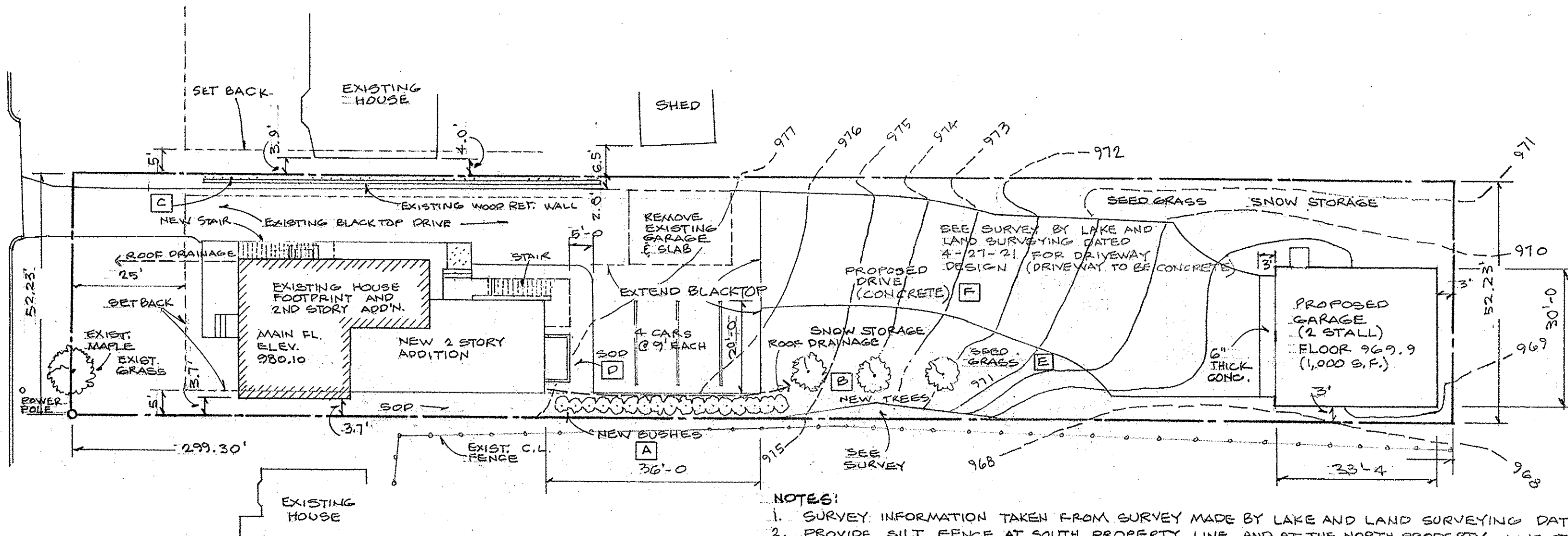


HAYES ST. N.E.



SITE PLAN
1" = 20'-0"
NORTH

GRADING PLAN
PLANTING PLAN
DRAINAGE PLAN

0 5 10 20 40

NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY MADE BY LAKE AND LAND SURVEYING DATED MARCH 25, 2021
2. PROVIDE SILT FENCE AT SOUTH PROPERTY LINE AND AT THE NORTH PROPERTY LINE STARTING AT THE WOOD RET. WALL
3. PLANTING RECOMMENDS:
 - [A] NEW SHRUBS (17) "HONEYSUCKLE (DWARF) POTTED
 - [B] NEW TREES (3) 3" DIAMETER "SEEDLESS SUGAR MAPLE - INSTALL WITH TRIANGULAR ROPE BRACE.
 - [C] PERENNIAL FLOWERS "CAT MINT LAVENDER" OR CHOSEN COLOR - PLANT IN CLUSTERS OF 7 WITH A 12" SKIP.
 - [D] INSTALL BETWEEN THE PROPERTY LINE AND THE WOOD TIMBER RETAINING WALL - APPROX. 28
 - [E] INSTALL SOD OVER PREPARED 4" THICK BLACK DIRT AND WATER UNTIL ROOTED.
 - [F] INSTALL CERTIFIED NORTHERN LAWN GRASS OVER 4" PREPARED BLACK DIRT AND WATER UNTIL ESTABLISHED. PROVIDE STRAW MAT COVER WHERE THE GRADE IS STEEPEST. VERIFY WITH NURSERY PROVIDER REGARDING EXACT SPECIES AND HARDINESS
 - [F] INSTALL R. CONCRETE 5" THICK OVER A 4" CLASS IX GRAVEL COMPACTED BASE.

REVISIONS:

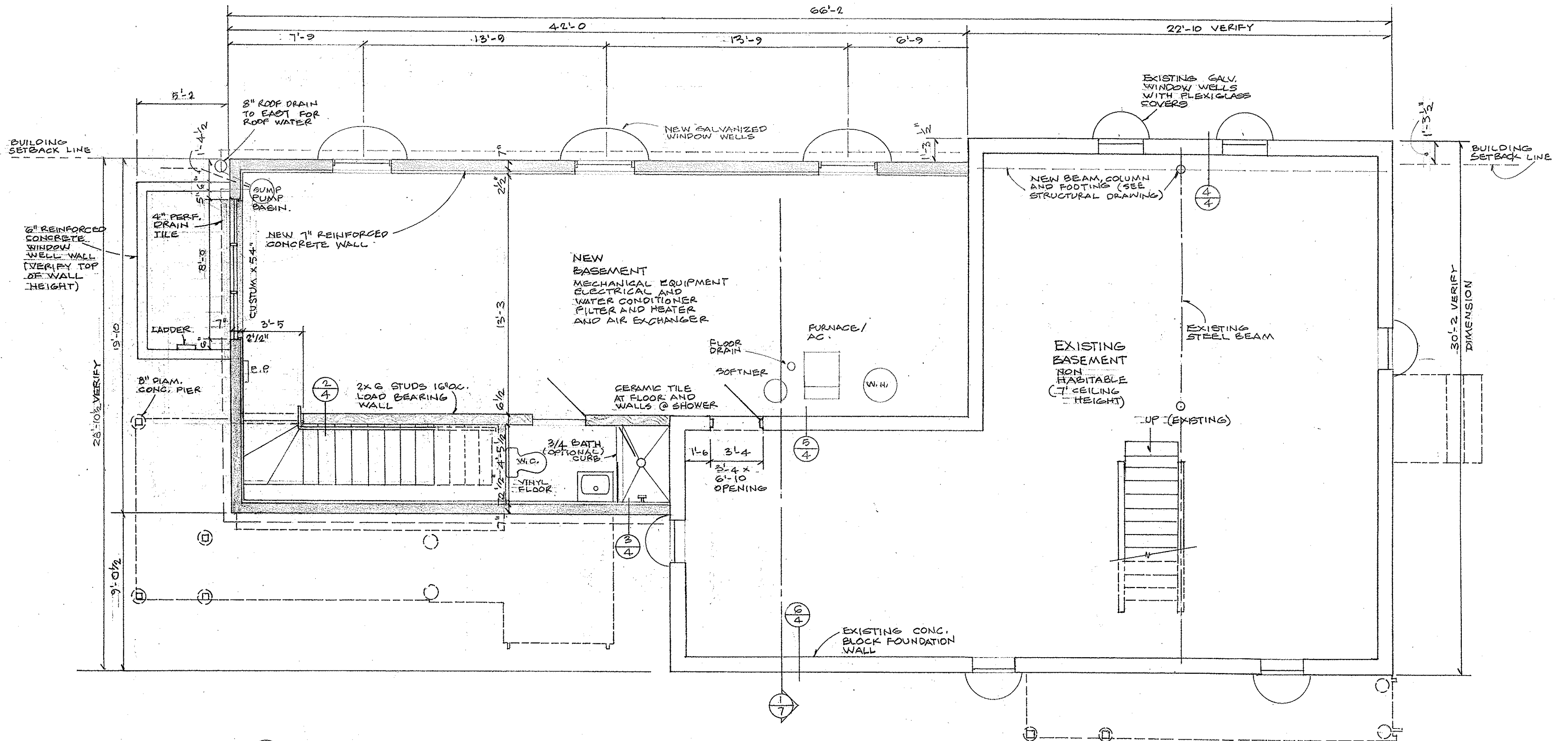
1. MAY 1, 2021 ADDED PLANTING AND GRADING PLANS AND GARAGE
2. SETBACK CHANGE
3. 6-24-21 ADD NOTE TO DRIVEWAY

NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY
 For: Manual Romero, 3927 Hayes Street NE
 Columbia Heights, MN 55412
 By: Meinhardt/Associates/Architects
 829 Quimby Ave NW
 Cokato, MN 55321
 612-581-5056

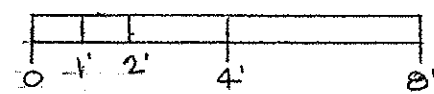
I hereby certify that this plan, specification or Report was prepared by me or under my direct Supervision and that I am a duly Registered Architect Under the laws of the State of Minnesota

Don Meinhardt

Don Meinhardt
 Date: 4-16-21 Reg. No. 9339



⊕ BASEMENT
 1/4" = 1'-0"



SQUARE FOOTAGE = SEE SHEET 3

REVISIONS:
 1, JUNE 4, 21 SETBACK CHANGE

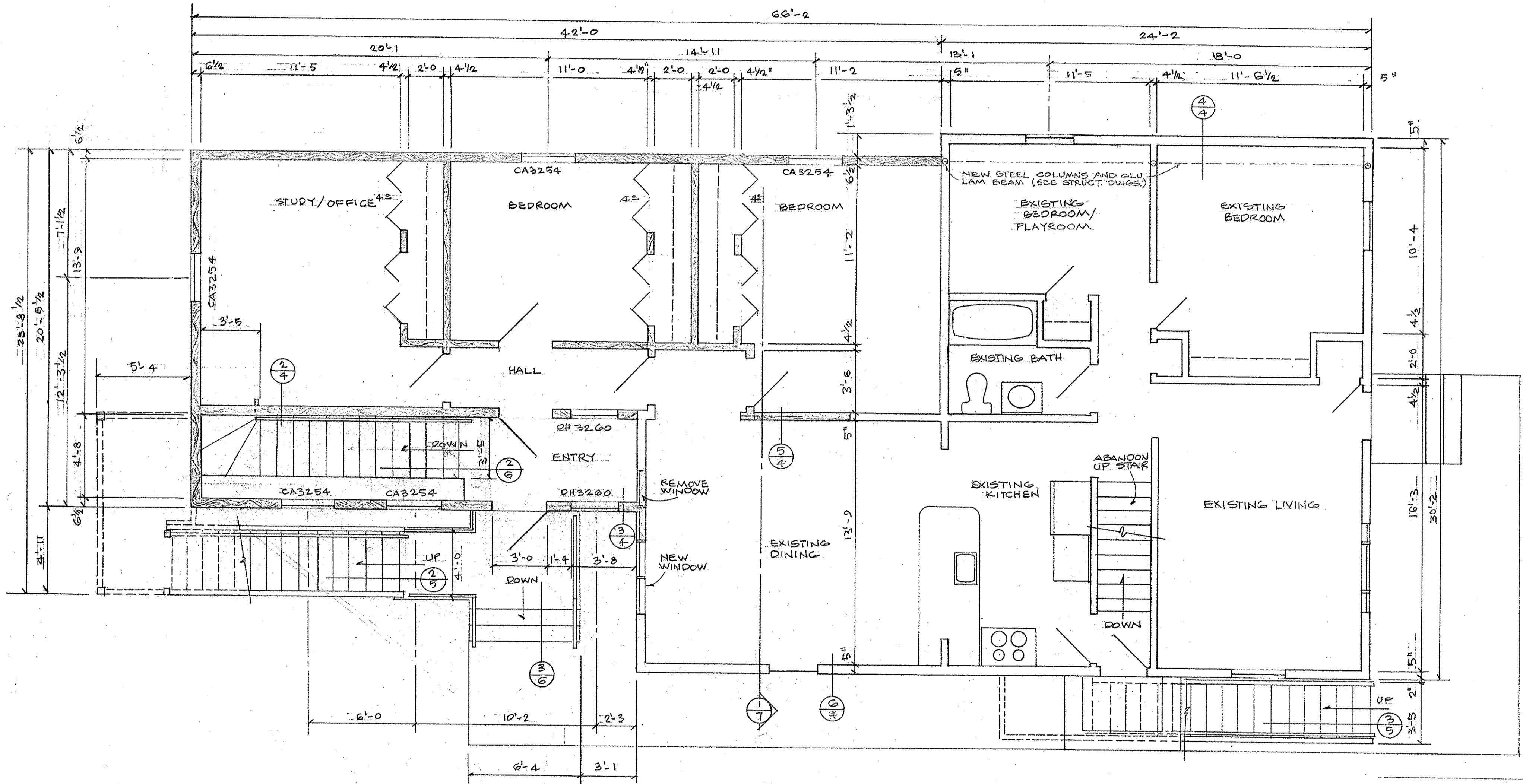
NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY

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 Columbia Heights, MN 55412
 By: Meinhardt/Associates/Architects
 829 Quimby Ave NW
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 612-581-5056

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Don Meinhardt
 Don Meinhardt

Date: 4-16-21 Reg. No. 9339

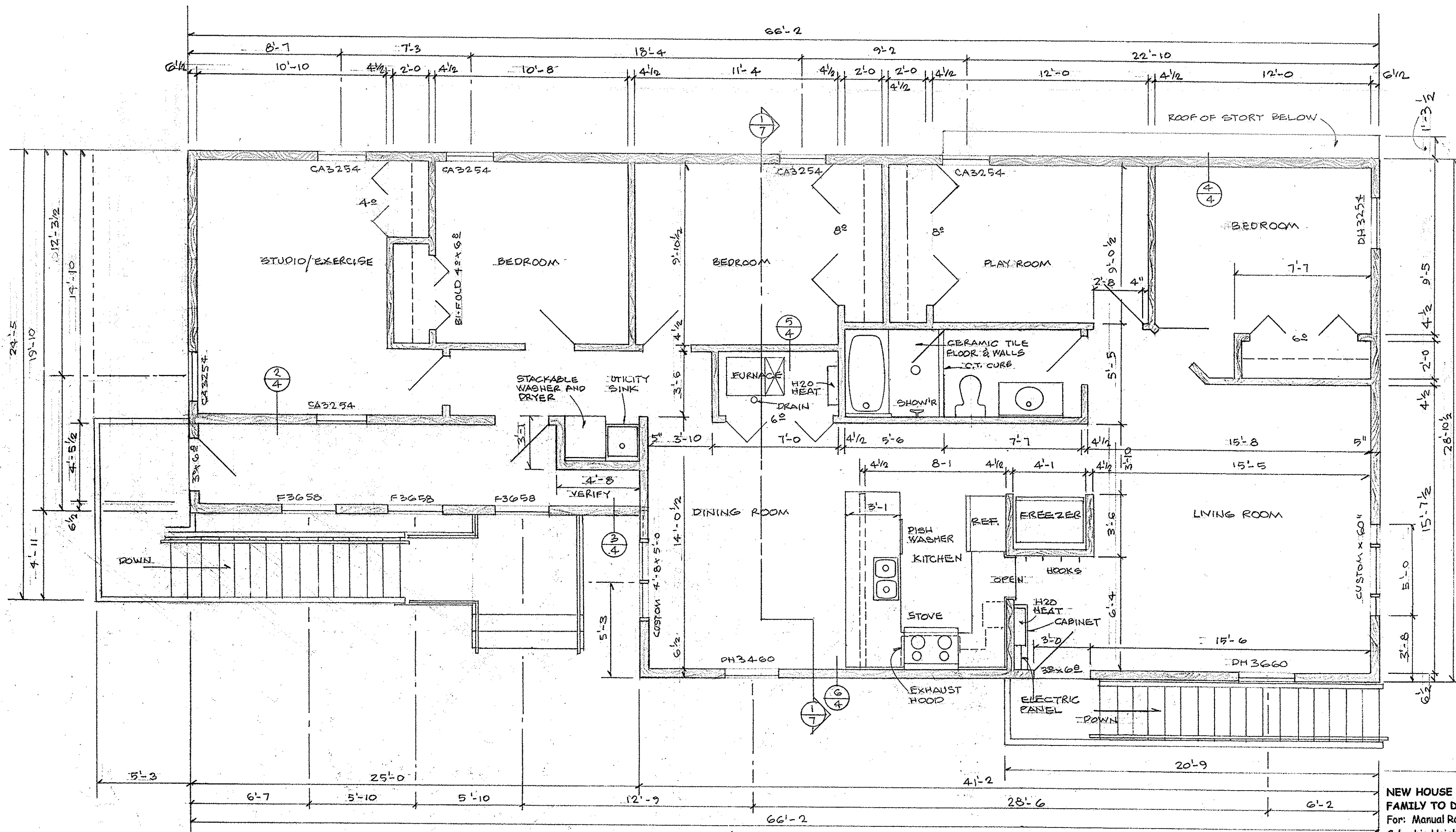


1 1ST FLOOR PLAN
 2 1/4" = 1'-0"
 SQUARE FEET = 1,605

- REVISIONS
 1. JUNE 4, 21 SETBACK CHANGE
 2. ADDED STEEL COLUMNS AND GLU-LAM BEAMS

NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY
 For: Manual Romero, 3927 Hayes Street NE
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 By: Meinhardt/Associates/Architects
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 Don Meinhardt
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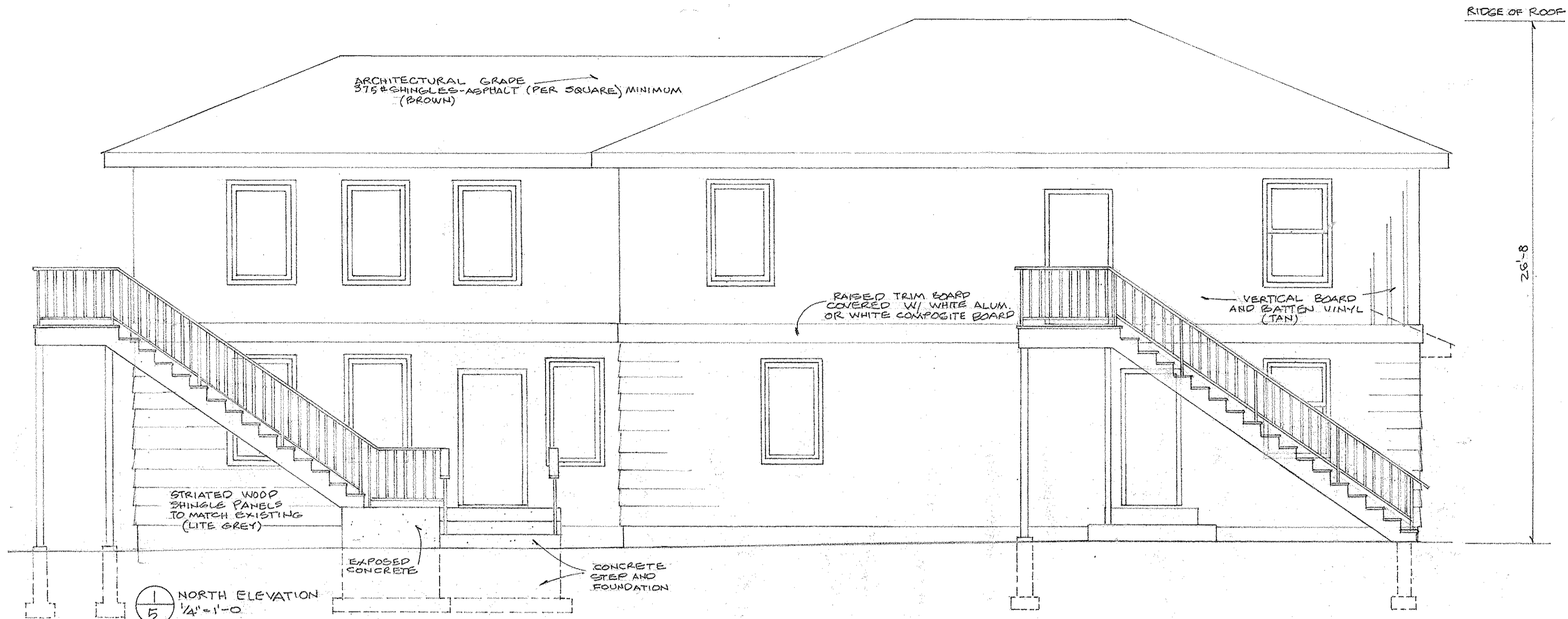


1
3 2ND FLOOR PLAN (ALL NEW)
1/4" = 1'-0"

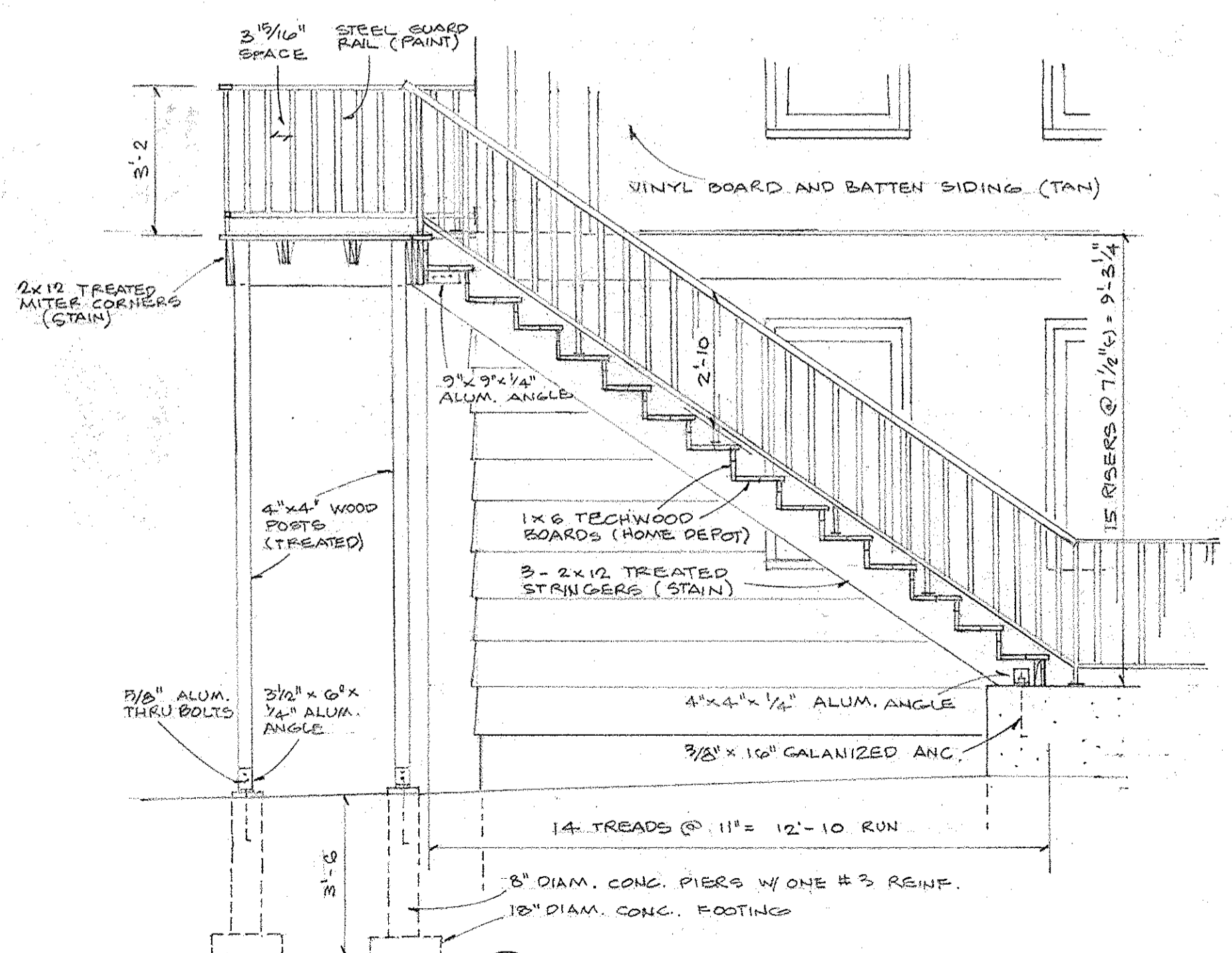
SQUARE FEET = 2527 NOT INCLUDING EXISTING BASEMENT
TOTAL SQUARE FOOTAGE FOR LOWER AND UPPER UNITS = 4,132

REVISIONS
1. JUNE 4, '21 SETBACK CHANGE

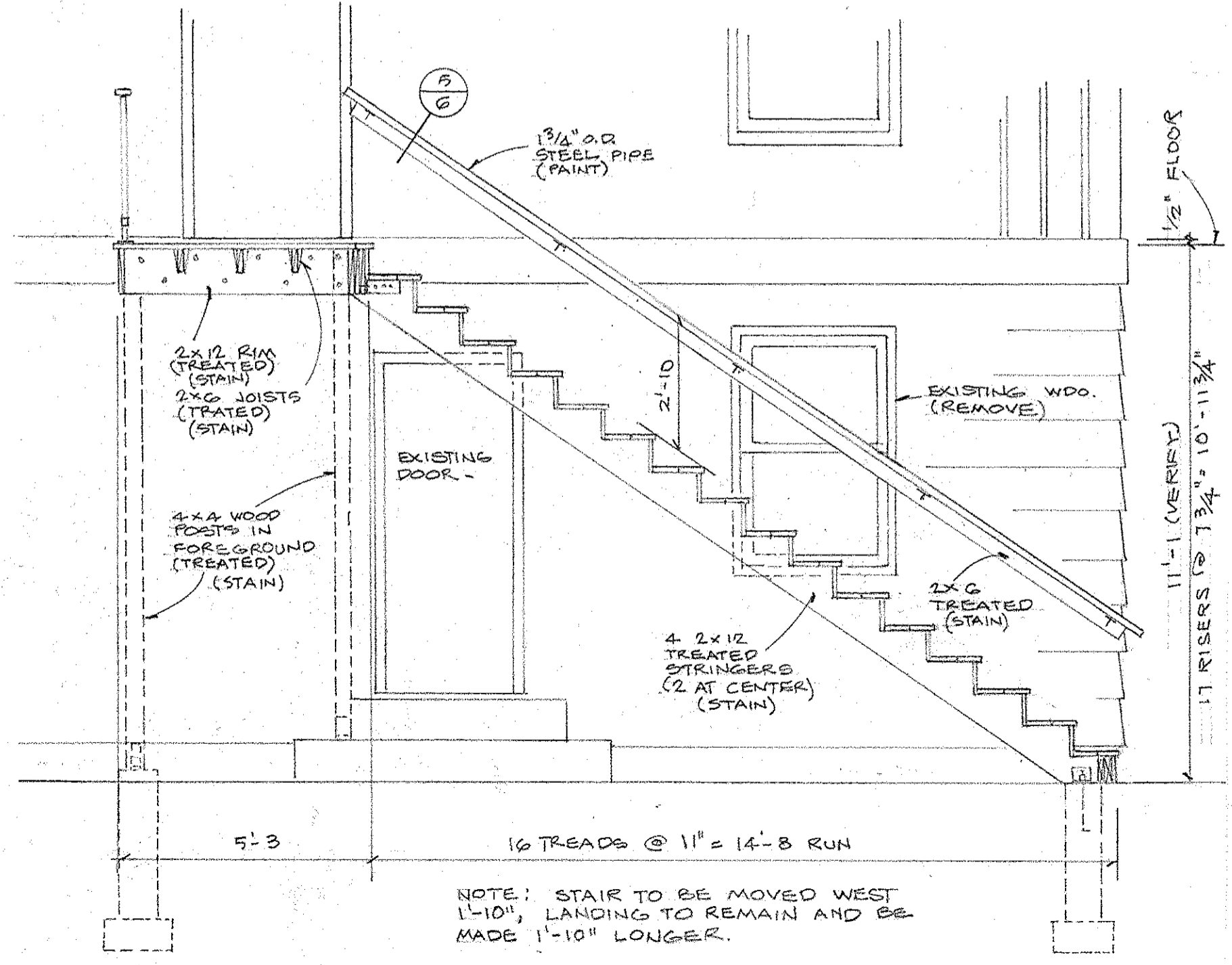
NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY
For: Manuel Romero, 3927 Hayes Street NE
Columbia Heights, MN 55412
By: Meinhardt/Associates/Architects
829 Quimby Ave NW
Cokato, MN 55321
612-581-5056
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Don Meinhardt
Don Meinhardt
Date: 4-16-21 Reg. No. 9339



1 NORTH ELEVATION
1/4" = 1'-0"

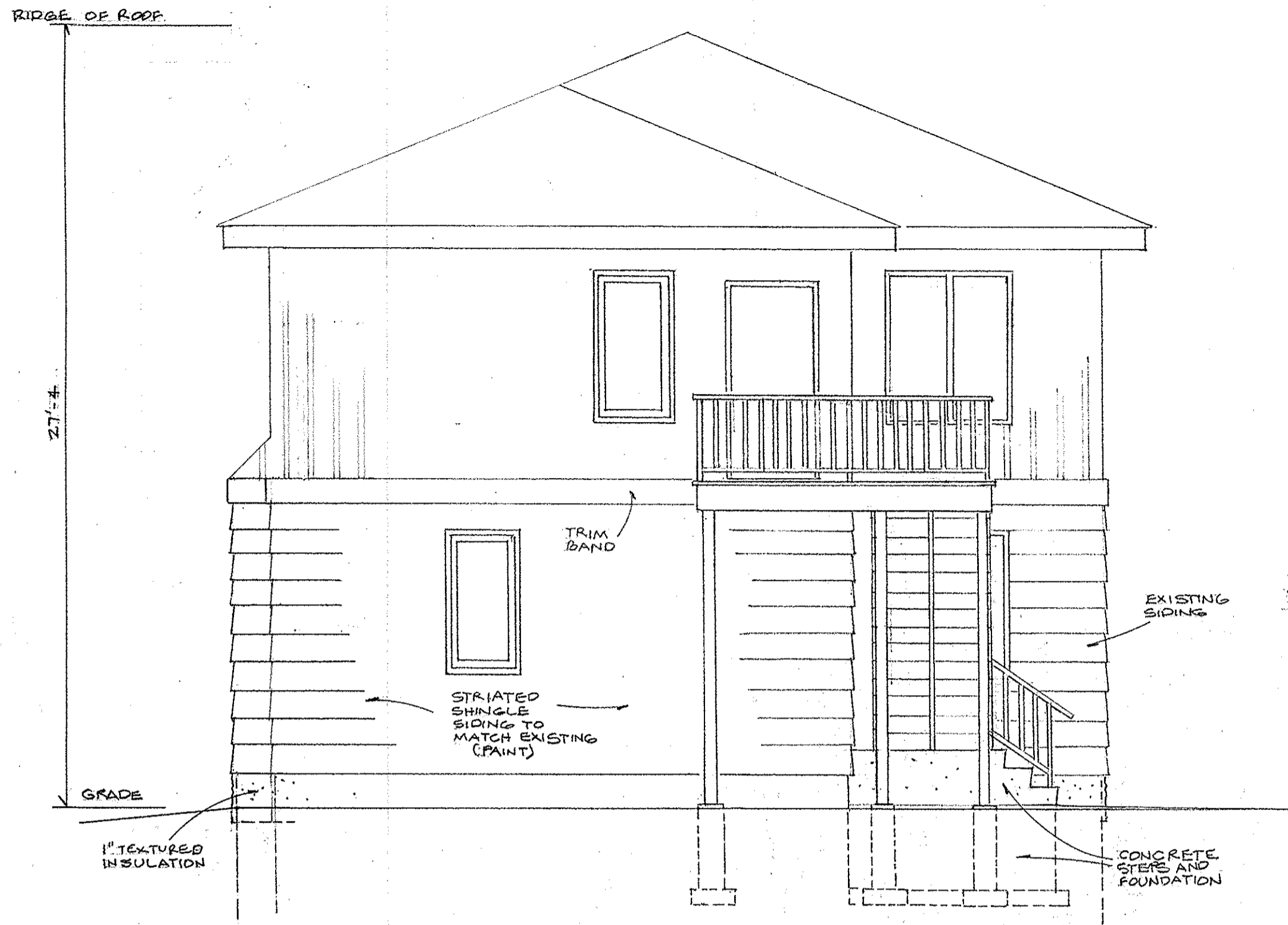


2 STAIR SECTION
3/8" = 1'-0"

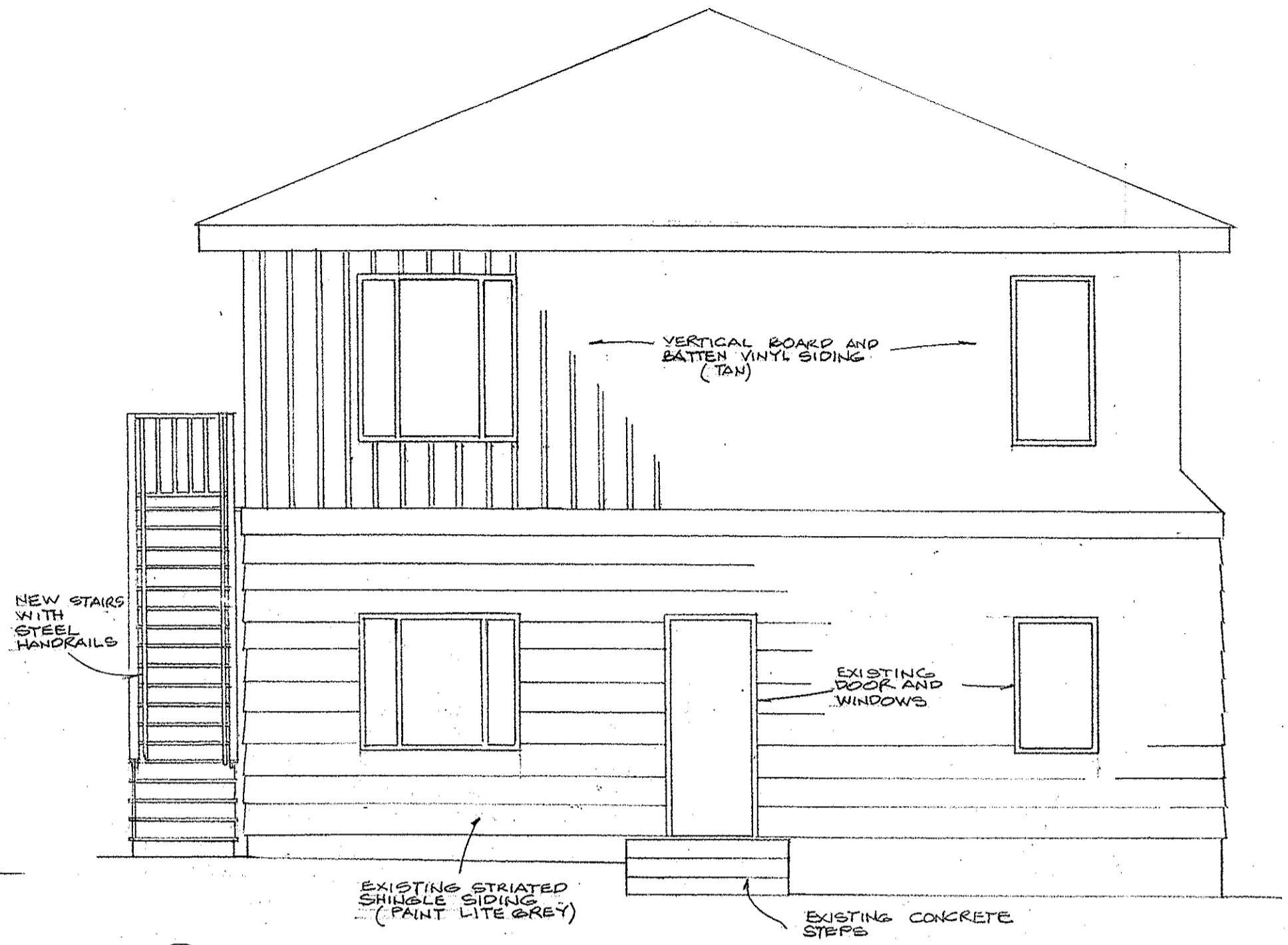


3 STAIR SECTION
3/8" = 1'-0"

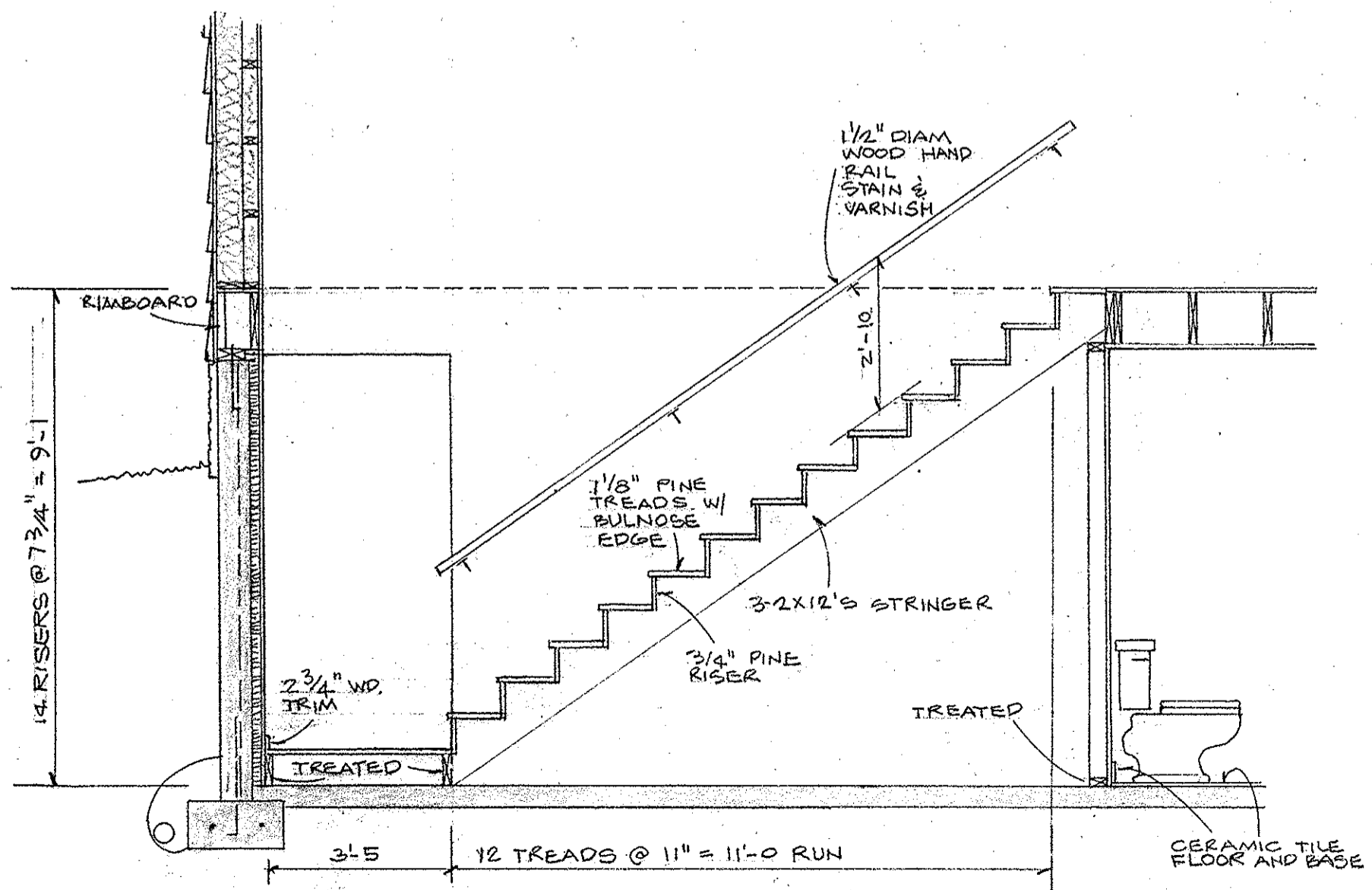
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Don Meinhardt
 Don Meinhardt
 Date: 4-16-21 Reg. No. 9339



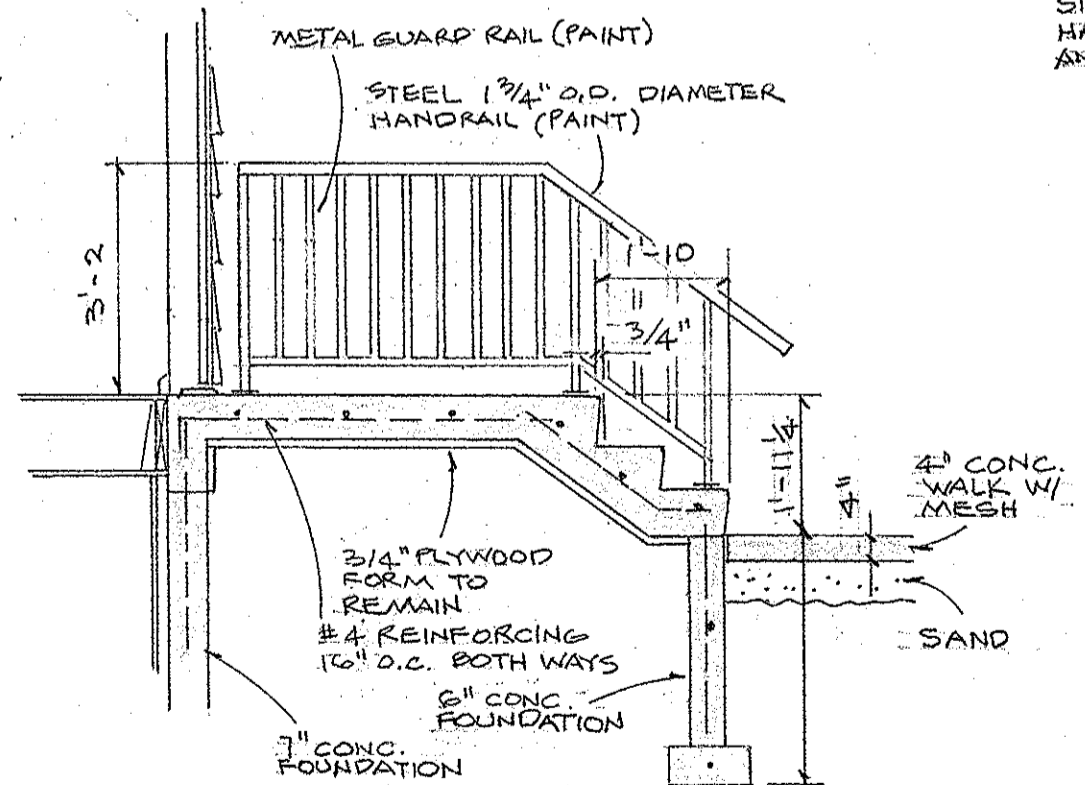
1 WEST ELEVATION
1/4" = 1'-0"



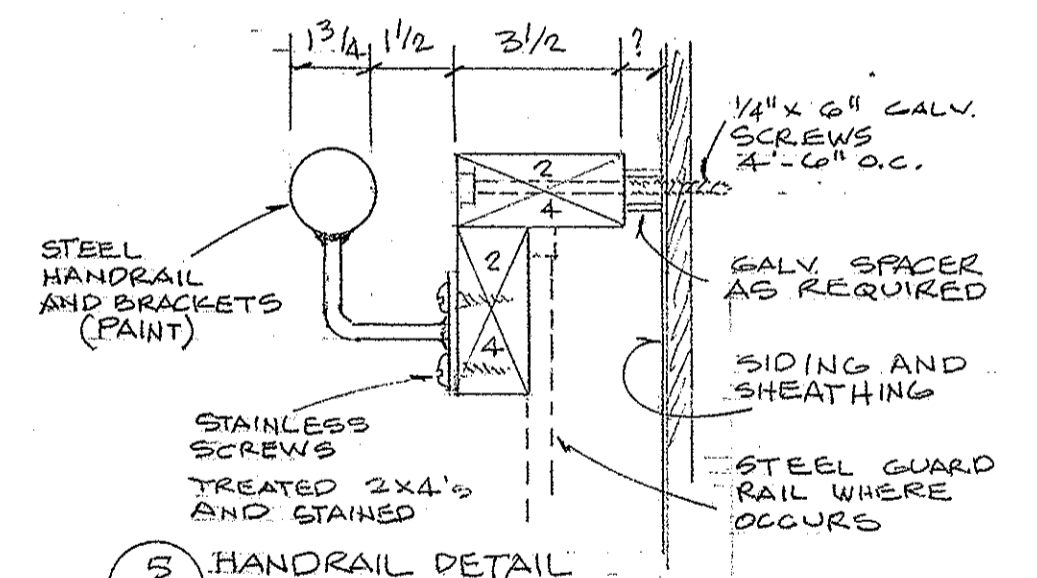
4 EAST ELEVATION
1/4" = 1'-0"



2 STAIR SECTION
3/8" = 1'-0"



3 ENTRANCE STAIR
3/8" = 1'-0"



5 HANDRAIL DETAIL
3/8" = 1'-0"

REVISIONS:
MAY 1, 2021 ADDED 4/6 AND 5/6
JUNE 23, 2021 REVISED 1/6 AND 4/6

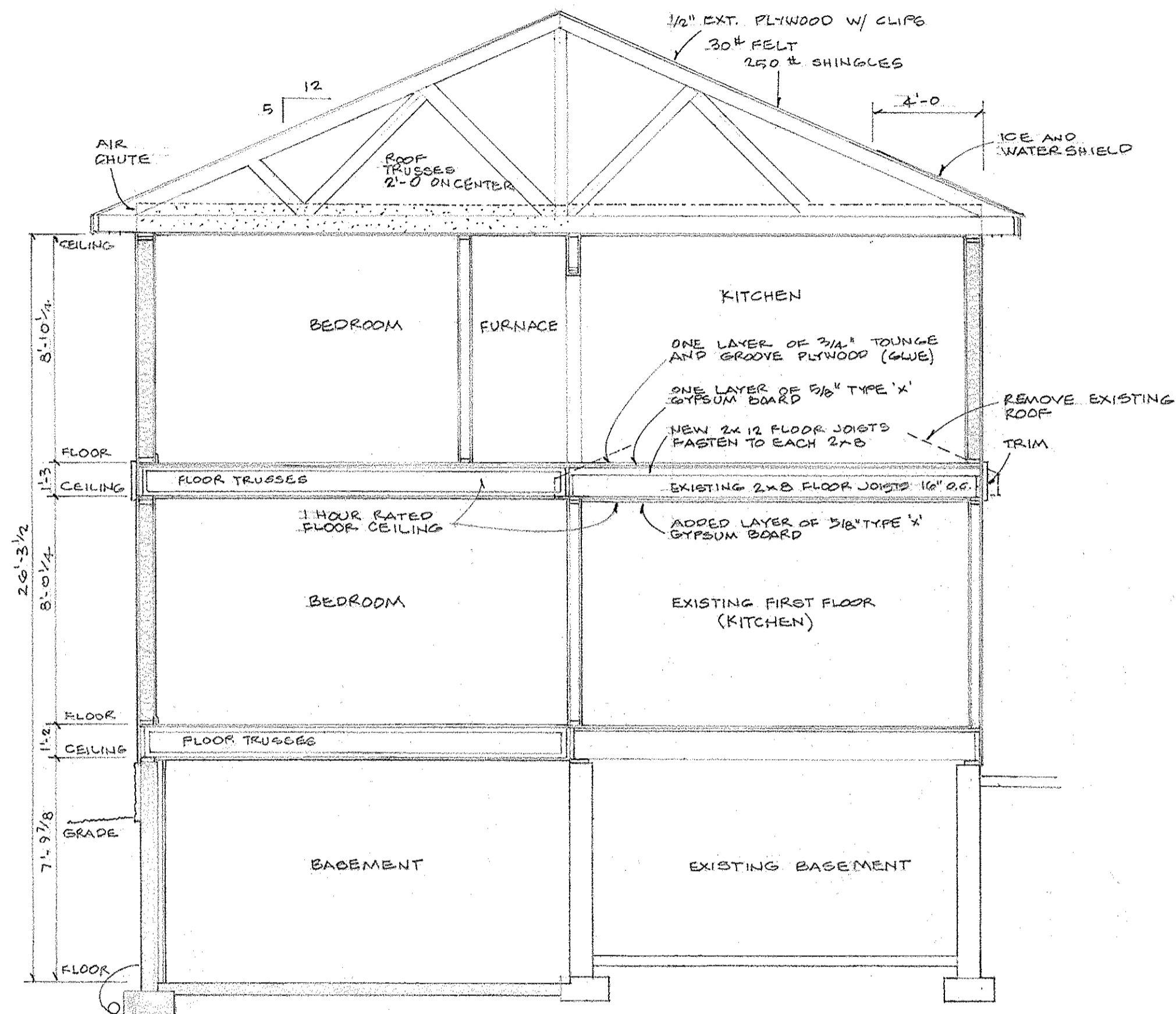
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Don Meinhardt

Don Meinhardt
Date: 4-16-21 Reg. No. 9339

Drawing
1 2 3 4 5 6 7 S1



1
7 BUILDING SECTION
1/4" = 1'-0"

ABBREVIATIONS:

- | | |
|------------------------|------------------------------------|
| 1. & - AND | 19. HEAT. - HEATER |
| 2. @ - AT | 20. H ₂ O - WATER |
| 3. ADDN - ADDITION | 21. INSUL. - INSULATION |
| 4. ALUM. - ALUMINUM | 22. KYHU - KEEP YOUR HEAD UP |
| 5. ANCH. - ANCHOR | 23. O.C. - ON CENTER |
| 6. BCI - | 24. MIL. - MILLIMETER |
| 7. BD - BOARD | 25. PERF. - PERFORATED |
| 8. C.T. - CERAMIC TILE | 26. POLY. - POLYETHYLENE |
| 9. CONC. - CONCRETE | 27. REINF. - REINFORCING |
| 10. DES. - DESIGN | 28. T & G. - TONGUE AND GROOVE |
| 11. DIAM. - DIAMETER | 29. U.L. - UNDERWRITERS LABORATORY |
| 12. ELEV. - ELEVATION | 30. WPD. - WINDOW |
| 13. EXIST. - EXISTING | 31. W/ - WITH |
| 14. EXT. - EXTERIOR | |
| 15. FDN. - FOUNDATION | |
| 16. FL. - FLOOR | |
| 17. GALV. - GALVANIZED | |
| 18. GYP. - GYPSUM | |

NOTES:

1. VERIFY ALL DIMENSIONS
2. ROOF STRUCTURE IS TO BE REMOVED FROM EXISTING SINGLE STORY DWELLING.
3. ATTIC FLOOR JOISTS TO REMAIN
4. ENTIRE ROOF REMOVAL AREA IS TO BE PROTECTED AGAINST RAINFALL DAILY UNTIL NEW ROOF IS ON.
5. ATTIC SUBFLOOR IS TO BE REMOVED IN 8' SECTIONS AND NEW 2x12 JOISTS, 5/8" GYP. BO AND 5/8" TONGUE AND GROOVED PLYWOOD SHALL BE GLUED AND SCREWED DOWN IMMEDIATELY BEFORE PROCEEDING TO THE NEXT 8' AREA.
6. STABILIZE STRUCTURE IF NECESSARY.
7. NEW CONSTRUCTION TO BE BUILT UP ADJACENT TO DWELLING SO THE NEW ROOF TRUSSES CAN BE INSTALLED AS SOON AS POSSIBLE AFTER THE ROOF DEMOLITION EVENT.
8. BUILDING SHOULD BE VACANT DURING DEMOLITION AND ROOF TRUSS DELIVERY.
9. ALL CONTRACTORS WORKING ON THE PROJECT MUST CARRY LIABILITY INSURANCE IN THE AMOUNT OF \$500,000 PER OCCURANCE AND \$1M FOR PERSONAL INJURY.
10. IT IS RECOGNIZED THAT THE EXISTING DWELLING INFRINGES THE PROPERTY SET BACK BY 15 1/2" THE NEW CONSTRUCTION BLENDS WITH THAT MINOR DEVIATION TO MAKE THE END ARCHITECTURAL APPEARANCE NORMAL.
11. FLOOR COVERINGS TO BE CHOSEN BY THE OWNER EXCEPT THAT THE NEW BATH ROOMS SHALL HAVE CERAMIC TILE FLOORS AND THE KITCHEN SHALL HAVE AN IMPERIOUS FLOOR.
12. PROVIDE CONSTRUCTION SILT FENCES AT OR NEAR THE PROPERTY LINES.
13. EXTERIOR STAIR TREADS, RISERS AND LANDING DECKS TO BE TECHWOOD AS SOLD BY HOME DEPOT AND MEMBERS SHALL 'BLIND' FASTENED AS MUCH AS POSSIBLE.
14. ALL POLY VAPOR BARRIER SHALL HAVE TAPED JOINTS.
15. FLOOR TRUSSES SHALL BE THE "I" TYPE. SPECIFICALLY "BC1" @ 500 I & R
16. NEW WOOD SIDING SHALL MATCH THE EXISTING VERTICAL STRIATED SHINGLE PANEL SIDING.
17. DO NOT BACKFILL AGAINST POURED CONCRETE BASEMENT WALLS UNTIL FLOOR JOISTS ARE FASTENED.
18. INSTALL 6" OF THERMAFIBER AT FLOOR JOIST SPACES AT 2ND FLOOR.
19. SOFFIT VENTS SHALL BE 2" WIDE AND CONTINUOUS.
20. PROVIDE A TOTAL OF 16-4"x12" ROOF VENT EVENLY SPACED ON THE BACK SIDE OF THE ROOF.
21. ALL HANDRAILS TO BE RETURNED TO THE WALL.
22. ALL ROOF TRUSSES TO BE DESIGNED BY A MINNESOTA CERTIFIED STRUCTURAL ENGINEER
23. ONE HOUR RATED FLOOR/CEILING ASSEMBLY AT THE EXISTING STRUCTURE SHALL INCLUDE 1/2" RESISTENT CHANNEL AT THE CEILING SEE UL L569
24. ONE HOUR RATED FLOOR/CEILING ASSEMBLY AT THE NEW CONSTRUCTION SHALL COMPLY WITH UL DESIGN 501
25. NO PENETRATIONS THRU THE 1 HOUR FLOOR/CEILING SHALL BE ALLOWED EXCEPT FOR CAST IRON WASTE LINES AND GALVANIZED VENT AND WATER PIPE LINES.

CODE:

1. OCCUPANCY GROUP - R-3 TWO DWELLING UNITS
2. CONSTRUCTION TYPE - 5
3. AREA OF LOWER DWELLING UNIT - 2,666 SQ. FT. NOT INCLUDING THE EXISTING INHABITABLE BASEMENT WITH ITS 6'-10" CEILING HEIGHT (SEC. 120B.2)
4. AREA OF UPPER DWELLING UNIT - 1,689 SQ. FT.
5. TOTAL AREA OF THE TWO DWELLING UNITS - 4,355
6. FIRE SPRINKLERING NOT REQUIRED BECAUSE THE SEPARATE OR TOTAL AREA DOES NOT EXCEED 4,500 SQ. FT. PER SEC. 903.28

REVISIONS:
MAY 1, 2021 ADDED ABBREVIATIONS

NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY

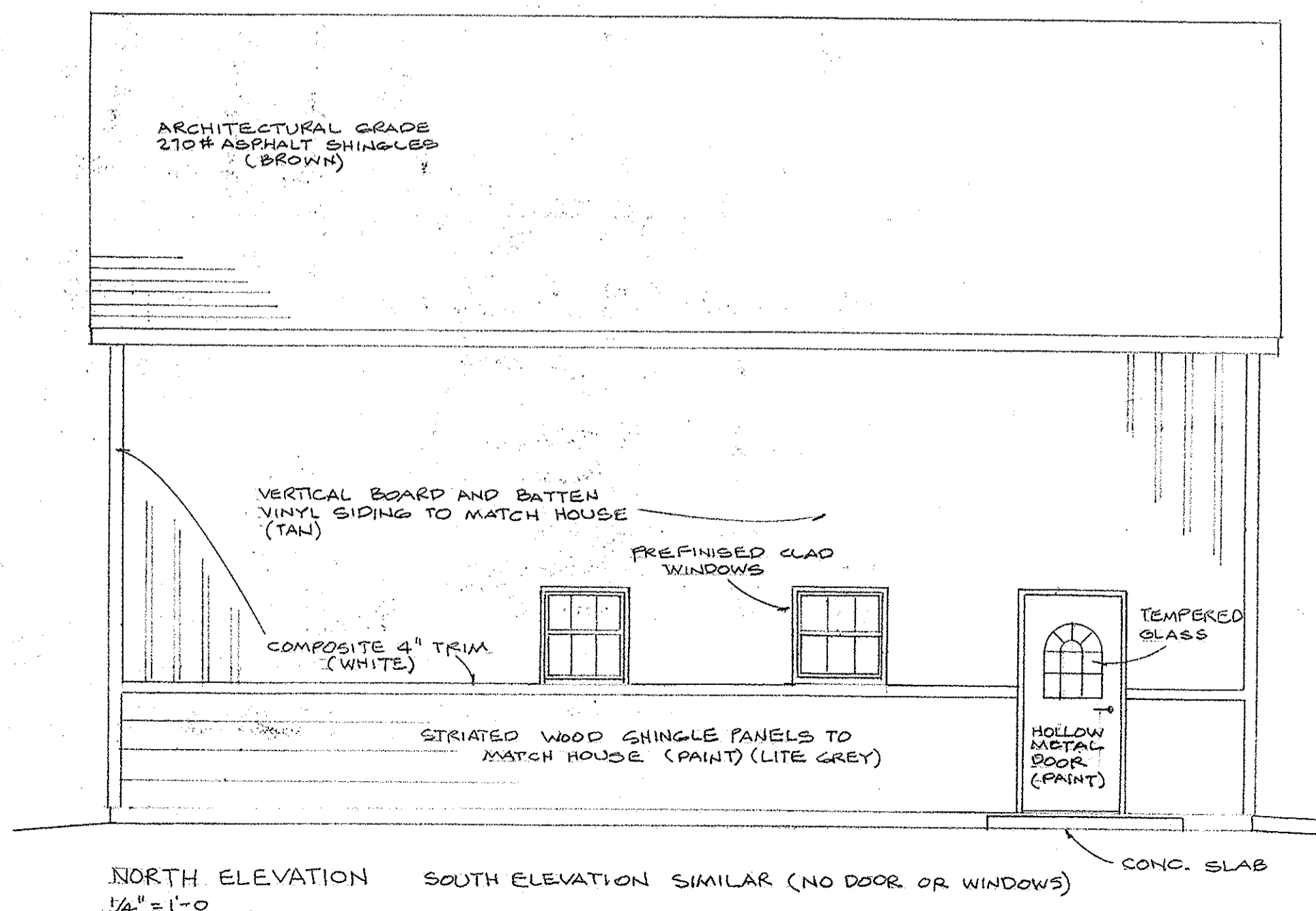
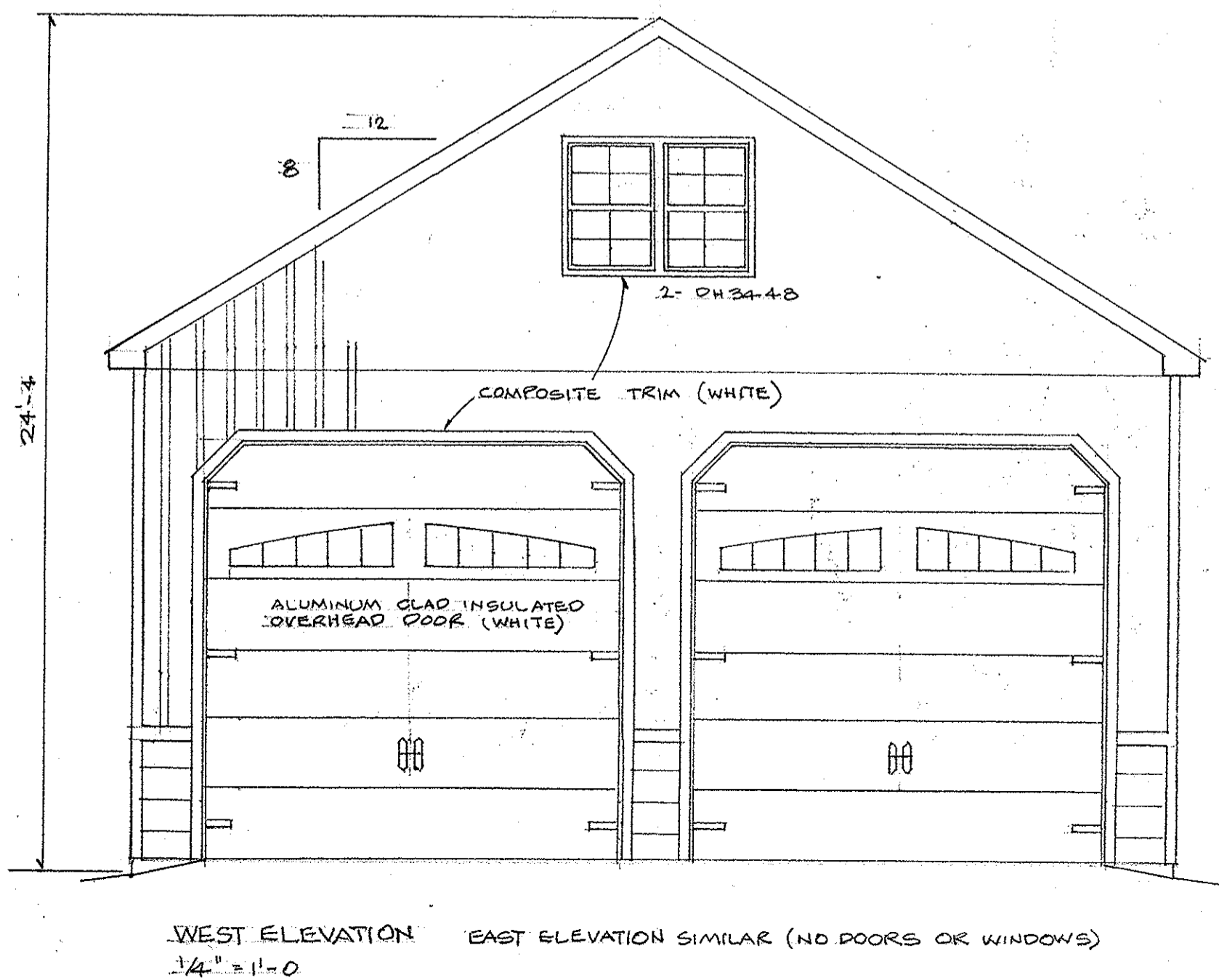
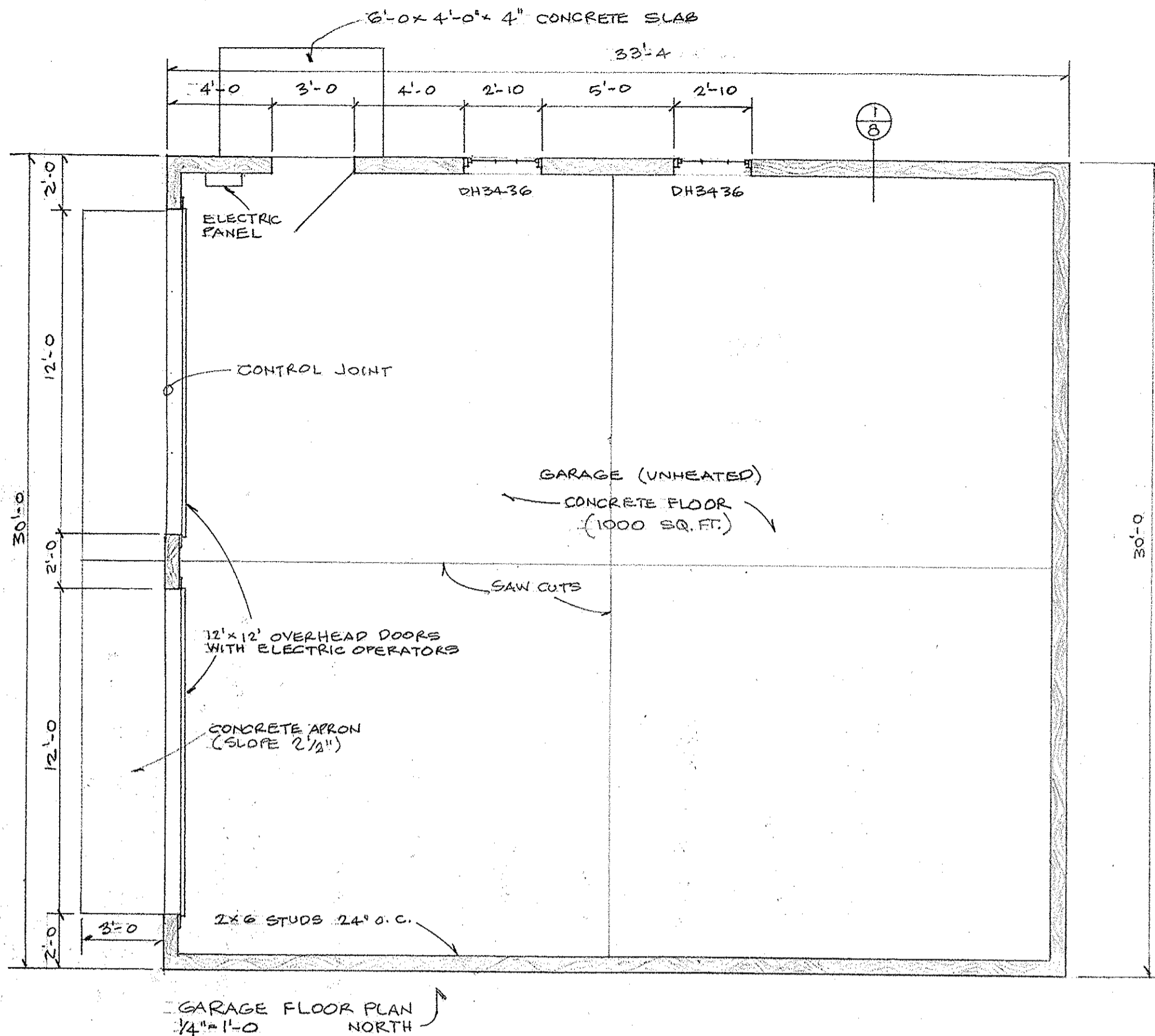
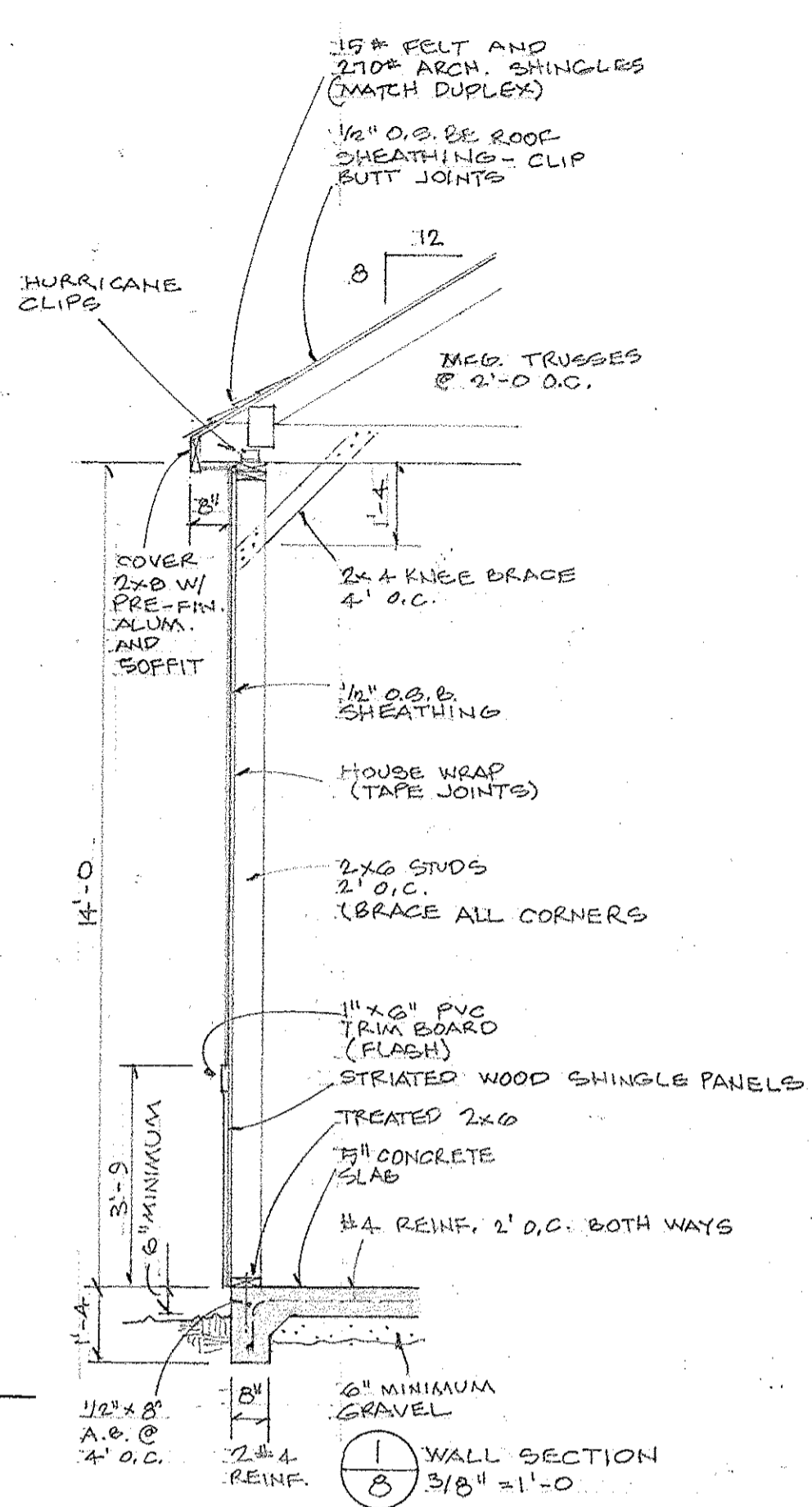
For: Manual Romero, 3927 Hayes Street NE
Columbia Heights, MN 55412
By: Meinhardt/Associates/Architects
829 Quimby Ave NW
Cokato, MN 55321
612-581-5056

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Don Meinhardt

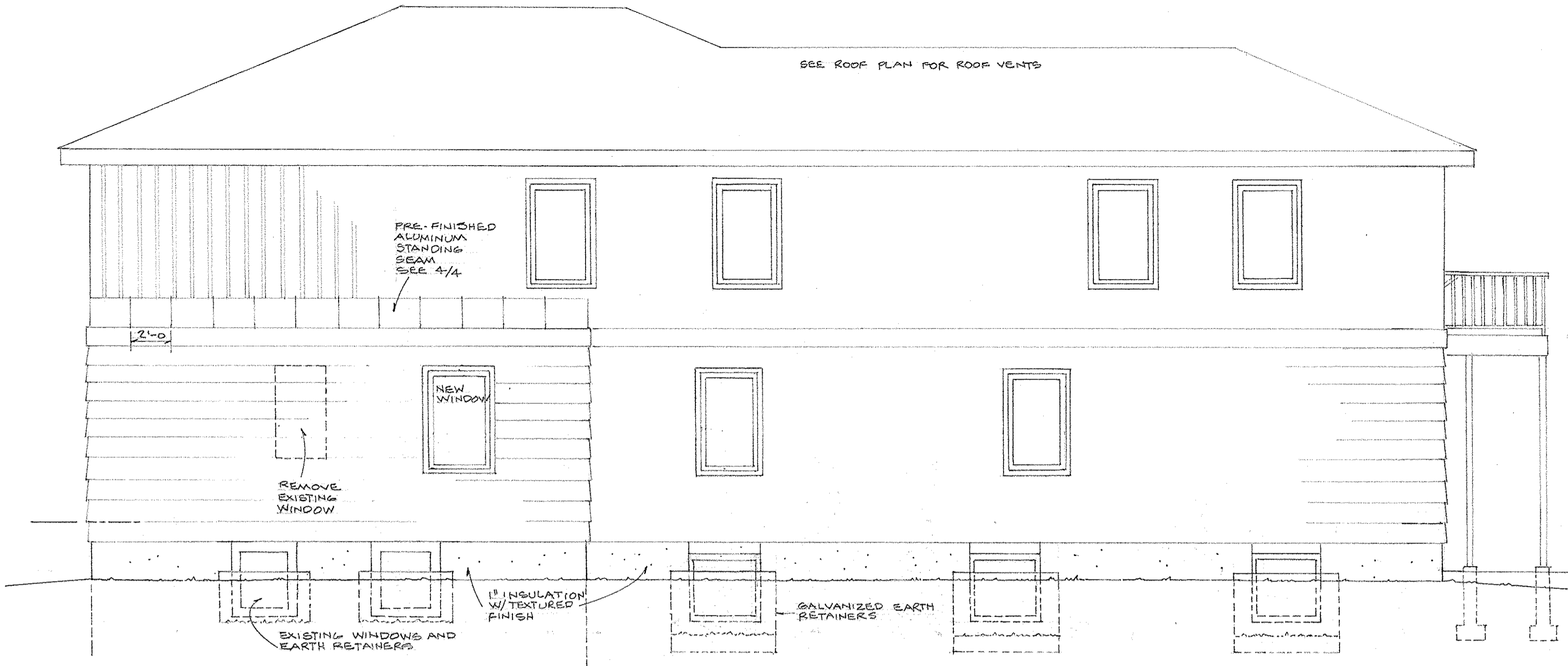
Don Meinhardt
Date: 5-16-21 Reg. No. 9339

Drawing
1 2 3 4 5 6 7

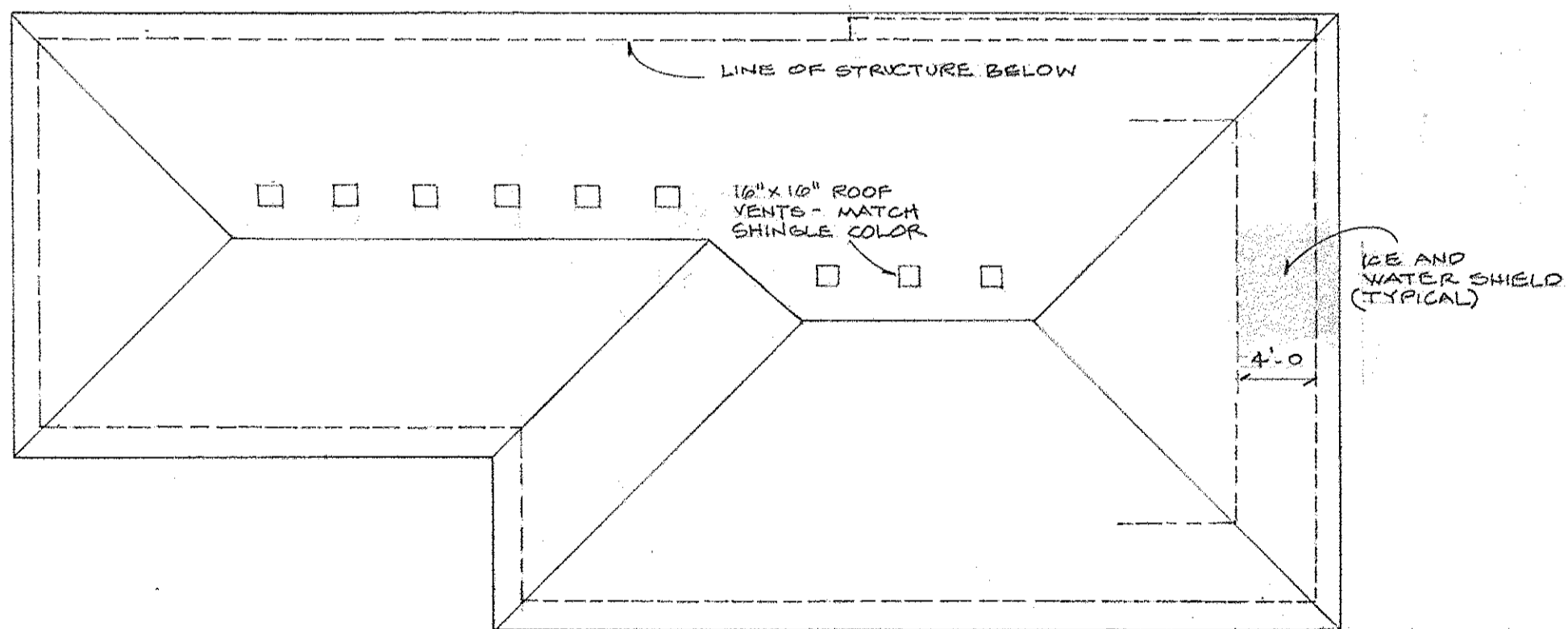


REVISIONS:
 1. JUNE 23-'21 CHANGE SIZE OF GARAGE AND ADDED 1/8."

NEW HOUSE CONVERSION FROM SINGLE FAMILY TO DOUBLE OCCUPANCY
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 Don Meinhardt
 Date: 5-1-21 Reg. No. 9339



1 SOUTH ELEVATION
1/4" = 1'-0"



2 ROOF PLAN
1/8" = 1'-0"

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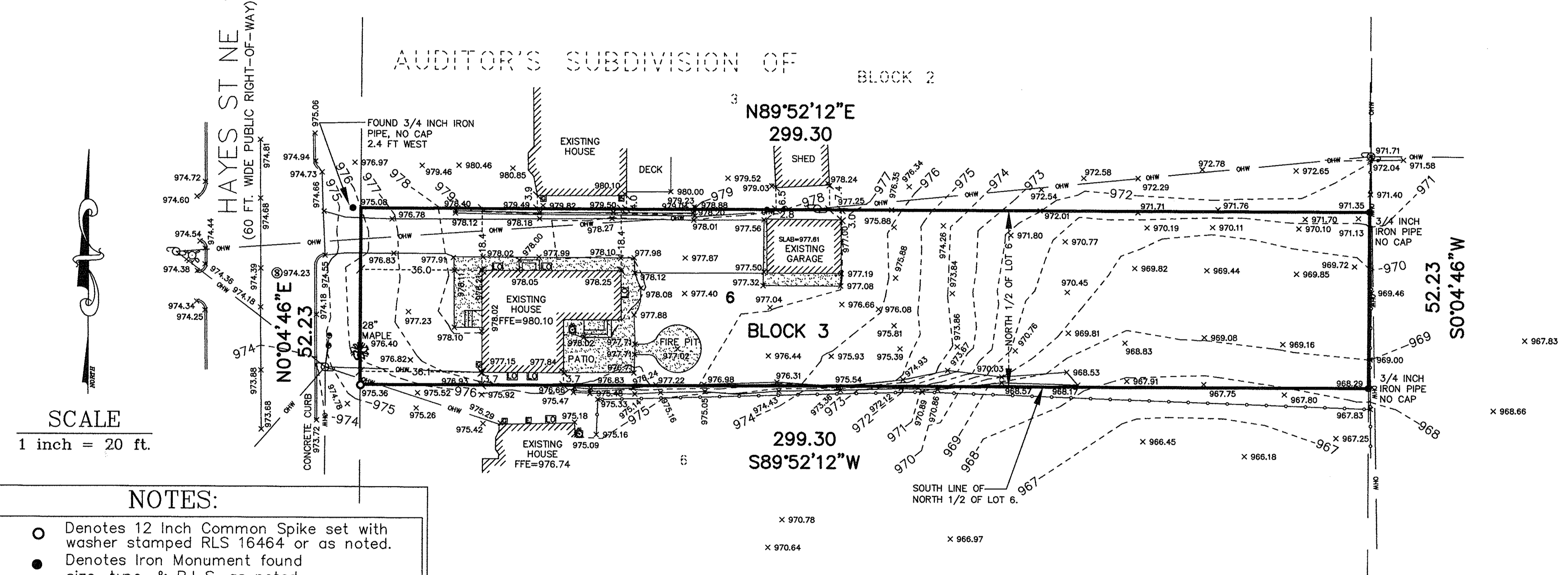
Don Meinhardt
 Don Meinhardt
 Date: 6-24-21 Reg. No. 9339

Made For:
 Mr. Manuel Romero
 3927 Hayes Street NE
 Columbia Heights, MN 55412

CERTIFICATE OF SURVEY

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211

Legal Description: (Tax Description)
 The North 1/2 of Lot 6, Block 3,
 AUDITOR'S SUBDIVISION OF WALTON'S SUNNY
 ACRES THIRD, Anoka County, Minnesota.



SCALE
 1 inch = 20 ft.

NOTES:

- Denotes 12 Inch Common Spike set with washer stamped RLS 16464 or as noted.
- Denotes Iron Monument found size, type, & R.L.S. as noted.
- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- ⊙ Denotes Guy Wire
- o- Denotes Chain-link Fence
- ss- Denotes Underground Sanitary Sewer
- w- Denotes Underground Water Service
- g- Denotes Underground Gas Line
- OHW- Denotes Overhead Utility wires
- ▨ Denotes Concrete Surface

SITE ADDRESS: 3927 Hayes St NE, Columbia Heights, MN
 AREA: 15,632 SQ. FT. OR 0.36 ACRES
 BASIS OF BEARINGS: ANOKA COUNTY
 LAKE & LAND SURVEYING. JOB NO. 2021.080 DF/ES

WALTON'S SUNNY ACRES THIRD

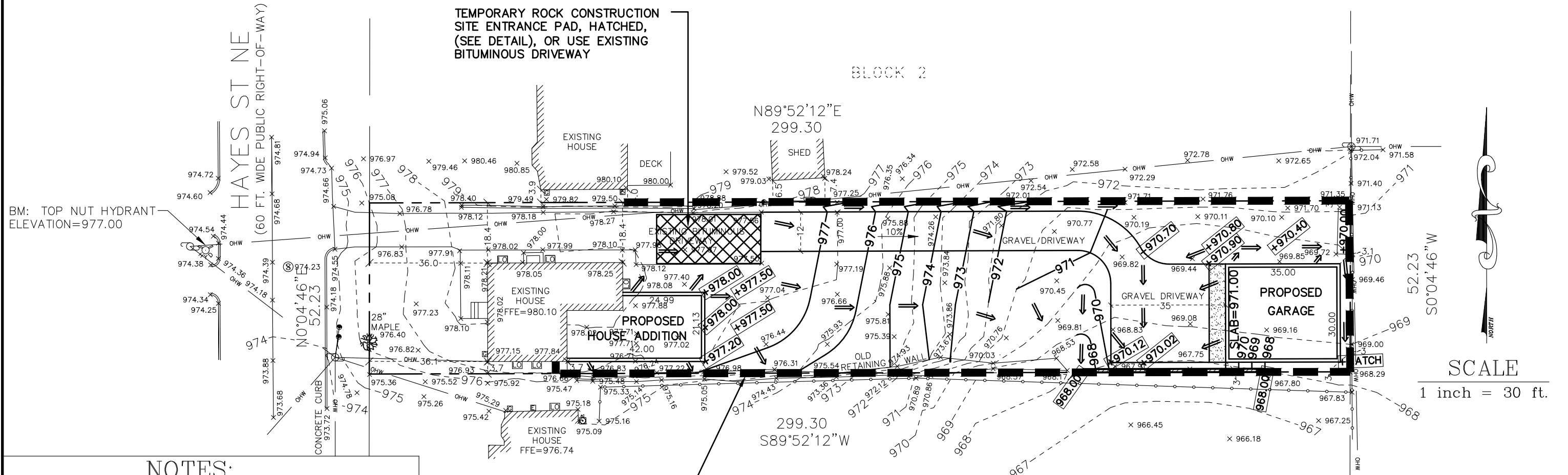
I certify that this survey, plan or report was prepared by me or under my direct supervision, and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jonathan L. Faraci
 March 25, 2021
 Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

Made For:
 Mr. Manuel Romero
 3927 Hayes Street NE
 Columbia Heights, MN 55412

EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211



NOTES:

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- +xxx.xx Denotes Proposed Spot Elevation
- xxx--- Denotes Proposed Contours
- ← Denotes Proposed Drainage Direction
- ss— Denotes Underground Sanitary Sewer
- w— Denotes Underground Water Service
- g— Denotes Underground Gas Line
- OHW— Denotes Overhead Utility wires
- o - Denotes Chain-link Fence
- Denotes Guy Wire
- ▬ Denotes Proposed Silt Fence or Bio Rolls
- ▨ Denotes Concrete Surface

INSTALL SILT FENCE OR BIO ROLLS,
 (SEE DETAIL)

SITE ADDRESS: 3927 Hayes St NE, Columbia Heights, MN
 AREA: 15,632 SQ. FT. OR 0.36 ACRES
 BASIS OF BEARINGS: ANOKA COUNTY
 LAKE & LAND SURVEYING. JOB NO. 2021.080 DF/ES

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Jonathan L. Faraci

April 27, 2021

Jonathan L. Faraci
 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464

SCALE
 1 inch = 30 ft.

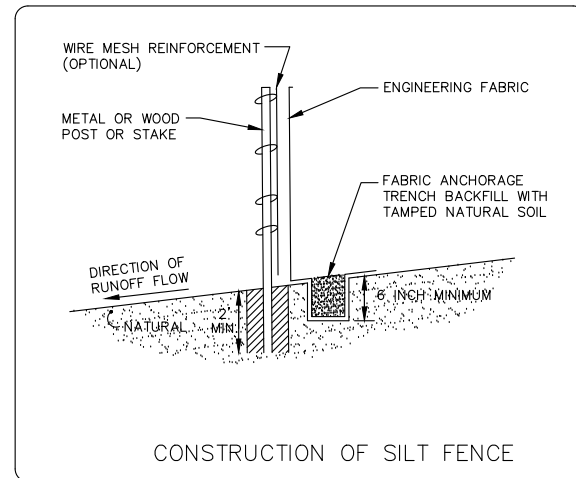
EROSION CONTROL PLAN

LAKE AND LAND SURVEYING, INC.

1200 Centre Pointe Curve, Suite 375

Mendota Heights, Minnesota 55120

Phone: 651-776-6211



1. Sequence of Erosion Control Construction Activities

- Installation of silt fence or Bio Rolls prior to any construction activity.
- Installation of rock construction entrance prior to any construction activity.
- The site shall be re-vegetated within 48 hours of final grading.
- Install landscaping as per landscape plan.

2. Erosion and Sediment Control Measures

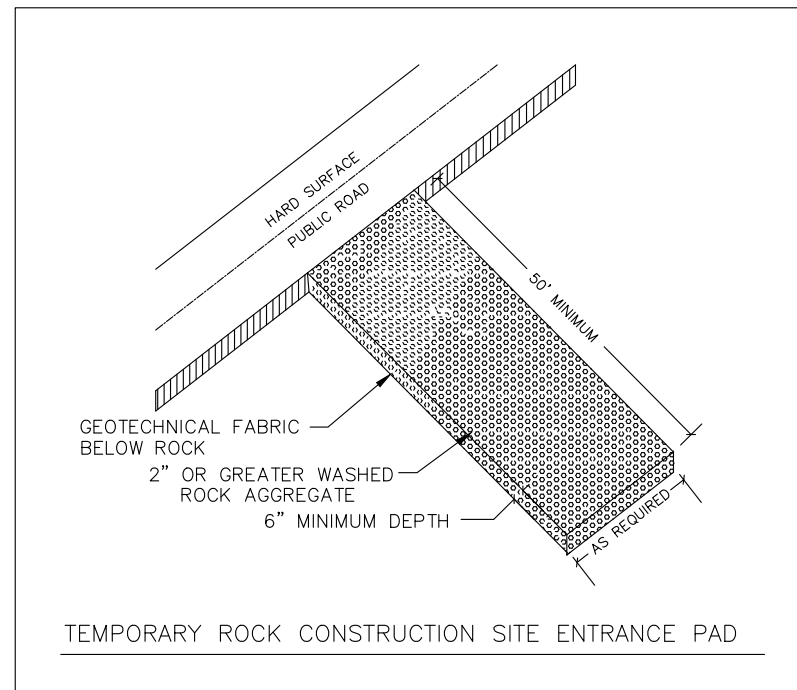
All best management practices (BMPS) determined by the Engineer to be effective are available for use on the site. BMPs anticipated to be used on the Project include the following:

- * Silt Fence
- * Concrete Mixing/Washout Basins shall be taken offsite
- * Final Landscaping with Seed, Fertilizer, Topsoil or Sod
- * Street Sweeping

3. Inspection and Maintenance

The Contractor is responsible for providing, maintaining and removing all Erosion Control BMPs, as set forth above, which includes all materials, equipment and labor.

Owner is responsible for having the Contractor install, maintain and remove the BMPs as set forth above.



I certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.



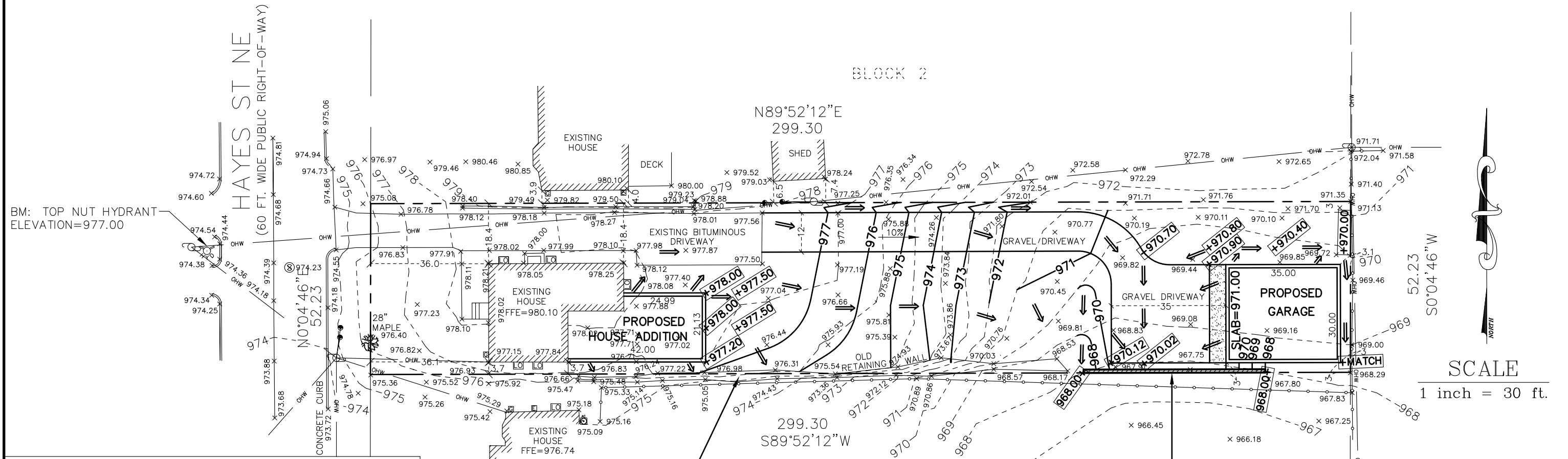
April 27, 2021

Jonathan L. Faraci
Registered Land Surveyor & Registered Engineer
Minnesota Registration No. 16464

Made For:
 Mr. Manuel Romero
 3927 Hayes Street NE
 Columbia Heights, MN 55412

SITE & GRADING PLAN

LAKE AND LAND SURVEYING, INC.
 1200 Centre Pointe Curve, Suite 375
 Mendota Heights, Minnesota 55120
 Phone: 651-776-6211



NOTES:

- x xxx.xx Denotes Existing Spot Elevation
- xxx-- Denotes Existing Contour
- +xxx.xx Denotes Proposed Spot Elevation
- xxx--- Denotes Proposed Contours
- ← Denotes Proposed Drainage Direction
- ss— Denotes Underground Sanitary Sewer
- w— Denotes Underground Water Service
- g— Denotes Underground Gas Line
- OHW— Denotes Overhead Utility wires
- o - Denotes Chain-link Fence
- Denotes Guy Wire
- Denotes Proposed Silt Fence or Bio Rolls
- Denotes Concrete Surface

SITE ADDRESS: 3927 Hayes St NE, Columbia Heights, MN
 AREA: 15,632 SQ. FT. OR 0.36 ACRES
 BASIS OF BEARINGS: ANOKA COUNTY
 LAKE & LAND SURVEYING. JOB NO. 2021.080 DF/ES

INSTALL RETAINING WALL
 MATCH EXISTING GRADES ON SOUTH SIDE OF PROPOSED RETAINING WALL
 MATCH PROPOSED GRADES ON NORTH SIDE OF PROPOSED RETAINING WALL

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Jonathan L. Faraci

April 27, 2021

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 Registered Land Surveyor & Registered Engineer
 Minnesota Registration No. 16464