

COLUMBIA HEIGHTS

Community Development Department
590 40th Ave. NE, Columbia Heights, MN 55421

SITE PLAN APPLICATION (UNDER 1 ACRE) ORDINANCE NO. 9.104 (N)

This application is subject to review and acceptance by the City. Applications will be processed only if all required items are submitted.

PROPERTY INFORMATION

Proposed name of development: AFANDINA CAFE
Project Address/Location: 4001 UNIVERSITY AVE
Legal Description of property involved: LOTS 4, 5 and 6, AND HOP'S SUBDIVISION NO. 38, TOGETHER W/THE SOUTH 45 FEET OF THAT PART OF LOT 8, BLOCK 1, REARRANGEMENT OF BLOCK D, COL. HEIGHTS ANNEX, LYING E OF UNIVERSITY AVE AND WEST OF A LINE 128 FT WEST OF THE EAST LINE OF SAID LOT 8, EXCEPT ROAD,
Present use of property RESTAURANT SUBJECT TO EASEMENTS OF RECORD.
Proposed use of property RESTAURANT

PROPERTY OWNER (As it appears on property title):

Name: INVESTORS GROUP OF MINNESOTA
Mailing Address: 4001 UNIVERSITY AVE, COLUMBIA HEIGHTS, MN
City: COLUMBIA HEIGHTS State: MN Zip: 55421
Daytime Phone: 612 226 4058 Cell Phone: 612 226 4058
E-mail Address: Kaderlouie@gmail.com
Signature/Date: [Signature] 2/23/2021

APPLICANT:

Company Name (please print): AFANDINA CAFE
Contact Person (please print): LOUIE KADER
Mailing Address: 4001 UNIVERSITY AVE
City: COLUMBIA HEIGHTS State: MN Zip: 55421
Daytime Phone: 612 226 4058 Cell Phone: 612 226 4058
Email Address: Kaderlouie@gmail.com
Signature/Date: [Signature] 2/23/2021

Disclaimer: Information submitted, including contact information shall be made available to the public, unless otherwise noted.

COLUMBIA HEIGHTS

REASON FOR REQUEST (please attach a written narrative describing your proposal, the intended use of the property and justification for your request.)

FOR OFFICE USE ONLY

CASE NO: 2021.0401

APPLICATION REC'D BY: Aaron Chirpich

\$500 APPLICATION FEE REC'D: yes

DATE APPLICATION REC'D: 2/23/21

RECEIPT NUMBER: 70109

JIM MACKEY
ARCHITECT
1723 LAFOND AVENUE
SAINT PAUL MN 55104
PHONE/FAX (651) 644-0869
E-MAIL jim.mack@q.com

Afandina Cafe

4001 University Avenue
Columbia Heights, MN

Scope of Work (narrative)

Existing Restaurant with bituminous parking located at the northeast corner of intersection at 40th Avenue NE and University Avenue NE. We are proposing to add a paver patio with roof along the north wall of the existing 2 story building. A new upper level deck is proposed to be located along the east side of the proposed covered patio. These additions will help to increase guests as outside dining during late spring through early fall is an important feature for many visitors.

An existing wood deck with perimeter screen fence along the north edge of the property line will be removed in it's entirety. The deck was constructed around 3 existing pine trees of approximately 24" diameter and 40' (+) in height. Trees are to remain. The ground around the trees will be repaired and seeded.

Existing 6' high wood fence along the east and north property lines are to remain. Existing metal fence and gate along the west edge of the patio to remain. All fences that were added during the summer of 2020 along the east edge of the patio shall be brought to 6' height or removed. No fence/screen will be located along the north edge of the proposed patio (open to the pine trees).

Please contact the owner or architect with any questions.

Thank you for your consideration,

Louie Kader (owner)
612-226-4058

Jim Mackey (architect)
651-644-0869

Minerva Hark

From: Jim Mackey <jim.mack@q.com>
Sent: Wednesday, March 17, 2021 9:00 AM
To: Minerva Hark
Subject: Site Plan for Afandina Cafe

Good morning,
Here are answers to your questions.

1a) upper deck: 288 sq. ft.

1b) existing building: 2433 sq. ft.

*1c) patio: 833 sq. ft.

Aaron Chirpich had told us that we are good with 26 parking stalls. We would appreciate if you could check this. Let me know.

2) All existing fences will be remodeled to 6' height per city ordinances. We are not proposing any new fencing.

3) The proposed addition is an open, covered roof over the patio. The roofing would be fiberglass asphalt shingles, "weathered wood" which is a brown/gray mix (common color for several manufacturers). Edge rafters will be faced with rough-sawn plywood and stained.

Please contact me with any additional questions and comments.

Thank you,
Jim Mackey
651-644-0869

From: "Minerva Hark" <MHark@columbiaheightsmn.gov>
To: "Jim Mackey" <jim.mack@q.com>
Sent: Monday, March 15, 2021 4:28:12 PM
Subject: RE: Site Plan for Afandina Cafe

Jim,

Sorry to have missed you today. I had a few questions regarding this project that you can help clarify.

1. I noticed a parking calculation was not included on the site plans. Parking compliance is to be discussed in my upcoming report; however, not enough information was given to me to confirm that compliance. Please provide me with the following:
 - a. Square footage of upper deck (it's blurry on the plan set)
 - b. Square footage of existing buildingIf you're able to provide me with a parking calculation, that would be ideal. If not, we can work on it together.
2. There appears to be a slight discrepancy in the plans. One site plans shows existing 7-foot fencing, while another shows existing 6-foot fencing. Please make sure the plans are clear as to what is existing vs. proposed.
3. This proposed addition is subject to the design guidelines. This must be discussed in my upcoming report. Please indicate how the proposed addition will comply with out design guidelines.

Please let me know if you have any questions on these items. Be in touch soon.

Best,



Minerva Hark, MPA | City Planner
City of Columbia Heights | Community Development Department
590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: Minerva Hark
Sent: Monday, March 15, 2021 9:56 AM
To: 'Jim Mackey'
Subject: RE: Site Plan for Afandina Cafe

Thank you, Jim. I will call you around 3pm or earlier, once I finish a meeting. Talk to you then.

Best,



Minerva Hark, MPA | City Planner
City of Columbia Heights | Community Development Department
590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: Jim Mackey [<mailto:jim.mack@q.com>]
Sent: Monday, March 15, 2021 9:53 AM
To: Minerva Hark
Subject: Re: Site Plan for Afandina Cafe

*This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. **WHEN IN DOUBT, THROW IT OUT!***

Good morning,
I am available this afternoon after 1pm.
Thanks,
Jim Mackey
651-644-0869

From: "Minerva Hark" <MHark@columbiaheightsmn.gov>
To: "jim.mack@q.com" <jim.mack@q.com>
Sent: Monday, March 15, 2021 9:42:08 AM
Subject: Site Plan for Afandina Cafe

Good Morning Jim,

My Name is Minerva, and I am the new City Planner for the City of Columbia Heights. I am currently reviewing Louie Kader's application for an addition at Afandina Café. I wanted to briefly discuss the plans with you. Are you available to chat over the phone today? Let me know what time works best for you.

Thank you,

LEGAL DESCRIPTION:

Lots 4, 5 and 6, AUDITOR'S SUBDIVISION NO. 38, together with the South 45 feet of that part of Lot 5, Block 1, REARRANGEMENT OF BLOCK D, COLUMBIA HEIGHTS ANNEX, lying East of University Avenue and West of a line 128 feet West of the East line of said Lot 5, except road, subject to easements of record.

SCOPE OF WORK & LIMITATIONS:

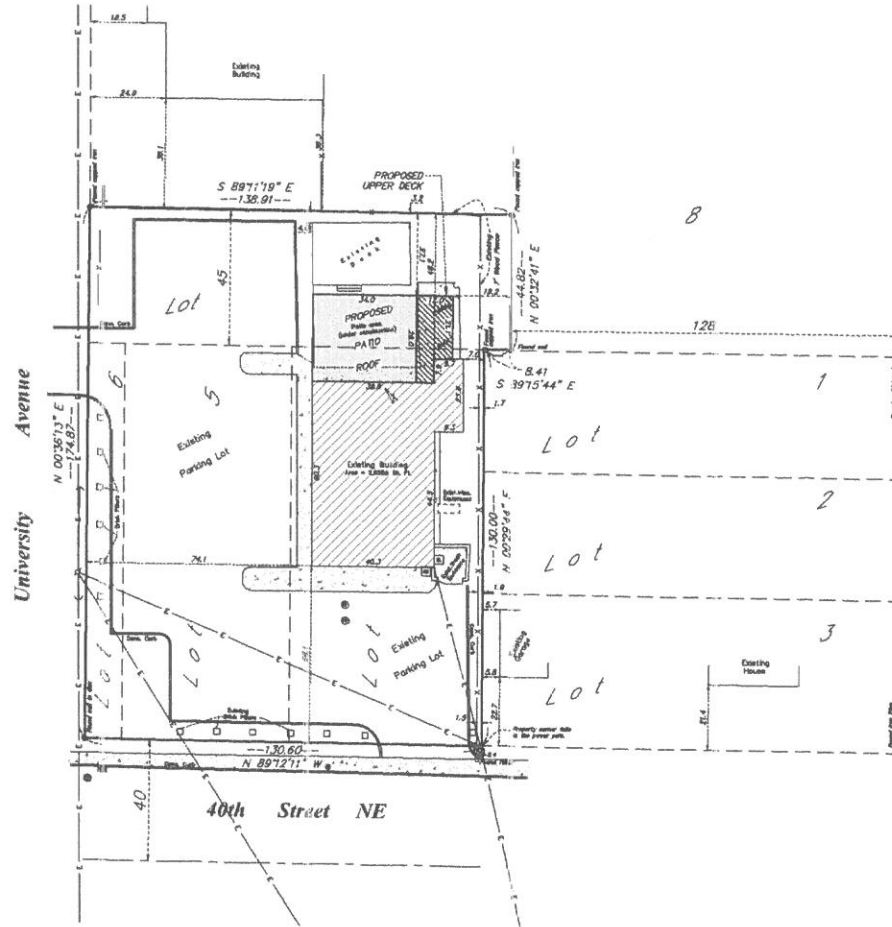
1. Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
2. Showing the location of observed existing improvements we deem necessary for the survey.
3. Setting survey markers or verifying existing survey markers to establish the corners of the property.
4. Existing building dimensions and setbacks measured to outside of siding or stucco.
5. This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown herein.
6. It should be noted that this survey was completed with significant snow coverage on site. We cannot be certain that all items were observed and located during the process of conducting the survey due to the snow cover. If this uncertainty is something you would like to remove, please expose all improvements and we can return to locate said items, if needed.
7. While we show a proposed location for this addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to such officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approval before beginning construction or planning improvements to the property.

STANDARD SYMBOLS & CONVENTIONS:

• Denotes iron survey marker, four (4) inch diameter.

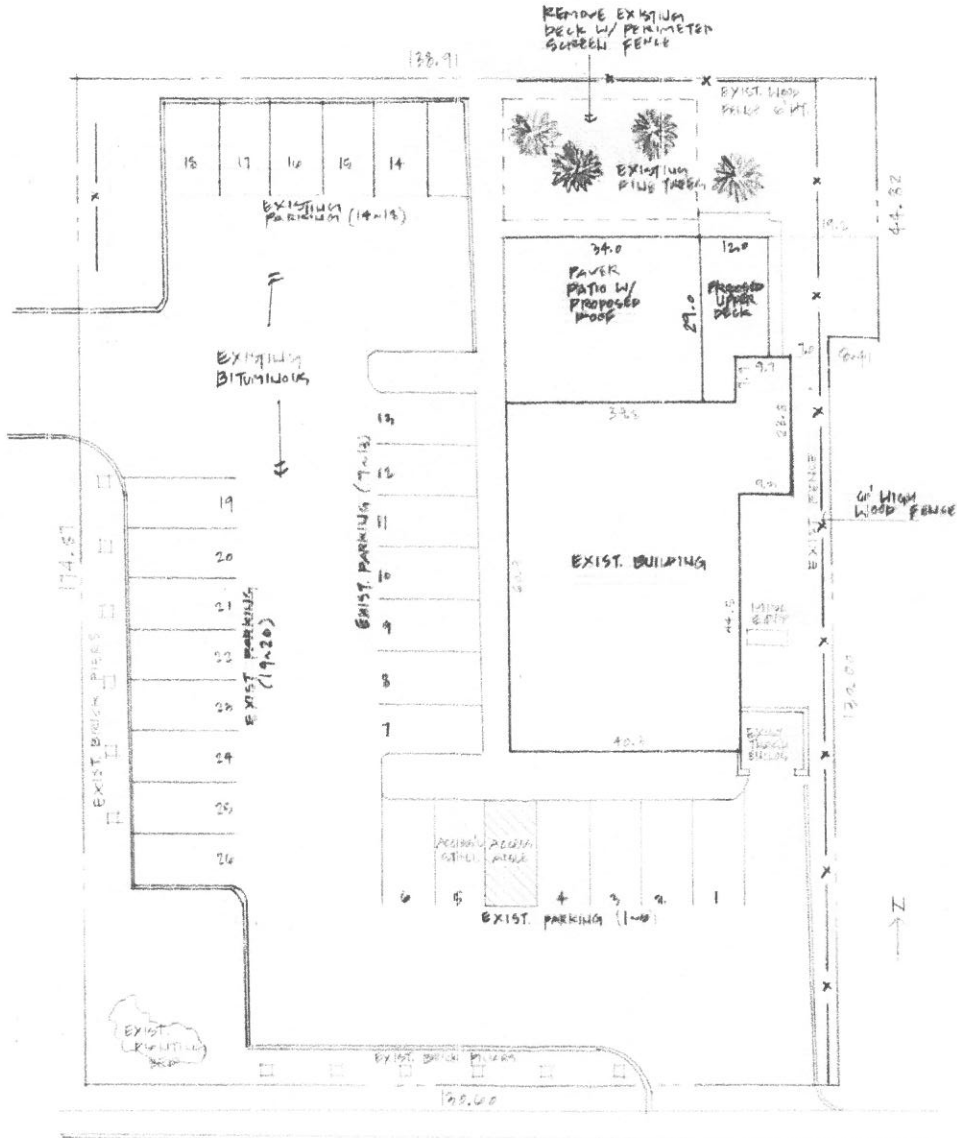
LEGEND

	IRON MARKER
	FENCE LINE
	PROPOSED SURVEY LINE
	CONCRETE
	OTHER SYMBOLS



DATE	REVISION DESCRIPTION	DRAWING ORIENTATION & SCALE	CLIENT/JOB ADDRESS	Advance Surveying & Engineering, Co. 17911 Highway No. 7 Minnetonka, Minnesota 55345 Phone (952) 474-7964 Web: www.advance.com	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A TRULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. <i>John B. Rabe</i> John B. Rabe PE 52716 LICENSE NO. JANUARY 15, 2021 DATE	DATE SURVEYED: JAN. 14, 2021 SURVEYED BY: ADVANCE SURVEYING & ENG., LTD. DATE DRAFTED: JANUARY 15, 2021	SHEET TITLE PROPOSED SURVEY SHEET SIZE: 22 X 34 DRAWING NUMBER 210022 JR	SHEET NO. S1
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UNIVERSITY AVE SERVICE DR




 723 LAFOND AVENUE
 SAINT PAUL, MN 55104
 PHONE/FAX 651-644-0869
 E-MAIL jim.mackey@q.com

I HEREBY CERTIFY THAT THIS
 PLAN, SPECIFICATION OR REPORT
 WAS PREPARED BY ME OR UNDER
 MY DIRECT SUPERVISION AND
 THAT I AM A DULY LICENSED
 ARCHITECT UNDER THE LAWS OF
 THE STATE OF MINNESOTA.
 James A. Mackey
 JAMES A. MACKEY
 DATE: 1/27/2021 LIC. NO. 13018

2/10/2021
 2/22/2021

Afandina Cafe
 Upper Deck + Paver Patio w/ Roof
 4001 University Ave, Columbia Heights

40TH STREET NE **SITE PLAN**
 1" = 20' - 0"

Afandina Cafe

Upper Deck + Paver Patio w/ Roof
4001 University Ave, Columbia Heights



1723 LAFOND AVENUE
SAINT PAUL, MN 55104
PHONE/FAX 651-644-8869
E-MAIL jim.mackey@gmail.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

James A. Mackey
DATE 9/21/2020 LIC. NO. 32088

REV 9/21/2020
1/12/2021
2/10/2021
2/22/2021

Larson
Larson Specialty Structures, Inc.
104 South Lake Drive
Lansburg, FL 34788
813 747 2842

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Wayne C. Larson
Date 9-9-2020 License #7781

CONSTRUCTION NOTES

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. GUARDRAILS INSTALLED PER THE 2020 MINNESOTA BUILDING CODE.
3. EXTEND TREATED 6X6 POSTS ABOVE FOR GUARDRAIL AND WOOD SCREEN. NOTCH AT DOUBLE RIM BEAMS AND FASTEN TO INSIDE FACE OF BEAMS WITH (4) 3/2" LEDGERLOK SCREWS.
4. ATTACH BEAMS TO TOP OF COL. MNS WITH SIMPSON COLUMN CAPS W/ 3 1/2" BEAM FLANGES.
5. BRACE ALL BEAMS AND RIMS TO COLUMNS WITH 2X6 TREATED BRACE, EXTEND 2'-0" VERTICALLY.
6. STAIRS: 2X12 TREATED STRINGERS @ 12" O.C. / (2) 2 1/4 X 6 TREATED PER TREAD 1" CLEAR WITH 1" NOSING / 7" MAX RISERS - 2X6 TREATED RISER BOARDS. SEE CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
- 7.

REMOVE EXISTING DECK & PERIMETER GROUND FENCE IN ITS ENTIRETY

REMOVE PORTION OF BRACE PER OPENING TO PATIO EXTENSION AND BRACE NEW PATIO POST AS NECESSARY, BRACE VERTICALLY

EXISTING TAP SINK OCCUPIES 24" TO 26" WITH 6X6X6 PIERCE

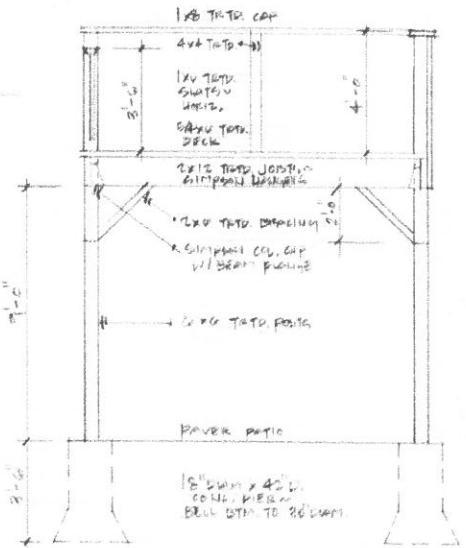
SEE CALLOUT 2 FOR PATIO ROOF PROVISIONS & ELEV.

CODE SUMMARY

SCOPE OF WORK:	PROPOSED PAVER PATIO W/ ROOF & NEW UPPER DECK FOR EXISTING RESTAURANT.
APPLICABLE CODES:	2020 MINNESOTA BUILDING CODE 2020 MINNESOTA ACCESSIBILITY CODE 2020 MINNESOTA STATE BUILDING CONSERVATION CODE 2020 MINNESOTA STATE MECHANICAL AND FUEL GAS CODE 2020 MINNESOTA STATE FIRE CODE 2020 MINNESOTA STATE PLUMBING CODE 2020 NATIONAL ELECTRIC CODE
OCCUPANCY TYPE:	A-2 (MBC 303.1)
CONSTRUCTION TYPE:	V-B (MBC TABLE 504.4 + 506.2)
SEATING:	40 SEATS (EXISTING INSIDE) 32 SEATS (PROPOSED PATIO) (SEASONAL) 12 SEATS (PROPOSED UPPER DECK) (SEASONAL)
OCCUPANT POSTING:	OCCUPANT LOAD MUST BE POSTED NEAR MAIN EXIT PER MBC 1004.5
ACCESSIBLE DINING:	A MINIMUM OF 5% OF DINING SURFACES MUST BE ACCESSIBLE AND DISTRIBUTED THROUGHOUT THE FACILITY
EXIT LIGHTING:	LED TYPE EXIT/EMERGENCY LIGHTS MUST BE LOCATED AT EACH EXIT (EXISTING)
PLUMBING FIXTURES:	REQUIRED FIXTURES: 1 WC / 1 LAV EACH SIX + SERVICE SINK EXISTING PROVIDED: 1 WC / 1 LAV EACH SIX + 1U @ MENS + SERVICE SINK
SIGNAGE:	TACTILE SIGNAGE SHALL BE PROVIDED AT ALL RES./ROOMS PER THE MINNESOTA STATE BUILDING CODE (EXISTING)

DECK FOUNDATION PLAN

3/16" = 1' - 0"



DECK SECTION

1/4" = 1' - 0"

Afandina Cafe

Upper Deck + Paver Patio w/ Roof
4001 University Ave, Columbia Heights

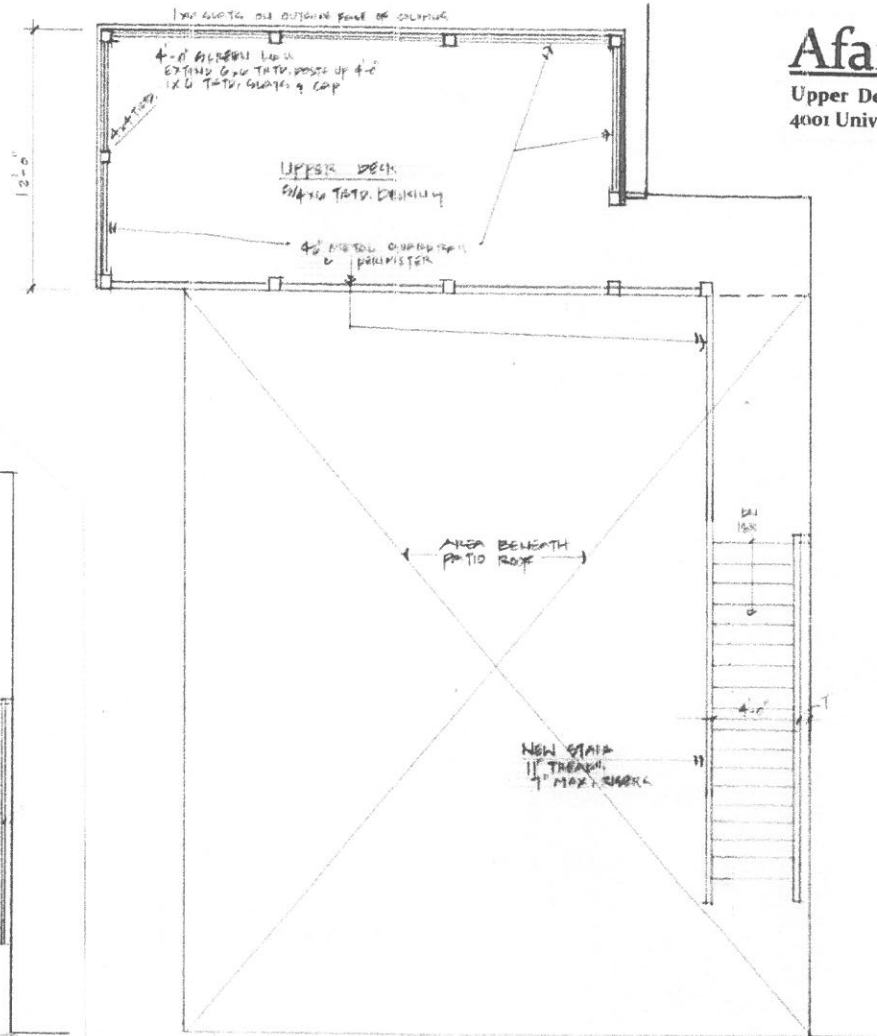


1723 LAFOND AVENUE
SAINT PAUL, MN 55104
PHONE/FAX 651-444-0869
E-MAIL jim.mack@q.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

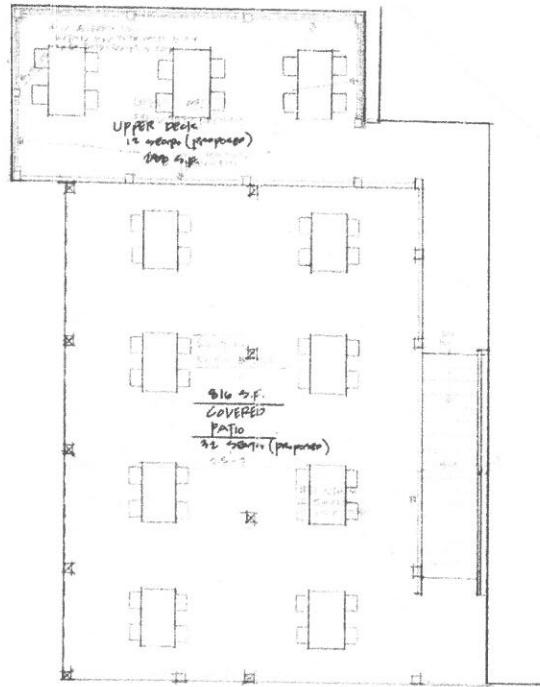
James A. Mack
JAMES A. MACK
DATE 2/23/2021 LIC. NO. 23008

REVISED
1/12/2021
2/16/2021
2/23/2021



UPPER DECK PLAN

3/16" = 1' - 0"



SEATING LAYOUT

PATIO/UPPER DECK

Afandina Cafe

Upper Deck + Paver Patio w/ Roof
4001 University Ave, Columbia Heights

PATIO ROOF



1723 LAFOND AVENUE
SAINT PAUL, MN 55104
PHONE/FAX 651-644-0869
E-MAIL jim_mackey@q.com

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James A. Mackey
JAMES A. MACKAY
DATE 11/9/20 LIC. NO. 23018

REV 11/9/2020
2/10/2021

M.W. Hostetler, Inc.
Structural Engineer

5709 Lake Rose Drive
Minnetonka, MN 55345
(952) 500-2897
markhost@comcast.net

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

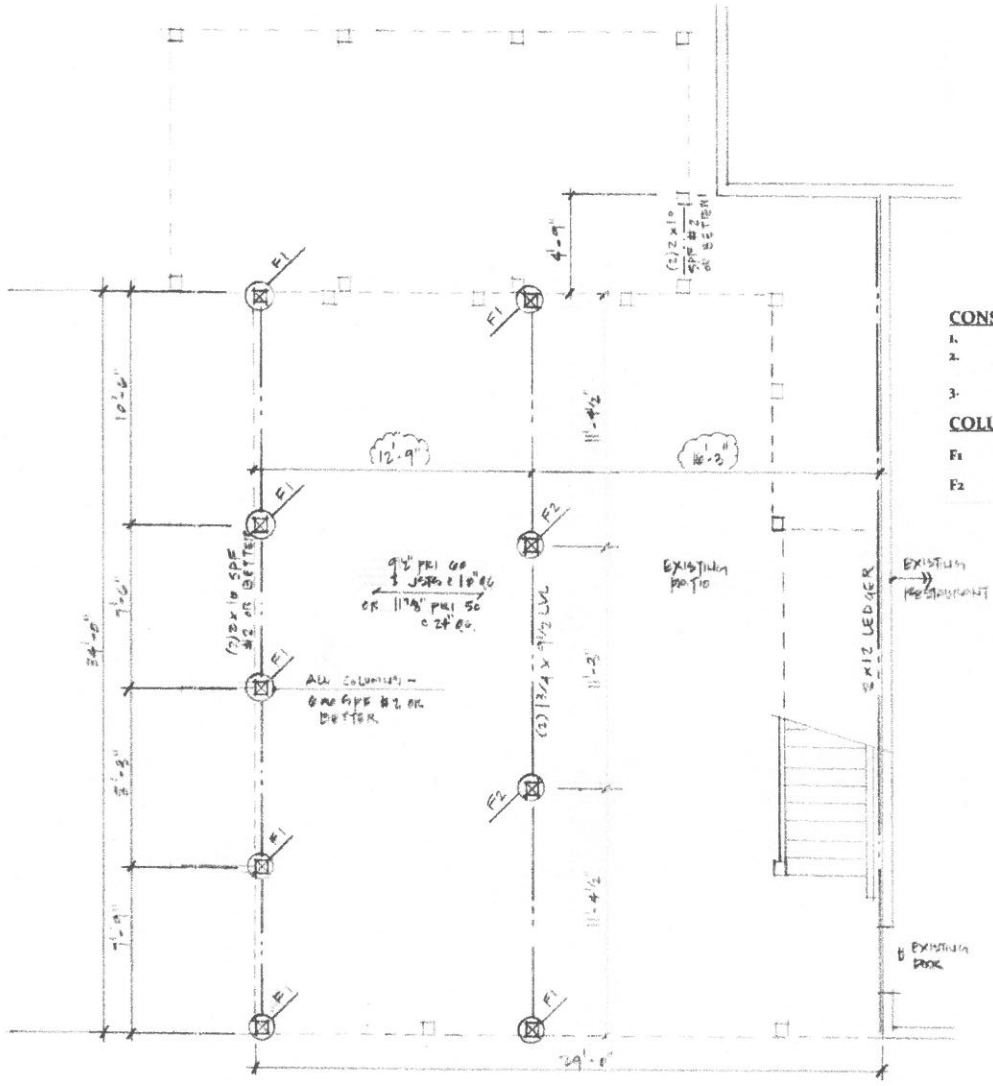
Mark Hostetler *Mark Hostetler*
Date 11-5-2020 Reg. No 19906

CONSTRUCTION NOTES

1. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.
2. BRACE ALL BEAMS AND RIMS TO COLUMNS WITH 2X6 TREATED BRACE, EXTEND 2'-0" VERTICALLY.
3. SEE CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.

COLUMN FOOTING SCHEDULE

- F1 18" DIAMETER X 42" DEEP CONCRETE PIER, BELL BOTTOM TO 24" DIAMETER
- F2 18" DIAMETER X 42" DEEP CONCRETE PIER, BELL BOTTOM TO 30" DIAMETER



PATIO ROOF FRAMING PLAN
3/16" = 1' - 0"

Afandina Cafe

Upper Deck + Paver Patio w/ Roof
4001 University Ave, Columbia Heights

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

STRUCTURAL ONLY

Mark Hostetler

Mark Hostetler

Date 11-5-2020

Reg. No 19906

SPURCE-MAKING & MOSS COLLECTOR TOOL, REPAIR AS NEEDED
TREATED 2x4 w/ FURTERALLOY CAP
FRANKLIN CO

2x12 LEDGER OR ATTACH TO BUILDING WITH LEDGER LOK EXCEPT TOP & BOTTOM & BRACK WALL STOP

LEDGER DETAIL

1" : 1'-0"

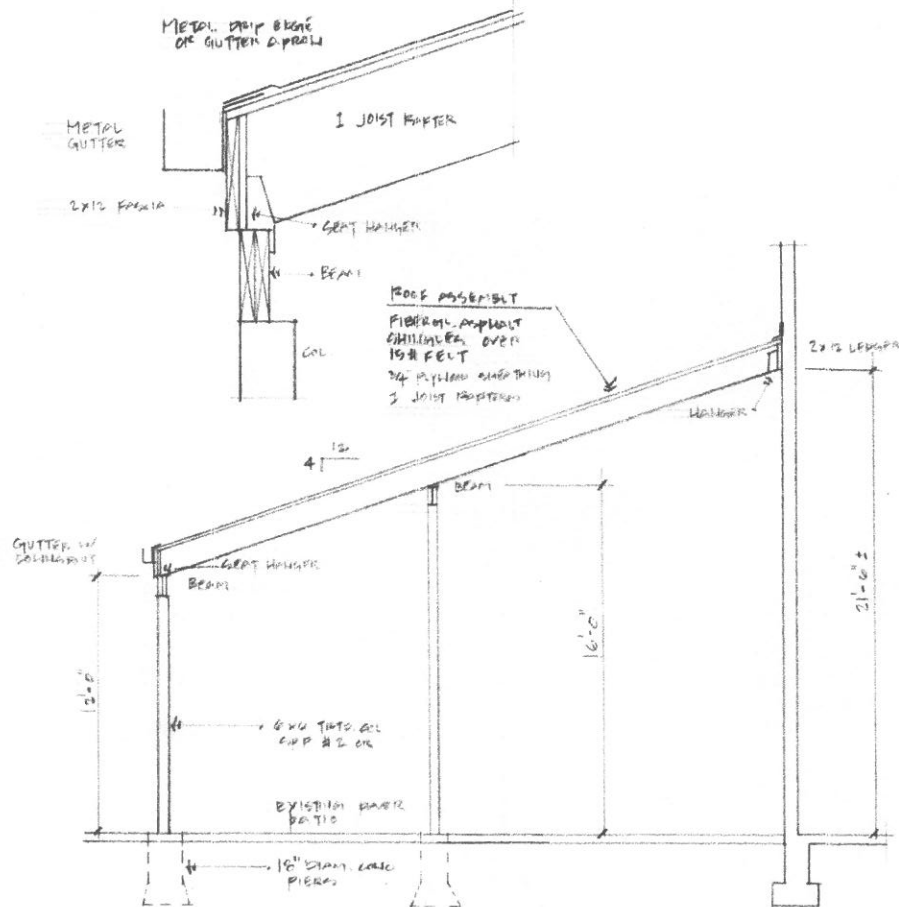


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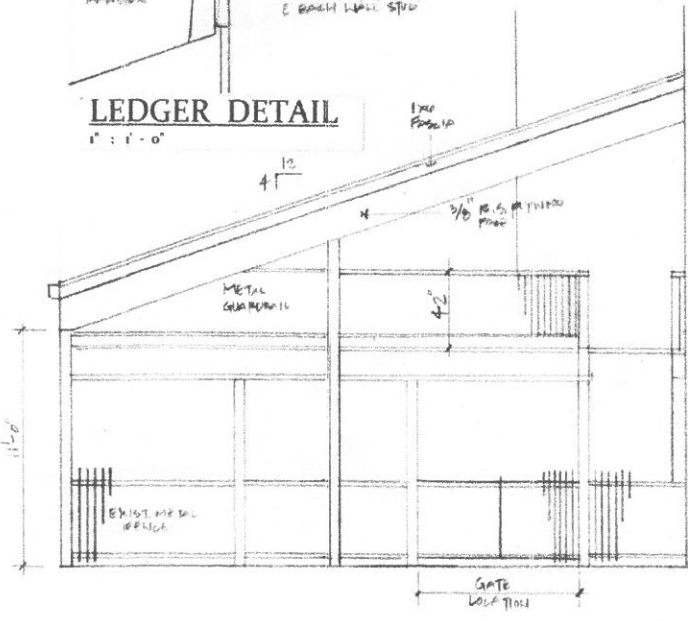
James A. Mackey
JAMES A. MACKAY
DATE: 11/9/20 LIC. NO. 23028

REV 11/9/20
1/12/2021
2/1/2021
2/22/2021



SECTION

3/16" : 1'-0"



WEST ELEVATION

3/16" : 1'-0"

Minerva Hark

From: Minerva Hark
Sent: Monday, March 29, 2021 9:10 AM
To: [REDACTED]
Subject: RE: Public Hearing - 4001 University Ave NE
Attachments: 3a2.FULL APPLICATION.PDF

Good Morning [REDACTED]

Thank you for your email and insight on this property. This project came about due to the code violations that are currently on-site (construction without permits, unkempt property, over-height fencing, building too close to property lines, etc.). Through this application, the owner has proposed an attached patio setback 27.1 feet from the rear/north property line, and 19.2 feet from the side/east property line. If the Planning Commission approves the project, building permits will be obtained and the City will be inspecting the property throughout the construction process. Additionally, the unpermitted deck shall be removed as part of this project. I have attached the proposed plans for your review.

I will be adding your photos and comments to the file with full anonymity. Again, I really appreciate you sharing your insight, and hope that these issues can be resolved through the planning process.

Best,



Minerva Hark, MPA | City Planner
City of Columbia Heights | Community Development Department
590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: [REDACTED]
Sent: Sunday, March 28, 2021 5:12 PM
To: Minerva Hark
Subject: Public Hearing - 4001 University Ave NE

Hello Minerva,

My name is [REDACTED]. I own and live at [REDACTED] with my wife and son. [REDACTED] please see the map or come take a look to see the closeness of our home to Afandina. Afandina has already constructed and been using this proposed dining area for customers and what I assume is large family gatherings, since spring 2020. There has been lot of noise, bad smells(burning stuff), and big fires that have gone past midnight. We bought this house two years ago in a condemnable/tear down condition and have since fix it to new condition in turn invested in the city of Columbia Heights. We have seen that both Afandina and Madina Academy have no respect for their neighbors. They both leave trash and garbage all over, have mismatched tarps/plastic coverings on the outdoor area, do no fall clean up, and in the summer they let weeds grow over 3 feet tall.(I have attached pictures of Afandina taken 3/28/21.) It is disappointing to see the very low standard the academy/daycare has been held to, and it is concerning where Afadinas will go once given the green light on their project. Both of these properties are a detriment to our city as they have proven time and time again with their neglect of basic maintenance, cleanliness, and noise consideration that they have no integrity. Both of these properties have greatly devalued ours and we would not consent to them expanding.

We would like for our names and email to remain anonymous. Also any information in this email that would give away our identity to be withheld from the public.



