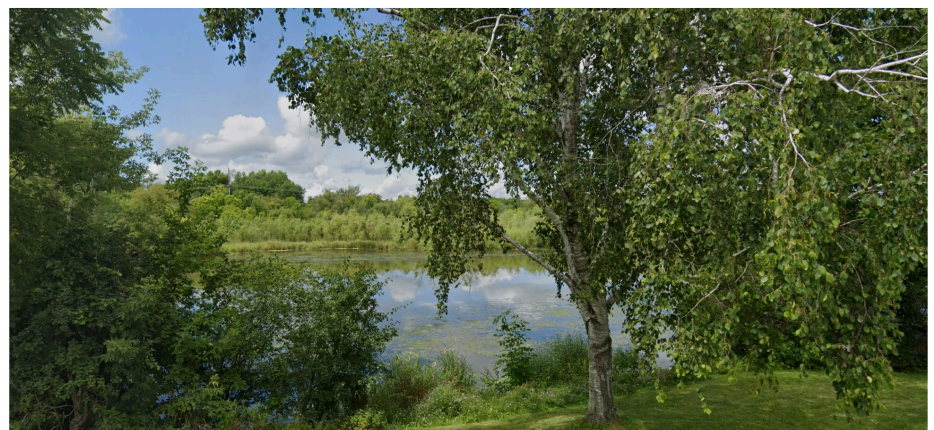
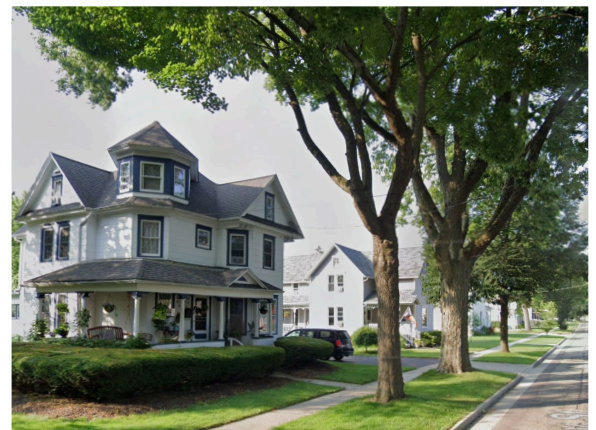


Response to the
Request for Proposal (RFP) for Professional Services for a

ZONING AND SUBDIVISION ORDINANCE REWRITE

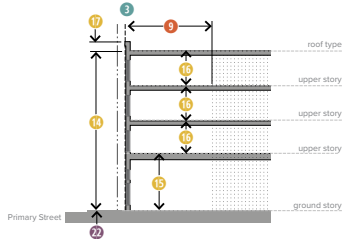
for the
CITY OF COLUMBUS



Codametrics, Inc.
with Duncan Associates
submitted: February 21, 2025

35-3903 Building Types
3903(g) Storefront Building Type

Figure 3903(g)-D. Storefront Building Height



	DISTRICTS		Additional References
	SX-1	SX-2	
3903(g)(06) HEIGHT. See Figure 3903(g)-D .			
14 Height	2 story min. 6 stories max. Up to 8 stories max. with an approved design adjustment	2 story min. 3 stories max.	See 3903(h)(9a) for minimum height of street facades. See 3909(e) for the design adjustment process.
15 Ground-Story Height	Up to 20 ft. max. with an approved design adjustment	12 ft. min. 16 ft. max.	Measured floor to floor. See 3903(h)(9) for measuring height. See 3909(e) for the design adjustment process.
16 Upper-Story Height	9.5 ft. min. 14 ft. max.	9.5 ft. min. 14 ft. max.	
3903(g)(07) ROOFS. See Figure 3903(g)-D and Figure 3903(g)-E .			
17 Roof Types	Flat, parapet	Flat, parapet, pitched	See 3906(i) for roof types and tower regulations.
Tower	Allowed	Allowed	

35-3903 Building Types
3903(g) Storefront Building Type

Figure 3903(g)-E. Storefront Building Facade



	DISTRICTS		Additional References
	SX-1	SX-2	
3903(g)(08) PRIMARY & NON-PRIMARY FACADES. See Figure 3903(g)-E .			
18 Transparency: Ground Story on Primary Facades	70% min. Measured between 2 ft. and 10 ft. from sidewalk grade Maximum blank-wall segments apply per 3903(h)(10)c . Ground-story transparency must extend min. 15 ft. around the corner down any street-side facades	65% min.	See 3903(h)(10) for measuring transparency.
19 Transparency: Upper Stories on Primary Facades	20% min. Maximum blank-wall segments apply per 3903(h)(10)c .	18% min.	Measured per story. Includes any half stories, visible basement, or towers with full height stories. See 3903(h)(10) for measuring transparency.
20 Transparency: Non-Primary Facades		20% min.	
20 Building Entrance Location	One per every 60 feet of primary facade, minimum		See 3903(h)(11) for measuring building entrance locations.
21 Entrance Type	Storefront		See 3906(j) for entrance types. See 3906(k)(9) for locations in floodplains requiring elevated entrances.
22 Ground-Story Elevation	Within 24 in. of sidewalk elevation		
23 Horizontal Divisions with Shadow Lines	Within 3 ft. of the top of the first story		Horizontal shadow lines to run a min. 80% of length of facade. See 3903(m) for definition of shadow lines.
24 Vertical Divisions with Shadow Lines	One per every 60 ft. of ground-story street facade		

Examples of code pages for downtown Moline City Centre. (Codametrics)

CONTACT INFORMATION

1

February 21, 2025

Mike Kornmann
Director of Community and Economic Development
City of Columbus
email: mkornmann@columbuswi.gov

RE: City of Columbus Zoning and Subdivision Ordinance Rewrite (Chapter 114 and 90)

Dear Mr. Kornmann,

On behalf of Codametrics and Duncan Associates, I am pleased to submit this proposal for consultant services to prepare a new zoning and updated subdivision ordinance for the City of Columbus. Having read and understood the request for proposals, our team is excited about the opportunity to work with the Columbus community and we believe we are well equipped for the project.

The following proposal outlines our extensive experience updating subdivision ordinances and developing zoning codes, including form-based regulations, that reflect the character and vision of those communities. The following highlights a few of our team's other strengths.

PLACE-BASED APPROACH. We consciously aim to work in small to medium municipalities, writing regulations for infill and redevelopment intended to enhance the vibrancy of each unique community. We rely heavily on fieldwork and interaction with staff, officials, and community stakeholders to get to know the community. Further, we will study the current code, the 2040 Comprehensive Plan, previously approved development plans, and other community documents, which combined with the fieldwork and interaction with stakeholders, creates a code specific to Columbus.

HIGH-QUALITY, WELL-ILLUSTRATED CODES. Our team specializes in creating diagrams and using images to illustrate regulations that are written in clear, straightforward language. This ensures consistency in interpretation and equitable administration, critical traits of a functional and efficient development process.

Our team brings a solid base of directly related experience to the project and a commitment to providing our clients a high level of service to achieve the project's goals.

We look forward to the opportunity to further discuss our qualifications for this exciting project. I will serve as the project director and am an authorized agent for our team. Please contact me if you have any questions or additional requests.

Sincerely,



Leslie Oberholtzer, AICP, PLA, LEED AP
Principal, Codametrics

email: leslie@codametrics.com

phone: 773.680.7130

CODAMETRICS
FROM PLANS TO PLACES

2 FIRM HISTORIES

Our team includes Codametrics as the prime consultant with advisement from Kirk Bishop of Duncan Associates. We will work closely with city staff throughout the process, ensuring that the new zoning and updated subdivision ordinance code implements the 2040 Comprehensive Plan.

CODAMETRICS

Codametrics staff has a long history of award-winning code work, employing innovative techniques to help guide and prioritize development. Founded in 2012, our zoning work ranges from geographically focused codes for neighborhoods, transit stations, main streets, and downtowns to city-wide codes.

Our distinctive, place-based approach to writing zoning ensures that the new code will be crafted from the ground up, reflecting the physical character and vision desired for the future. Our process, coupled with our high-level of client service, ensures each code is crafted for the specific needs of the local community.

Further, our studio lead, Leslie Oberholtzer, is both an urban designer and planner with past experience as a local government employee. Our staff also regularly provides development review services for projects, ensuring a real-world perspective on our zoning work as well as exposure to leading edge sustainable site development and design practices.

*Studio principal, **Leslie Oberholtzer**, will serve as the project director and will lead the code drafting process.*

Codametrics, Inc., is an Illinois S Corporation.

DUNCAN ASSOCIATES

From offices in Chicago and Austin, Duncan Associates has provided zoning and planning consulting services to over 120 cities and counties in more than 30 states. The firm was founded in 1977 and is a nationally-recognized leader in the field, as evidenced by numerous awards from the American Planning Association.

Duncan Associates has built its reputation on identifying local issues, exploring alternative approaches and transforming conceptual recommendations into zoning regulations that work...and stand the test of time. The firm is built around a base of former local government planners and code administrators, individuals who have administered and enforced regulations and know about the real-life challenges of code administration that arise on nearly a daily basis.

Duncan Associates will serve as a trusted advisor during the code-drafting process, especially related to review and approval procedures.

PROJECT STATEMENT & WORK PLAN

3

With expertise in both the best practices of sustainable, context-sensitive, conventional zoning and form-based codes, we will develop the zoning code rewrite for the City of Columbus from the ground up, collaboratively with staff and the Plan Commission, using the most appropriate methods determined for each area of the city.

The new zoning and subdivision code will be organized to provide ease of use; written using clear, objective standards; and illustrated with the aim of simplifying the process of development. Objective standards ensure consistency in interpretation and equitable administration, allowing for more administrative reviews and approvals and reducing reliance on discretionary types of approvals, such as planned unit development.

We take great pride in getting to know the communities we work in, both the built and natural environments and the community's vision for the city. Through on-the-ground surveying and aerial photography, analysis of current zoning, review of the comprehensive plan, and support from staff, the new zoning and subdivision code will reflect the community's vision for the future.

PROPOSED WORK PLAN & SCHEDULE

The proposed work plan and schedule on the following pages includes a description of our recommended tasks based upon the project scope outlined in the request for proposal. We will work closely with staff to adjust the tasks to meet the specific needs of the city and to ensure timely completion of all phases and delivery of all products.

STAFF COORDINATION

The draft schedule outlines each task and key project meetings, also to be coordinated with staff to meet the city's goals. We anticipate regular online meeting calls, determined by staff's availability and the need for coordination at different points in the project.

Columbus's new zoning and subdivision codes will, among other things, need to:

- Implement the city's **2040 COMPREHENSIVE PLAN**;
- Protect physical **HISTORIC CHARACTER** and ensure new development reinforces existing development, unifying the city's overall physical form;
- Diversify the city's **HOUSING STOCK** with an appropriate mix of context-sensitive middle housing, accessory dwelling units, and mixed-use developments;
- Organize and **MODERNIZE USES** into simple categories to promote an appropriate level of flexibility;
- Promote **WALKABILITY**, and **BIKE-ABILITY** within the community;
- Be **LEGALLY DEFENSIBLE**, in compliance with all appropriate state regulations;
- Address building and site design to result in **HIGH QUALITY**, durable, and sustainable buildings;
- Utilize **TABLES** and **GRAPHICS** to illustrate the regulations and improved user friendliness, and
- Work towards **STREAMLINING DEVELOPMENT REVIEW** and approval processes.

Project Statement & Work Plan



PHASE 1: DIAGNOSIS & PROJECT DIRECTIONS

1.1: PLAN REVIEW

- Conduct in-depth review of the City's recent 2040 Comprehensive Plan, the existing zoning and subdivision codes, the Outdoor and Recreation Plan, and any other plans and documents recommended by staff.
- Review recent (approved and denied) development plans and proposals.
- Work with staff to identify and collect necessary GIS data.

1.2: KICK-OFF SESSION

- Hold kick-off meetings with staff and the Plan Commission at the start of the project to ensure clear direction.
- Discuss the project scope, work plan, schedule, deliverables, and logistics.
- Discuss the City's general policies and procedures and the goals of the code.
- Consult with the City attorney on format and any content input as directed by staff.
- Discuss and outline the public outreach strategy describing the proposed approach to engaging stakeholders and the general public on the project.

1.3: LISTENING SESSIONS

- As directed by staff, conduct ordinance-user (developers, architects/designers, neighborhood leaders) listening sessions to gain insight into local issues and concerns.

1.4: SURVEY PHYSICAL FORM

- Conduct field surveys and other research to gain a better understanding of built patterns and neighborhood character within the city.
- With staff's assistance, identify key areas within the city to receive focused design regulations, such as the downtown, commercial corridors, and established neighborhoods.

1.5: EVALUATION OF CURRENT ORDINANCE

- Work with staff to identify key issues and constraints with the current ordinances (Chapters 114 and 90).

- Assess the current ordinance in terms of comprehensive plan implementation/consistency, compliance with state and federal laws, sustainability, and other agreed-upon benchmarks.
- Map current nonconforming lot dimensions and setbacks.

1.6: PREPARE DIAGNOSIS & DIRECTIONS REPORT

- Develop deliverable: diagnosis and directions report, a concise report summarizing the findings from phase 1.
- With staff's assistance, identify substantive changes to be made, tied to the geographic evaluations conducted in Task 1.4.
- Draft an initial working outline and proposed format for the new code.
- Present draft diagnosis and directions report to staff and the Plan Commission and City Council for review and comment and to serve as basis for initial draft code.

1.7: INITIAL PUBLIC MEETING

Per staff, anticipate an initial public meeting to introduce the project, discuss the proposed project direction, and gain input on any substantive changes proposed.



PHASE 2: INITIAL DRAFT OF ZONING & SUBDIVISION CODES

The draft zoning and subdivision ordinances will fully replace Chapters 114 and 90 of the city's current code.

We anticipate preparing the initial draft zoning and subdivision code in 3 modules for ease of review and understanding. This initial draft is recommended for internal review by staff prior to public presentation to any boards and commissions.

- Present each draft zoning code module to staff for review and discussion.
- Include changes and new provisions identified in the diagnosis and directions memo, as well as general editing and technical changes.

- Revise based on staff’s review and present to Plan Commission at each module or at the end of phase 2. Provide briefings to other boards and commissions per staff’s direction.

2.1: INITIAL DRAFT ZONING CODE - MODULE 1

Prepare and present module 1 of the draft zoning code to include zoning districts and overlays, building/structure regulations, and uses. Uses will be grouped into clearly defined categories and a consolidated use table will define where (which zoning districts) and how those uses may be implemented (by-right, as a conditional use, and other methods).

2.2: INITIAL DRAFT ZONING MAP - MODULE 1

Prepare initial (internal) review draft of proposed zoning map with districts mapped on a parcel-by-parcel basis. Submit with module 1 zoning code draft outlined in Task 2.1.

2.3: INITIAL DRAFT ZONING CODE - MODULE 2

Prepare and present module 2 of the draft zoning code to include generally applied development standards, such as building design, parking, site and landscape, and sign regulations.

2.4: INITIAL DRAFT ZONING CODE & SUBDIVISION ORDINANCE - MODULE 3

Prepare and present module 3 of the draft zoning code to include administration, procedures, definitions, and measuring regulations. Module 3 will also include the initial draft of updated subdivision regulations, shoreland zoning ordinance, and historic preservation ordinance revisions.

2.5: REVISIONS & PLAN COMMISSION PRESENTATION

- At the end of phase 2, staff comments to the initial draft zoning code, subdivision ordinance, and zoning map will be gathered and a revised initial draft will be prepared.
- On staff’s recommendation, presentations will be prepared for the Plan Commission and City Council, either at the end of module or at the end of phase 2.



PHASE 3: PUBLIC REVIEW PROCESS

3.1: PUBLIC REVIEW DRAFT ORDINANCE & MAP

- Once the initial draft zoning code and any mapping has been well vetted, prepare public review draft of the new codes reflecting the comments and direction received during phase 3 and consolidating the modules into one cohesive draft.
- Prepare public review draft of revised zoning map, reflecting the comments and direction received during phase 3.

3.2: PUBLIC OPEN HOUSE

Prepare materials for public review open house and focused (small group) review sessions called for in public outreach strategy (Task 1.2) to solicit comments for further changes and refinements.



PHASE 4: HEARING DRAFT & ADOPTION

4.1: HEARING DRAFT ZONING & SUBDIVISION CODE, & MAP

Prepare public hearing draft of the ordinances and map reflecting the comments and direction received during phase 3.

4.2: PUBLIC HEARING & ADOPTION

Present as directed by staff for adoption hearings and proceedings.

4.3: FINAL ADOPTED ORDINANCES AND MAP

Prepare and deliver final version of zoning and subdivision codes, and zoning map. Provide documents in digital format and coordinate with Municode for online posting.

4.4: FOLLOW-UP

Upon code adoption, Codametrics provides complimentary phone consultations with staff on development projects submitted during the first year. Project review documentation may be requested on an hourly basis.

4 TIME SCHEDULE

The proposed timeline below is based upon the project scope outlined in the request for proposal and our proposed work plan on the previous pages. Completion of the project within one year is shown as outlined in the RFP, with adoption occurring thereafter. We will work closely with staff to adjust the schedule to meet the specific needs of the city and to ensure timely completion of all tasks and delivery of all products.

		Months from Project Start													
		1	2	3	4	5	6	7	8	9	10	11	12	13	14
PHASES		May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
1	Diagnosis & Project Direction	①	□	②											
2	Initial Draft				③		④		A	⑤					
3	Public Review Draft										B	□	⑥		
4	Hearing Draft													⑦	⑧
	DELIVERABLES	Diagnosis & Directions Report □ Initial Public Meeting Presentation Materials			Module 1: Initial Draft Zoning Code & Map Module 2: Initial Draft Zoning Code Module 3: Initial Draft Zoning & Subdivision Codes					Public Review Draft of Zoning Code □ Open House Materials			Public Hearing Draft of Zoning Code Presentations		
	KEY MEETINGS	Meeting ①: Kick-off meetings with Staff & Plan Commission, Listening Sessions (virtual &/or in person) Meeting ②: Plan Commission & City Council Meetings			Meeting ③: Module 1 presentation to staff Meeting ④: Module 2 presentation to staff Virtual Meeting A: Module 3 presentation to staff Meeting ⑤: Presentation to Plan Commission/ City Council					Virtual Meeting B: Public Review Draft Presentation to staff Meeting ⑥: Presentation to Plan Commission/ City Council			Meetings ⑦ & ⑧: Adoption Meeting(s), as required		

PROJECT EXAMPLES & REFERENCES **5** & **6**

Below is a *sample* list of Codametrics zoning projects. Projects developed with Kirk Bishop of Duncan Associates are noted with an asterisk(*). Descriptions and references for some similar projects are located on the following pages.

- Zoning Ordinance Re-Write (ongoing)
Client: City of Hastings MN*
- Zoning & Subdivision Ordinance Re-Write (ongoing)
Client: City of White Bear Lake MN*
- East Boulder Form-Based Code (ongoing)
Client: City of Boulder CO
- Mixed-Use & Middle Housing Overlay
Client: Village of Warrenville IL*
- Mixed-Use Zones
Client: Village of Shorewood WI*
- Topsham Center Zones (ongoing)
Client: Town of Topsham ME*
- Allentown Zoning & SALDO Rewrite (ongoing)
Client: City of Allentown PA*
- Moline Centre Downtown Zones
Client: City of Moline IL
- Zone Bridgeport
Client: City of Bridgeport CT*
- Alpine Balsam Form-Based Code
Client: City of Boulder CO
- Hopkins Hybrid Zoning Code
Client: City of Hopkins MN*
- Allouez Hybrid Zoning Code
Client: Village of Allouez WI*
- City of DePere Zoning Code
Client: City of DePere WI*
- Hartford City-Wide Zoning Code
Client: City of Hartford CT
- Downtown Bartlett TOD Overlay
Client: RTA and Village of Bartlett IL
- Billings-Yellowstone County Zoning Codes
Client: City of Billings MT
- South Clarksville Form-Based Code & Sign Ordinance
Client: Town of Clarksville IN
- Ford City Borough Zoning Ordinance
Client: Borough of Ford City PA
- Pittsburgh Greenways
Client: City of Pittsburgh PA
Prime: evolve ea
- Chicago Heights Mixed-Use Districts, Signs, & Uses
Client: CMAP and the City of Chicago Hts IL
- Brookfield Downtown & Station Areas Zoning
Client: RTA and the Village of Brookfield IL*
- Villa Park Zoning Ordinance
Client: CMAP and the Village of Villa Park IL*
- Highwood Downtown Zoning & Code Review
Client: RTA and the City of Highwood IL
- Des Moines City-Wide Zoning Rewrite
Client: City of Des Moines IA*
- University Park Zoning Ordinance
Client: City of University Park TX*
- Boulder Junction Pilot Form-Based Code
Client: City of Boulder CO
- Winthrop Harbor Downtown Zoning Districts
Client: RTA and the Village of Winthrop Harbor IL
- Perimeter Center Specific Zoning
Client: City of Dunwoody GA*
- Youngstown Form-Based Districts
Client: City of Youngstown OH
- Bridge Street Corridor Form-Based Code
Client: City of Dublin OH
- Duluth Form-Based Code Districts
Client: City of Duluth MN
- West Evanston Master Plan & Zoning Overlay
Client: City of Evanston IL
- City of Chicago Zoning Reform
Client: Zoning Reform Commission, Chicago IL*

Project Examples & References

Development Code Update HOPKINS MINNESOTA

On the heels of a successful comprehensive plan update, Cultivate Hopkins, the City hired Codametrics and Duncan Associates to comprehensively update their development code to align with the new plan. The center of Hopkins is anchored by a well-loved, small-scale downtown surrounded by traditional neighborhoods. Light rail is scheduled to arrive in 2027, and the new development code addresses station area redevelopment already occurring.

A new map was developed with a series of new zoning districts in line with the character areas defined by the comprehensive plan. Use and parking regulations were also modernized.

[LINK](#) to code online

Client Reference

Jason Lindahl, Project Manager (now Community Development Director at White Bear Lake)
(651)429-8562
jlindahl@whitebearlake.org



Downtown Hopkins includes historic 2-3 story storefront buildings with new mixed-use infill buildings.

Commercial and Mixed-Use Zoning Districts SHOREWOOD WISCONSIN

A suburb of Milwaukee, the Village of Shorewood is located just north of the city along Lake Michigan. Shorewood's two intersecting commercial corridors include many well-loved, older buildings and businesses. New multi-story mixed-use developments were being negotiated as planned unit developments in public forums.

Codametrics was hired to create a series of new mixed-use zoning districts with the goal of codifying the village's discretionary design guidelines, while creating a more predictable development approval process.

A series of community workshops were held to engage the community in order to ensure the appropriate scale for new development was documented. A working group of village commissioners, board members, and residents served as the sounding board for drafts of the forward-thinking code.

[LINK](#) to Village's zoning district online and click Commercial and Mixed-Use Zoning Districts



New mixed-use building in Shorewood that served as model for the new code.

Client Reference

Bart Griepentrog, Project Manager, Planning & Development Director
bgriepentrog@shorewoodwi.gov
(414) 847-2647

City of DePere Zoning Ordinance Rewrite

DEPERE WISCONSIN

The City of DePere has a unique, historic downtown split down the middle by the Fox River and surrounded by traditional neighborhoods.

Codametrics and Duncan Associates worked together on a comprehensive rewrite of the City’s zoning ordinance. The new ordinance combined new mixed-use zones addressing both the downtown and other commercial corridors with design standards for more predictable development processes. A mix of residential standards that legalized older, smaller historic lots; created a series of mixed residential types; and maintained simpler, more conventional suburban zones for recent neighborhoods.

[LINK](#) to the zoning ordinance online

Client Reference

Peter Schlein, Senior Planner
pschlein@deperewi.gov
(920) 339-4043 x 2



Downtown DePere historic building and new mixed-use building.

Village of Allouez Zoning Ordinance

ALLOUEZ WISCONSIN

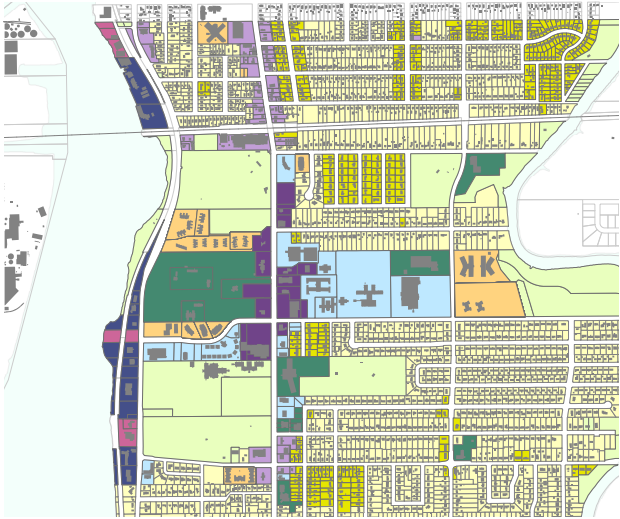
The Village of Allouez is adjacent to the city of Green Bay, along the Fox River, and developed in the early part of the 20th century without a traditional downtown. The new zoning code includes a series of new mixed-use districts addressing redevelopment for a proposed new village center as well as potential redevelopment of an old prison site. Several smaller nodes of neighborhood mixed-use include locations where houses have been converted to charming shops along main corridors.

Codametrics and Duncan Associates worked together to create the new zoning ordinance.

[LINK](#) to zoning code online

Client Reference

Trevor Fuller, AICP, Planning and Zoning Administrator
trevor@villageofallouez.com
(920) 448-2800, ext. 134



Mixed-use zones in Allouez shown on the new adopted zoning map, above, in shades of purple, as part of a village-wide zoning update.

Project Examples & References

Boulder Junction Form-Based Code BOULDER COLORADO

The City of Boulder hired Codametrics and their team to develop a pilot form-based code for Boulder Junction, a distinctive, complete neighborhood retaining some of its roots in small scale industrial activity and a multi-modal hub.

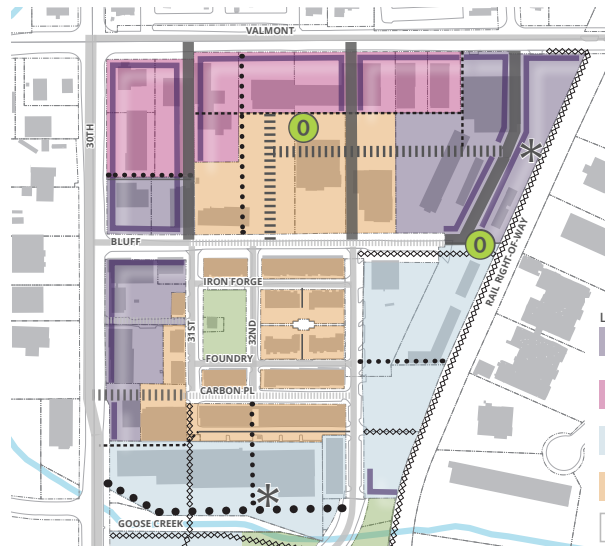
The pilot code is meant to implement a well regarded TOD master plan, resulting in a variety of housing types, a mix of office space and commercial space, and system of public spaces knitting it all together.

Since completing the pilot code, Codametrics amended the code to include the Alpine-Balsam development area and is currently working with the city on adding the East Boulder subarea.

[LINK](#) to code online (municode version)

Client Reference

Karl Guiler, Project Manager, Senior Policy Advisor
(303)441-4236
guilerk@bouldercolorado.gov



Regulating plans located building types and define requirements that are geographically specific.

Zone Hartford HARTFORD CONNECTICUT

Zone Hartford is a city-wide form-based code, developed closely with staff and the plan commission. Hartford has a high percentage of historic building stock, and new form-based regulations reinforce this traditional pattern of development. The new code focuses on creating detailed, context-based standards for the whole city, while also addressing concerning use issues associated with the commercial corridors and nodes within the neighborhoods.

[LINK](#) to City's website to access code online

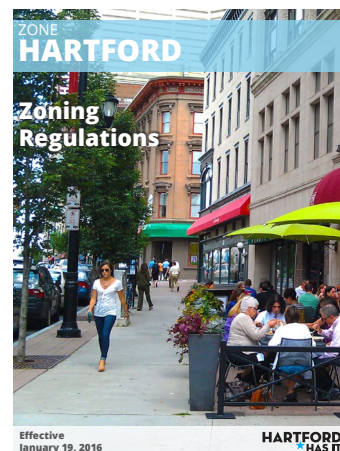
2020 Dreihaus Award Winner, Form-Based Codes Institute

Connecticut Chapter of the APA, Transformative Planning Award

New England Chapter of the CNU, 2016 Urbanism Award

Capital Region Council of Governments (CROG) 2016 Sustainability Award

Connecticut Main Street Center Catalyst Award



Client Reference

Caitlin Palmer, Project Manager: Zone Hartford
caitlin.palmer@crocg.org
(860) 522-2217 x4435

Moline Centre

MOLINE ILLINOIS

With the new bridge over the Mississippi River, a series of new opportunity sites became available in downtown Moline. Further, the city’s zoning ordinance included one zoning district for the entire downtown, even though multiple subareas exist.

A set of new mixed-use, downtown districts were crafted to address both preservation of the historic downtown core and infill and redevelopment both within the historic core and on the edges of the downtown. The new code is a form-based code, so the project was branded “Form for the Future” to encourage engagement from the community.

[LINK](#) to code online

Client Reference

Ryan Hvitløk, AICP, CFM, Assistant Director of Planning & Development Services

ryan.hvitlok@baytown.org
(281) 420-5397

MOLINE CENTRE FORM FOR THE FUTURE



ADOPTED April 18, 2023

MOLINE CENTRE DISTRICTS

Zoning and Land Development Code Update

Downtown Clarksville Form-Based Code

CLARKSVILLE INDIANA

Upon completion of the South Clarksville redevelopment plan, the Town of Clarksville hired Codametrics to develop a form-based code for the new downtown area. The process for developing the code included two community workshops and a steering committee of plan commissioners, developers, and residents. The resulting code is organized around a series of allowed building types in support of the redevelopment plan. New projects following the code are administratively approved.

Three new projects have come forward for approvals since the code was adopted and Codametrics assisted the town in the review of the projects. One project is a new mixed-use building on the main street through the site. Two other projects are larger redevelopment areas utilizing the projects "master plan sites" tool, incorporating new streets, open space, and a mix of building types on a larger parcel.

[LINK](#) to code online (municode version)



Rendering of new building designed with the form-based code. (bolt+tie.com)

Client Reference

Jacob Arbutal, Planning Director, Town of Clarksville
jarbutal@townofclarksville.com
(812) 283-1415

7 PROJECT TEAM QUALIFICATIONS



LESLIE OBERHOLTZER

AICP, PLA, LEED AP

CODAMETRICS

With over 35 years experience in site design and planning, Leslie has focused primarily on zoning for the last 20 years, writing dozens of zoning codes during that time. She is an urban designer and planner bringing a real-world perspective on zoning as well as exposure to leading edge sustainable site development and design practices.

Prior to starting Codametrics, Leslie worked as a landscape architect and designer at architecture and landscape architecture firms. She also served as an urban designer for the City of Austin and subsequently served as a member of the City's downtown design commission.

A certified planner, registered landscape architect, and LEED Accredited Professional with the US Green Building Council, Leslie is also certified with the National Charrette Institute. She currently serves on the Steering Committee for the Center for Zoning Solutions, an organization dedicated to advancing the best practices of zoning.

ROLE: Leslie will manage and direct the project and will be the primary codewriter.



KIRK BISHOP

DUNCAN ASSOCIATES

Kirk is a principal with Duncan Associates. During his 30 years with the firm he has served as a zoning and development code consultant to local governments throughout the U.S.

Kirk's substantial portfolio of work includes development ordinance revisions and code updates for dozens of local governments including several large cities, such as Chicago, Philadelphia, Pittsburgh, Kansas City, Detroit, Tulsa and Toledo. In recognition of his big city experience, he was invited by Harvard University and the Lincoln Institute of Land Policy to serve on a three-member panel of zoning advisors for planning directors of the 25 largest U.S. cities.

Kirk's background also includes code rewrites for many smaller communities and counties, as well as specialized zoning assignments for state and regional agencies.

ROLE: Kirk will advise on specific components of the projects, such as administration and procedures.

FEE QUOTATION

8

Our all-inclusive, not-to-exceed project cost is based upon the work plan detailed in Section D of this proposal and the project scope outlined in the request for proposal. Work will be invoiced monthly.

All deliverables will be supplied in digital PDF format, except the public open house materials and the final map and codes. Up to 10 open house posters will be printed. Once adopted, the GIS layer for the final map and the native file format for the code will be provided. Any additional requested printing will be billed at cost.

Additional services requested by staff and not outlined in the scope of work must be approved by staff in advance and will be billed hourly at the rates indicated below unless a formal proposal is requested.

This cost proposal is negotiable depending on the final scope of services and deliverables.

PHASES	FEES BY TASK	Estimated Hours by Task		
		Leslie Oberholtzer CODAMETRICS	GIS Technician CODAMETRICS	Kirk Bishop DUNCAN ASSOCIATES
1 Diagnosis & Project Directions	\$ 22,640	108	4	12
2 Initial Draft	\$ 93,220	470	60	24
3 Public Review Draft	\$ 20,730	100	4	12
4 Hearing Draft & Adoption	\$ 11,320	56	4	12
TOTAL PROPOSED PROJECT COST	\$ 147,910	696	72	60

FEE SCHEDULE

9

CODAMETRICS	Hourly Rate
Leslie Oberholtzer, Principal	\$ 175
GIS Technician/Planner	\$ 90
Architect/Planner	\$ 120
DUNCAN ASSOCIATES	
Kirk Bishop, Principal	\$ 185

CODAMETRICS
FROM PLANS TO PLACES