

Owner Representatives: Chad Grambsch, Matt Huber, Matt Yaroch, and Michael Uttech (920.623.5180)

Dear City of Columbus,

The main purpose of the proposed, phase one, 19,005 square feet, addition at Zion Lutheran School is to provide three classrooms, a gymnasium, and a multi-purpose space. A reconfigured parking lot with additional parking spaces, a new vestibule, and an entry lobby will serve as the addition's primary entrance. This addition will have little to no impact on adjacent properties and is sympathetic to the use, layout, and aesthetics of the existing facilities.

The proposed addition will promote economic growth for the existing church while also further encouraging the inclusion of local youth groups. The structure will promote education, cultural activity, and foster multi-generational social gatherings. This will allow Zion Lutheran School to expand its capacity to provide high quality educational and recreational opportunities. This plan aligns with the intended use and provides additional community amenities.

The calculations indicating the total site size, building floor area, number of parking spaces, amount of impervious surface, and amount of non-impervious green space is as follows:

- Total Site Size: 335,584.8 Sq. Ft. (7.70 AC.)
- Building Floor Area: 54,165 Sq. Ft.
- Number of Parking Spaces: 98
- Amount of Impervious Surface: 124,133 Sq. Ft.
- Amount of pervious green space: 211,451.8 Sq. Ft.

Existing site lighting will remain in place and will be utilized for the reconfigured parking layout. Additional site lighting can be provided if necessary.

The new building addition will operate within the same hours as the adjacent existing buildings: Monday through Friday 7:30am-4pm with occasional weekend use. The number of employees and number of shifts will also remain the same. Currently, there are 12-15 full-time staff. The existing exterior marquee signage is to remain, and no new signage is planned as part of the new construction scope.

The anticipated nontaxable value / construction cost for the proposed addition is approximately 3.5 million dollars.

Sincerely,

The Design Team



City of Columbus  
 105 N Dickason Blvd, Columbus, WI 53925  
 Phone: (920) 623-5900  
 Website: www.cityofcolumbuswi.com

## ZONING PERMIT APPLICATION

**Fees: \$25.00 plus reimbursement of the City for legal, engineering, drainage or other consultants needed to review any land development proposal.**

Proposed Activity - Please select the activity below that applies to your project.

- |  |  |
|--|--|
| <input type="checkbox"/> New Construction                          | <input type="checkbox"/> Change of Primary Use                           |
| <input type="checkbox"/> Building Addition or Expansion            | <input type="checkbox"/> Reactivation of Primary Use                     |
| <input type="checkbox"/> Addition of Primary Use                   | <input checked="" type="checkbox"/> Other: <u>Conditional Use Permit</u> |
| <input type="checkbox"/> Parking Lot Expansion or Site Alterations |  |

### Property Information

Property Address: 812 Western Avenue Parcel Number: 1504.01

Zoning District: Institutional Does the Project need a Building Permit?  Yes  No

Is the Property in the Floodplain?  Yes  No Does the Project need a Driveway Permit?  Yes  No

Is the property or building in a historic district or similar designation?  Yes  No

Proposed Primary Use of Property: Church & School

Is the property within 300 feet of a waterway?  Yes  No

### Applicant Information

Applicant Name/Authorized Agent: Jeffrey Kachon

Applicant Phone: 920 210-2388

Name of Business: ZION LUTHERAN E-mail: office@zioncrusaders.com

Property Owner Name (if other than applicant): Zion Lutheran Church + School

Property Owner Signature: Jeffrey Kachon (president)

I understand that I must comply with all applicable Building and Zoning Codes and obtain any necessary permits from the Columbus Building Inspector and Zoning Administrator; that I must comply with plans and information submitted with this application; and that falsifying information may result in my Permit being revoked. I grant City staff access to the property to inspect the project/property. I agree to pay all fees related to the review of the development proposal according to City Ordinances.

Signature of Applicant: Jeffrey Kachon Date: 20 November 2024

# **SUBMITTAL REQUIREMENTS FOR ZONING PERMIT APPLICATIONS**

**New Construction/Building Addition** (Includes new commercial buildings and additions, new residential construction and additions, and permanent accessory structures.

- Completed Zoning Permit Application
- Site Plan
- Plan of Operation (for Commercial buildings only)

## **Parking Expansion or Site Alteration**

- Completed Zoning Permit Application
- Site Plan

## **Addition, Use Change or Reactivation of Prior Use**

- Completed Zoning Permit Application
- Site Plan
- Submit a Plan of Operation in accordance with 114-50, the plan of operation includes:
  - 1) The name and address of the applicant.
  - 2) A description of the business, commercial, industrial or other activities that will occur on the property.
  - 3) The name and address of the on-site manager of the business or entity.
  - 4) The proposed hours during which activities will occur on the property.
  - 5) The number of full-time and part-time employees that will be employed on the property, which may be expressed as a range of full-time and part-time employees.

## **Other**

- Completed Zoning Permit Application
- Site Plan
- Submit a Plan of Operation



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## ZONING PERMIT APPROVAL/DENIAL

<b>OFFICE USE ONLY:</b>	<b>Property Address/Parcel #:</b>
<b>Project Description:</b>	
<b>Approved/Denied:</b>	<b>Zoning Permit Number:</b>
<b>Permit Conditions/Notes:</b>	
<b>Zoning Administrator Signature and Date:</b> _____	



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**Plan of Operation Application**

**Plan of operation required per 114-50** - No person or entity may use any property for any purpose, without an approved plan of operation issued pursuant to this section. No activity or enterprise may be engaged in or carried on upon any property, except as provided in an approved plan of operation issued pursuant to this section.

Applicant Name: Chad Grambsch

Business Name: ZION LUTHERAN

Business Address: 812 Western Ave

Applicant Phone Number: 812 Western Ave, Columbus, WI 53925

Applicant E-Mail Address: principal@zioncrusaders.com

Onsite Manager: Chad Grambsch

Description of Business Activities that will occur on the premises: The main purpose of the proposed phase one addition, and Zion Campus, is to provide the local area with high quality education, cultural activity, foster multi-generational social gatherings, worship services, and recreational opportunities.

The planned addition will house three classrooms, a gymnasium, and a multi-purpose space; allowing Zion Lutheran School to expand its capacity and better serve the community.

Proposed Business Hours: 7:30 am - 4:00 pm

Full time employees at this location: 12 Part time employees at this location: 3

What is the highest number of employees that would be working at one time (more than 1 hour straight, do not include shift changes)? 15

If the plan of operation is for a multi-tenant building, the application shall include a floor plan for the building, which shows the area they operate their business.

Signature of Applicant: Chad Grambsch Date: 11/15/2024

**Additional Information under section 114-50**



#### Temporary plan of operation

A temporary plan of operation is required for seasonal business operations, special events, vendor stalls, and other seasonal or short term nonresidential activities such as holiday tree sales and fruit and vegetable stands. The duration of a temporary plan of operation permit shall be established by the city council.

#### Exceptions

Approval of a plan of operation is not required for residential uses, city facilities and operations, or public school buildings and operations.

#### New plan of operation required for changed operations

A new or amended plan of operation is required where:

- (1) The person or entity that owns or leases the property or operates the business on the property changes.
- (2) The number of employees working on the property increases beyond the maximum number specified in the existing plan of operation.
- (3) The hours of operation are changed.
- (4) The business, commercial, industrial or other activities that will occur on the property changes from the activities described in the existing plan of operation.

#### Existing uses

The lawful use of structures or land existing as of the date of adoption of the ordinance from which this section is derived may be continued without an approved plan of operation. For such uses, a plan of operation shall be required where:

- (1) The person or entity that owns or leases the property or operates the business on the property changes.
- (2) The number of employees working on the property increases beyond the number of employees as of the date of adoption of the ordinance from which this section is derived.
- (3) The hours of operation are changed from the hours of operation that existed as of the date of adoption of the ordinance from which this section is derived.
- (4) The business, commercial, industrial or other activities that will occur on the property changes from the activities that occurred on the property as of the date of adoption of the ordinance from which this section is derived.

Any person who violates the terms of this section 114-50 shall be subject to the penalties set forth in section 1-20 of the Columbus Municipal Code for any violation of this section, provided that the minimum forfeiture for a conviction for a violation of this section shall be \$200.00 plus costs.



**OVERALL EXISTING SITE PLAN**

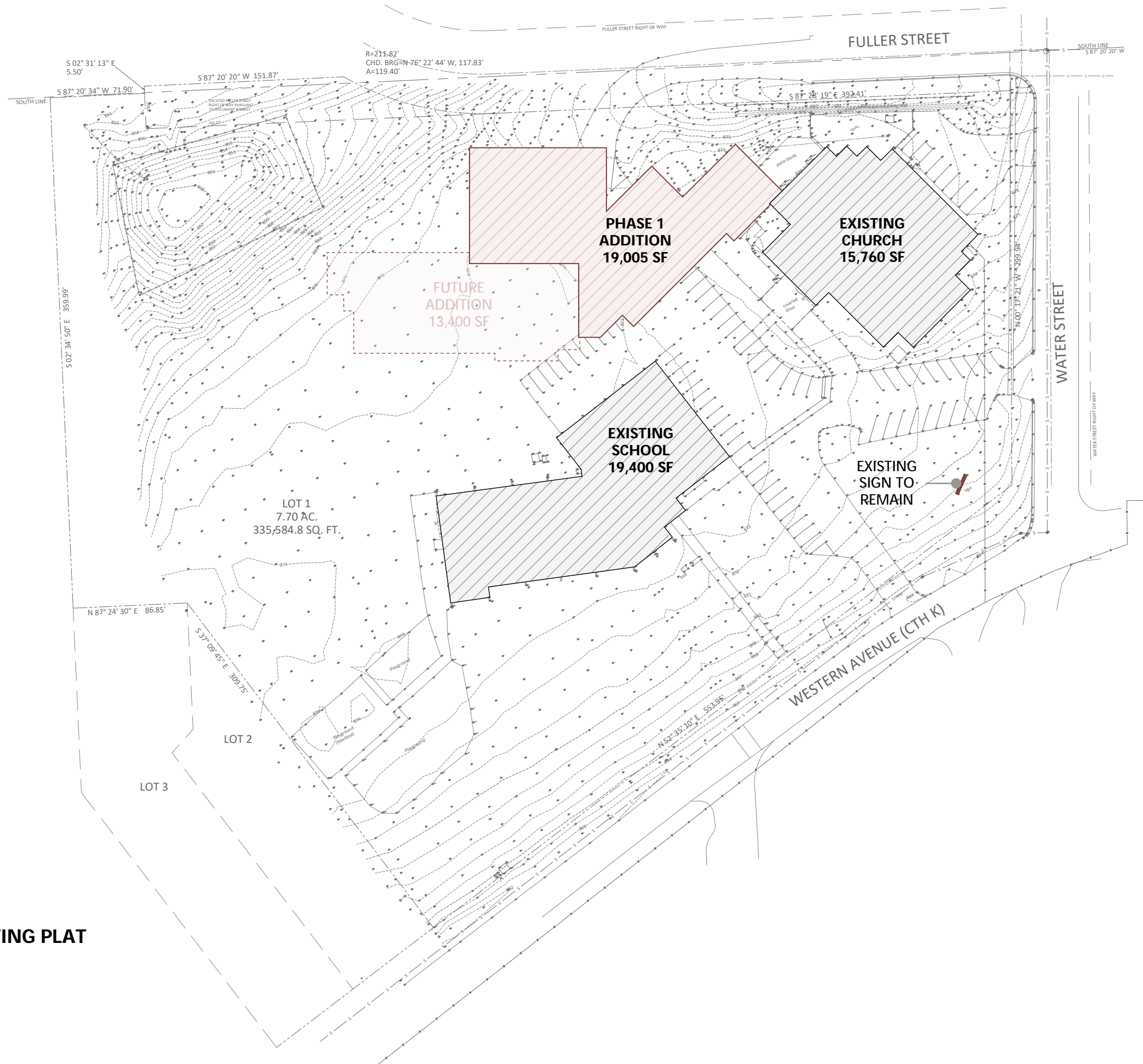
1" = 100'

**7.7 ACRES**

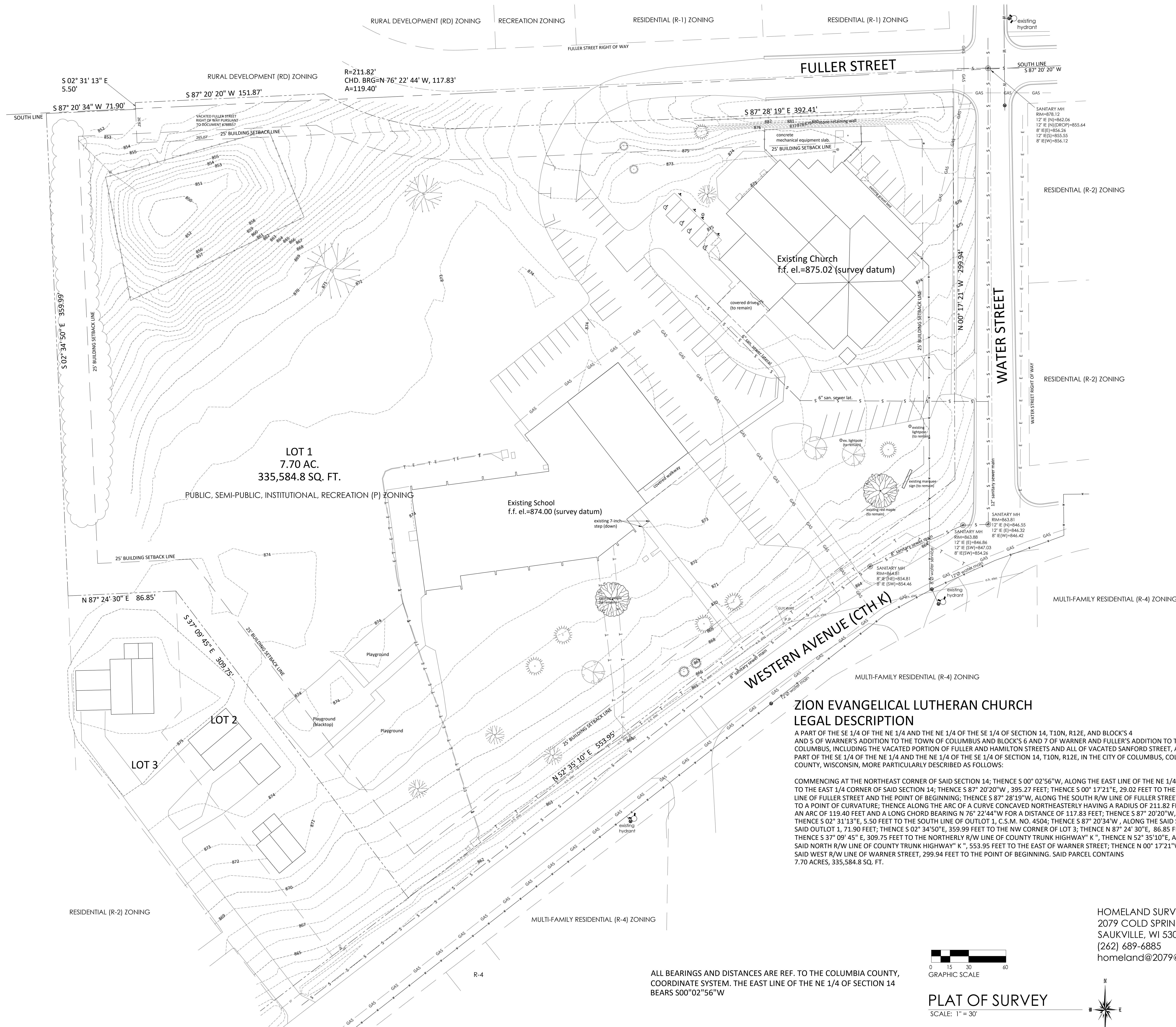


**ADDITION FOOTPRINT ON EXISTING PLAT**

1" = 80'

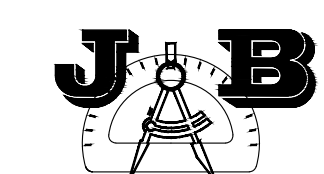






**GROTH  
DESIGN  
GROUP**

N58 W6181 COLUMBIA RD.  
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CEDARBURG, WISCONSIN 53012  
PH. (262) 377-8001  
FX. (262) 377-8003



**J&B**  
SITE DESIGN AND ENGINEERING, LLC  
715 1st AVENUE, SUITE 5  
PO BOX 1007  
WOODRUFF, WISCONSIN 54588  
(715) 207-8977  
jandesign@gmail.com

**PROJECT**

**ZION LUTHERAN  
SCHOOL  
EXPANSION**

**812 Western  
Avenue  
Columbus, WI  
53925**

**ISSUE**

NO. REV. DATE DESCRIPTION

**PROGRESS  
DOCUMENTS**

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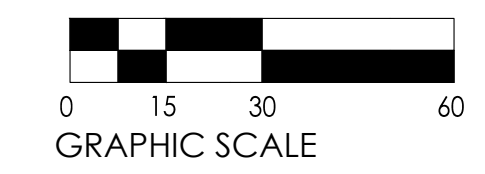
**PROJECT INFO**

Date: 09.12.2024  
Project No. 23.120

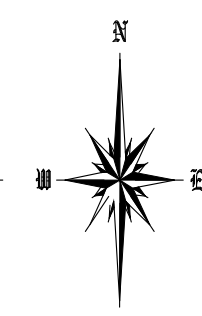
**SHEET TITLE**

PLAT OF SURVEY  
SHEET INDEX

HOMELAND SURVEYING, LLC  
2079 COLD SPRINGS ROAD  
SAUKVILLE, WI 53080  
(262) 689-6885  
homeland@2079@gmail.com

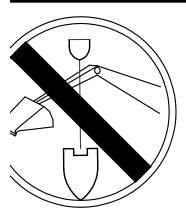


**PLAT OF SURVEY**  
SCALE: 1" = 30'



ALL BEARINGS AND DISTANCES ARE REF. TO THE COLUMBIA COUNTY, COORDINATE SYSTEM. THE EAST LINE OF THE NE 1/4 OF SECTION 14 BEARS S00°02'56"W

**C2.0**



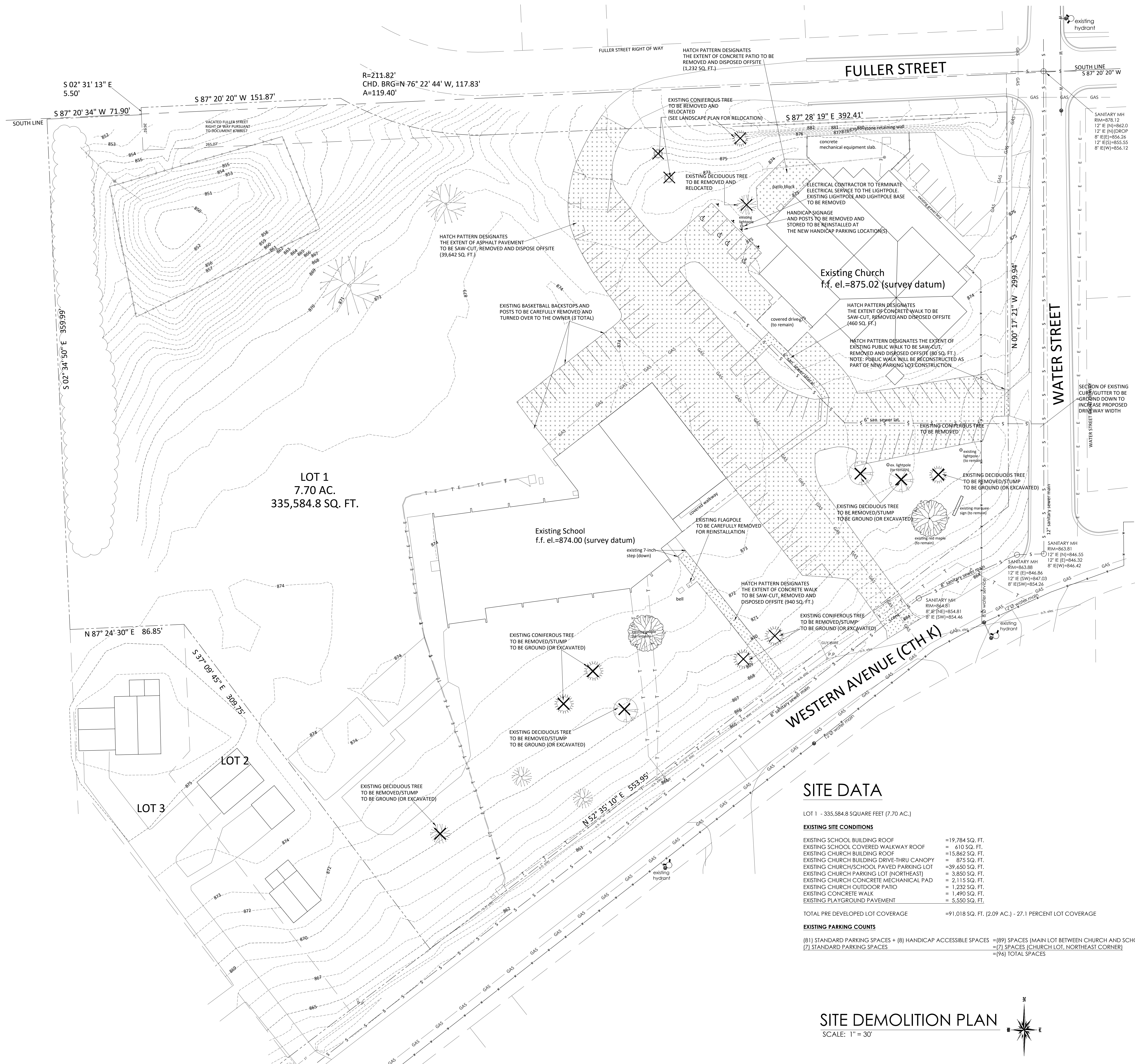
CALL DIGGERS' HOTLINE

1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NOTE:

THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF UTILITY OWNER(S).



SITE DATA

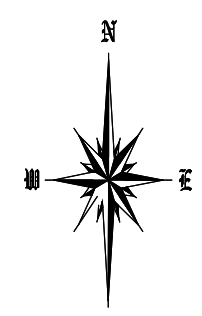
LOT 1 - 335,584.8 SQUARE FEET (7.70 AC.)

EXISTING SITE CONDITIONS	Area
EXISTING SCHOOL BUILDING ROOF	=19,784 SQ. FT.
EXISTING SCHOOL COVERED WALKWAY ROOF	= 610 SQ. FT.
EXISTING CHURCH BUILDING ROOF	=15,862 SQ. FT.
EXISTING CHURCH BUILDING DRIVE-THRU CANOPY	= 875 SQ. FT.
EXISTING CHURCH/SCHOOL PAVED PARKING LOT	=39,650 SQ. FT.
EXISTING CHURCH PARKING LOT (NORTHEAST)	= 3,850 SQ. FT.
EXISTING CHURCH CONCRETE MECHANICAL PAD	= 2,115 SQ. FT.
EXISTING CHURCH OUTDOOR PATIO	= 1,232 SQ. FT.
EXISTING CONCRETE WALK	= 1,490 SQ. FT.
EXISTING PLAYGROUND PAVEMENT	= 5,550 SQ. FT.
TOTAL PRE DEVELOPED LOT COVERAGE	=91,018 SQ. FT. (2.69 AC.) - 27.1 PERCENT LOT COVERAGE

EXISTING PARKING COUNTS	Count
[81] STANDARD PARKING SPACES + [8] HANDICAP ACCESSIBLE SPACES	= [89] SPACES (MAIN LOT BETWEEN CHURCH AND SCHOOL)
[7] STANDARD PARKING SPACES	= [7] SPACES (CHURCH LOT, NORTHEAST CORNER)
	= [96] TOTAL SPACES

SITE DEMOLITION PLAN

SCALE: 1" = 30'



N58 W6181 COLUMBIA RD. P.O. BOX 332 CEDARBURG, WISCONSIN 53012 PH. (262) 377-8001 FX. (262) 377-8003

PROJECT

ZION LUTHERAN SCHOOL EXPANSION

812 Western Avenue Columbus, WI 53925

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

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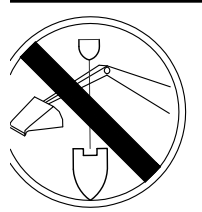
Date: 09.12.2024 Project No. 23.120

SHEET TITLE

SITE DEMOLITION PLAN

C2.1

BID DRAWINGS



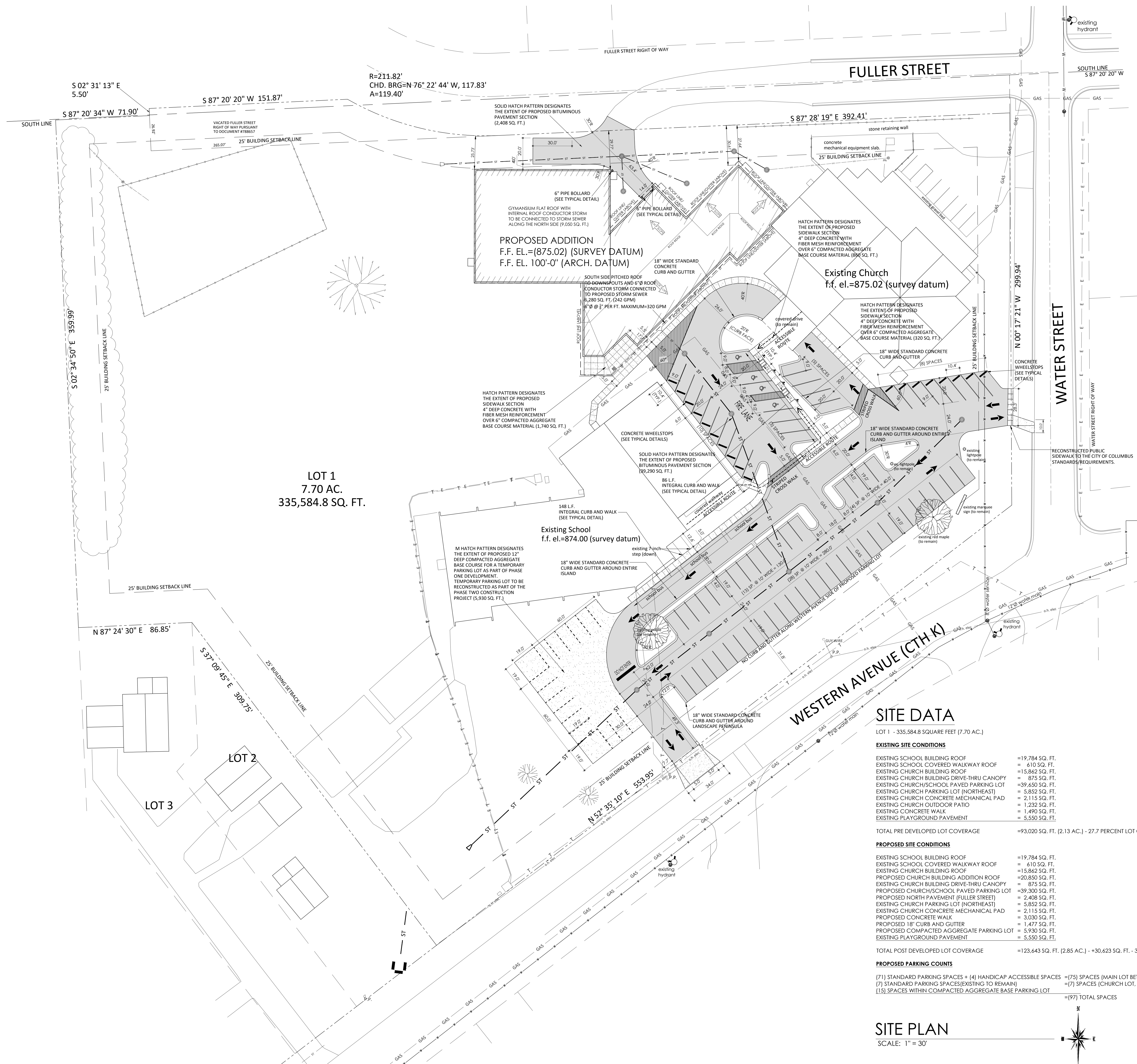
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TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

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LOT 1  
7.70 AC.  
335,584.8 SQ. FT.

LOT 2

LOT 3

Existing School  
f.f. el.=874.00 (survey datum)

Existing Church  
f.f. el.=875.02 (survey datum)

PROPOSED ADDITION  
F.F. EL.=(875.02) (SURVEY DATUM)  
F.F. EL. 100'-0" (ARCH. DATUM)

SITE DATA

LOT 1 - 335,584.8 SQUARE FEET (7.70 AC.)

EXISTING SITE CONDITIONS

EXISTING SCHOOL BUILDING ROOF	=19,784 SQ. FT.
EXISTING SCHOOL COVERED WALKWAY ROOF	= 610 SQ. FT.
EXISTING CHURCH BUILDING ROOF	=15,862 SQ. FT.
EXISTING CHURCH BUILDING DRIVE-THRU CANOPY	= 875 SQ. FT.
EXISTING CHURCH/SCHOOL PAVED PARKING LOT	=39,650 SQ. FT.
EXISTING CHURCH PARKING LOT (NORTHEAST)	= 5,852 SQ. FT.
EXISTING CHURCH CONCRETE MECHANICAL PAD	= 2,115 SQ. FT.
EXISTING CHURCH OUTDOOR PATIO	= 1,232 SQ. FT.
EXISTING CONCRETE WALK	= 1,490 SQ. FT.
EXISTING PLAYGROUND PAVEMENT	= 5,550 SQ. FT.

TOTAL PRE DEVELOPED LOT COVERAGE =93,020 SQ. FT. (2.13 AC.) - 27.7 PERCENT LOT COVERAGE

PROPOSED SITE CONDITIONS

EXISTING SCHOOL BUILDING ROOF	=19,784 SQ. FT.
EXISTING SCHOOL COVERED WALKWAY ROOF	= 610 SQ. FT.
EXISTING CHURCH BUILDING ROOF	=15,862 SQ. FT.
PROPOSED CHURCH BUILDING ADDITION ROOF	=20,850 SQ. FT.
EXISTING CHURCH BUILDING DRIVE-THRU CANOPY	= 875 SQ. FT.
PROPOSED CHURCH/SCHOOL PAVED PARKING LOT	=39,300 SQ. FT.
PROPOSED NORTH PAVEMENT (FULLER STREET)	= 2,408 SQ. FT.
EXISTING CHURCH PARKING LOT (NORTHEAST)	= 5,852 SQ. FT.
EXISTING CHURCH CONCRETE MECHANICAL PAD	= 2,115 SQ. FT.
PROPOSED CONCRETE WALK	= 3,030 SQ. FT.
PROPOSED 18" CURB AND GUTTER	= 1,477 SQ. FT.
PROPOSED COMPACTED AGGREGATE PARKING LOT	= 5,930 SQ. FT.
EXISTING PLAYGROUND PAVEMENT	= 5,550 SQ. FT.

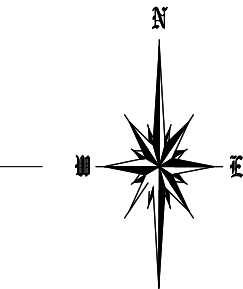
TOTAL POST DEVELOPED LOT COVERAGE =123,643 SQ. FT. (2.85 AC.) - +30.623 SQ. FT. - 37.0 PERCENT LOT COVERAGE

PROPOSED PARKING COUNTS

(7) STANDARD PARKING SPACES + (4) HANDICAP ACCESSIBLE SPACES	=(75) SPACES (MAIN LOT BETWEEN CHURCH AND SCHOOL)
(7) STANDARD PARKING SPACES(EXISTING TO REMAIN)	=(7) SPACES (CHURCH LOT, NORTHEAST CORNER)
(15) SPACES WITHIN COMPACTED AGGREGATE BASE PARKING LOT	=(97) TOTAL SPACES

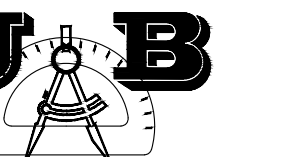
SITE PLAN

SCALE: 1" = 30'



GROTH DESIGN GROUP

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715 1st AVENUE, SUITE 5  
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WOODRUFF, WISCONSIN 54588  
(920) 207-8977  
jandesign1@gmail.com

Revisions per City of Muskego review letter dated September 26, 2024.

PROJECT

ZION LUTHERAN  
SCHOOL  
EXPANSION

812 Western  
Avenue  
Columbus, WI  
53925

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

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PROJECT INFO

Date:

09.12.2024

Project No.:

23.120

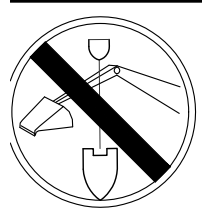
SHEET TITLE

SITE PLAN

C2.2

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BID DRAWINGS



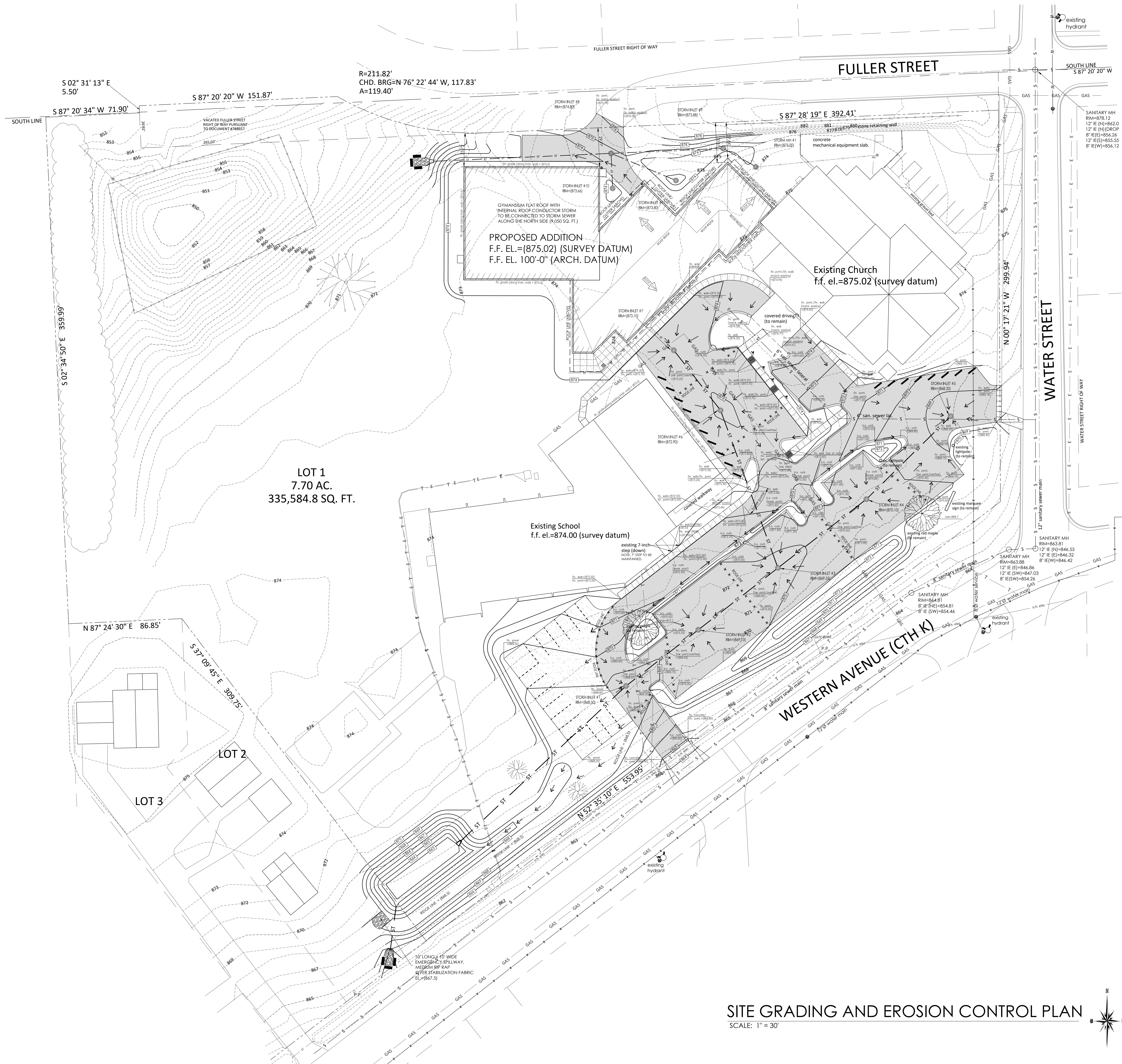
CALL DIGGERS' HOTLINE

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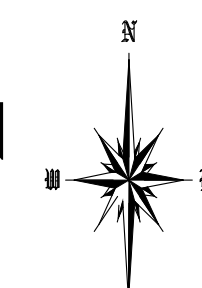
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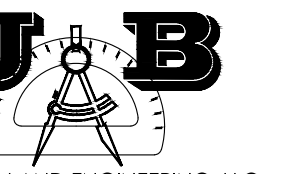


SITE GRADING AND EROSION CONTROL PLAN  
SCALE: 1" = 30'



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sitedesignllc@gmail.com

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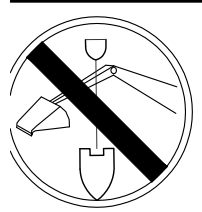
SHEET TITLE

SITE PLAN

C23

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BID DRAWINGS



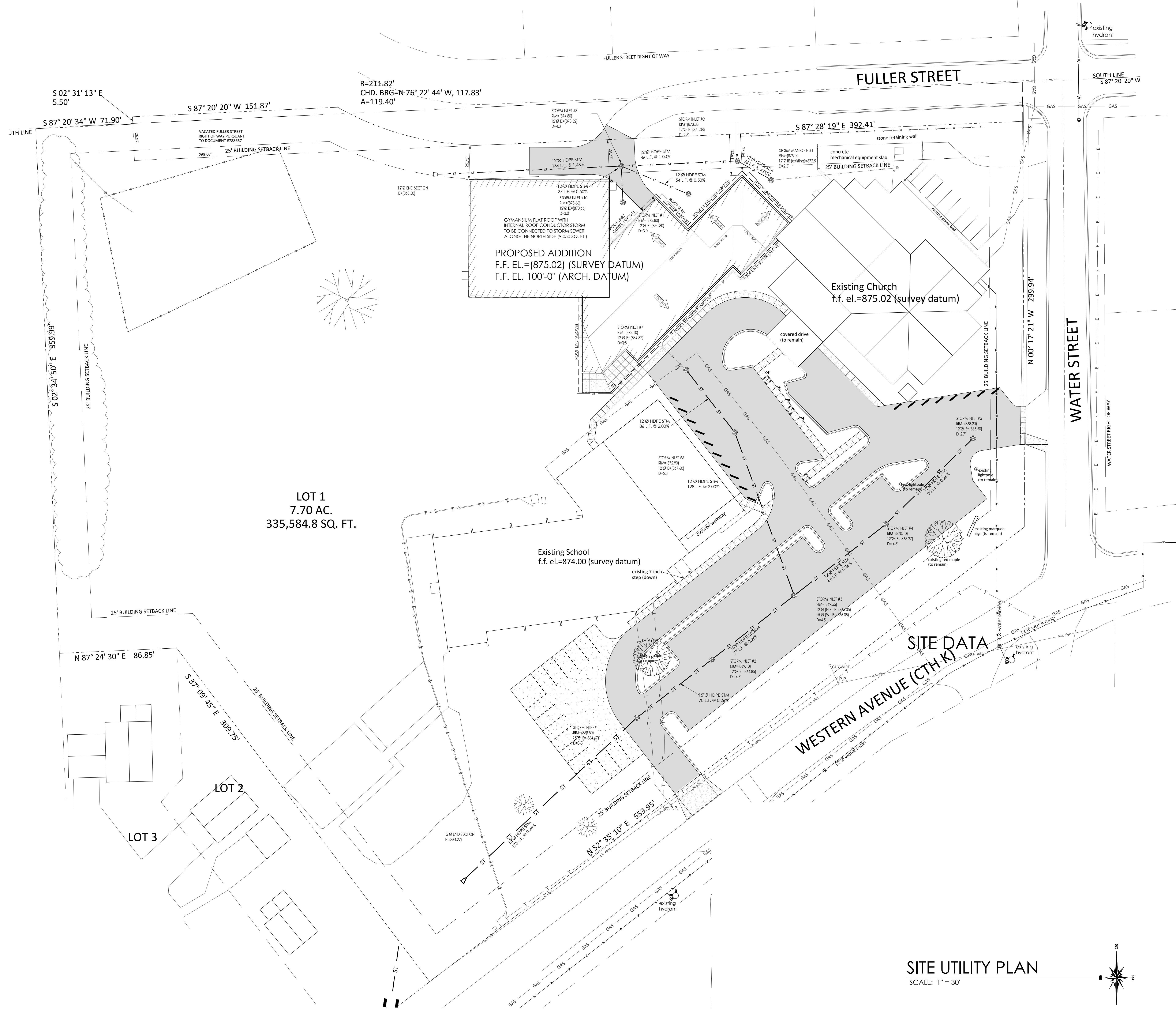
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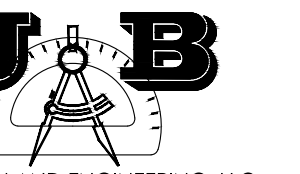
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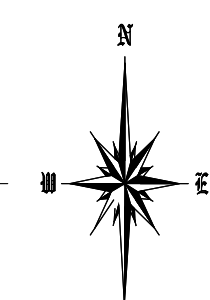
PROJECT INFO

Date: 09.12.2024 Project No: 23.120

SHEET TITLE

SITE UTILITY PLAN

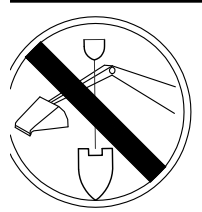
SITE UTILITY PLAN SCALE: 1" = 30'



C2.4

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BID DRAWINGS



CALL DIGGERS' HOTLINE

1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

NOTE:

THE LOCATION OF UNDERGROUND UTILITIES OR FACILITIES SHOWN ON PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE PROJECT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DURING CONSTRUCTION TO THE SATISFACTION OF UTILITY OWNER(S).

LANDSCAPE NOTES

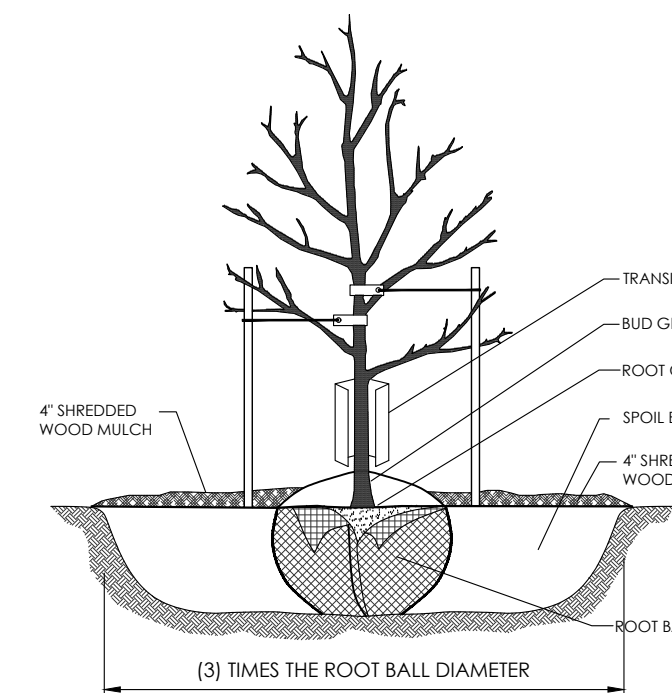
LANDSCAPE INSTALLATION:

- 1. All written dimensions supersede scaled dimensions.
2. The Contractor shall verify location of all underground utilities and additional information prior to commencing construction.
3. Rough grading and drainage construction is to be completed prior to Landscape Contractor's work.
4. All work shall be in conformance with all applicable local codes and ordinances.
5. All areas disturbed by grading or site construction shall be fine graded, planted or seeded.
6. Contractor shall verify plant quantities shown on the Plan and provide a list to the client identifying the species and size to be used throughout the project.
7. All turf grass areas shall receive a blended topsoil mix to a depth of six (6) inches.
8. Soil preparation for perennial or groundcover planting beds shall be as follows:
A. Remove all roots, lumps, stones, sod and other extraneous materials harmful or toxic to plant growth.
9. All mixed planting beds with perennials, groundcover, shrubs and trees shall receive a two (2) inch to three (3) inch layer of shredded bark mulch as noted on the Plan.
10. Unless otherwise shown, all perennials and shrubs to be planted in a triangular arrangement, spaced according to plant recommendation.
11. Plant Bed Edging - install a shovel-cut bed edge to six (6) inch depth at perimeter of bed.
12. Unless otherwise noted, do not stake deciduous trees less than or equal to 2.5 inches caliper diameter at breast height and evergreen trees less than or equal to 6-feet in height.
13. See the Tree Staking Detail on this Plan if tree staking is required.
14. Plant species as defined are general planting types and are subject to modification/adjustment/change.

SEED MIXES:

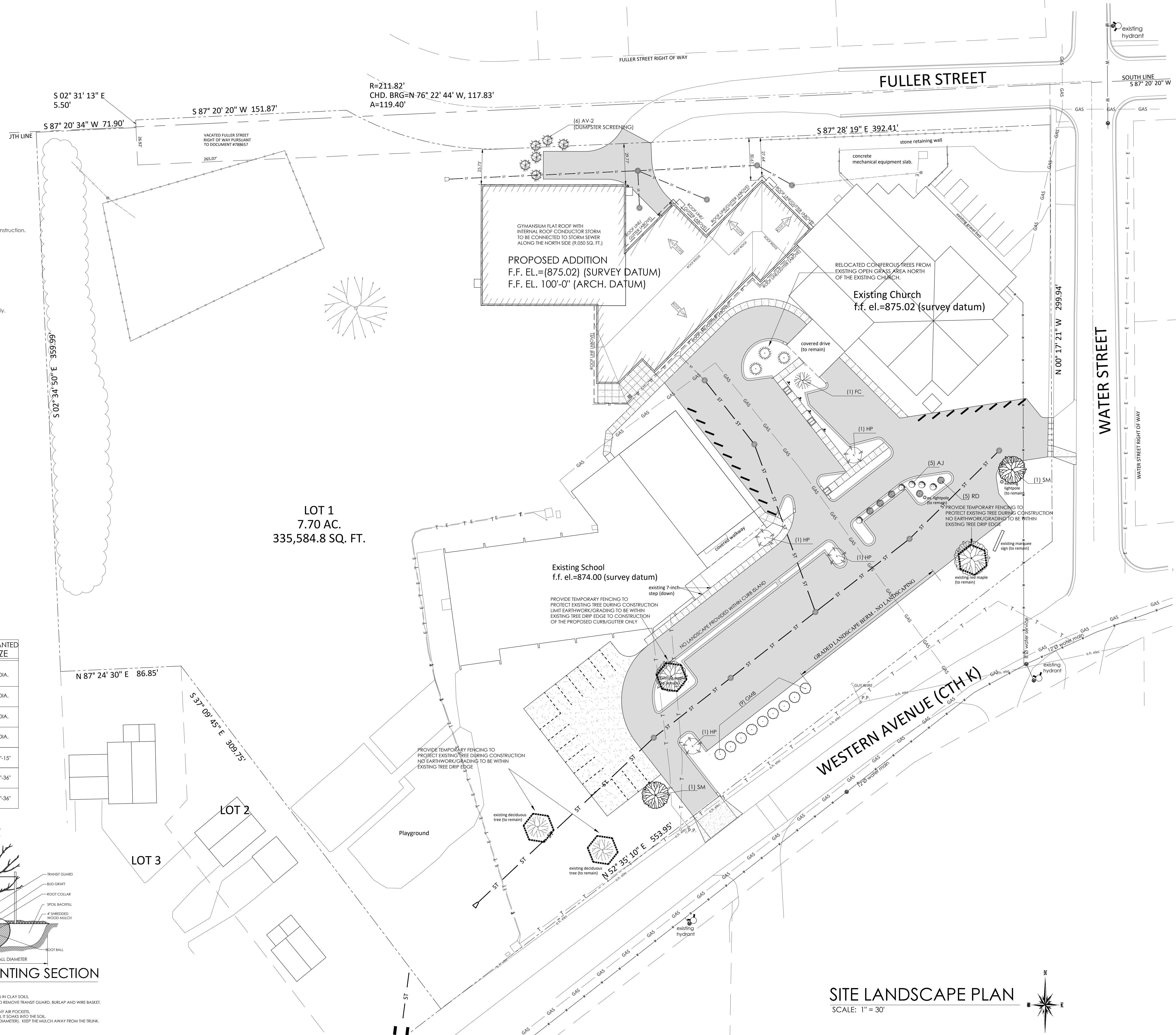
SEEDING TURF FOR LAWN AREAS:
Sow at 5 lbs. / 1,000 sq. ft.
Supreme Lawn Seed Mix
Available from Reinders, Inc. (800) 785-3301, or approved equal
to be installed and maintained per supplier's specifications.
17% Mercury Kentucky Bluegrass 16% America Kentucky Bluegrass
17% SR 2100 Kentucky Bluegrass 25% Garnet Creeping Red Fescue
15% Replicator Perennial Ryegrass 10% TXR Annual Ryegrass

Table with 5 columns: SYMBOL, MARK, QTY., BOTANICAL NAME, COMMON NAME, PLANTED SIZE. Lists plants like ACER TRUNCATUM, THUJA PUCATA, MALUS HYBRID 'PRAIRIEFIRE', etc.



TYPICAL TREE PLANTING SECTION

- INSTALLATION SEQUENCING:
1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL.
2. PLACE TREE IN HOLE, BACKFILL WITH EXISTING SOIL AND REMOVE TRANSIT GUARD, BURLAP AND WIRE BASKET.
3. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
4. PROVIDE 4" DEEP SHREDDED WOOD MULCH (10' FOOT DIAMETER). KEEP THE MULCH AWAY FROM THE TRUNK. REMOVE ONLY BROKEN OR DAMAGED BRANCHES.

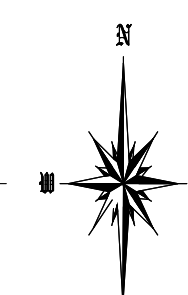


LOT 1
7.70 AC.
335,584.8 SQ. FT.

LOT 2
LOT 3

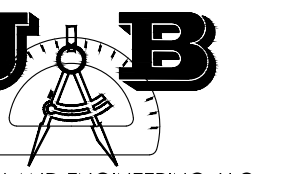
SITE LANDSCAPE PLAN

SCALE: 1" = 30'



GROTH
DESIGN
GROUP

N58 W6181 COLUMBIA RD.
P.O. BOX 332
CEDARBURG, WISCONSIN 53012



SITE DESIGN AND ENGINEERING, LLC
715 1st AVENUE, SUITE 5
PO BOX 1007
WOODRUFF, WISCONSIN 54588

Revisions per City of Muskego review letter dated September 26, 2024

PROJECT

ZION LUTHERAN
SCHOOL
EXPANSION

812 Western
Avenue
Columbus, WI
53925

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS
DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date: 09.12.2024

Project No: 23-120

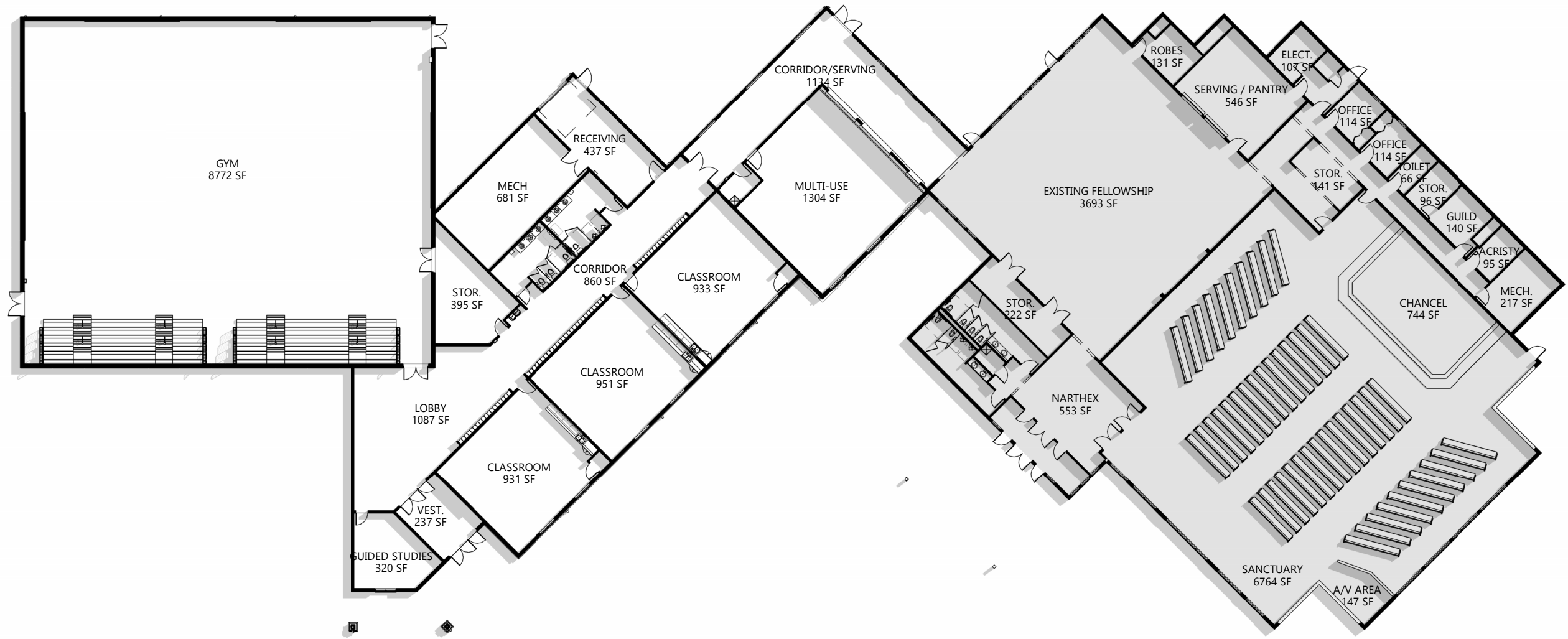
SHEET TITLE

SITE LANDSCAPE PLAN

C2.5

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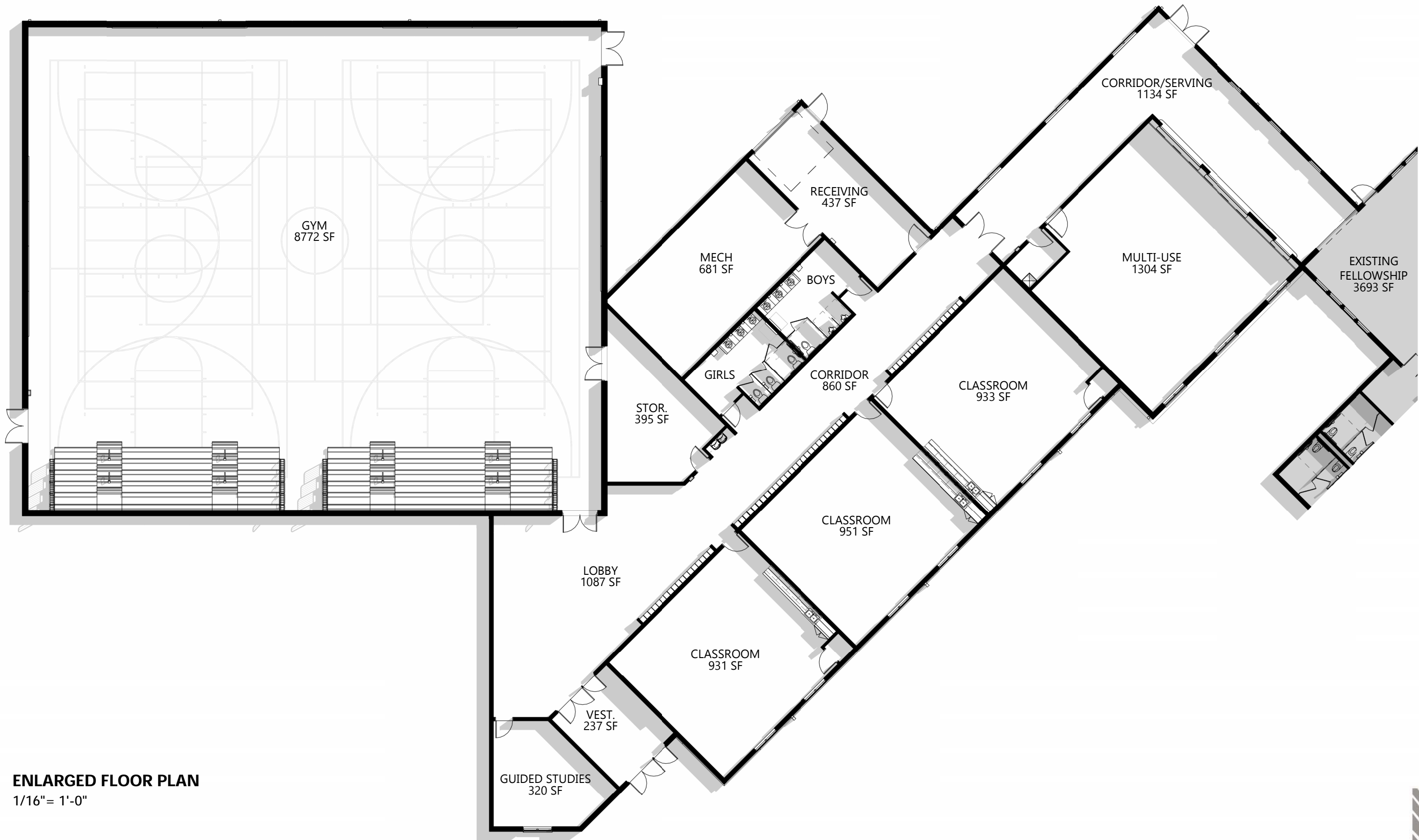
BID DRAWINGS



**OVERALL FLOOR PLAN**

1" = 30'

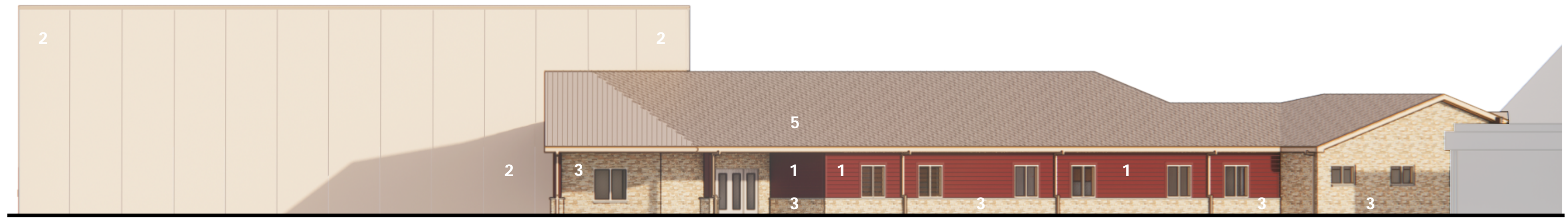




**ENLARGED FLOOR PLAN**  
 1/16" = 1'-0"







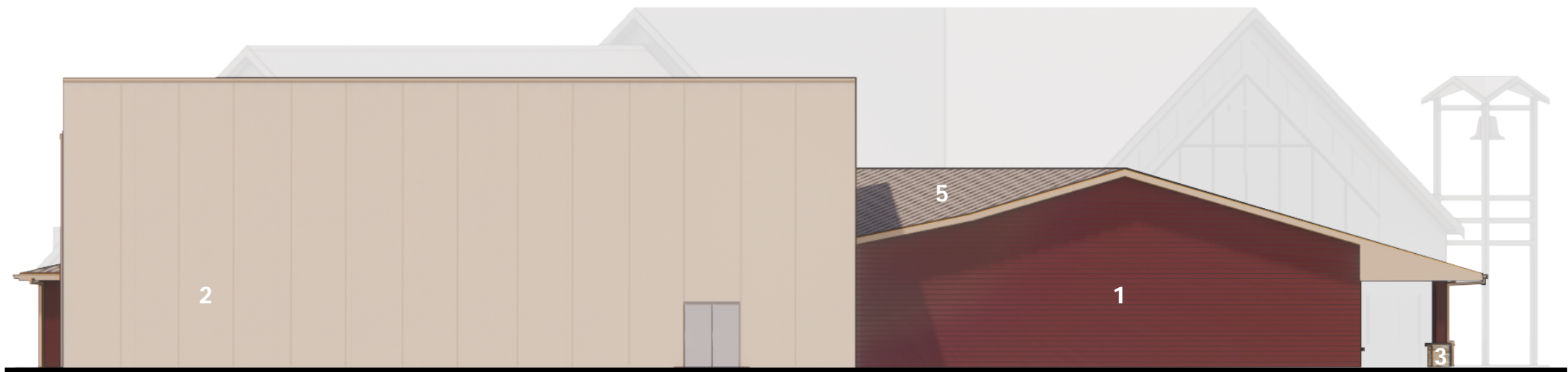
**SOUTH ELEVATION**

1/16" = 1'-0"



**NORTH ELEVATION**

1/16" = 1'-0"



**WEST ELEVATION**

1/16" = 1'-0"

- 1 - SIDING  
LP SMARTSIDE REDWOOD  
RED 8" LAP SIDING
  - 2 - PRECAST PANEL &  
STONE SILLS  
PRECAST PANEL  
SPECIFICATION TBD
  - 3 - STONE VENEER  
BUECHEL 90% FOND DU  
LAC RUSTIC 10% MILL  
CREEK WITH INDIANA  
SILVERBUFF SANDED SILLS
  - 4 - SOFFITS  
ALUMINUM SOFFITS  
TO MATCH EXISTING
  - 5 - METAL ROOF  
METAL ROOF TO MATCH  
EXISTING
- ADDITIONAL FASCIA, TRIM,  
GUTTER, AND  
DOWNSPOUT ACCENT  
COLORS





**Aerial Phase 1**  
NTS



Artistic and/or computer renderings are not a contractual representation of the finished product and GROTH Design Group makes no warranties and representations that the depictions of such renderings will be replicated in the finished product. Client acknowledges and agrees that the terms of the contract, not the renderings shall control.





**Phase 1 Entry**  
NTS



Artistic and/or computer renderings are not a contractual representation of the finished product and GROTH Design Group makes no warranties and representations that the depictions of such renderings will be replicated in the finished product. Client acknowledges and agrees that the terms of the contract, not the renderings shall control.

