'-0"	E-200	8923E12
4	12'-0"	E-200	79'-2" 3/4"
5	12'-0"	E-200	
6	12'-0"	E-200	
7	12'-0"	E-200	
8	12'-0"	E-200	
9	12'-0"	E-200	
10	12'-0"	E-200	
11	12'-0"	E-200	
12	12'-0"	E-200	
13	12'-0"	E-200	
14	12'-0"	E-200	
15	12'-0"	E-200	
16	12'-0"	E-200	
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18	12'-0"	E-200	
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20	12'-0"	E-200	
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29	12'-0"	E-200	
30	12'-0"	E-200	
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36	12'-0"	E-200	
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38	12'-0"	E-200	
39	12'-0"	E-200	
40	12'-0"	E-200	
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44	12'-0"	E-200	
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96	12'-0"	E-200	
97	12'-0"	E-200	
98	12'-0"	E-200	
99	12'-0"	E-200	
100	12'-0"	E-200	



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. PBR - Need Std. Color

PROJECT No.
37-2207

DATE: AUG 9, 2022

SCALE: 1/8"=1'-0"

DRAWN BY:
G. SPANIT

APPROVED BY:
P. SANTONA

REVISIONS:

STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMNS, GA 31801
SW FRAMING/SHEETING

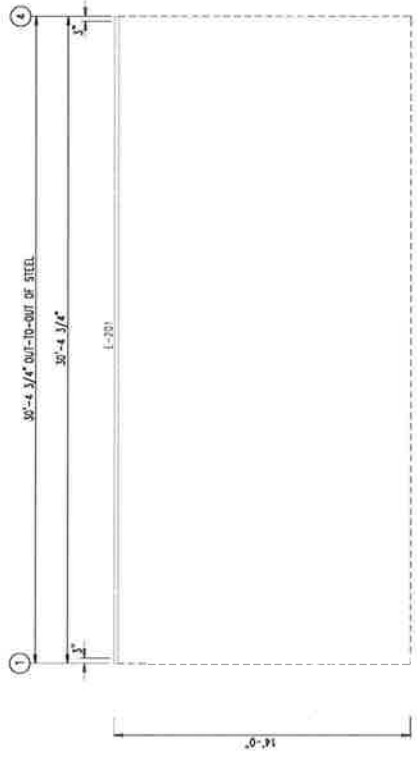


ALL SETS OF AUTH.
G.A. 2017-01-01
25-17-1, 25-17-5
200,028, 200,029
US SETS OF AUTH.
E-50023023

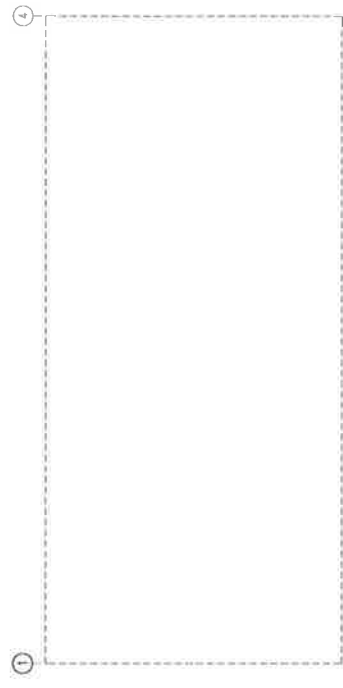


SHEET S1.18
OF 57

MEMBER TABLE	FRAME LINE	PART	LENGTH
E-201	H1725E(1)		30'-4 1/4"



SIDEWALL FRAMING: FRAME LINE B



SIDEWALL SHEETING & TRIM: FRAME LINE B

PROJECT No.
37-2207

DATE: AUG 9, 2022
SCALE: 3/8"=1'-0"

DRAWN BY:
C. PLANT

APPROVED BY:
P. SAUNDERS

REVISIONS:

STRUCTURAL PLANS FOR
SUNSHINE
TRATOR
COLUMBUS, GA 31801
DETAILS



ALL SET OF ARCH.
PLANS SHALL BE
IN ACCORDANCE
WITH THE
SOUTH CAROLINA
CONSTRUCTION
CODES, ETC.



SHEET S119
OF 57

<p>A10 ROOF PURLIN TO EXPANDABLE SNOWALL RIGID FRAME</p>	<p>T3 SECTION THRU WALL PANEL AND CONCRETE FOUNDATION</p>	<p>C2 ROOF PURLIN TO INTERIOR FRAME RAFTER</p>	<p>C/J C/J COLUMN TO RIGID FRAME RAFTER</p>	<p>C4 GIRT TO COLUMN</p>	<p>C13 GIRT/HEADER BEAM TO C COLUMN</p>
<p>E5 BASE PLATE TO SNOWALL COLUMN OR DOOR JAMB</p>	<p>L3 DOOR JAMB TO EAVE STRUT</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>
<p>K2 DOOR JAMB TO DOOR JAMB (OR TO 'C' COLUMN)</p>	<p>L3 DOOR JAMB TO EAVE STRUT</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>
<p>K3 WALL GIRT TO DOOR JAMB</p>	<p>L3 DOOR JAMB TO EAVE STRUT</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>
<p>R2 ANCHOR BOLTS AT SIDEWALL COLUMN</p>	<p>X1 BOLTED END PLATE CONNECTION AT COLUMN CONNECTION</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>
<p>X2 DIAGONAL CABLE EYEBOLT END</p>	<p>X3 BOLTED END PLATE CONNECTION AT BUILDING PEAK</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>	<p>J2 EAVE STRUT TO RIGID FRAME</p>

PROJECT No.
37-2527
DATE: AUG. 9, 2022
SCALE: 3/16" = 1'-0"

DRAWN BY:
G. PLANT
APPROVED BY:
P. SANTORA

REVISIONS:

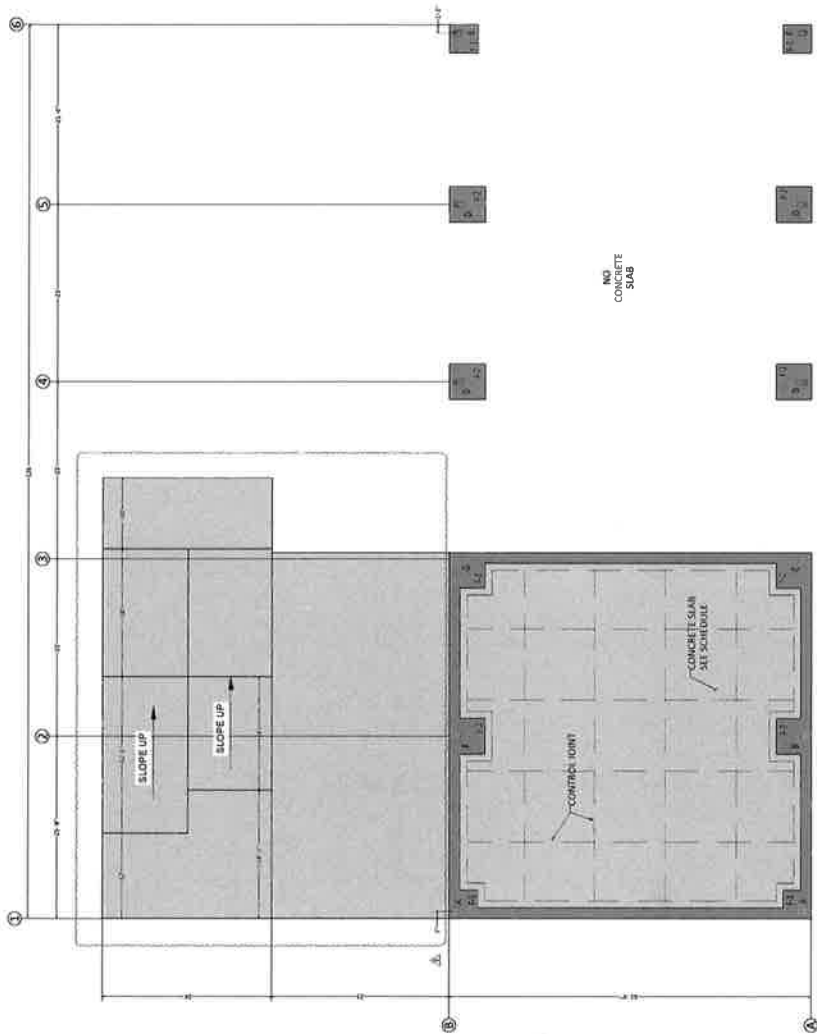
STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMN, GA 31801
POLY BARN FOUNDATION PLAN



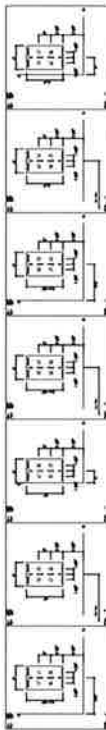
STATE OF GEORGIA
DIVISION OF PROFESSIONAL REGULATION
REGISTERED PROFESSIONAL ENGINEER
NO. 29127 - 2004-5
SUNSOOTH TRACTOR
30101A, GEORGIA
P.E. G. PLANT
E-20000-2014



SHEET S2.1
OF 57



ANCHOR BOLT PLAN
SEE 2D BAR PLAN S 100' OF (10A)



PROJECT NO.
21-1007

DATE: AUG 9, 2022
SCALE: 1/4"=1'-0"

DRAWN BY:
G. PUNAT
APPROVED BY:
F. SANTOS

REVISIONS:

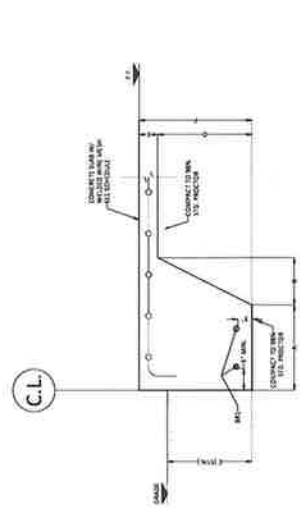
STRUCTURAL PLANS FOR
SUNSHINE
TRAYTOR
COLUMBIA, GA 31801
POLY BARR FOUNDATION DETAILS



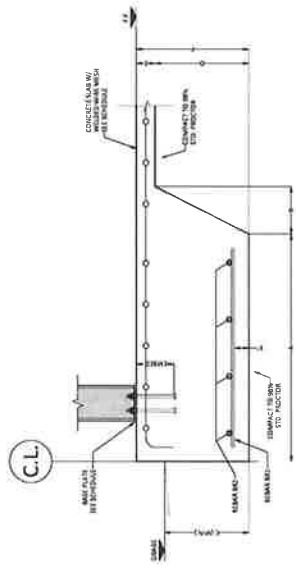
AL. SECT. OF AUTH.
1. STATE OF ALABAMA
2. PROFESSIONAL ENGINEER
3. LICENSE NO. 10000
4. EXPIRES 12/31/2024



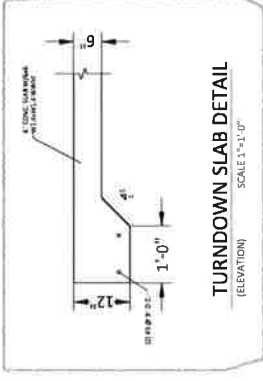
SHEET S22
OF 57



TYP CONTINUOUS FOOTING
SCALE: 1/4" = 1'-0"



TYP COLUMN FOOTING
SCALE: 1/4" = 1'-0"



TURNDOWN SLAB DETAIL
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/09/2022	GP	FS
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PROJECT No.
3P-2527
DATE: AUG 9, 2022
SCALE: 3/16"=1'-0"

DRAWN BY:
C. PLYANT
APPROVED BY:
P. SANDRA

REVISIONS:

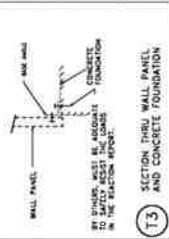
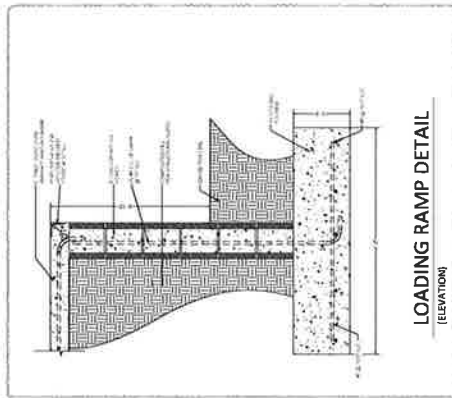
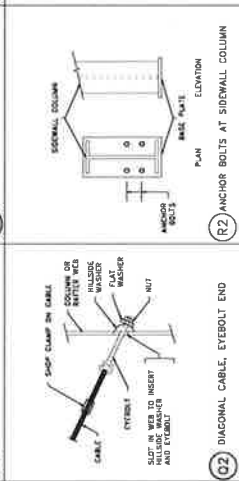
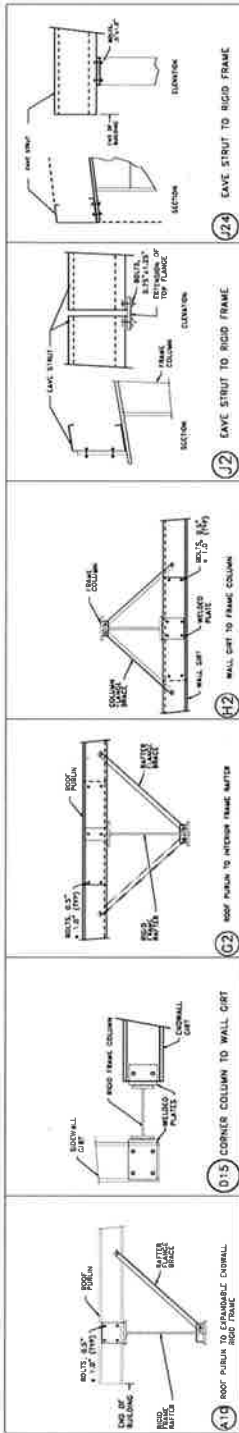
STRUCTURAL PLANS FOR
SUNSHOUT
TRACTOR
COLUMNS, GA 31801
POLE BARN DETAILS



ALL SHEETS OF THIS PROJECT ARE THE PROPERTY OF NORTHSTAR ENGINEERING SERVICES. NO PART OF THIS PROJECT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF NORTHSTAR ENGINEERING SERVICES.



SHEET S2.13
OF 57



BY DIMENSIONS MUST BE ADJUSTED TO SAFELY ACCOMMODATE THE LOADS IN THE SECTION APPROX.

PROJECT NO.
37-2207

DATE: AUG 8, 2022
SCALE: 3/8"=1'-0"

DRAWN BY:
G. PLANT
APPROVED BY:
R. SANTORA

REVISIONS:

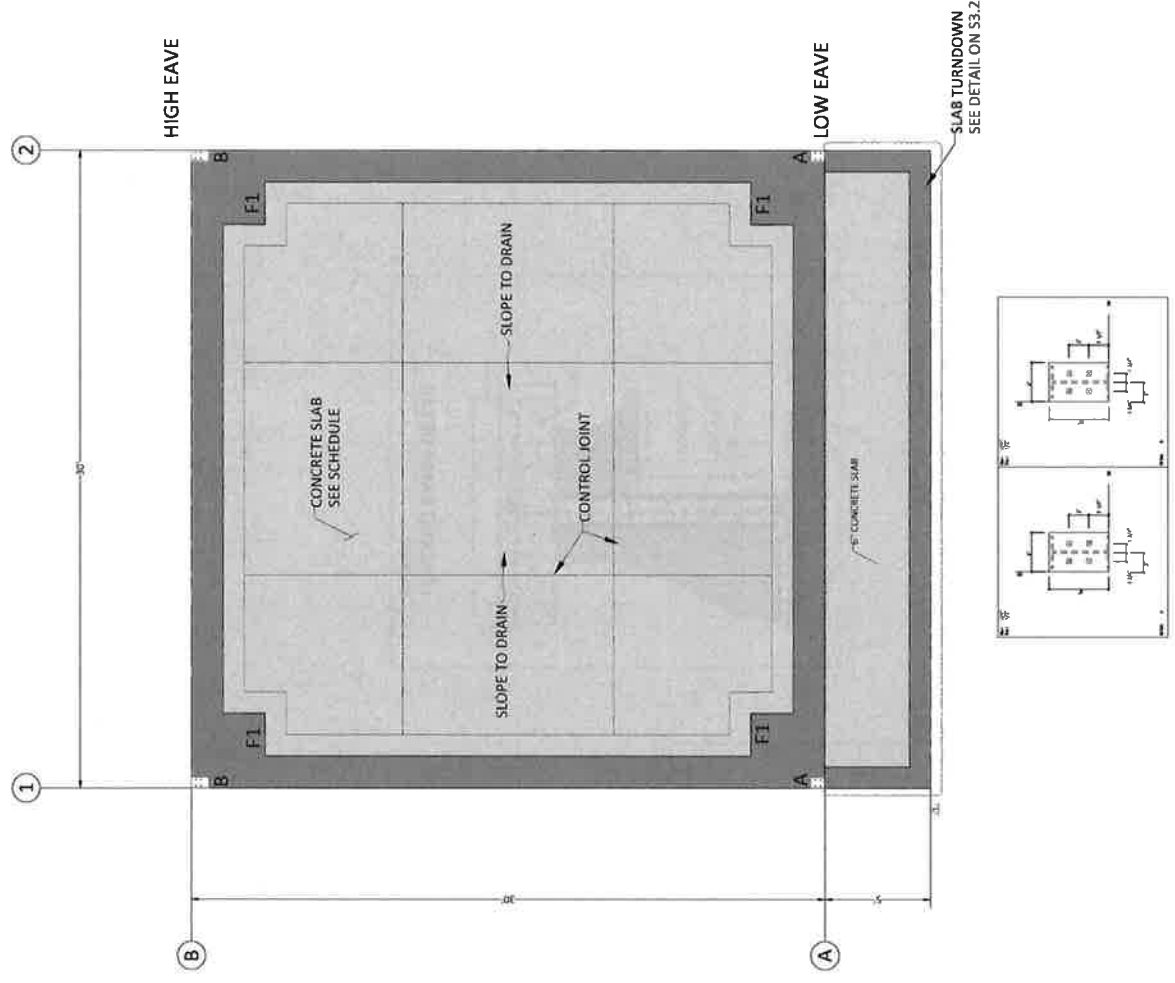
STRUCTURAL PLANS FOR
SUNSOOTH
TRACTOR
COLUMNS, GA 31801
WASH RACK FOUNDATION PLAN



ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



SHEET **S3.1**
OF **57**





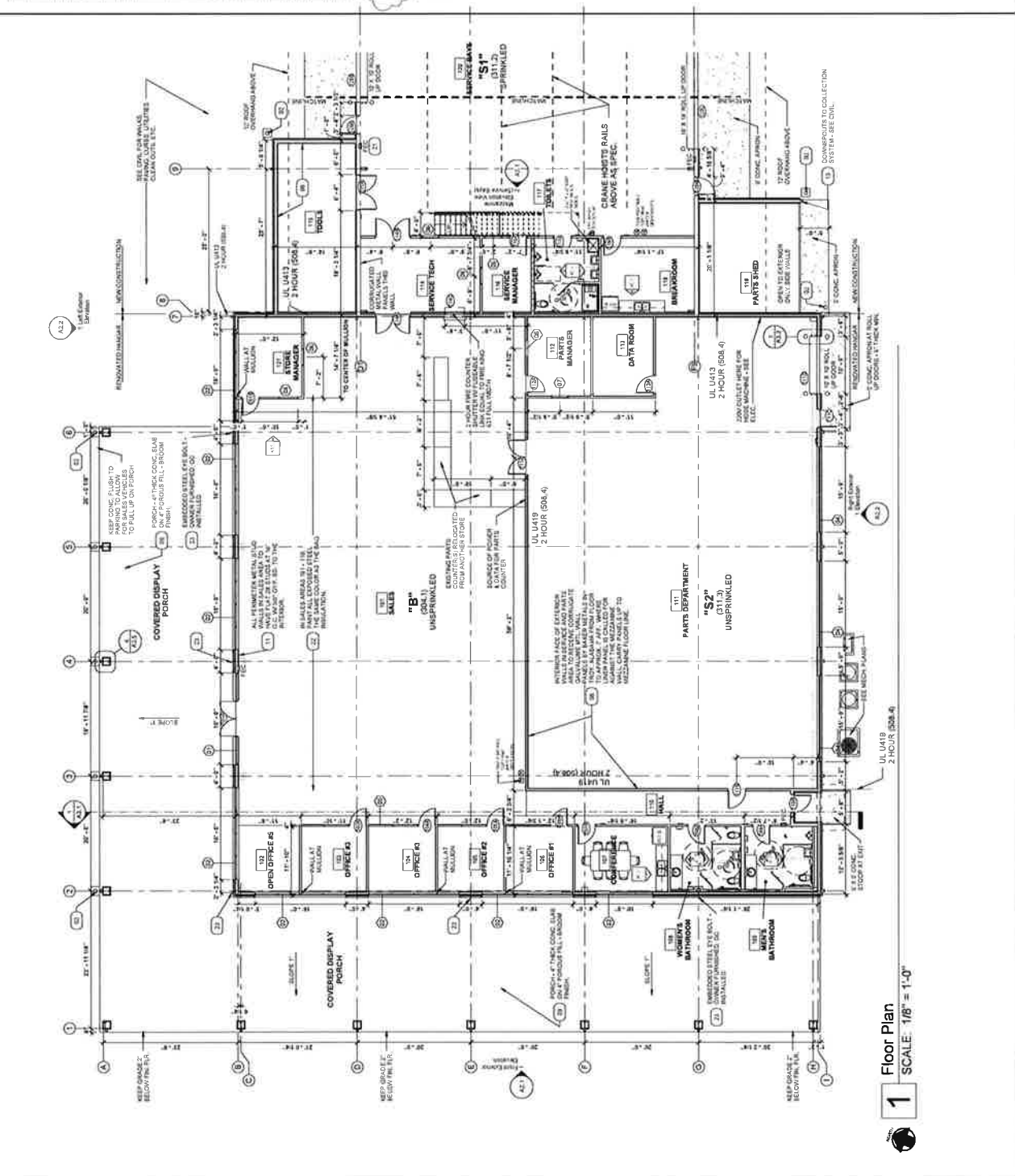
PROJECT	A NEW OFFICE AND SERVICE BUILDING
CLIENT	SUNSOUTH TRACTOR
LOCATION	COLUMBUS, GEORGIA
DATE	10/17/2002
SCALE	1/8" = 1'-0"

**A NEW OFFICE AND SERVICE BUILDING
FOR
SUNSOUTH TRACTOR
COLUMBUS, GEORGIA**

REVISION	NO. 1	DATE	10/17/2002
DESCRIPTION	ADD	BY	DA
NO. 2	DATE	10/22/2002	DA
DESCRIPTION	REVISE	BY	DA
NO. 3	DATE	10/22/2002	DA
DESCRIPTION	REVISE	BY	DA

Note Number	Note Text
1	DOOR REVERSED TO OPEN TO PORCH - SEE ARCH. PLAN.
2	ROOF OVER PORCH - CLASSIC GREEN.
3	ROOF OVER PORCH - CLASSIC GREEN.
4	LABOR PANEL TO P.P. APP.
5	GENERAL PLUMBING NOTE.
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BUILDING COLORS:
1. ROOF OVER PORCH - CLASSIC GREEN
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3. ROOF OVER PORCH - CLASSIC GREEN
4. LABOR PANEL TO P.P. APP.
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1 Floor Plan
SCALE: 1/8" = 1'-0"

1976 PL. AORN 002 ST. 281
10 THOMAS ST. SUITE 200
COLUMBUS, GEORGIA 31906
PH: (706) 321-1234
FAX: (706) 321-1235
WWW.DONOFRIO.COM



NO.	REVISION
1	ISSUE FOR PERMIT
2	ISSUE FOR CONSTRUCTION

A NEW OFFICE AND SERVICE BUILDING
FOR
SUNOUTH TRACTOR
COLUMBUS, GEORGIA

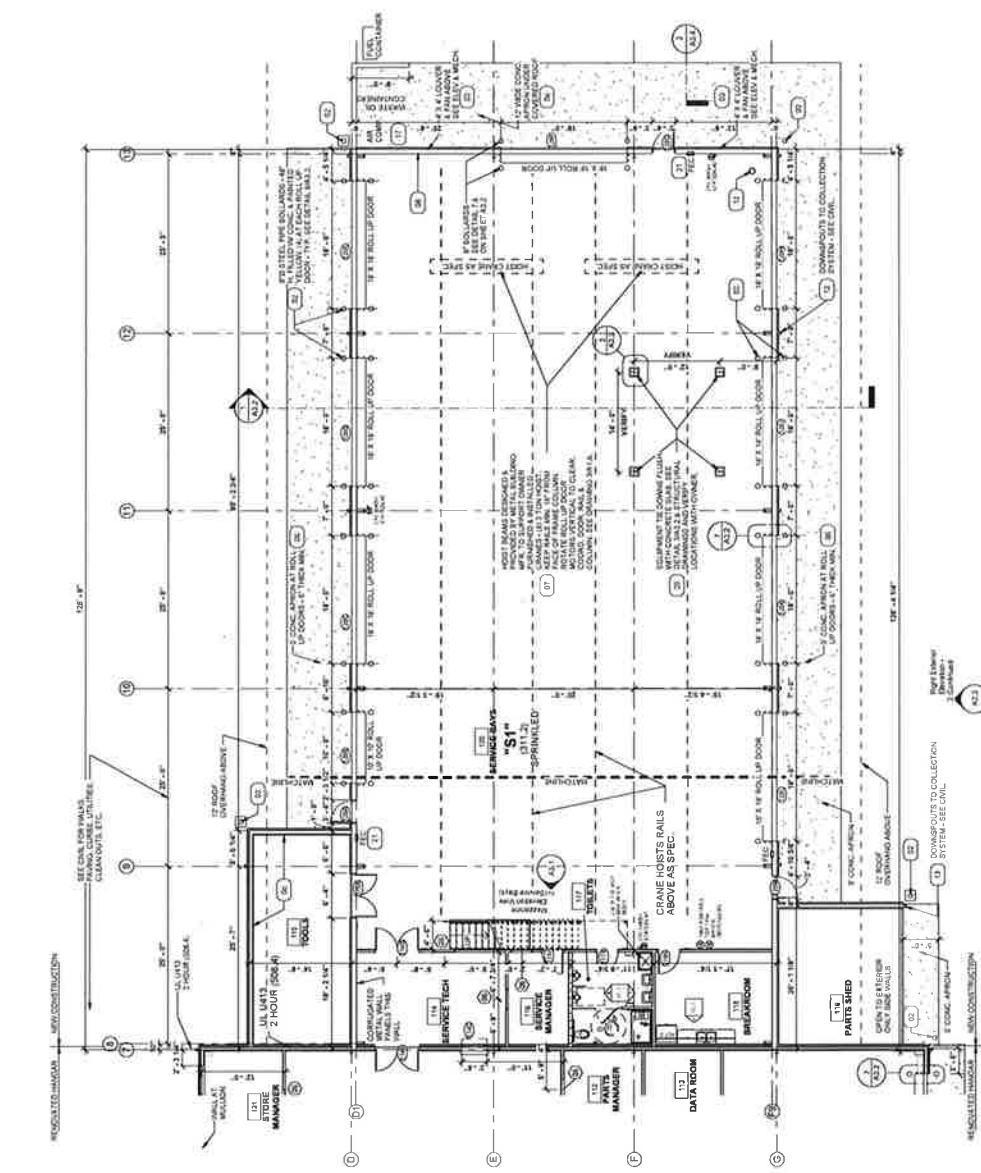
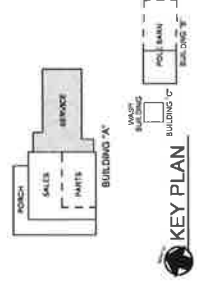
PROJECT NO.
1976 PL. AORN 002
ARCHITECT
DONOFRIO
DATE
OCT 29 2022

21-15
SHEET NAME
Floor Plan (Cont'd)

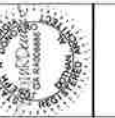
SHEET NUMBER
A1.2

Note Number	Note Text
1	SEE PERMITS - SEE CIVIL ENGINEER'S PLAN
2	PERMITS FOR ELEVATORS - SEE CIVIL ENGINEER'S PLAN
3	PERMITS FOR EXTERIOR WALLS IN SERVICE AND PARTS AREAS TO SUPPORT TOWER LAMPPOSTS AND TALL SIGNAGE - SEE CIVIL ENGINEER'S PLAN
4	CONTRACTOR TO VERIFY ALL MATERIALS AND WORKMANSHIP TO MEET ALL CITY AND STATE REQUIREMENTS - SEE ARCH. DRAWINGS FOR DETAILS
5	ALL CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE UNLESS OTHERWISE NOTED
6	ALL REINFORCING SHALL BE #4 BARS UNLESS OTHERWISE NOTED
7	ALL EXTERIOR WALLS SHALL BE 8" THICK UNLESS OTHERWISE NOTED
8	ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" TYPE X PERIMETER CHANNEL AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED
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BUILDING COLORS:
CONCRETE - BROWNSTONE
WOOD PANELS - CLASSIC GREEN
WOOD PANELS - CLASSIC GREEN
WOOD PANELS - CLASSIC GREEN
WOOD PANELS - CLASSIC GREEN
GENERAL BUILDING NOTE:
SEE PERMITS FOR ALL ELEVATORS AND RAMPWAYS. ALL FIXTURES TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.

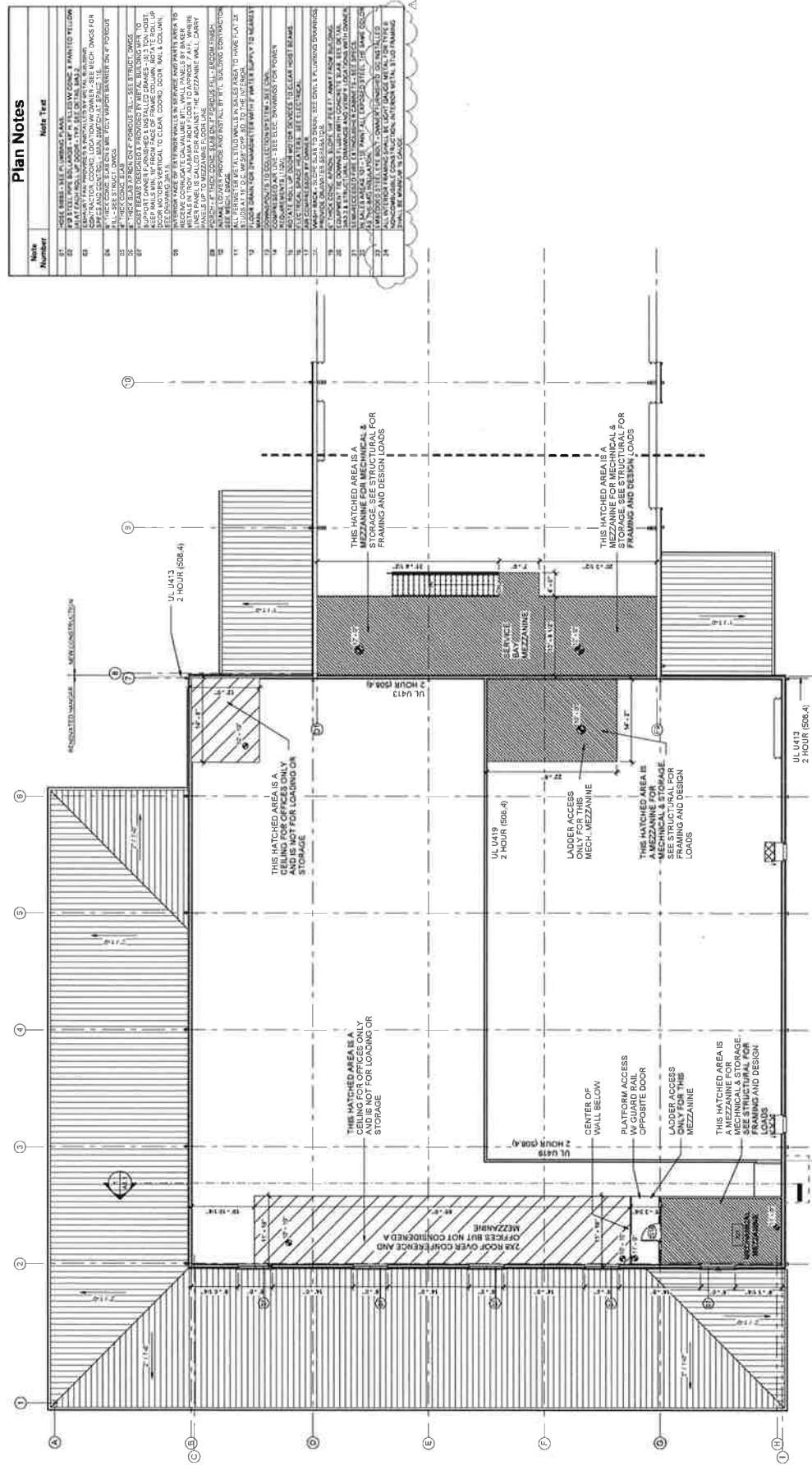


1 Floor Plan - Continued
SCALE: 1/8" = 1'-0"



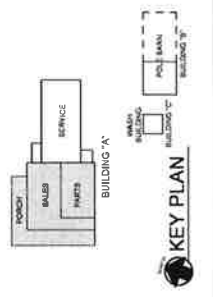
A NEW OFFICE AND SERVICE BUILDING
FOR
SUNSOUTH TRACTOR
COLUMBUS, GEORGIA

REVISION
DATE: 10/27/2022
A.032.02.001 #
OCT. 27, 2022



Note Number	Note Text
01	DO NOT REMOVE ANY OF THE EXISTING WALLS OR PARTS OF THE EXISTING WALLS.
02	ALL EXISTING WALLS TO REMAIN SHALL BE PAINTED YELLOW.
03	ALL EXISTING WALLS TO REMAIN SHALL BE PAINTED YELLOW.
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1 Mezzanine Floor Plan
SCALE: 1/8" = 1'-0"





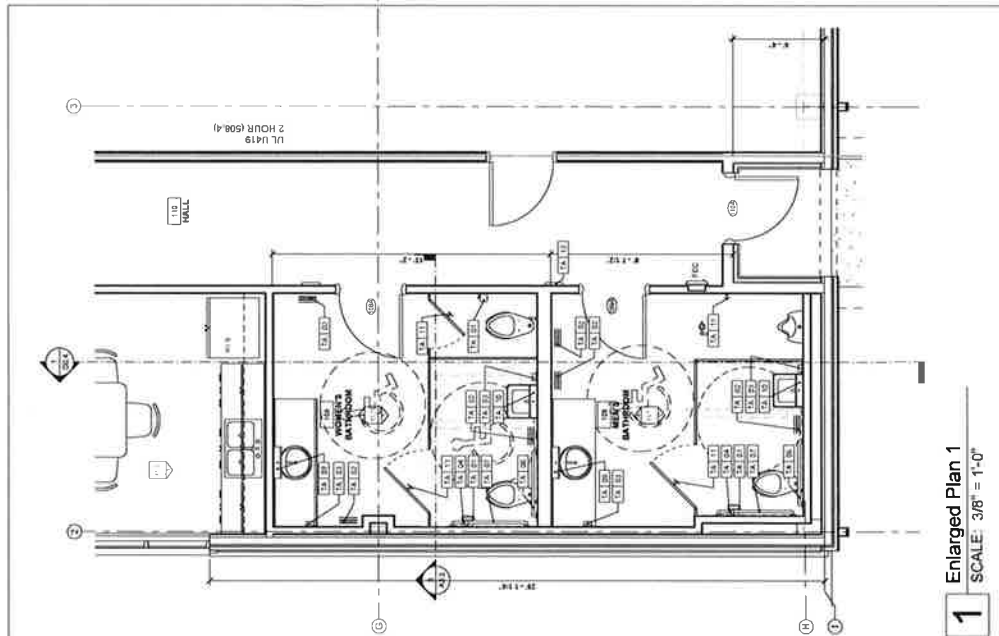
PROJECT NO.	
OWNER NO.	
DATE	12/15/2022
PROJECT	

**A NEW OFFICE AND SERVICE BUILDING
FOR
SUN SOUTH TRACTOR
COLUMBUS, GEORGIA**

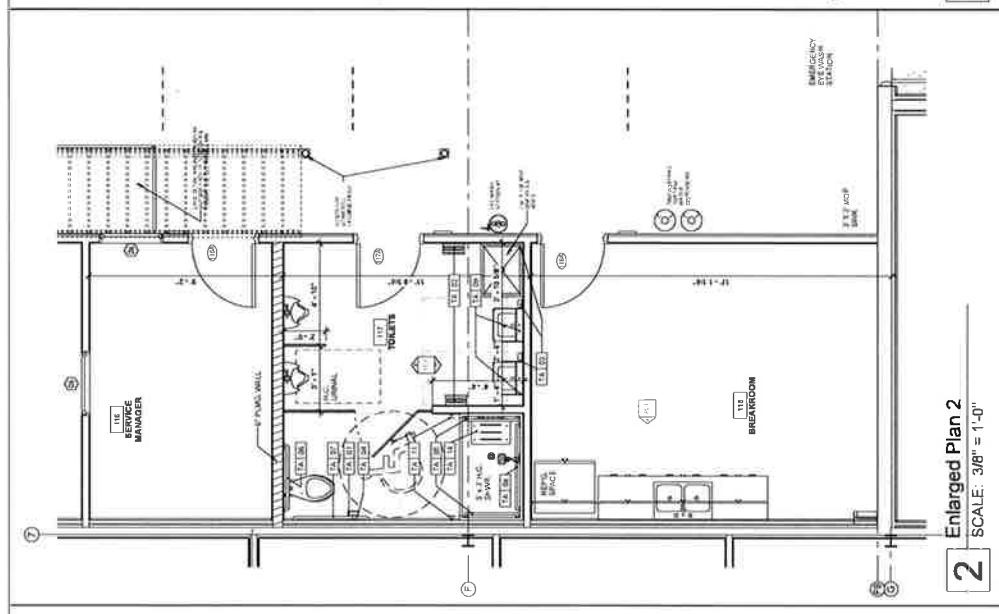
ISSUED FOR	
DATE	01/11/2023
PROJECT NO.	
OWNER NO.	
DATE	01/11/2023
PROJECT	

21-15	TOILET ACCESSORIES
21-16	TOILET ACCESSORIES

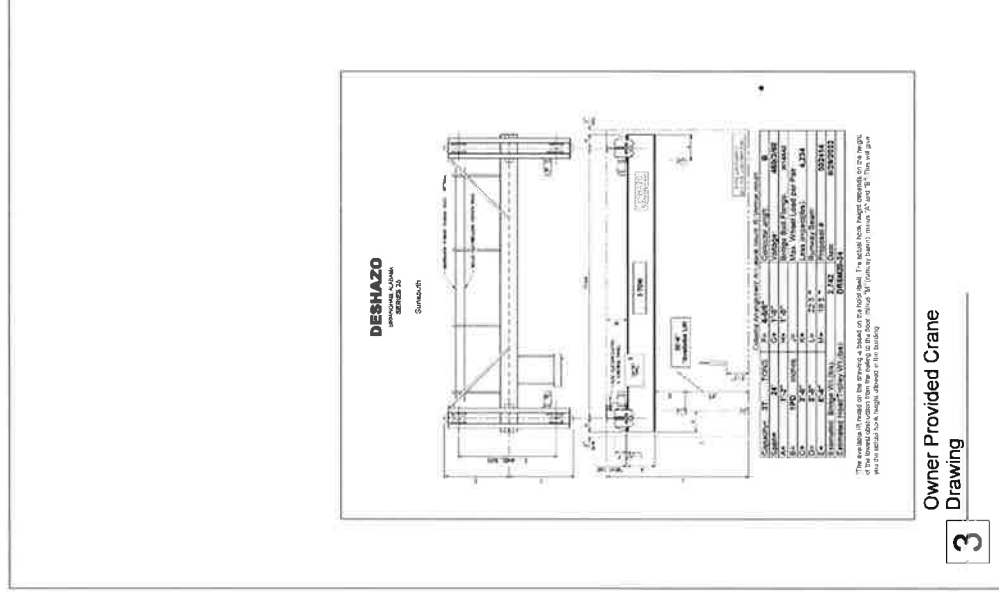
SHEET NUMBER	A1.6
DATE	
PROJECT	



1 Enlarged Plan 1
SCALE: 3/8" = 1'-0"



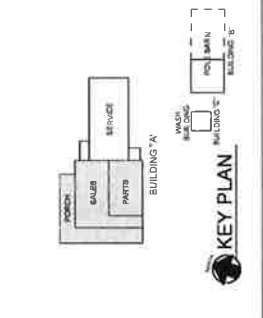
2 Enlarged Plan 2
SCALE: 3/8" = 1'-0"



3 Owner Provided Crane
Drawing

Toilet Accessories Legend

Finish Number	Description
21	TOILET TISSUE DISPENSER
22	PAINTED METAL DISPENSER
23	PAINTED METAL DISPENSER
24	PAINTED METAL DISPENSER
25	PAINTED METAL DISPENSER
26	PAINTED METAL DISPENSER
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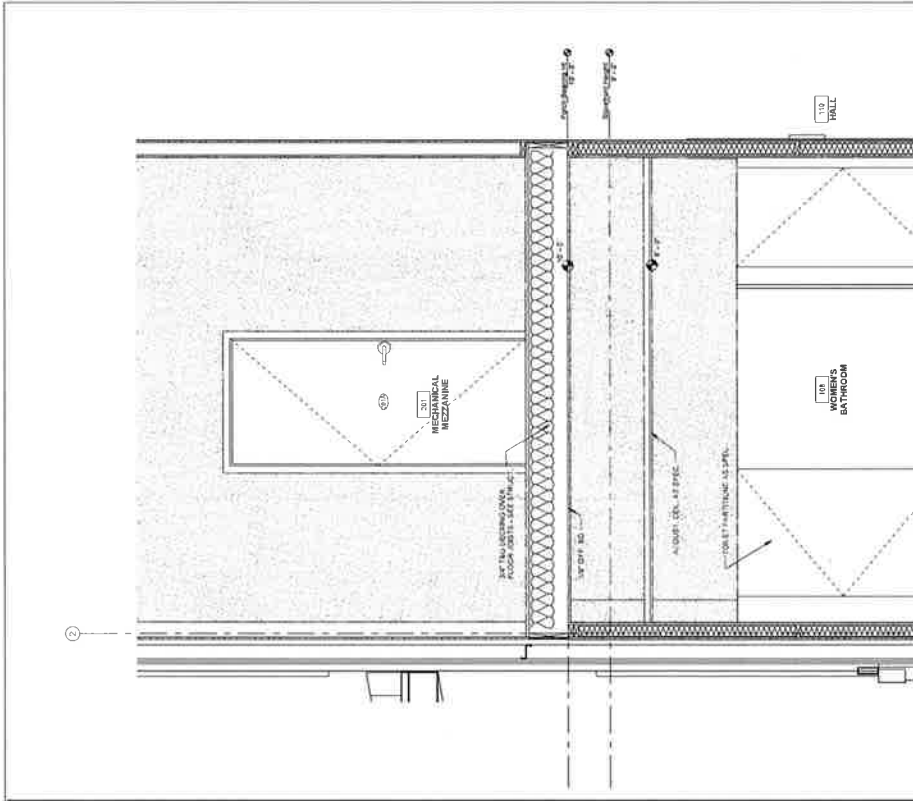
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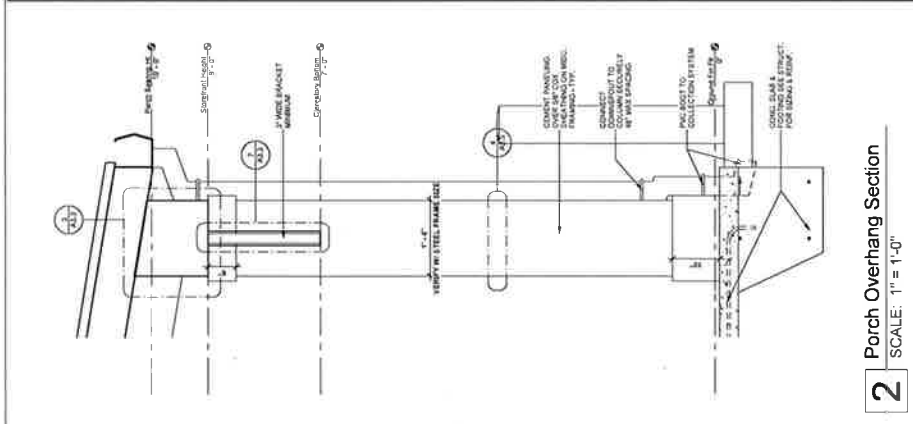


COMP. NO.	10000000000000000000
LIC. NO.	10000000000000000000
PROJECT	A NEW OFFICE AND SERVICE BUILDING COLUMBUS, GEORGIA

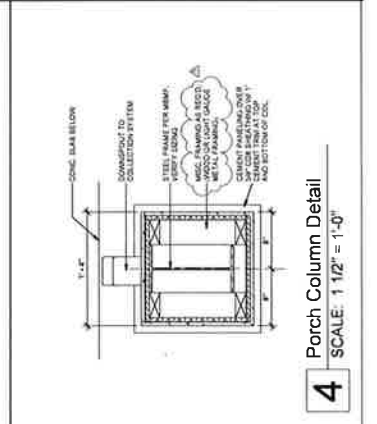
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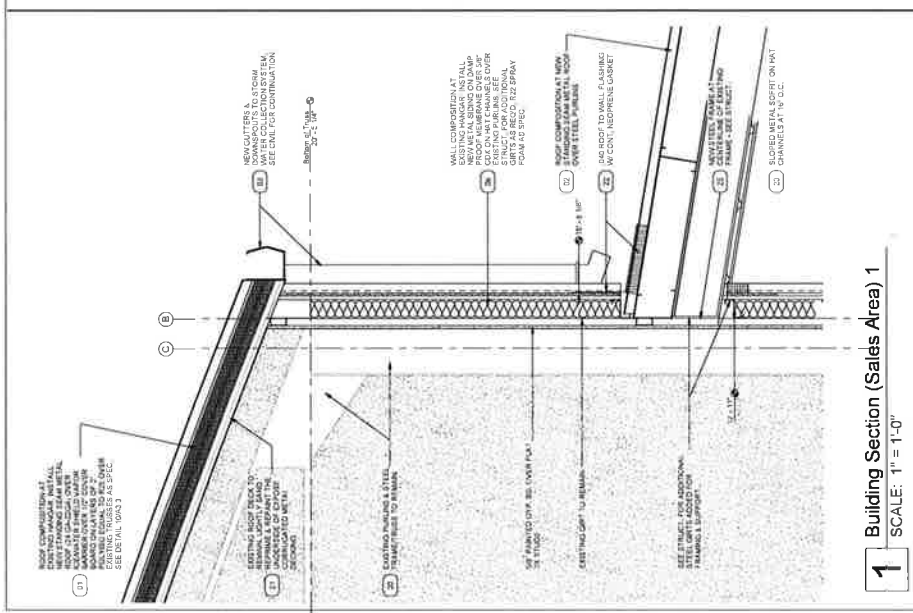
3 Mech Mezzanine Section at Sales
SCALE: 3/4" = 1'-0"



2 Porch Overhang Section
SCALE: 1" = 1'-0"



4 Porch Column Detail
SCALE: 1 1/2" = 1'-0"



1 Building Section (Sales Area) 1
SCALE: 1" = 1'-0"

Section Notes A3.5

Note Number	Note Text
01	ROOF COMPOSITION AT EXISTING THROUGH METAL ROOF TO REMAIN. NEW METAL ROOF TO BE CALKED OVER EXISTING METAL ROOF TO MATCH EXISTING METAL ROOF. SEE DETAIL A3.5.1 FOR METAL ROOF DETAIL.
02	ROOF COMPOSITION AT EXISTING THROUGH METAL ROOF TO REMAIN. NEW METAL ROOF TO BE CALKED OVER EXISTING METAL ROOF TO MATCH EXISTING METAL ROOF. SEE DETAIL A3.5.1 FOR METAL ROOF DETAIL.
03	ROOF COMPOSITION AT EXISTING THROUGH METAL ROOF TO REMAIN. NEW METAL ROOF TO BE CALKED OVER EXISTING METAL ROOF TO MATCH EXISTING METAL ROOF. SEE DETAIL A3.5.1 FOR METAL ROOF DETAIL.
04	ROOF COMPOSITION AT EXISTING THROUGH METAL ROOF TO REMAIN. NEW METAL ROOF TO BE CALKED OVER EXISTING METAL ROOF TO MATCH EXISTING METAL ROOF. SEE DETAIL A3.5.1 FOR METAL ROOF DETAIL.
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