

PROJECT OVERVIEW

The Applicant, Reuter-Walton, is considering acquiring land from the City of Columbia Heights on which to construct a new affordable apartment building. The City owns Lot 1 and Outlot E of the Northwestern 2nd Addition, which is located north of the intersection of Jackson Street NE and 41st Avenue NE. The combined property measures 5.0 Acres and spans across the land between 41st Avenue NE and 42nd Avenue NE and is generally located between Jackson Street NE and the alley between Jackson Street NE and Central Avenue NE. The City of Columbia Heights Public Safety Center is located on the south half of the property. The north half the property is currently paved with an asphalt parking lot, but does not have any permanent structures.

The Public Safety Center occupies 3.3 acres, leaving the northern 1.7 acres of land that currently functions as a parking lot as relatively under-utilized. The Reuter-Walton apartment proposes to develop the western 1.3 acres, leaving 0.4 acres of remaining land available for future development. The operators of the existing SACA have expressed interest in constructing a food shelf building on the remaining 0.4 acres.

SUBMITTAL APPLICATION

The objective of this application is to gain preliminary approvals from the City of Columbia Heights for a new Planned Unit Development over the 5.0-acre parcel. To accomplish this objective, existing easements on the northern 1.7 acres would need to be vacated, and the land would need to be subdivided into three proposed lots: one for the City Public Safety Center, one for the proposed apartment building, and one for future development. Three accompanying applications are included with this submittal.

The first application for this submittal is the Planned Unit Development (PUD) Application. The Applicant is Reuter-Walton, the proposed developer of the proposed apartment building. The application form has been completed and signed by the applicant, and a check for the required fee of \$2,500 is included. Attached to this application are the required documents listed at the top of page 2 of the PUD Application, including:

1. This narrative;
2. A vicinity map;
3. An accurately scaled site plan;
4. Existing and proposed topography;
5. Vehicular access and parking areas;
6. Landscaping and other site features;
7. A stormwater management plan;
8. Elevation views of the proposed apartment building.

There are two sets of plans included with this application. The first is titled, "42nd Avenue Apartments", are the preliminary architectural plans for the proposed apartment building. The second set is titled, "Northwestern 3rd Addition", which include land survey, civil engineering, and landscape architecture plans, and stormwater management plan for the proposed overall development. Each of these documents has been prepared in accordance with the City of Columbia Heights Site Plan Application Submission Checklist.

The second application form for this submittal is the Vacation Application. The Applicant is requesting the following four existing easements that encumber the northern 1.7-acre parcel be vacated:

1. Platted perimeter drainage and utility easement per Northwestern 2nd Addition;
2. Storm water drainage utility easement per Document Number 1554478;
3. Utility easement per Document Number 594146;
4. Parking easement over Outlot E, per document number 1554482.

We have shown all four of the easements on the plan sheet titled, "Easement Exhibit", sheet number X-2 in the Northwestern 3rd Addition plan set. In accordance with the Vacation checklist, we have also included a detailed narrative titled, "Easement Vacation Narrative" the describes the need or desire for the vacation of these proposed easements.

The third application for this submittal is the Minor Subdivision Application. The Applicant is requesting the 5.0-acre property currently recorded as Lot 1 and Outlot E of Northwestern 2nd Addition be re-platted as Lot 1, Lot 2, and Lot 3 of Northwestern 3rd Addition. The resulting plat and proposed easements are depicted on the plan sheet titled, "Preliminary Plat", sheet number C-1 in the Northwestern 3rd Addition plan set. The Applicant that the City determine the Parkland Dedication Fees for the proposed project during their review of this application.

The Applicant is requesting Preliminary Approval of the Architectural, Land Survey, Civil, and Landscape Plans for the proposed apartment building on Lot 2 of the proposed Northwestern 3rd Addition plat. This application does not include a formal request for the development of the SACA Food Shelf on Lot 3 of the proposed plat. However, the Applicant has been working with SACA to obtain conditions of approval with this application that would support the future development of the SACA Food Shelf on Lot 3.

Based on the City finding this application to be complete, the Applicant is requesting the project be reviewed by the Planning Commission at their meeting on Tuesday, May 4, 2021. If the Planning Commission approves the preliminary application for the proposed project, the Applicant is requesting the project be reviewed by City Council at their meeting on Monday, May 10, 2021.

ZONING

The existing property proposed for development is currently zoned as Planned Unit Development. The underlying zoning for Lot 1, is R-4 – Multiple Family Residential District, which is consistent with the proposed apartment building land use. The Public Safety Center is listed as an acceptable conditional use in the City's Zoning Ordinance.

The underlying zoning for Outlot E appears to be Public and Open Space. This application currently does not request rezoning of the underlying property. However, the northeasterly 7.0 ft of proposed Lot 2 extends into the westerly portion of existing Outlot E. Neither the proposed apartment building nor a future food shelf facility are permitted or conditional uses within Public and Open Space.

If the City feels that re-zoning of the underlying land is appropriate, the Applicant could work with City staff to modify this application to accomplish that objective.

DEVELOPMENT STANDARDS

LOT AREA

Lot 2: City Zoning Ordinance requires a minimum lot area for Multi-Family Residential District (R-4) zoning of 10,000 sq. ft. for a multi-family dwelling, and a minimum lot width of 70 ft. The proposed lot area for Lot 2 is 1.3 acres (56,628 sq. ft.) and the proposed lot width is 207.3 ft. Therefore, the proposed lot area and lot widths meet the minimum dimensions for the proposed use.

Lot 3: City Zoning Ordinance requires a minimum lot area of 6,000 sq. ft. for Limited Building District (LB) and for General Business District (GB), and a minimum lot width of 50 ft. for LB and 40 ft. for GB. The proposed lot area for Lot 3 is 0.4 acres (17,424 sq. ft.) and the proposed lot width is 79.6 ft. Therefore, the proposed lot area and lot widths meet the minimum dimensions for each district, if this application is amended to include proposed rezoning.

BUILDING SETBACKS

Lot 2: The underlying R-4 zoning requires building setbacks as follows: front yard 15 ft., side yard 10 ft., corner side yard 15 ft., and rear yard 15 ft. This application is requesting the PUD conditions to allow for reduced setbacks as follows: front yard 12 ft. and corner side yard 10 ft. The application meets the R-4 zoning standard for building setbacks of 10 ft. for side yard and 15 ft for rear yard.

Lot 3: The standard building setbacks for Limited Building District (LB) are: front yard N/A, side yard 15 ft., corner side yard 10 ft., and rear yard 20 ft. Standard building setbacks for General Business District (GB) are front yard 15 ft., side yard N/A, corner side yard 15 ft., and rear yard 20 ft. To accommodate the building dimensions that the food shelf desires, they have asked the Applicant to propose the following setbacks: front yard 12 ft., side yard 8 ft., corner side yard 5 ft., and rear yard 5 ft.



PARKING SETBACKS

Lot 2: The underlying R-4 zoning for Multiple-Family requires parking setbacks as follows: front yard 30 ft., side yard 10 ft., corner side yard 30 ft., and rear yard 10 ft. This application is requesting the PUD conditions to allow for parking setbacks as follows: front yard 85.3 ft., corner side yard 85.7 ft., side yard of zero, and rear yard of 2.0 ft.

The proposed parking setback increases along the front and corner side yard dimensions are proposed to maximize the distance between the proposed surface parking area and the adjacent residences to the west of Jackson Street and north of 42nd Avenue NE. The request for parking setback reductions to the east parking lot setbacks are requested to support shared parking with Lot 3. The request to reduce the parking setback to the south is to further support the efforts to maximize the parking setback from 42nd Avenue NE by minimizing the distance from the compatible land use to the south.

PARKING COUNTS

Lot 2: Based on the number of units and unit occupancy, the total number of required parking stalls for the proposed apartment building is 108. The proposed design includes 46 underground stalls (43 standard stalls, 1 compact and 2 ADA), and 62 exterior stalls (35 standard, 24 compact, and 3 ADA). Therefore, the total count of 108 stalls provided meets the total required count of 108. Also, the total count of ADA stalls of 5 meets the ADA requirement of 5 stalls for 108.

The existing parking easement on Outlot E that is proposed to be vacated with this project currently provides the rights to the existing Crest View Senior Living to 11 parking stalls on Outlot E. The City of Columbia Heights is the current landowner of Outlot C. Pursuant to discussions with City of Columbia Heights City staff, this project proposes to relocate the parking rights for 11 stalls from Outlot E to Outlot C. There is currently adequate space for 22 parking stalls on Outlot C. Also pursuant to discussions with City staff, this application proposes to provide an easement over Outlot C to grant parking rights for the remaining 11 stalls to Lot 3.

Since the proposed residential land use on Lot 2 and the potential future land use on Lot 3 have time-of-day parking demands that would complement each other, the Applicant is proposing to execute a private agreement with the future owners of the food shelf that would allow them to use the proposed parking stalls on Lot 2 during the day. The hours of operation for the food shelf are anticipated to be 8:00a.m. to 5:00p.m., which is generally the time of day with the lowest demand for parking for the proposed apartment building on Lot 2.

TRASH AND RECYCLING REMOVAL / PICKUP

Lot 2: The standard procedure for trash and recycling removal starts with the appropriate truck parking on Jackson Street near the entrance to the garage access ramp. The trash or recycling carts are then brought up the entry ramp and out to the truck for pick up from the basement trash room. The duration of this procedure is expected to take five minutes.

DELIVERY / LOADING

Deliveries will be made through the entrance on 42nd Ave and packages will be placed in a secure package room located adjacent to the entry vestibule. Postal service will also access through the 42nd Ave entrance and proceed through the lobby to the mail area to the south. Loading and unloading for move-in will be mainly handled through the garage parking directly through the elevator or through 42nd Ave entry for delivery vehicles.

STORMWATER

The applicant is proposing a stormwater management system that would adequately address the storm water design requirements for both rate control and water quality for both Lots 2 and 3. The details of the proposed stormwater system are provided in the Stormwater Management Report included with this application.

PROPOSED AFFORDABLE APARTMENT BUILDING

The project is located just west of Central Ave NE and 42nd Ave NE intersection on the current municipal parking lot north of the Columbia Heights Police and Fire Department.

The proposed project is a 4-story, 62-unit affordable housing building with one level of below grade parking garage. 46 enclosed parking stalls will be provided for residents in the garage with 62 stalls in a surface parking lot. The below grade parking garage will be accessed off of the south west corner of the site on Jackson St NE. Surface parking will be accessed from the south east corner off of the ally in line with Van Buren St NE. Also to note, both enclosed and surface parking for the project will be provided free of charge to residents based on the number of allotted parking stalls for each unit type.

The main entry of the building will be located on the north side facing 42nd Ave NE with a secondary entrance directly south across the lobby on the parking lot side. The lobby and common area on the first floor of the east wing will host the management offices, package room, mail area, conference room, and a common room for different functions for the residents. The courtyard adjacent to the common areas will have a playground structure and other outdoor furniture for resident use.

The project will provide a range of unit types and sizes from 635 square foot one-bedroom units, 935 square foot two-bedroom units, and 1280 square foot three-bedroom units. All units will have individual washer and dryer machines provided. Exterior materials will include brick on the first floor with a cast stone base. Floors 2-4 will have a combination of brick, fiber cement lap siding, and fiber cement panel.



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13605 1st Avenue N. #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
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**PLANNED UNIT
DEVELOPMENT**

05/04/21

**42ND AVENUE
AFFORDABLE
APARTMENTS**

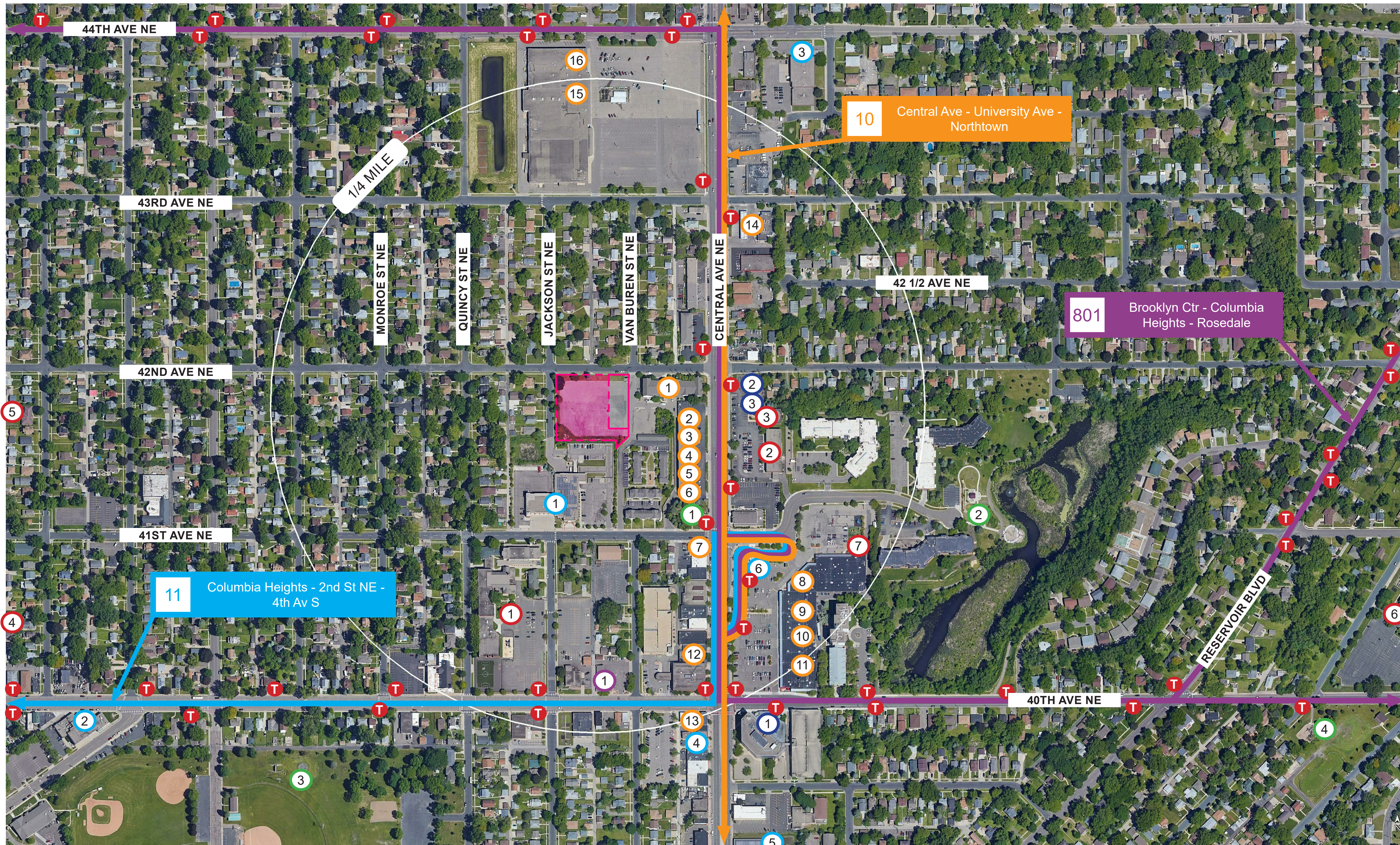
COLUMBIA HEIGHTS, MN

19-094

PROJECT NARRATIVE

GO.1

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VICINITY MAP
1" = 200'-0"

T BUS STOP

○ PUBLIC PARKS
1. Wargo Court Park
2. Labelle Park
3. Huset Park
4. Ostrander Park

○ HEALTH
1. UMN Physician
2. Autism Center of MN
3. Carepoint Dental

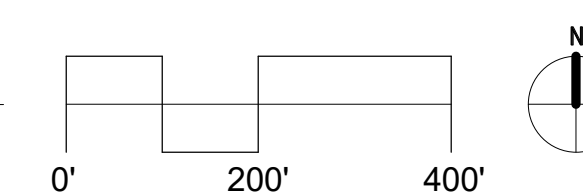
○ SCHOOLS
1. Immaculate Conception Catholic School
2. Adult Education Center
3. Caring Hands Home
4. Madina Academy
5. Prodeo Academy
6. Tesfa International School
7. New Horizon Academy

○ CIVIC
1. CH Police & Fire Dept.
2. City hall
3. USPS
4. Columbia Heights License Center
5. Columbia Heights Public Library
6. Columbia Heights Transit Center

○ BANK
1. Financial One Credit Union

○ RETAIL / SERVICES / OTHER
1. Crestview on 42nd Assisted Living
2. Scherwin Williams Paint
3. Farmers Insurance
4. Cuernavaca Market
5. Columbia Heights Hair Cuts
6. Northland Staffing
7. Seek Career & Staffing
8. NAPA Auto Parts
9. Family Dollar

10. Discount 70
11. Furniture Annex
12. Sewing On Central
13. Sportmen's Barbers
14. Holiday Gas Station
15. Ace Hardware
16. Dollar Tree



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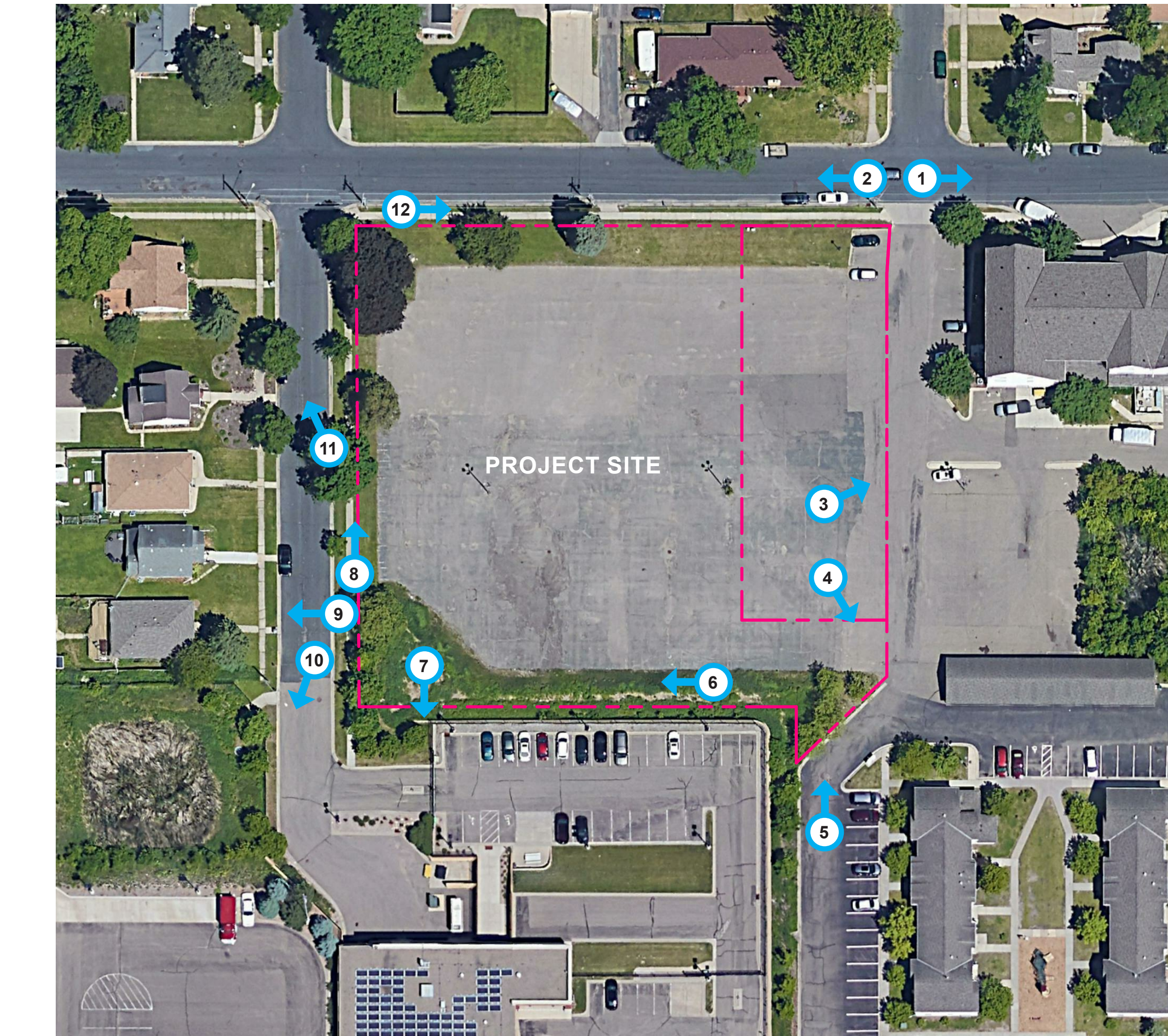
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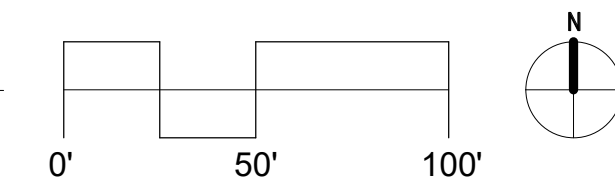
VICINITY MAP

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PUD - SITE - PHOTOS
1" = 50'-0"



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SITE CONTEXT

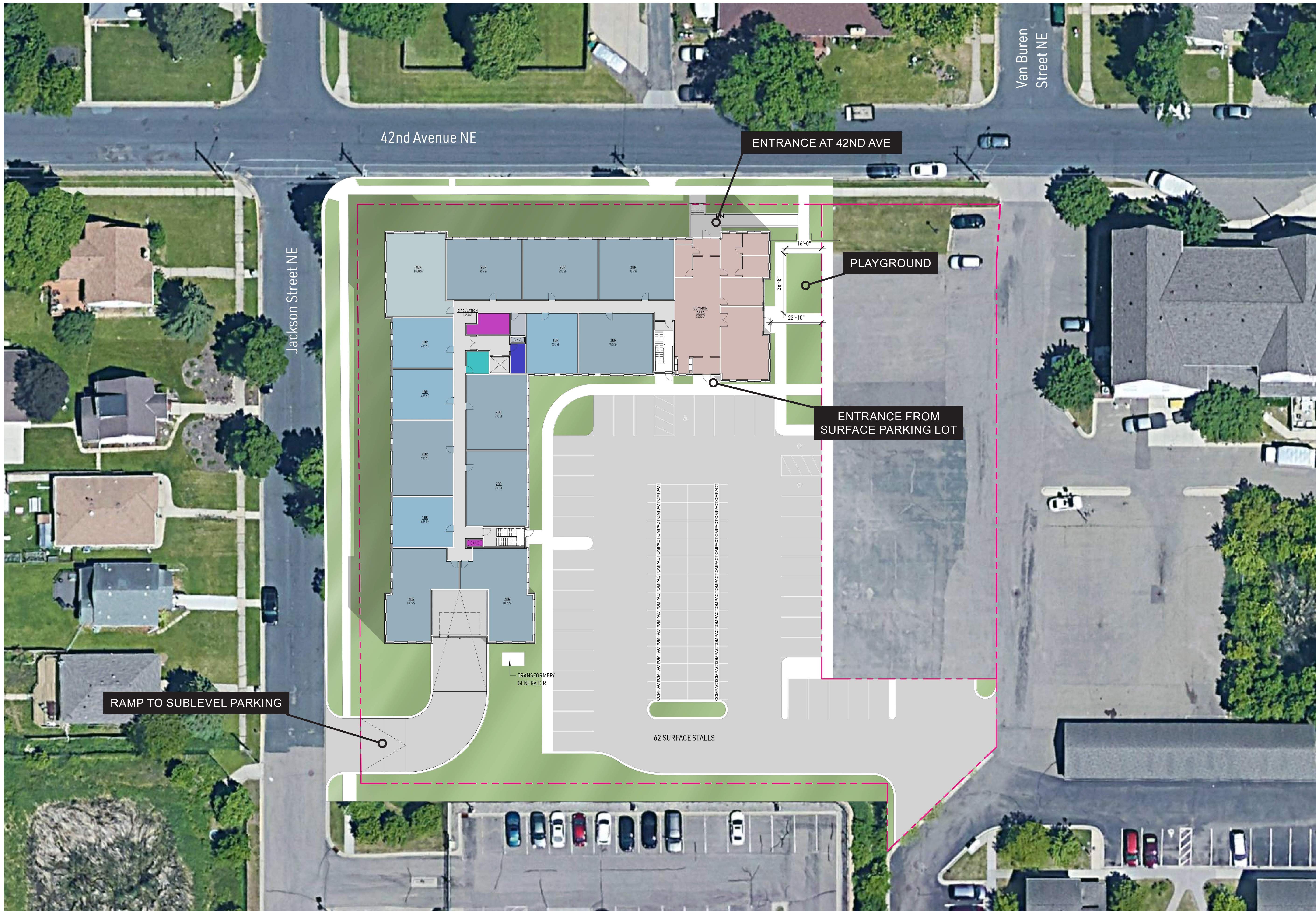
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42ND AVENUE NE

JACKSON STREET NE

PROPOSED FOUR-STORY APARTMENT



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Neighborhood Meeting
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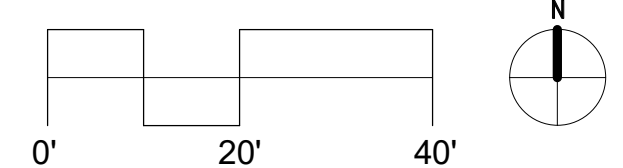
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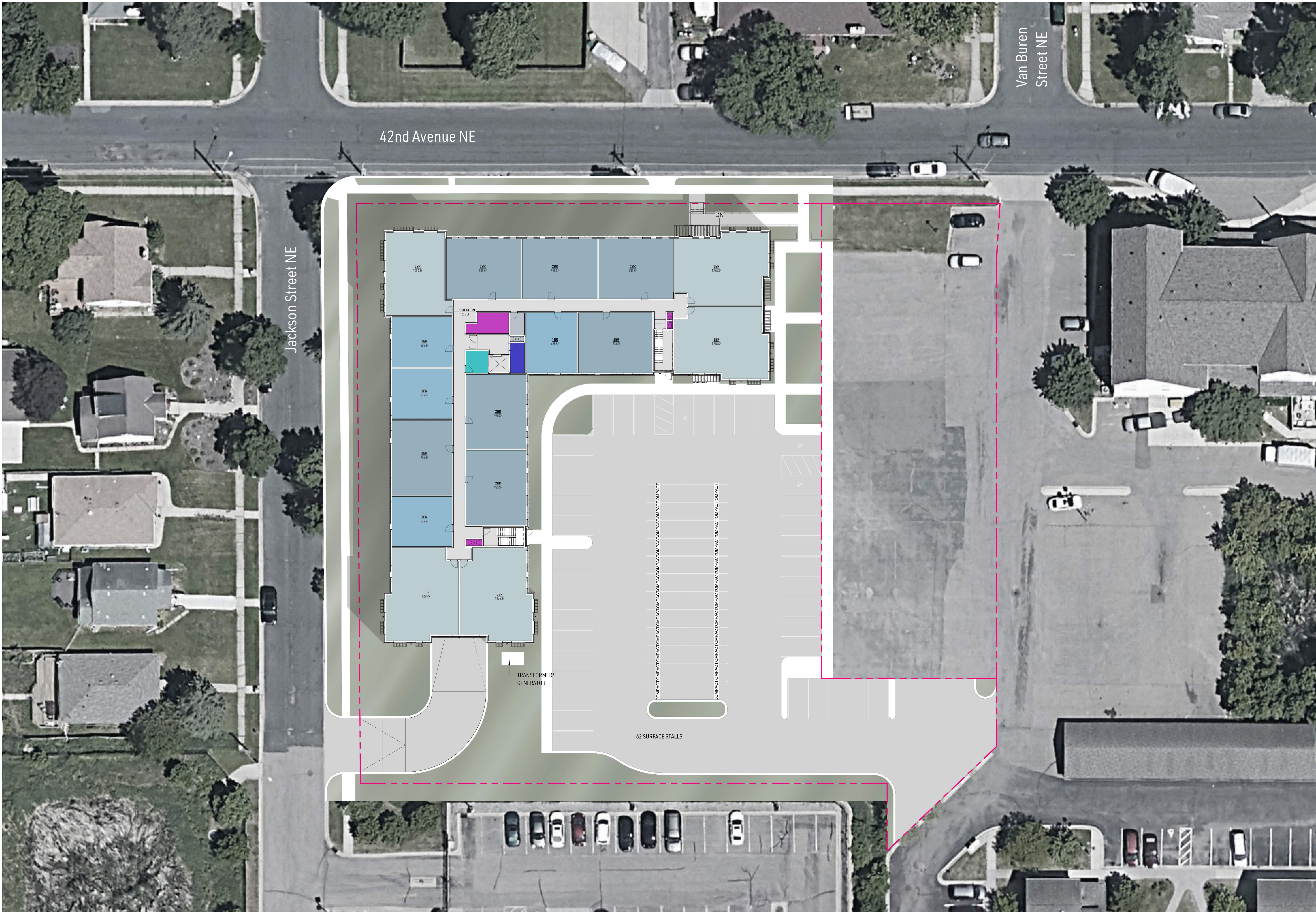
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FLOOR PLAN - LEVEL 1

A1.1

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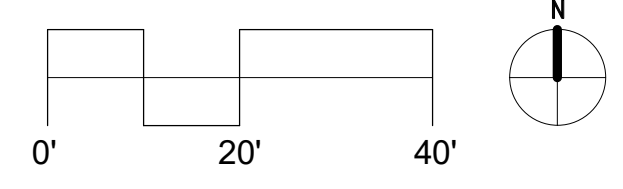
Neighborhood Meeting
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FLOOR PLAN - LEVEL
2-4

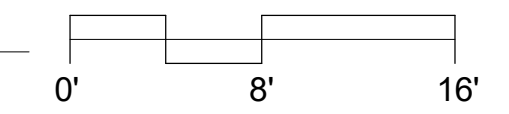
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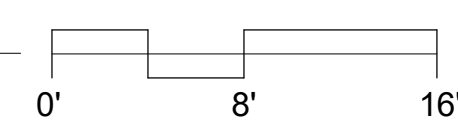




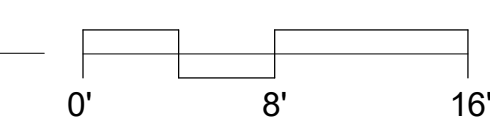
3 ELEVATION - NORTH
1/8" = 1'-0"



2 ELEVATION - EAST END
1/8" = 1'-0"



1 ELEVATION - EAST END
1/8" = 1'-0"



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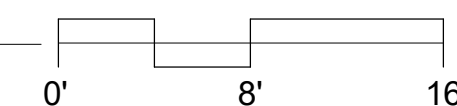
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BUILDING ELEVATIONS

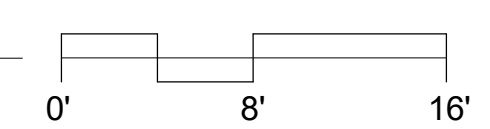
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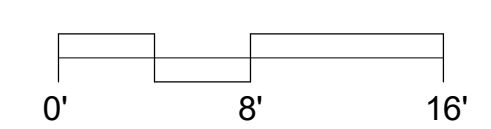
3 ELEVATION WEST
1/8" = 1'-0"



2 ELEVATION - SOUTH
1/8" = 1'-0"



1 ELEVATION - SOUTH END
1/8" = 1'-0"



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BUILDING ELEVATIONS

A2.2



EXTERIOR MATERIALS

1. FIBER CEMENT LAP SIDING
NAVAJO BEIGE



2. FIBER CEMENT PANEL
ARCTIC WHITE



3. FIBER CEMENT LAP SIDING
WOOD LOOK



4. UTILITY BRICK
BROWN WIRECUT FLASHED



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EXTERIOR DESIGN &
MATERIALS

A2.3



VIEW NORTH ON JACKSON ST NE



INTERSECTION OF 42ND AVE NE & JACKSON ST NE



ENTRANCE AT 42ND AVE NE



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EXTERIOR DESIGN

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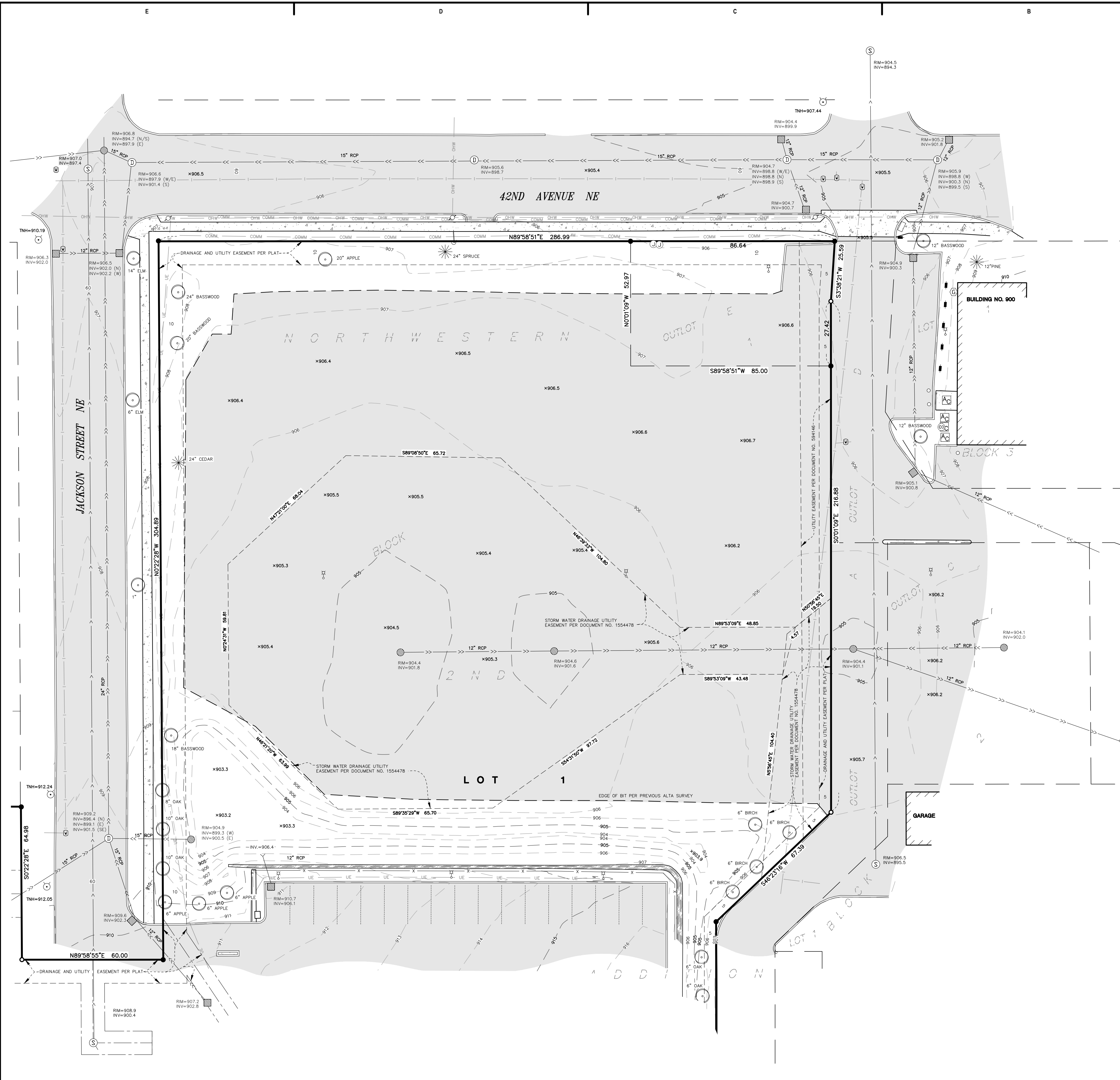
BUILDING HEIGHT
COMPARISON

A2.5

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1 BUILDING HEIGHT COMPARISON
1/16" = 1'-0"



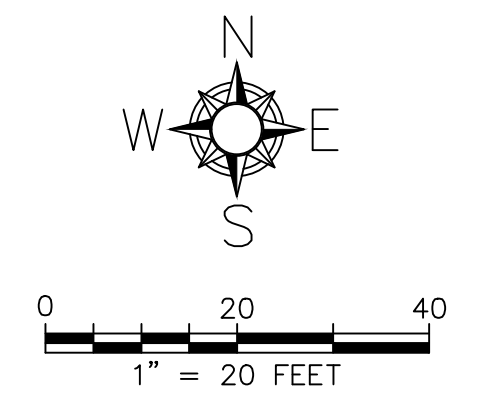
EXISTING CONDITIONS SURVEY

LEGAL DESCRIPTION:
Part of Lot 1, Block 1, and Outlot E, NORTHWESTERN 2ND ADDITION, Anoka County, Minnesota.

- NOTES:
- The horizontal datum and bearings are based on the Anoka County Coordinate System NAD83 (2011).
 - The vertical datum is NAVD 88. The site bench mark is the top nut of hydrant located 60 feet north of northeast property corner (depicted hereon). Elevation = 907.44 feet.
 - The area of the properties described hereon is:
Lot 1, Block 1, 217,874 square feet or 5.0017 acres
Outlot E, 4,523 square feet or 0.1038 acres
 - The location and extent of underground utilities, if shown, are based upon above ground evidence and Gopher State One Call markings per ticket number 210610321. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
 - The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
 - No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances.

LEGEND

- AIR CONDITIONER
- CATCH BASIN
- COMMUNICATION JUNCTION BOX
- CULVERT
- GAS METER
- GUARD POST
- HYDRANT
- LIGHT POLE
- POWER POLE
- POWER POLE ANCHOR
- SANITARY MANHOLE
- SIGN
- STORM MANHOLE
- WATER VALVE
- FOUND IRON MONUMENT
- SET MONUMENT WITH L.S. NO. 43501
- CONIFEROUS TREE
- DECIDUOUS TREE
- COMMUNICATION
- FENCE
- OVERHEAD WIRES
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- TRUNCATED DOMES
- RETAINING WALL



333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com



13605 1st Avenue N, #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

DAVID ANDERSON, LS
PRINT NAME

SIGNATURE
43501 04/05/2021
REGISTRATION NUMBER DATE

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: JML

Checked by: DA

Issue: P.U.D. SUBMITTAL Date: 04/05/2021

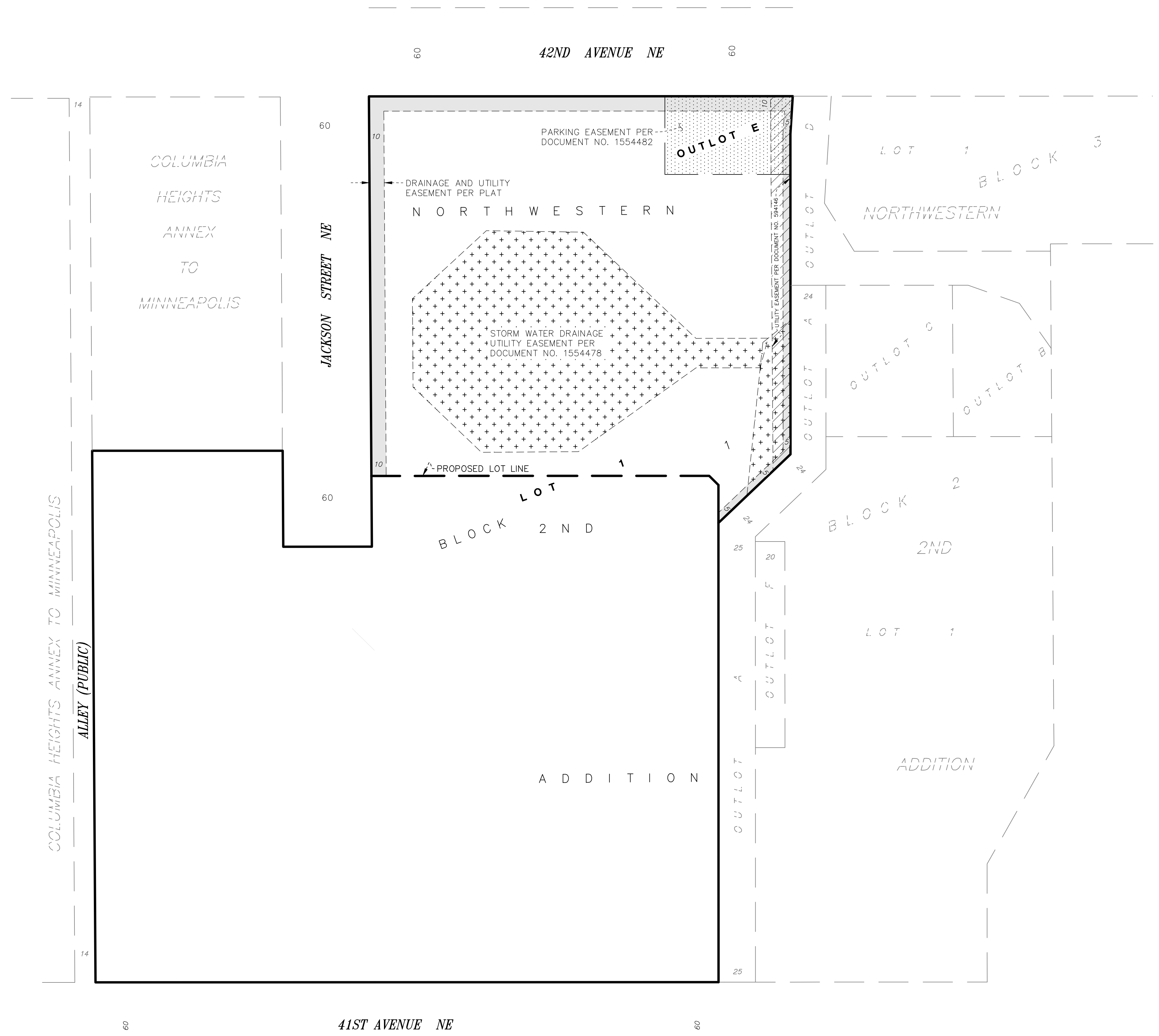
NORTHWESTERN 3RD ADDITION
COLUMBIA HEIGHTS, MN

EXISTING CONDITIONS

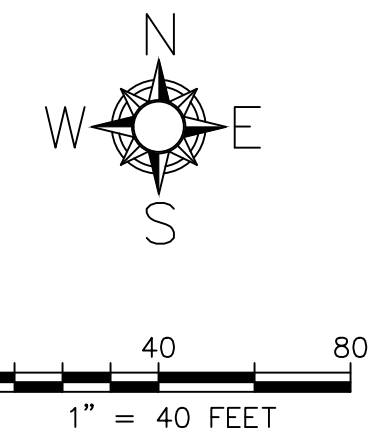
X-1

EXISTING EASEMENT EXHIBIT

LEGAL DESCRIPTION:
 Lot 1, Block 1, and Outlot E, NORTHWESTERN 2ND ADDITION,
 Anoka County, Minnesota.



- EASEMENTS:
1. Platted drainage and utility easements per NORTHWESTERN 2ND ADDITION
 2. Storm water drainage utility easement per document number 1554478.
 3. Utility easement per document number 594146.
 4. Parking easement over Outlot E per document number 1554482



333 Washington Ave N, Suite 210
 Minneapolis, Minnesota 55401
 612.676.2700 www.djr-inc.com



13605 1st Avenue N, #100
 Plymouth, MN 55441 | ae-mn.com
 P 763.412.4000 | F 763.412.4090
 Anderson Engineering of Minnesota, LLC

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

DAVID ANDERSON, LS

PRINT NAME: David Anderson

SIGNATURE: [Signature]

REGISTRATION NUMBER: 43501 DATE: 04/05/2021

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: JML

Checked by: DA

Issue: P.U.D. SUBMITTAL DATE: 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

EASEMENT EXHIBIT

X-2



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

LEE R. KOPPY, PE

PRINT NAME: *Lee R. Kopy*

SIGNATURE: *Lee R. Kopy*

41267 04/05/2021

REGISTRATION NUMBER DATE

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: KWH

Checked by: LRK

Issue: Date:

P.U.D. SUBMITTAL 04/05/2021

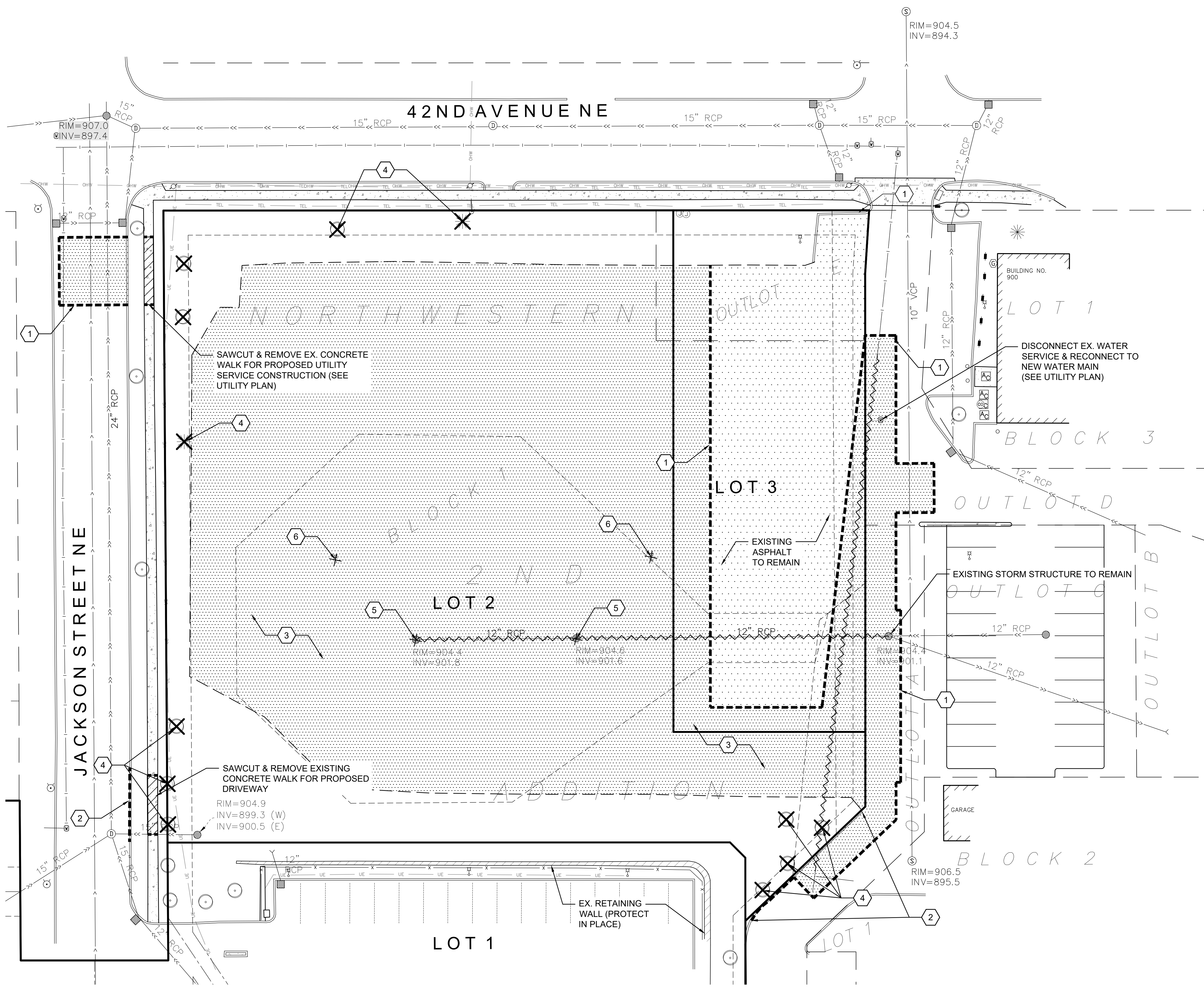
NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY DEMOLITION PLAN

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D-1

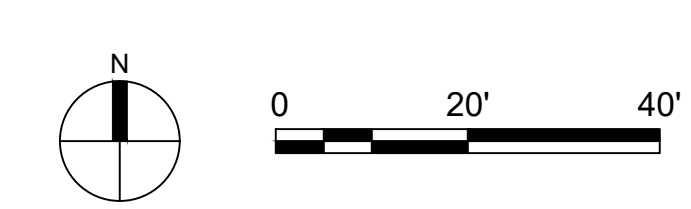


LEGEND

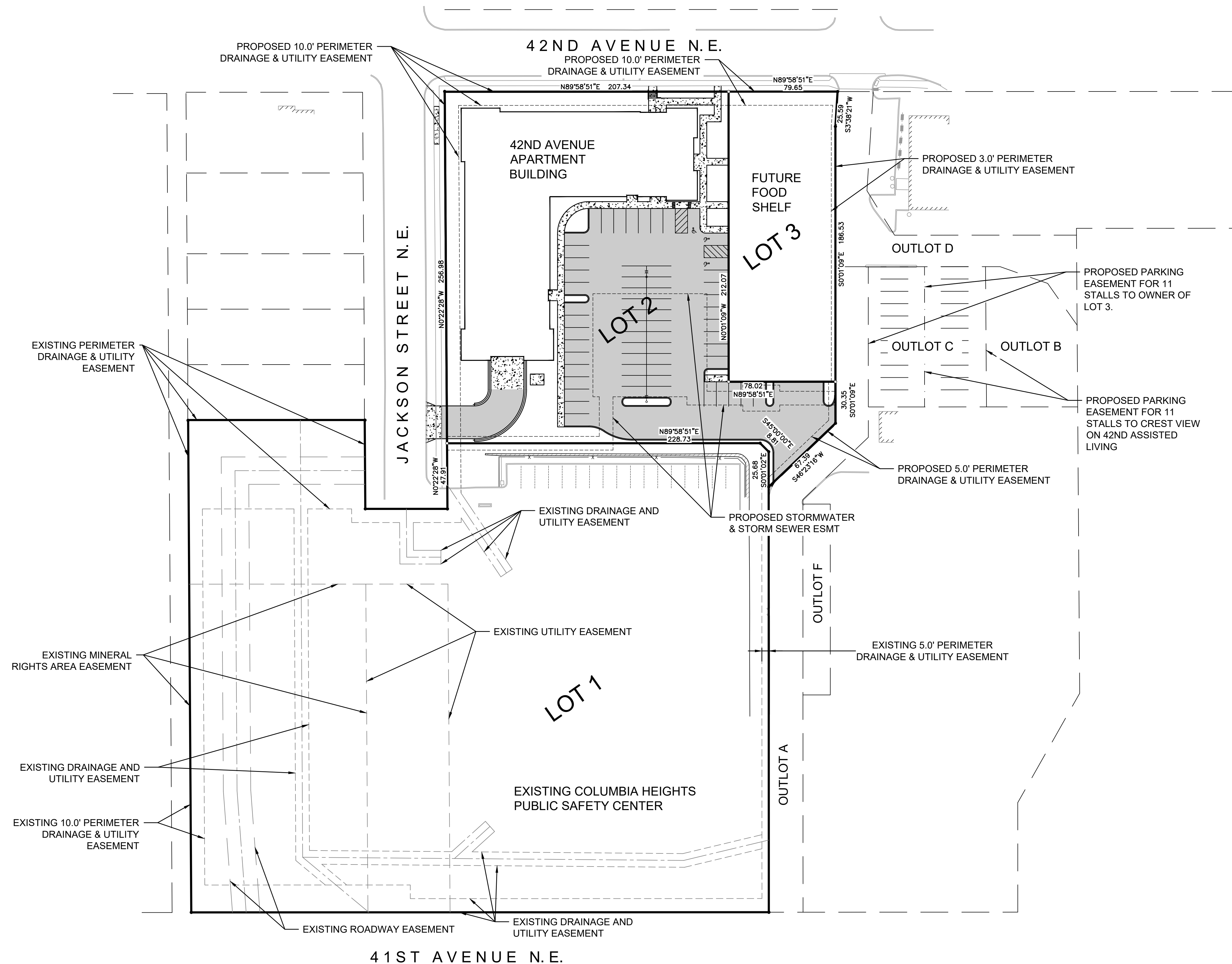
- PROPERTY LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING FENCE
- EXISTING GAS MAIN
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING HYDRANT AND GV
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER INLET
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE WALK
- REMOVE TREE
- EXISTING LIGHT STANDARD
- EXISTING POWER POLE

KEY NOTES

- 1 FULL DEPTH SAWCUT/PAVEMENT MATCH IN LINE. CONTRACTOR TO FIELD VERIFY EXTENTS AS NECESSARY.
- 2 REMOVE EXISTING CONCRETE CURB & GUTTER
- 3 REMOVE EXISTING ASPHALT PAVEMENT
- 4 REMOVE EXISTING TREE
- 5 REMOVE EXISTING STORM STRUCTURE
- 6 REMOVE EXISTING LIGHT STANDARD



PRELIMINARY PLAT OF: NORTHWESTERN 3RD ADDITION



LEGEND

- PROPERTY LIMITS
- ADJACENT PROPERTY
- PARKING EASEMENT
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CONC. C&G
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- NO PARKING ZONE
- HANDICAP STALL

SITE DATA

EXISTING

PROPERTY ADDRESS:
824 41ST AVE NE, COLUMBIA HEIGHTS, MN 55421

LEGAL DESCRIPTION:
BLOCK 1, LOT 1, NORTHWESTERN 2ND ADDITION,
AND OUTLOT E, NORTHWESTERN 2ND ADDITION,
ANOKA COUNTY, MINNESOTA

ZONING: R-4 MULTIPLE FAMILY RESIDENTIAL
DISTRICT

EXISTING PARCEL AREA: 5.00 ACRES

PROPOSED

ZONING: PLANNED UNIT DEVELOPMENT

LOT 1 AREA: 3.31 ACRES
LOT 2 AREA: 1.30 ACRES
LOT 3 AREA: 0.39 ACRES

TOTAL AREA=5.00 ACRES



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LEE R. KOPPY, PE

PRINT NAME

SIGNATURE

41267 04/05/2021
REGISTRATION NUMBER DATE

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: KWH

Checked by: LRK

Issue: Date:

P.U.D. SUBMITTAL 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY PLAT

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C-1

PARKING SUMMARY

	REQUIRED			EXTERIOR			UNDERGROUND			PROVIDED OUTLOT C			TOTAL SITE			GRAND TOTAL
	STANDARD	ADA	TOTAL	STD	COMPACT	ADA	STD	COMPACT	ADA	STD	COMPACT	ADA	STD	COMPACT	ADA	
LOT 2	103	5	108	35	24	3	43	1	2	0	0	0	78	25	5	108
LOT 3	TBD	TBD	SHARED	SHARED	SHARED	SHARED	0	0	0	11	0	0	11+SHARED	SHARED	SHARED	11+SHARED
TOTAL	103+LOT 3	5+LOT	108+LOT 3	35	24	3	43	1	2	11	0	0	89	25	5	119

LEGEND

- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- ADJACENT PROPERTY
- BUILDING SETBACKS
- PARKING SETBACK
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CONCRETE C&G
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- NO PARKING ZONE
- HANDICAP STALL DESIGNATION
- NUMBER OF PARKING STALL IN SECTION

KEY NOTES

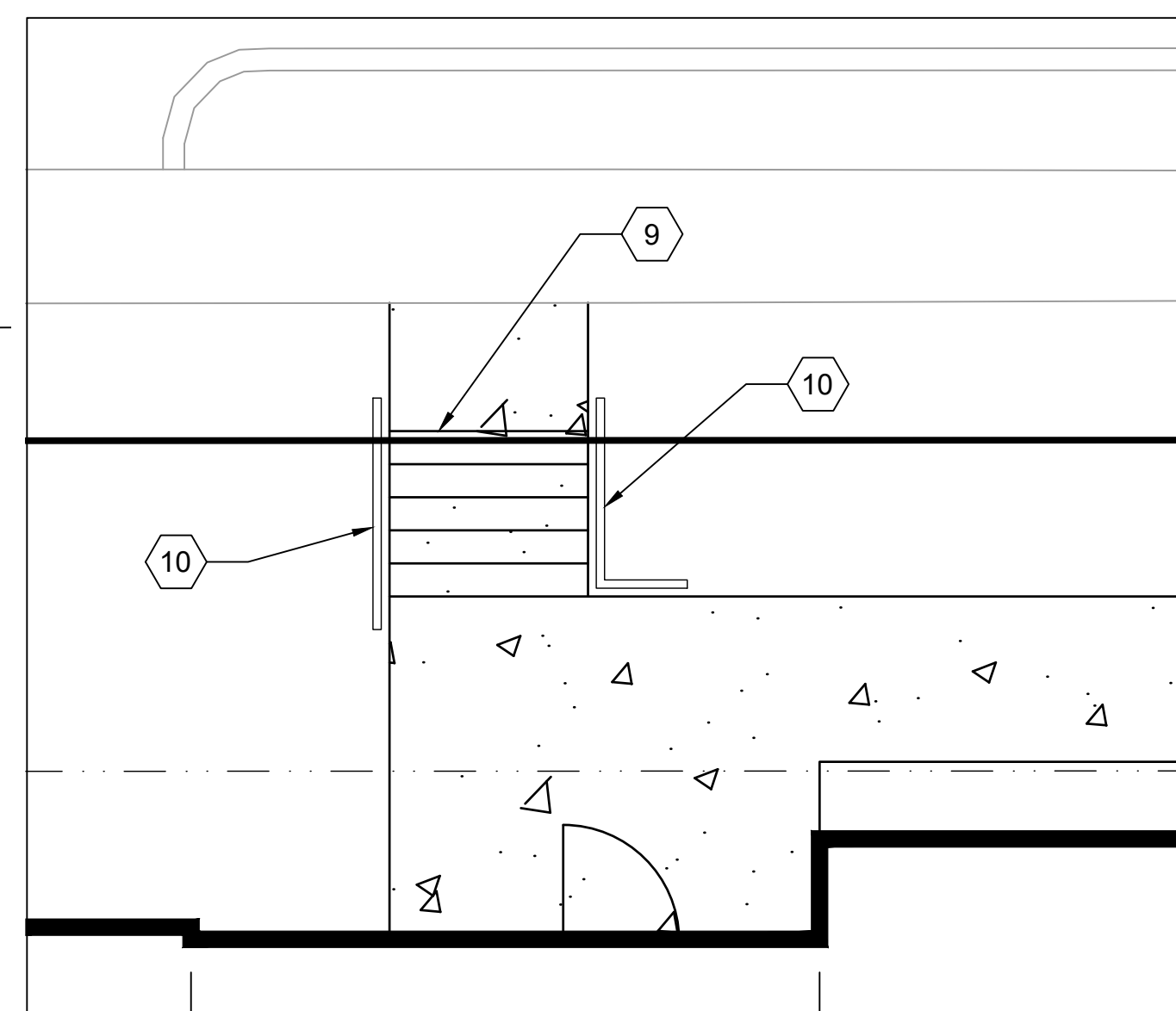
- 1 PROPOSED CONCRETE SIDEWALK (SEE DETAIL)
- 2 PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL)
- 3 CONCRETE CURB (SEE DETAIL)
- 4 CONCRETE SIDEWALK (SEE DETAIL)
- 5 ADA DETECTABLE WARNING PLATES
- 6 ADA PEDESTRIAN RAMP (SEE DETAIL)
- 7 FULL DEPTH SAWCUT / PAVEMENT MATCH IN LINE.
- 8 EXISTING ELECTRICAL JUNCTION BOX
- 9 CONCRETE STEPS (SEE DETAIL)
- 10 METAL RAILING. EXTEND 12" BEYOND ENDS OF THE STEPS/WALL. (SEE DETAIL)
- 11 RETAINING WALL. (STRUCTURAL DESIGN BY OTHERS)
- 12 CONCRETE PAVEMENT (SEE DETAIL)

BUILDING SETBACKS

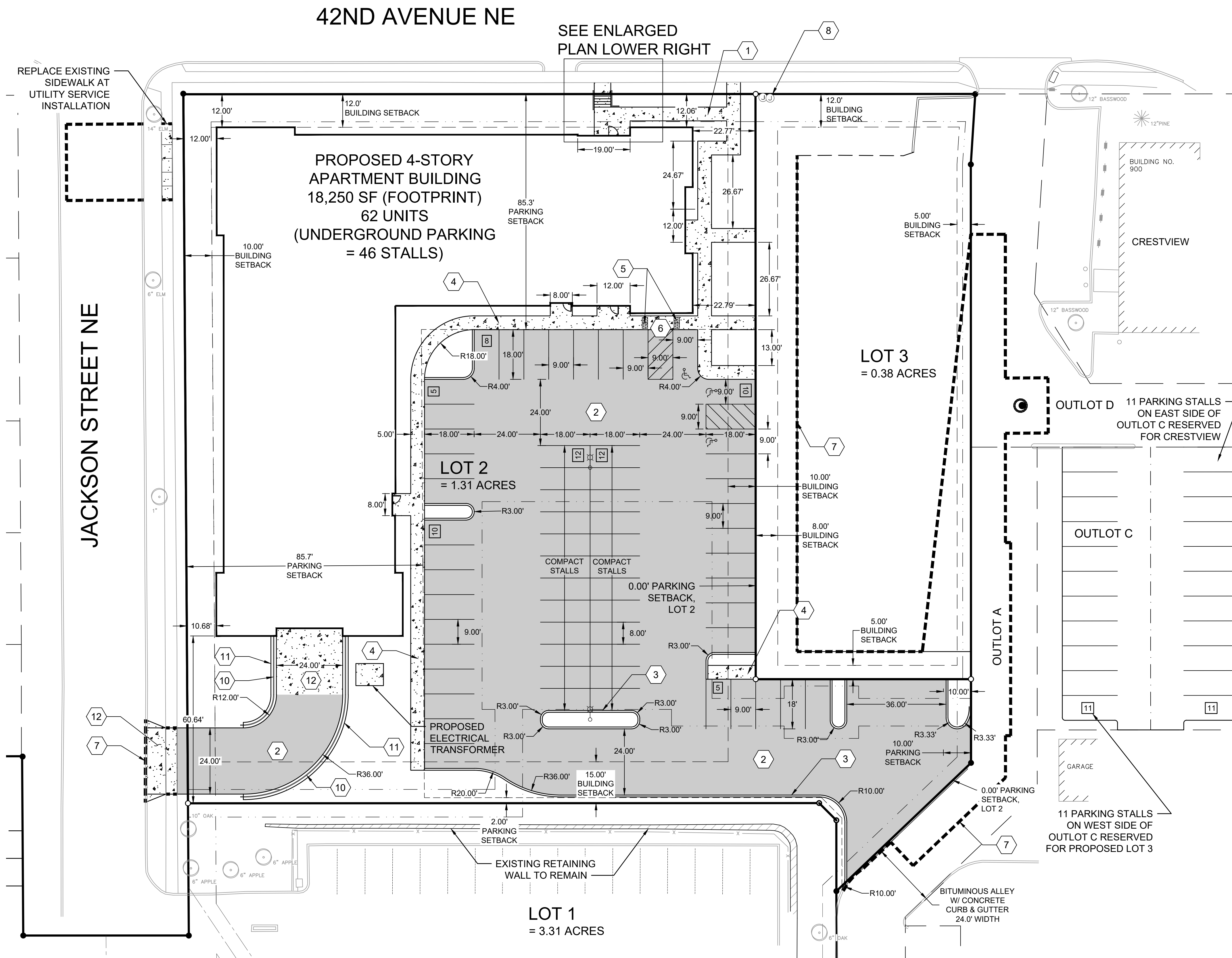
	LOT 2	LOT 3
FRONT	12.0'	12.0'
SIDE	10.0'	8.0'
SIDE CORNER	10.0'	5.0'
REAR	15.0'	5.0'

PARKING SETBACKS

	LOT 2
FRONT	85.3'
SIDE	0.0'
SIDE CORNER	85.7'
REAR	2.0'



ENLARGED ENTRY RAMP PLAN



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 PRINT NAME: _____
 SIGNATURE: *Lee R. Koppy*
 41267 REGISTRATION NUMBER 04/05/2021 DATE

Project #: (Anderson 16337)
 Date: 04/05/2021
 Drawn by: KWH
 Checked by: LRK

Issue: _____ Date: _____
 P.U.D. SUBMITTAL 04/05/2021

NORTHWESTERN 3RD ADDITION
 COLUMBIA HEIGHTS, MN
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PRELIMINARY SITE PLAN



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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

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PRELIMINARY GRADING PLAN

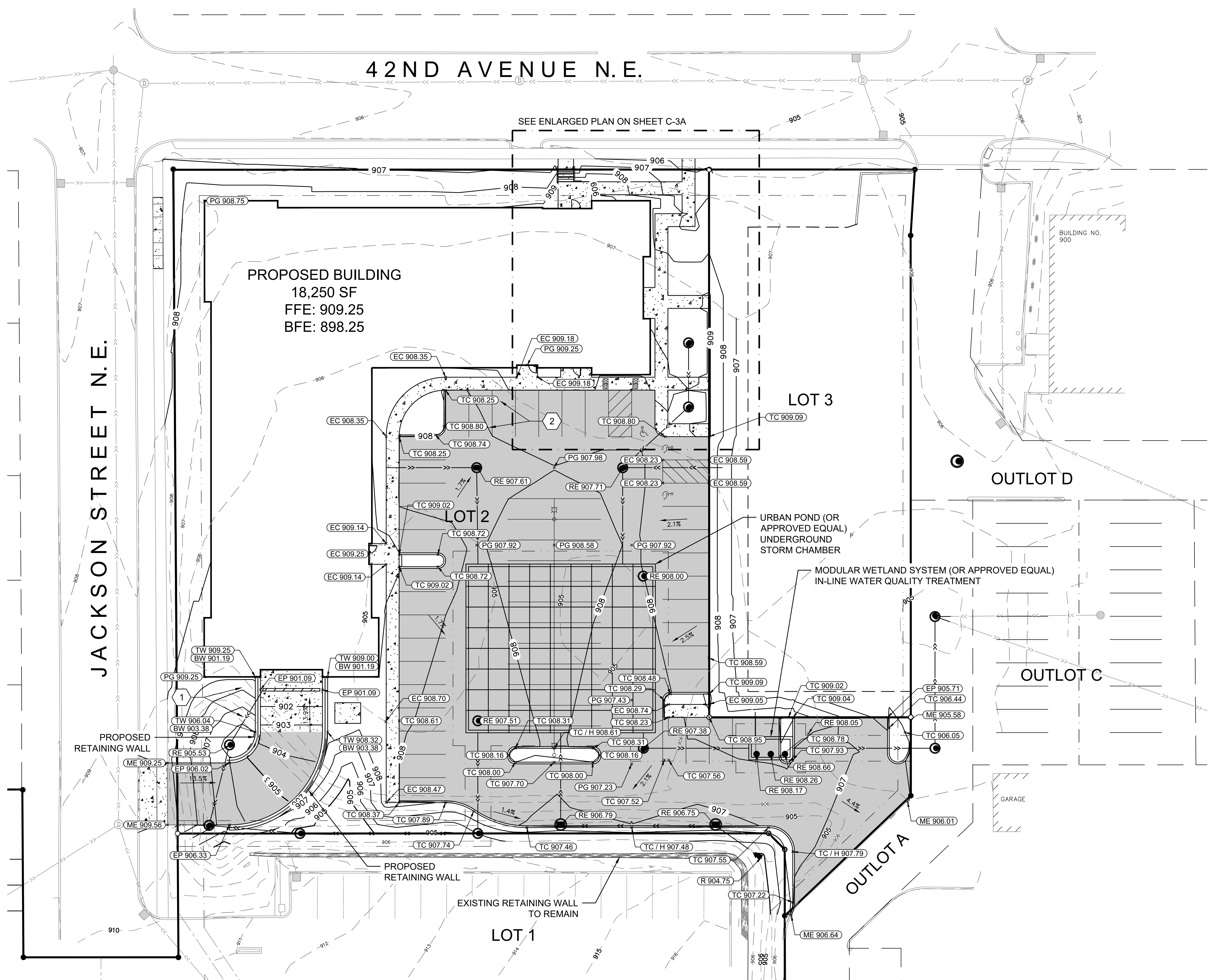
C-3

LEGEND

---	PROPERTY LIMITS
- - -	EXISTING MINOR CONTOUR
- - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
====	PROPOSED RETAINING WALL
====	PROPOSED CONCRETE C&G
---<<---	PROPOSED STORM SEWER
•	TOP OF CURB / HIGH POINT
•	RIM ELEVATION
•	TOP OF WALL
•	BOTTOM OF WALL
•	TOP OF STEP
•	BOTTOM OF STEP
•	EDGE OF CONCRETE
•	EDGE OF PAVEMENT
•	PROPOSED GRADE
•	MATCH EXISTING GRADE

KEY NOTES

- GRADE SWALE TO PREVENT WATER FROM DRAINING OVER RETAINING WALL.
- SPOT GRADES MARKED "TC" REFER TO TOP OF CURB OR TOP OF RAISED SIDEWALK GRADE. ADJACENT PAVEMENT ELEVATION IS 6" (0.5') BELOW THIS ELEVATION UNLESS OTHERWISE NOTED.



42ND AVENUE N.E.

JACKSON STREET N.E.

PROPOSED BUILDING
18,250 SF
FFE: 909.25
BFE: 898.25

LOT 3

LOT 2

LOT 1

OUTLOT D

OUTLOT C

OUTLOT A

URBAN POND (OR APPROVED EQUAL) UNDERGROUND STORM CHAMBER

MODULAR WETLAND SYSTEM (OR APPROVED EQUAL) IN-LINE WATER QUALITY TREATMENT

PROPOSED RETAINING WALL

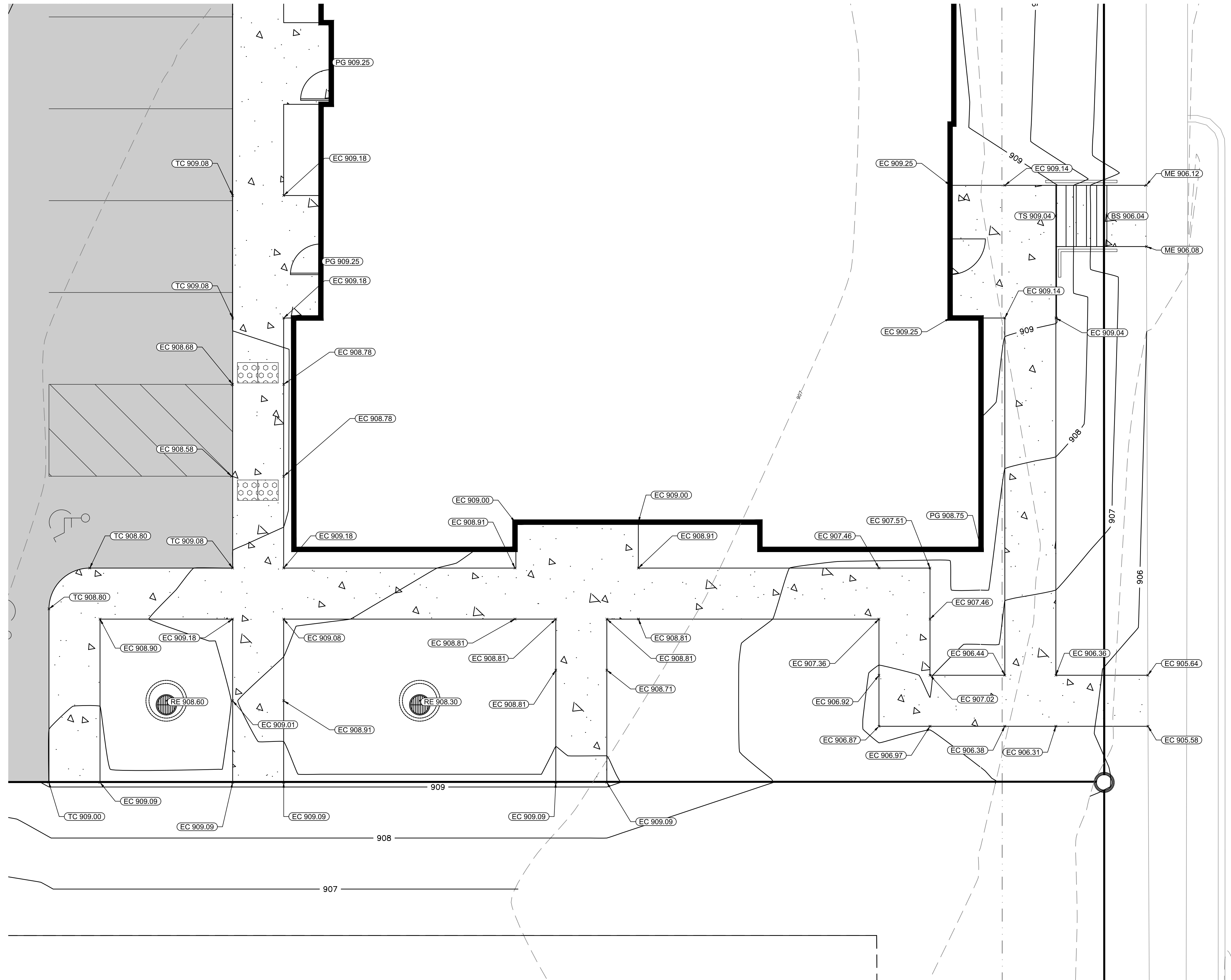
PROPOSED RETAINING WALL

EXISTING RETAINING WALL TO REMAIN

GARAGE

SEE ENLARGED PLAN ON SHEET C-3A

BUILDING NO. 900



LEGEND

---	PROPERTY LIMITS
- - -	EXISTING MINOR CONTOUR
- - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
====	PROPOSED RETAINING WALL
====	PROPOSED CONCRETE C&G
---<<---	PROPOSED STORM SEWER
▲	TOP OF CURB / HIGH POINT
○	RIM ELEVATION
▲	TOP OF WALL
○	BOTTOM OF WALL
▲	TOP OF STEP
○	BOTTOM OF STEP
▲	EDGE OF CONCRETE
○	EDGE OF PAVEMENT
---	PROPOSED GRADE
---	MATCH EXISTING GRADE

- KEY NOTES**
- 1 GRADE SWALE TO PREVENT WATER FROM DRAINING OVER RETAINING WALL.
 - 2 SPOT GRADES MARKED "TC" REFER TO TOP OF CURB OR TOP OF RAISED SIDEWALK GRADE. ADJACENT PAVEMENT ELEVATION IS 6" (0.5') BELOW THIS ELEVATION UNLESS OTHERWISE NOTED.

ENLARGED GRADING PLAN



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PRINT NAME	
SIGNATURE	<i>Lee R. Koppy</i>
41267	04/05/2021
REGISTRATION NUMBER	DATE
Project #:	(Anderson 16337)
Date:	04/05/2021
Drawn by:	KWH
Checked by:	LRK
Issue:	Date:
P.U.D. SUBMITTAL	04/05/2021

NORTHWESTERN 3RD ADDITION
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PRELIMINARY ENLARGED GRADING PLAN

C-3A



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PRINT NAME

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Date: 04/05/2021

Drawn by: KWH

Checked by: LRK

Issue: Date:

P.U.D. SUBMITTAL 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

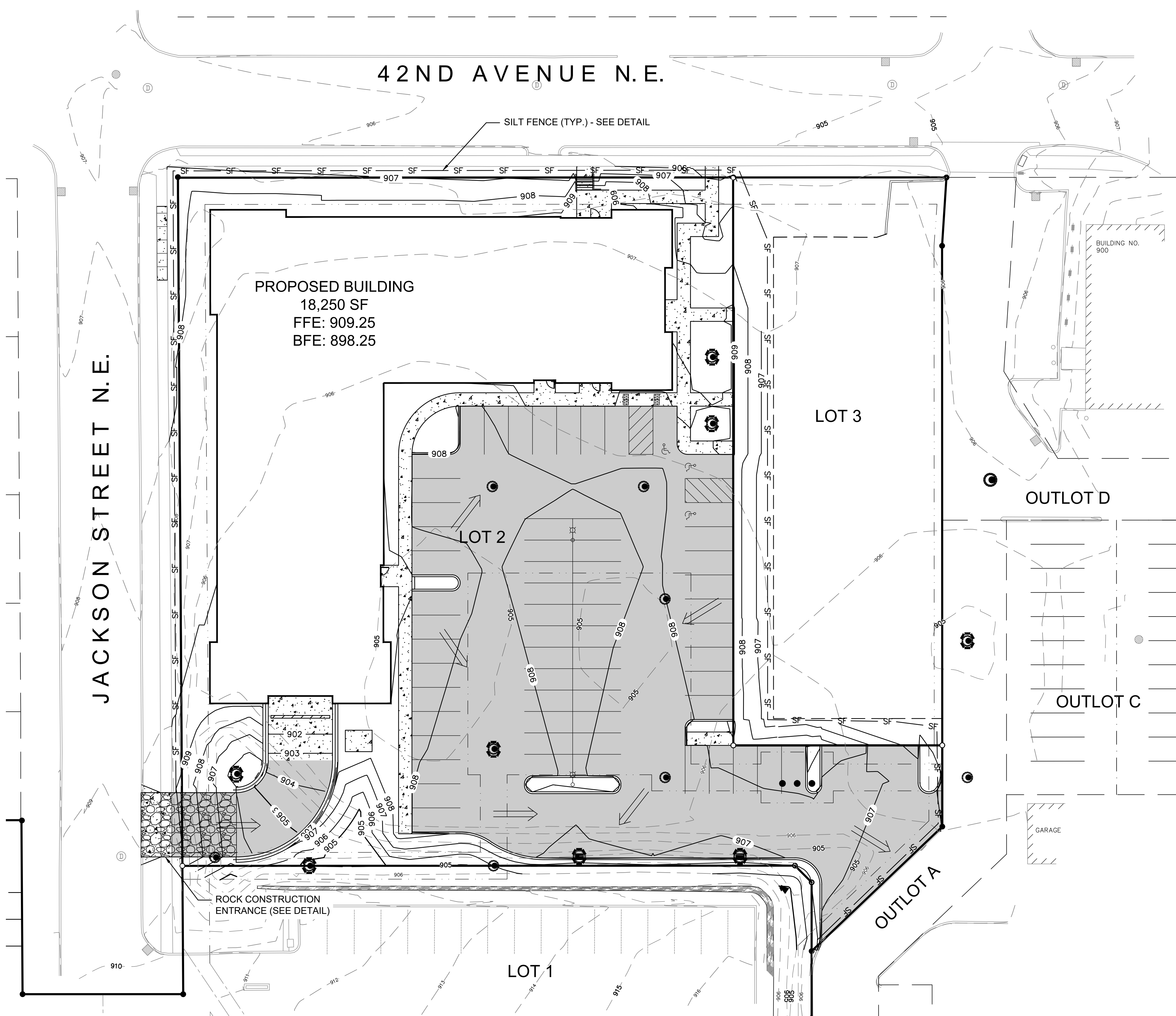
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PRELIMINARY EROSION CONTROL PLAN

C-4

LEGEND

- PROPERTY LIMITS
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE C&G
- DIRECTION OF FLOW
- SILT FENCE
- ROCK CONSTRUCTION ENTRANCE
- INLET PROTECTION AT CATCH BASIN OPENING





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REGISTRATION NUMBER: 41267 DATE: 04/05/2021

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: KWH

Checked by: LRK

Issue: P.U.D. SUBMITTAL DATE: 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY UTILITY PLAN

C-5

LEGEND

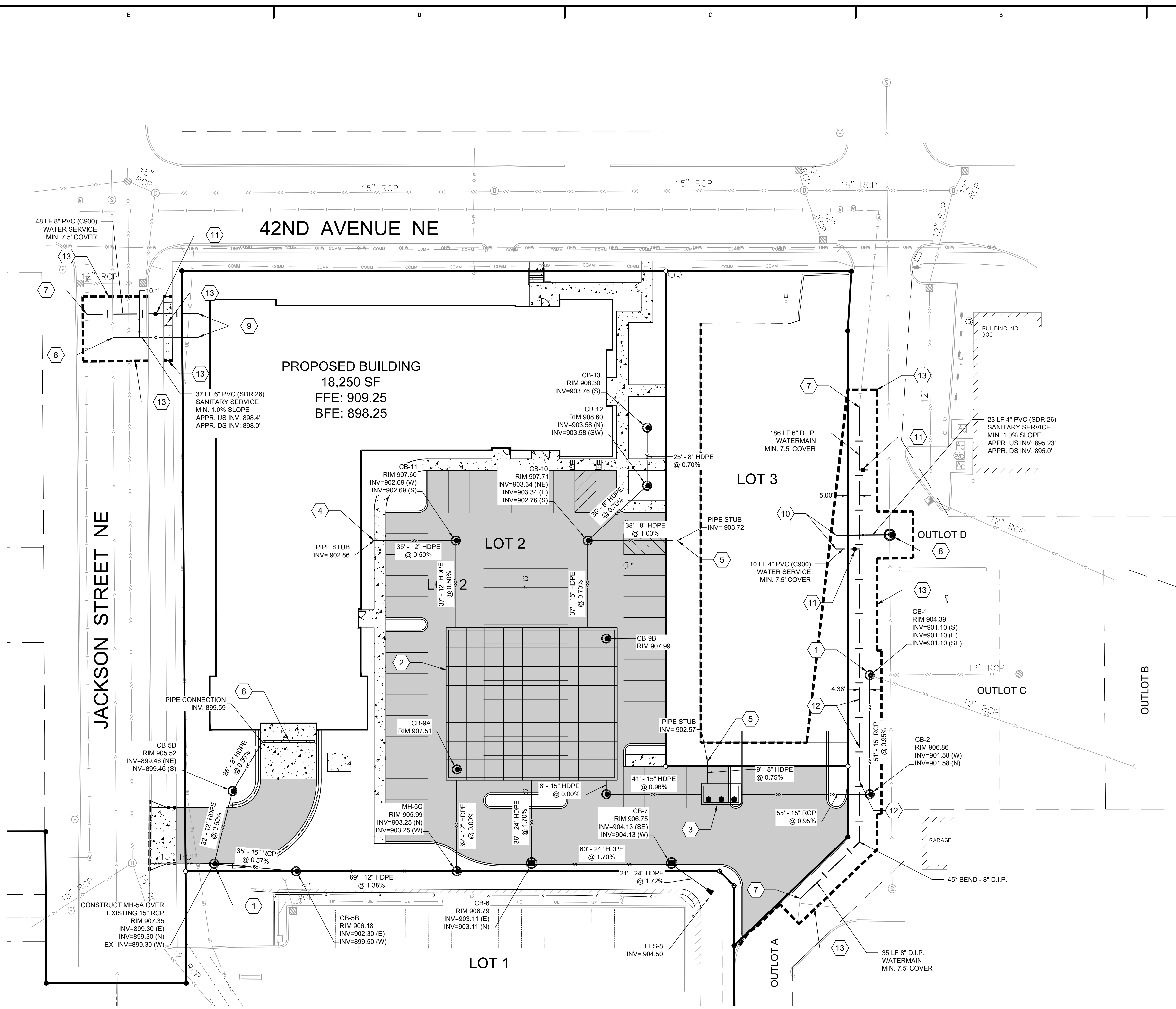
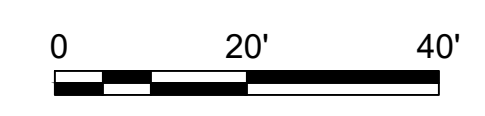
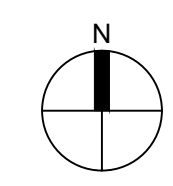
- PROPERTY LIMITS
- - - - - CONSTRUCTION LIMITS
- |—|—|— EXISTING WATERMAIN
- |—|—|— EXISTING SANITARY SEWER
- |—|—|— EXISTING STORM SEWER
- |—|—|— PROPOSED WATERMAIN
- |—|—|— PROPOSED SANITARY SEWER
- |—|—|— PROPOSED STORM SEWER
- |—|—|— PROPOSED DRAIN TILE
- ● ● ● PROPOSED WATERMAIN FITTING
- ○ ○ ○ PROPOSED SANITARY MANHOLE AND CLEANOUT
- ■ ■ ■ PROPOSED STORM INLETS

GENERAL NOTES

1. FOR ALL UTILITY DEMOLITION AND CONSTRUCTION WITHIN PUBLIC R.O.W., CONTRACTOR TO DETERMINE PAVEMENT SAWCUT AND REPLACEMENT LIMITS AS NECESSARY.

KEY NOTES

- 1 CONNECT EXISTING PIPE TO NEW STORM MANHOLE.
- 2 UNDERGROUND STORMWATER DETENTION CHAMBERS. URBAN POND (OR APPROVED EQUAL)
- 3 MODULAR WETLAND SYSTEM (OR APPROVED EQUAL) IN-LINE WATER QUALITY TREATMENT
- 4 STUB FOR BUILDING ROOF DRAINAGE CONNECTION TO 5.0' FROM PROPOSED FACE-OF-BUILDING
- 5 STUB PIPE FOR FUTURE BUILDING CONNECTION
- 6 TRENCH DRAIN, 22 LF 12" WIDTH
- 7 CONNECT TO EXISTING WATERMAIN
- 8 CONSTRUCT NEW MANHOLE & CONNECT TO SEWER
- 9 STUB SANITARY AND WATER SERVICE PIPES TO 5.0' FROM PROPOSED FACE-OF-BUILDING
- 10 STUB AND CAP NEW SANITARY AND WATER SERVICE PIPES FOR FUTURE BUILDING.
- 11 PROPOSED WATER SERVICE VALVE
- 12 INSULATE WATERMAIN HORIZONTALLY ALONG FULL LENGTH OF PIPE WHERE 10' HORIZONTAL SPACING CANNOT BE MAINTAINED BETWEEN WATERMAIN AND SANITARY OR STORM SEWER PIPES. INSULATE VERTICALLY WHERE WATERMAIN CROSSES STORM OR SANITARY SEWER WITH LESS THAN 4' VERTICAL CLEARANCE. USE 4' X 8' X 2" FOAM BOARD.
- 13 SAWCUT EXISTING



42ND AVENUE NE

JACKSON STREET NE

PROPOSED BUILDING
18,250 SF
FFE: 909.25
BFE: 898.25

LOT 1

LOT 2

LOT 3

OUTLOT C

OUTLOT D

OUTLOT A

OUTLOT B

GARAGE

BUILDING NO. 900

CONSTRUCT MH-5A OVER EXISTING 15" RCP
RIM 907.35
INV=899.30 (E)
INV=899.30 (N)
EX. INV=899.30 (W)

CB-5D
RIM 905.52
INV=899.46 (NE)
INV=899.46 (S)

37 LF 6" PVC (SDR 26)
SANITARY SERVICE
MIN. 1.0% SLOPE
APPR. US INV: 898.4'
APPR. DS INV: 898.0'

CB-5B
RIM 906.18
INV=902.30 (E)
INV=899.50 (W)

CB-6
RIM 906.79
INV=903.11 (E)
INV=903.11 (N)

CB-7
RIM 906.75
INV=904.13 (SE)
INV=904.13 (W)

CB-9A
RIM 907.51

CB-9B
RIM 907.99

CB-10
RIM 907.71
INV=903.34 (NE)
INV=903.34 (E)
INV=902.76 (S)

CB-11
RIM 907.90
INV=902.69 (W)
INV=902.69 (S)

CB-12
RIM 908.60
INV=903.58 (N)
INV=903.58 (SW)

CB-13
RIM 908.30
INV=903.76 (S)

35 LF 8" D.I.P.
WATERMAIN
MIN. 7.5' COVER

CB-2
RIM 906.86
INV=901.58 (W)
INV=901.58 (N)

CB-1
RIM 904.39
INV=901.10 (S)
INV=901.10 (E)
INV=901.10 (SE)

186 LF 6" D.I.P.
WATERMAIN
MIN. 7.5' COVER

23 LF 4" PVC (SDR 26)
SANITARY SERVICE
MIN. 1.0% SLOPE
APPR. US INV: 895.23'
APPR. DS INV: 895.0'

PIPE STUB
INV= 903.72

25' - 8" HDPE
@ 0.70%

35' - 8" HDPE
@ 0.710%

38' - 8" HDPE
@ 1.00%

37' - 15" HDPE
@ 0.70%

37' - 12" HDPE
@ 0.50%

35' - 12" HDPE
@ 0.50%

35' - 15" RCP
@ 0.57%

32' - 12" HDPE
@ 0.50%

28' - 8" HDPE
@ 0.50%

21' - 24" HDPE
@ 1.72%

19' - 12" HDPE
@ 1.38%

69' - 12" HDPE
@ 1.38%

6' - 15" HDPE
@ 0.00%

41' - 15" HDPE
@ 0.96%

9' - 8" HDPE
@ 0.75%

55' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

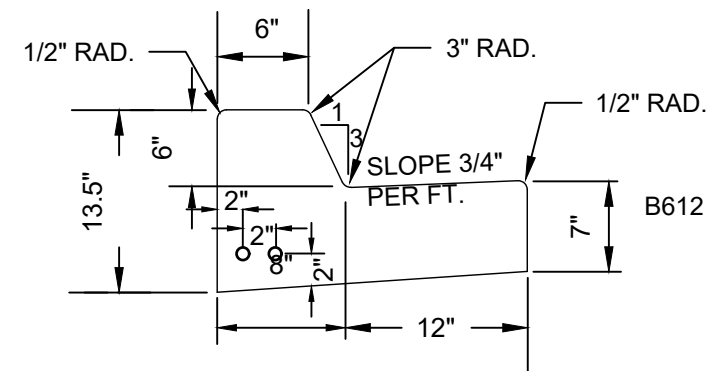
51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

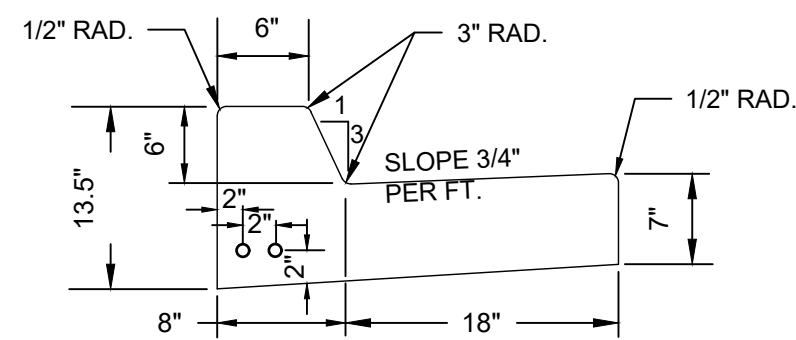
51' - 15" RCP
@ 0.95%

51' - 15" RCP
@ 0.95%

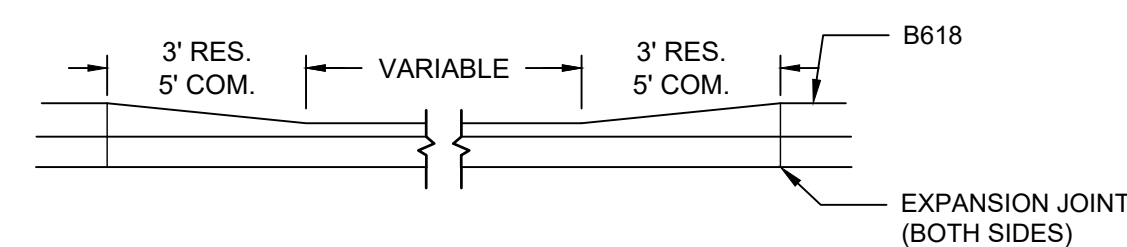
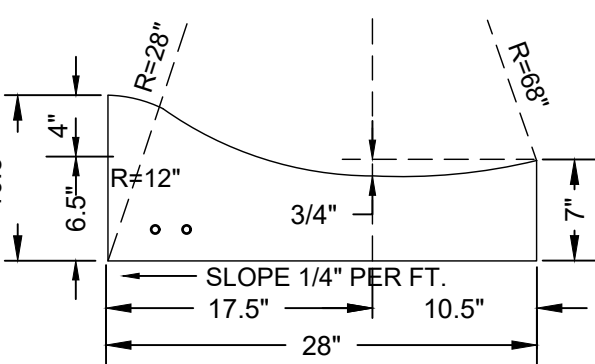
51' - 15" RCP
@ 0.95%



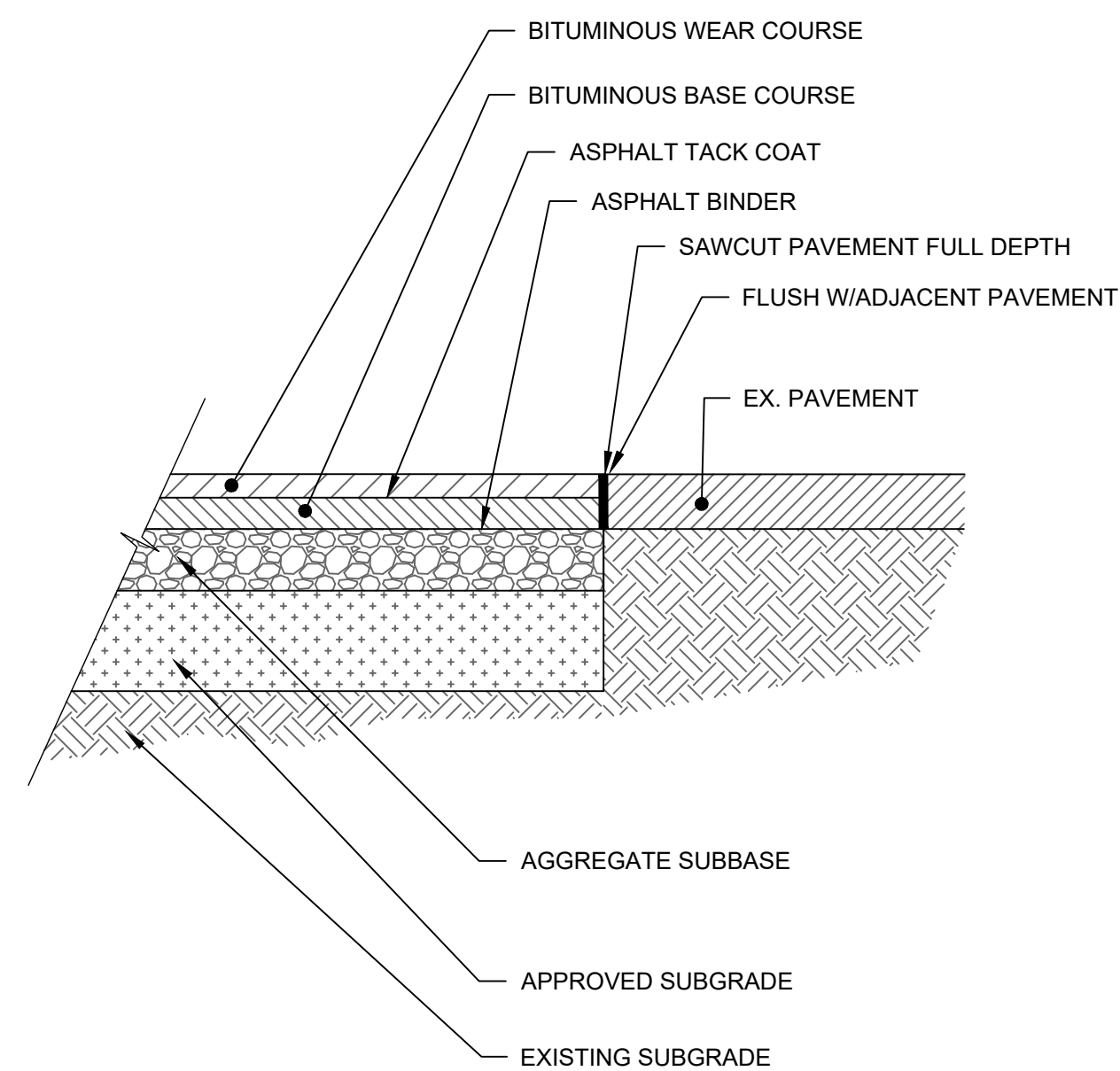
AT ALL TRENCHES #4 REINFORCING RODS SHALL BE PLACED IN THE LOWER PORTION OF THE CURB 20 FEET IN LENGTH.
#4 REINFORCING RODS AT CATCH BASINS NO LESS THEN 10 FEET IN LENGTH.
NOTE:
CONTROL JOINTS SHALL CONFORM WITH MNDOT SPEC. 2531.3C.



SURMOUNTABLE
NOTE:
B618 CURB TO BE USED AT RADIUS. SEE CITY PLATE NO. STRT-5

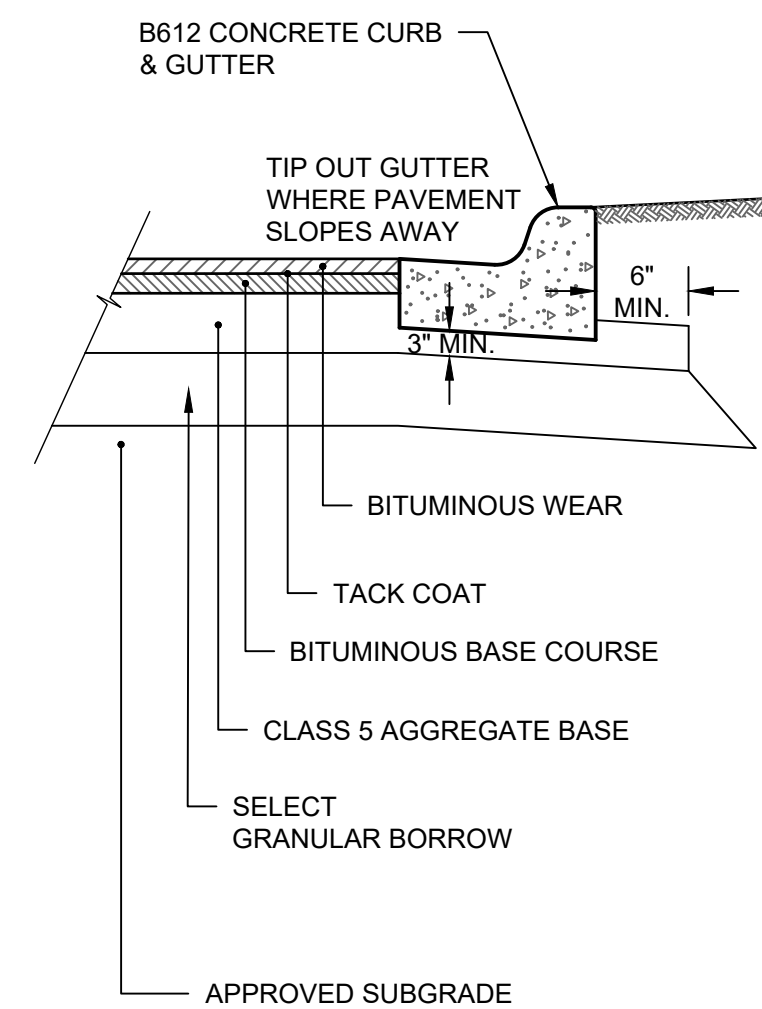


1 CONCRETE CURB
SCALE: N.T.S.

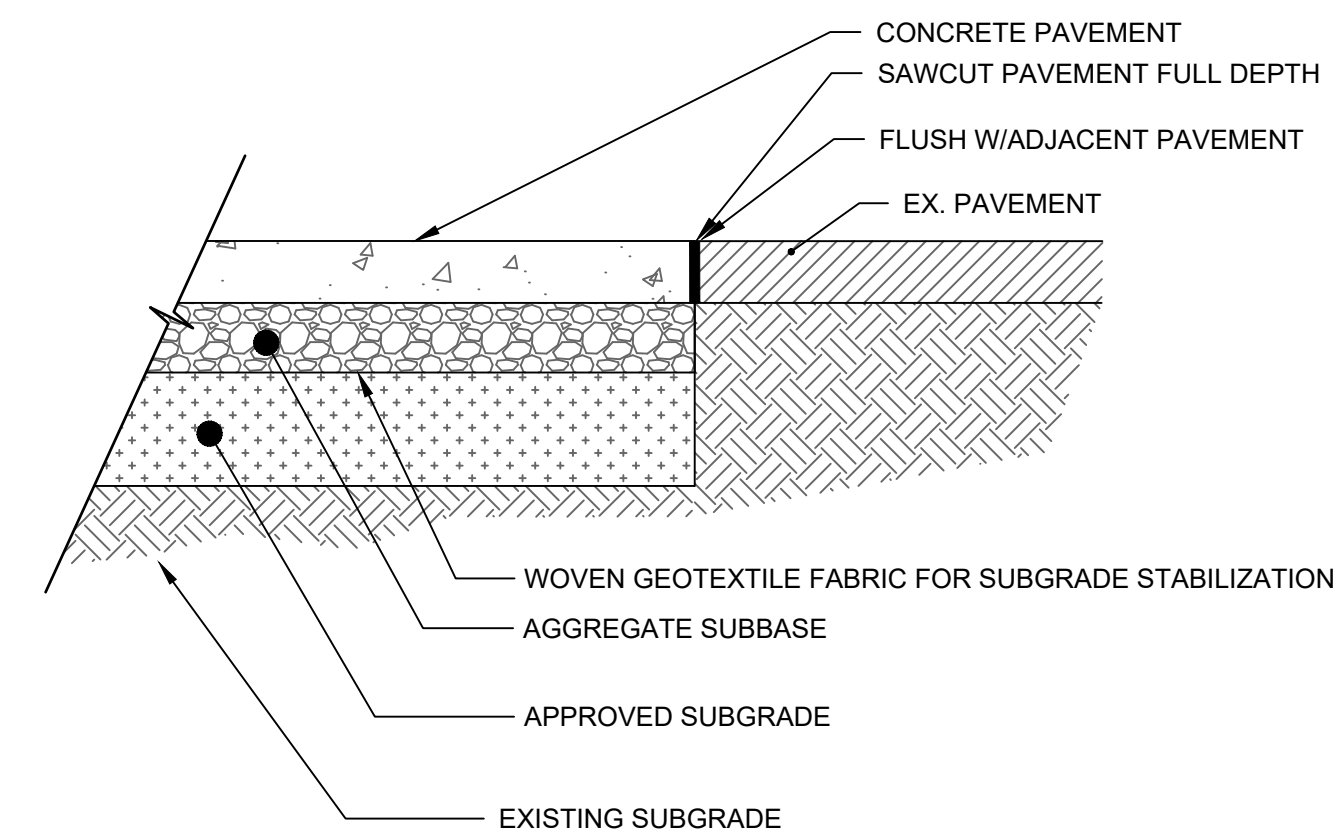


NOTES:
1. VERIFY ASPHALT AND BASE COURSE WITH GEOTECHNICAL REPORT AND RECOMMENDATIONS.

2 ASPHALT PAVEMENT
SCALE: N.T.S.

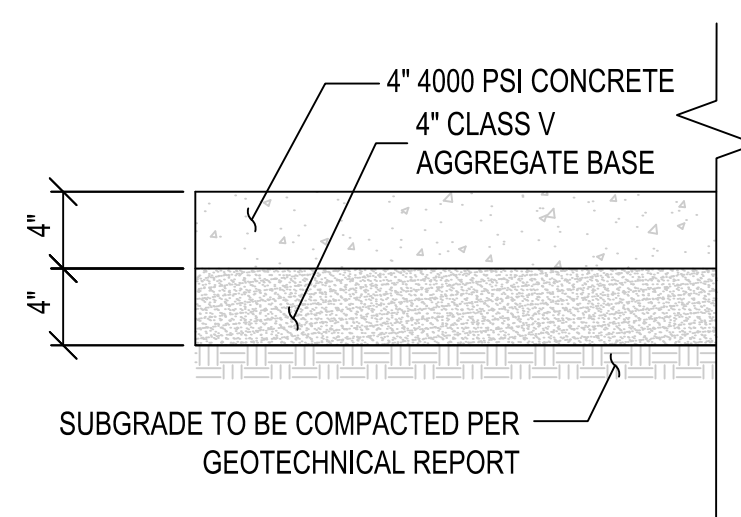


PAVEMENT SECTION
NOT TO SCALE
NOTE: VERIFY PAVEMENT SECTION DESIGN AND SUBGRADE REQUIREMENTS WITH GEOTECHNICAL REPORT AND RECOMMENDATIONS PRIOR TO CONSTRUCTION.

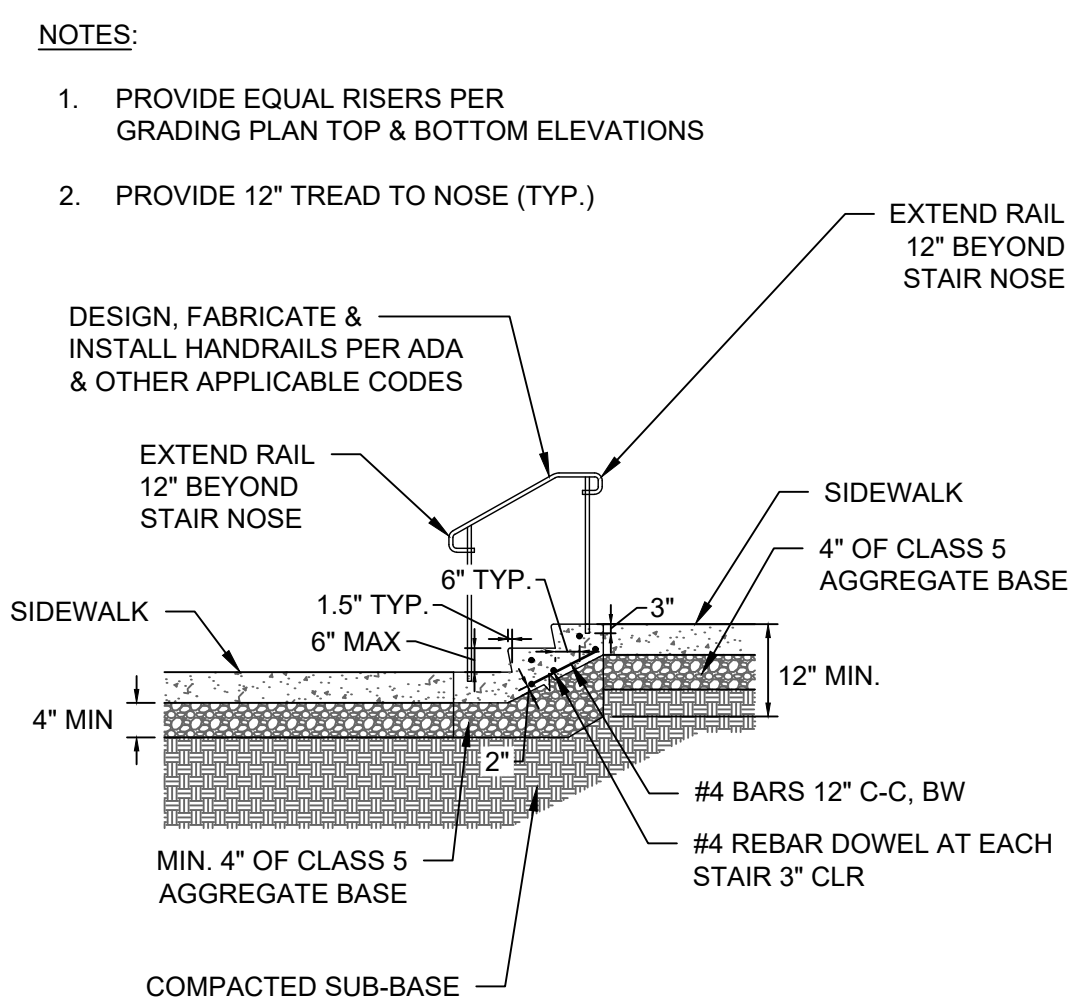


NOTES:
1. EXTEND 6\"/>

3 CONCRETE PAVEMENT
SCALE: N.T.S.

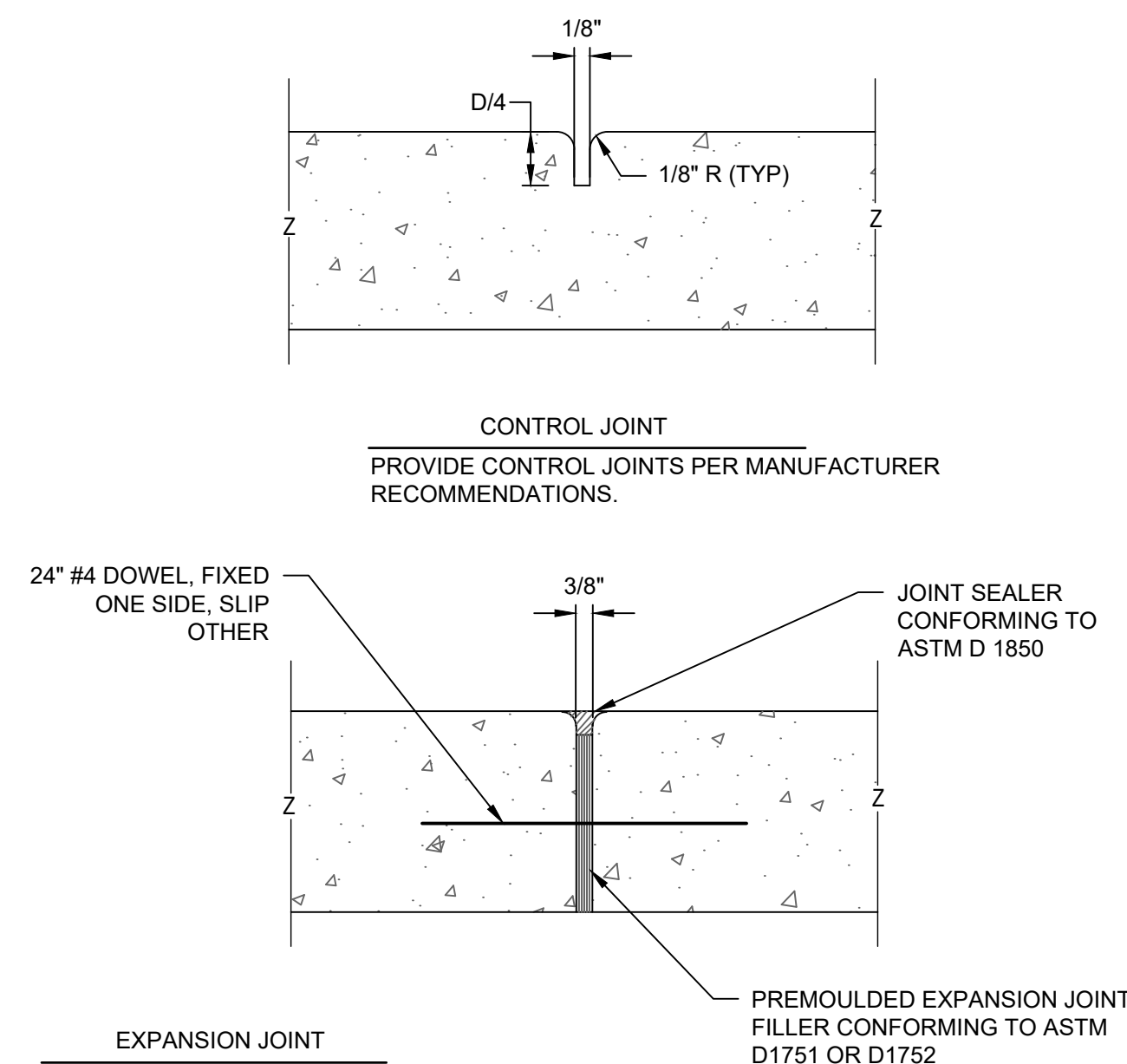


4 CONCRETE SIDEWALK
SCALE: N.T.S.



* DELEGATED DESIGN: CONTRACTOR TO DESIGN ALL STAIRCASES, RAMPS AND HANDRAILS TO MN ADA STANDARDS.

5 CONCRETE STEPS W/ RAILING
SCALE: N.T.S.



EXPANSION JOINT
PROVIDE EXPANSION JOINTS AT BUILDING AND CONCRETE STOOP INTERFACE, AS WELL AS EVERY 24 FEET OF CONTINUOUS SIDEWALK AND AT SIDEWALK INTERSECTIONS.

NOTE: JOINTS CAN BE SAW CUT.

6 CONCRETE JOINTS
SCALE: N.T.S.



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Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

LEE R. KOPPY, PE

PRINT NAME

SIGNATURE

41267

REGISTRATION NUMBER

04/05/2021

DATE

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: KWH

Checked by: LRK

Issue: P.U.D. SUBMITTAL

Date: 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

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PRELIMINARY CIVIL DETAILS 1

C-6

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

LEE R. KOPPY, PE
PRINT NAME

Lee R. Koppy
SIGNATURE

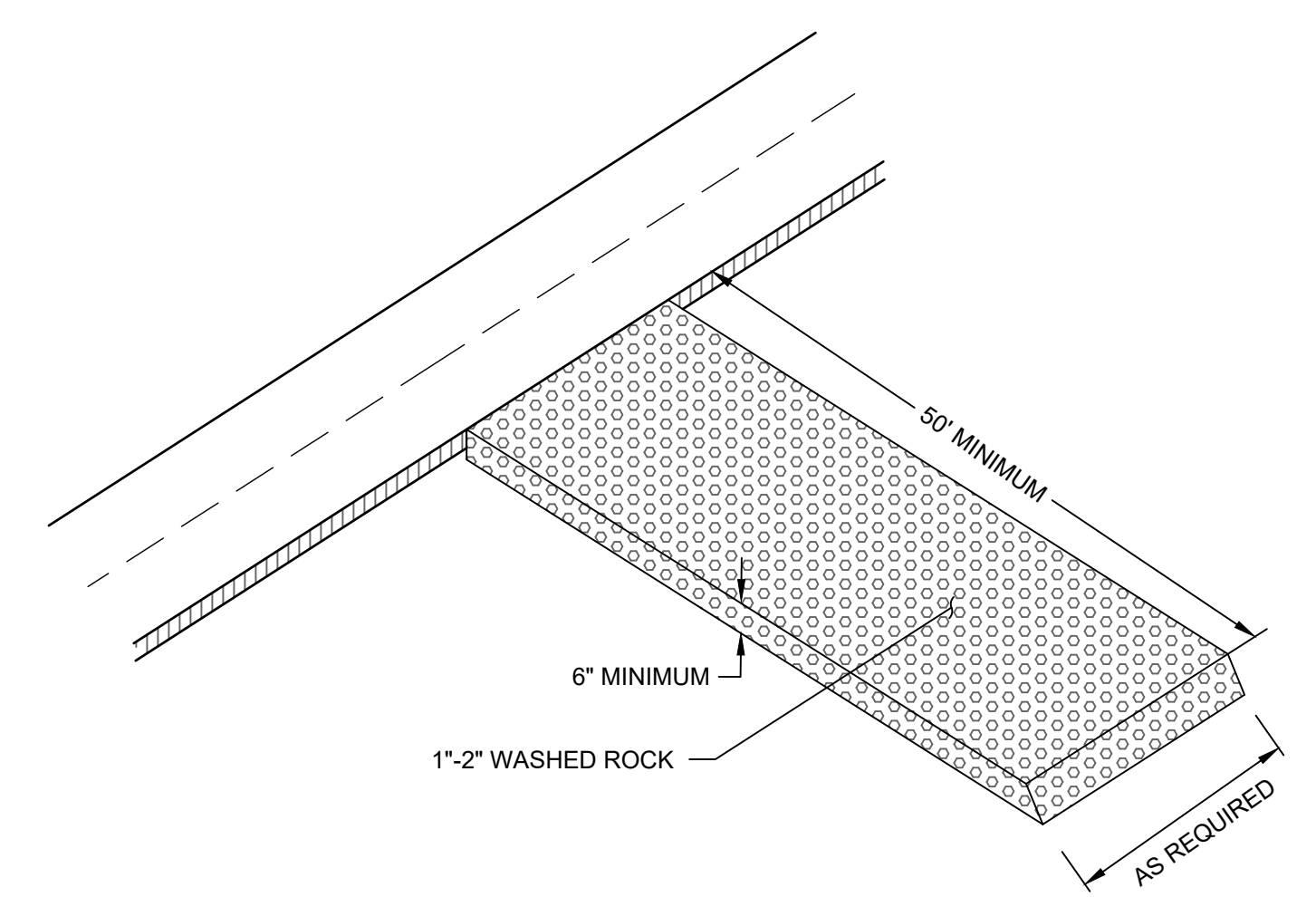
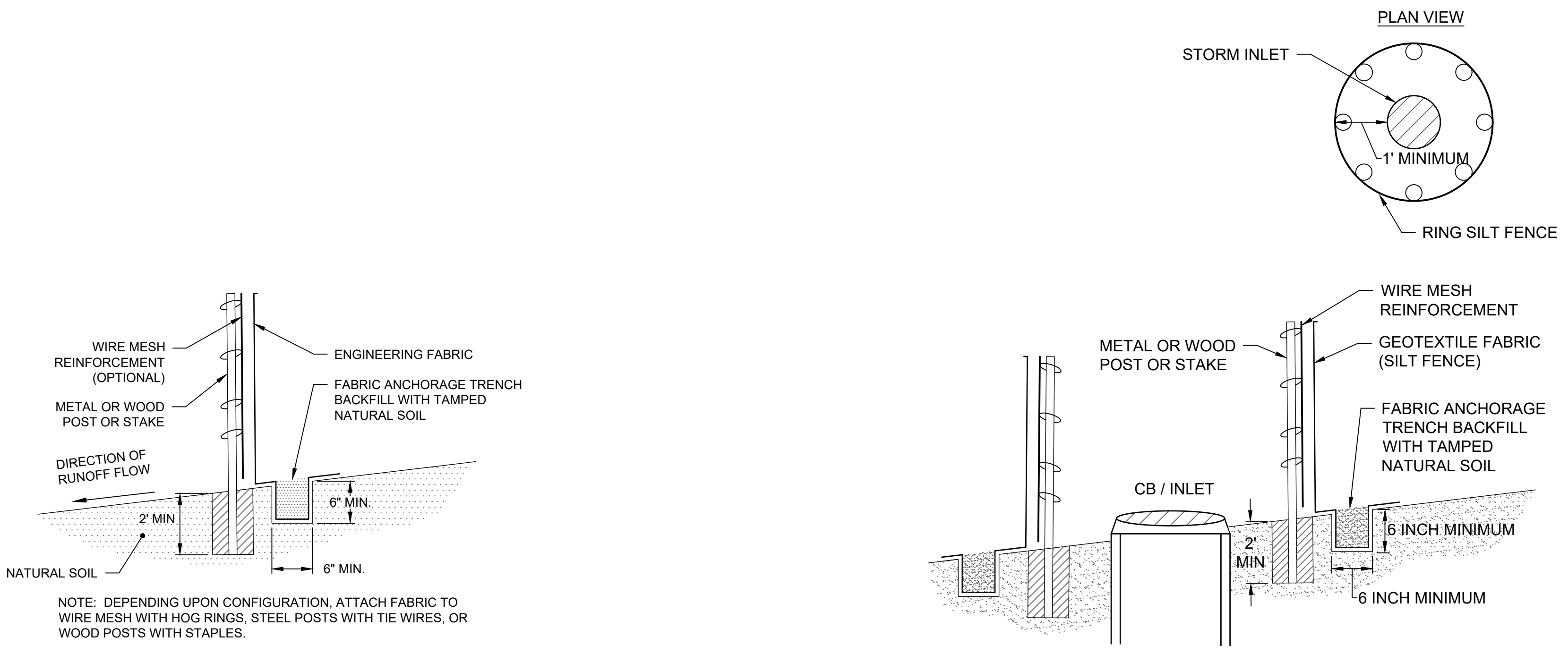
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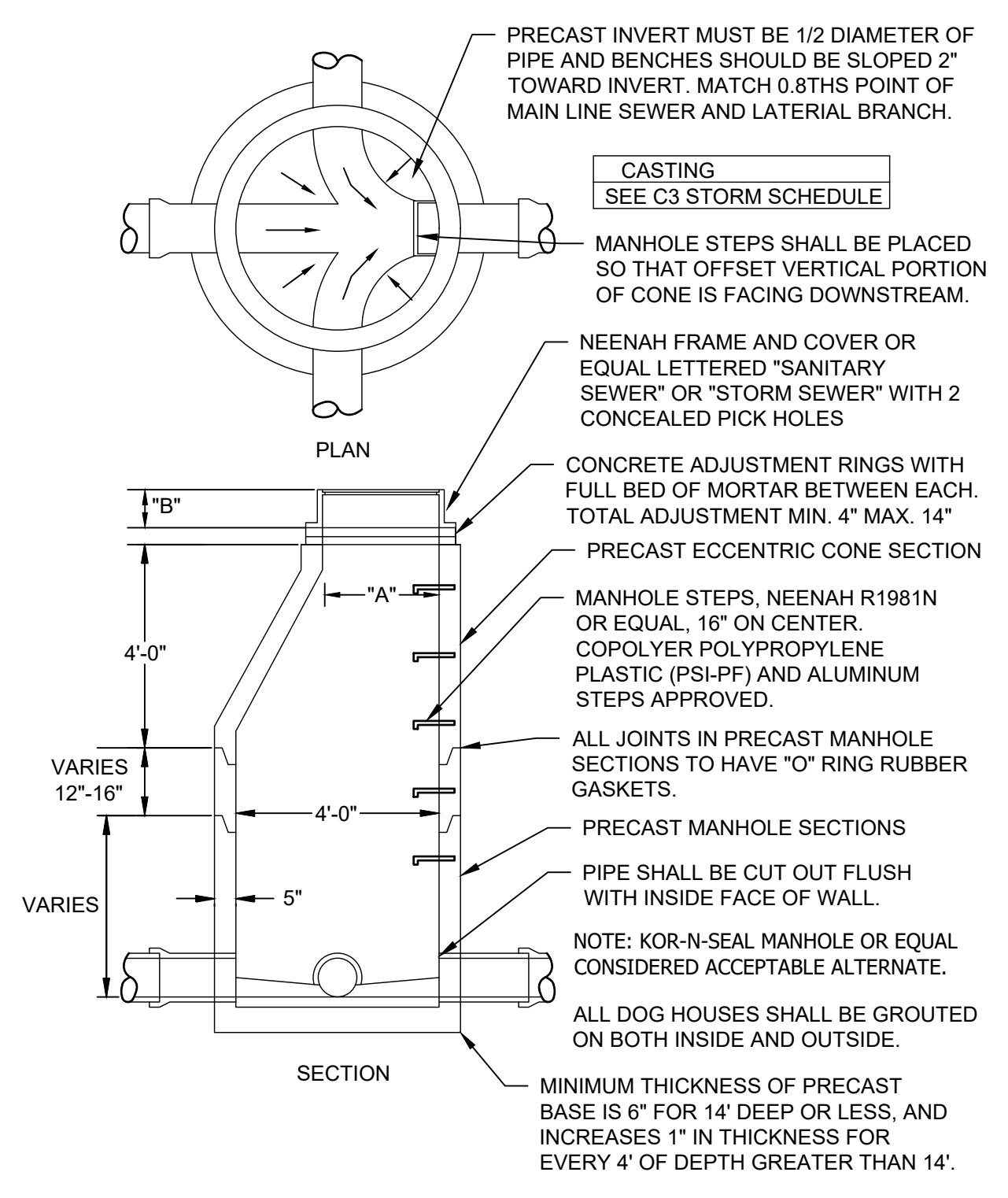
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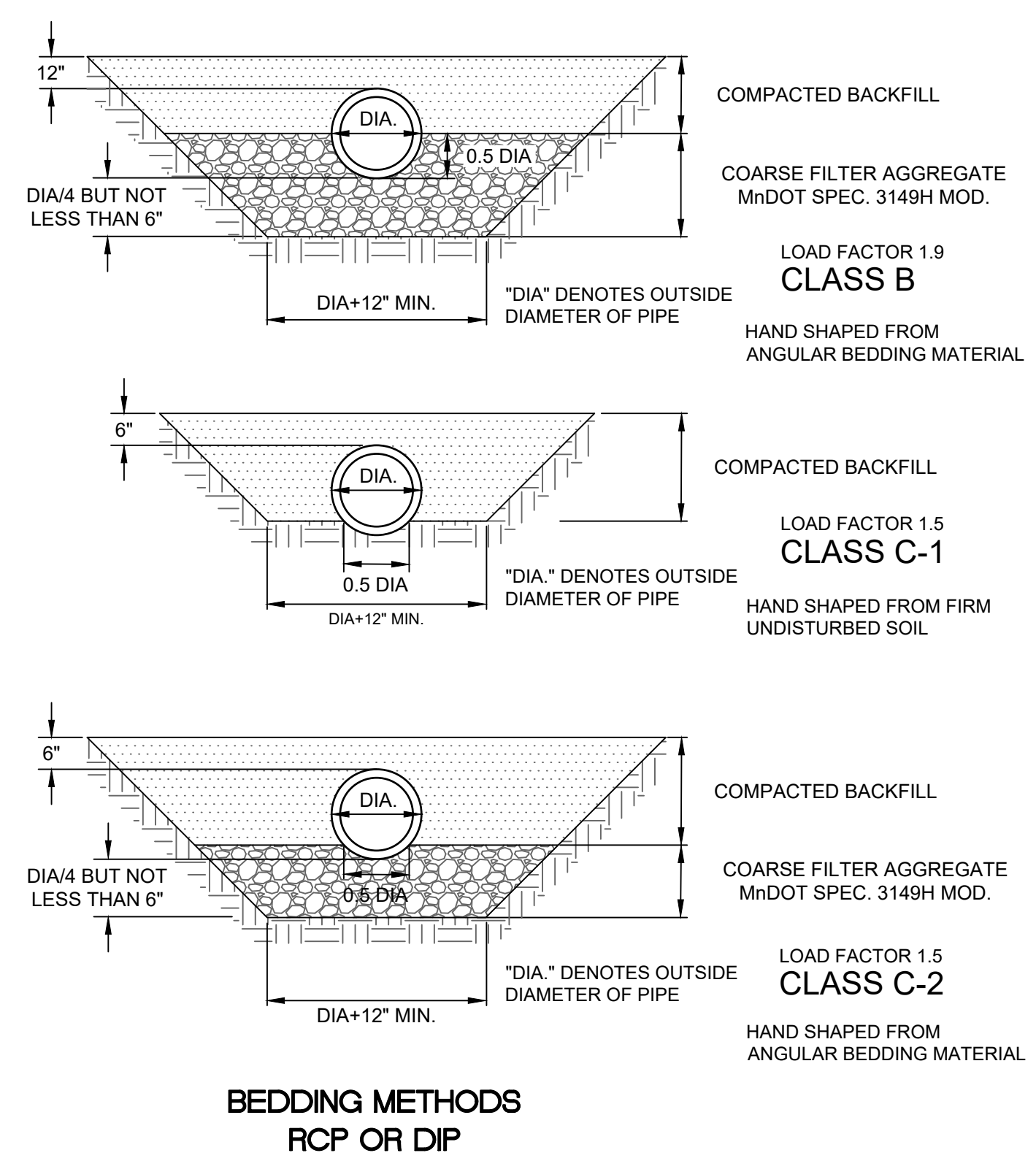
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2 STORM DRAIN INLET PROTECTION
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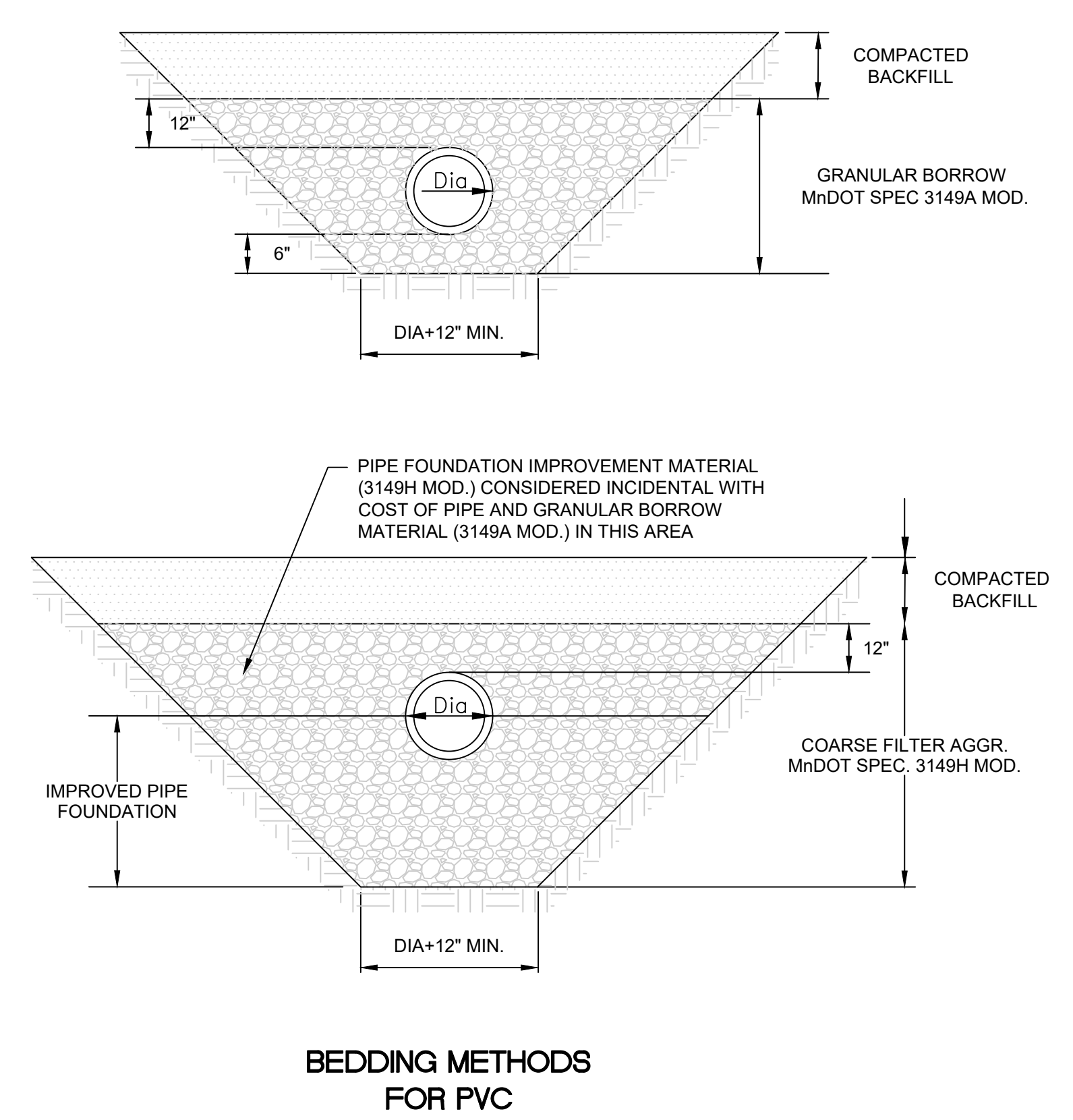
3 ROCK CONSTRUCTION ENTRANCE
SCALE: N.T.S.



4 STANDARD MANHOLE
SCALE: N.T.S.



5 RCP/DIP BEDDING
SCALE: N.T.S.



6 PVC BEDDING
SCALE: N.T.S.



DJR
ARCHITECTURE

333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com



ANDERSON

13605 1st Avenue N, #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
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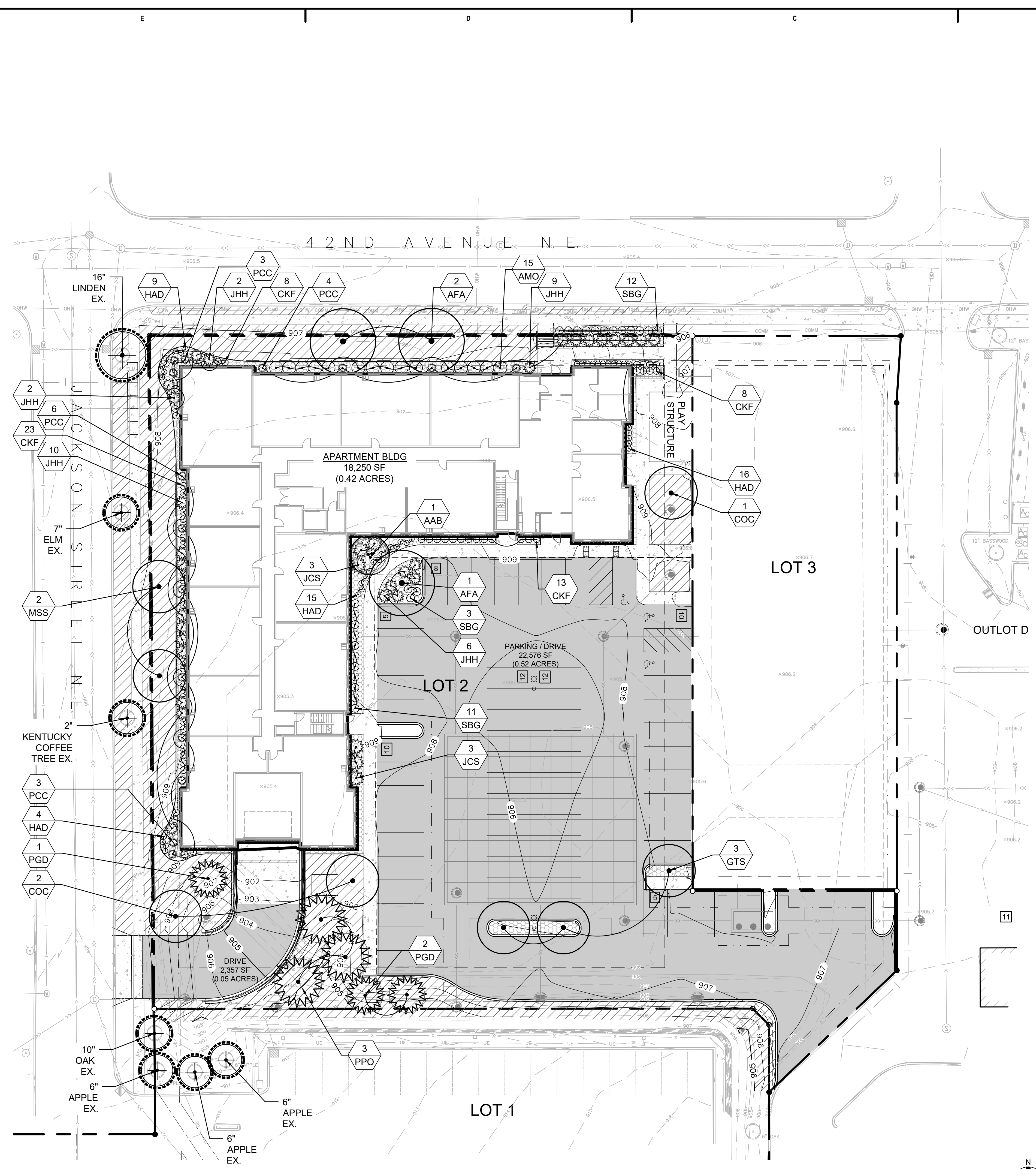
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NORTHWESTERN 3RD ADDITION

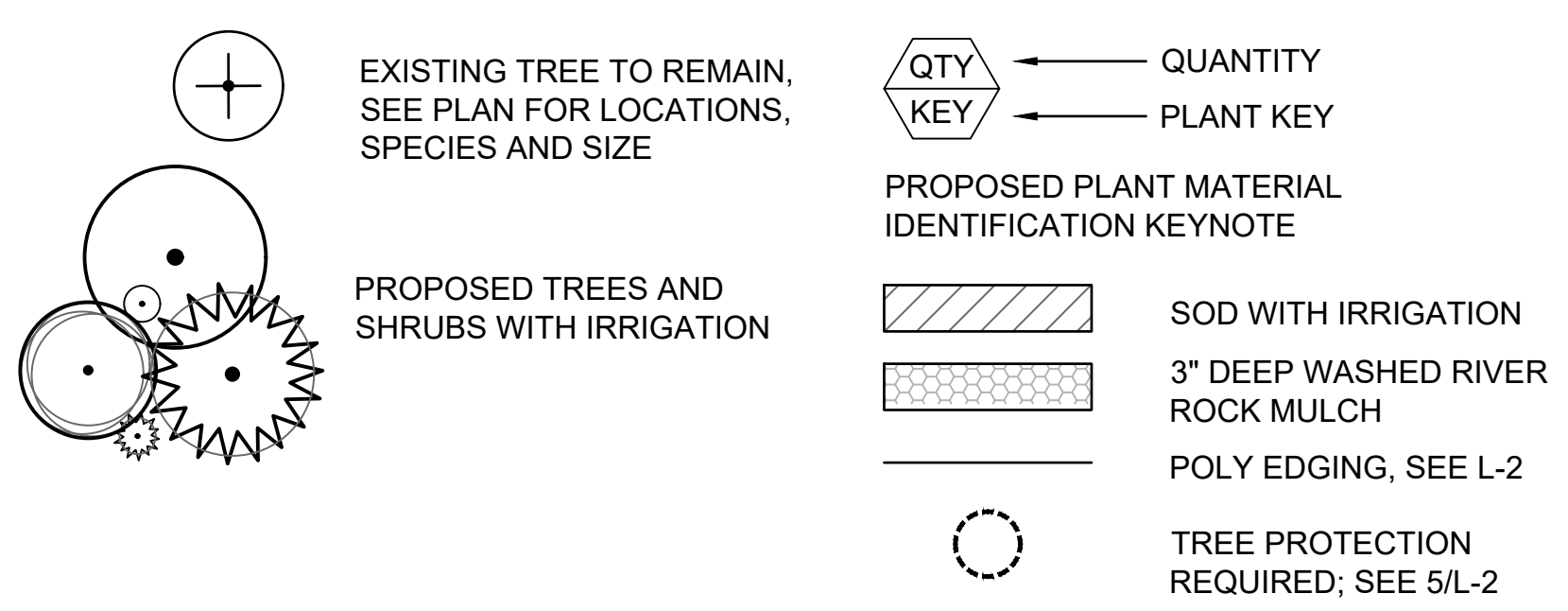
COLUMBIA HEIGHTS, MN

PRELIMINARY PLANTING PLAN

L-1



PLANTING PLAN LEGEND



CITY CODE: REQUIRED LANDSCAPING

ZONE: PUD R-1

§ 9.106 GENERAL DEVELOPMENT STANDARDS.
REQUIRED OVERSTORY TREES PER CITY: 15 TREES REQUIRED

- A MIN. OF (4) TREES SHALL BE PLANTED FOR EVERY (1) ACRE OF LOT AREA COVERED BY BUILDINGS, PARKING AREA, LOADING AREAS, EXTERIOR STORAGE AREA AND OTHER IMPERVIOUS SURFACES:
0.42 AC BLDG + 0.52 AC PARKING + 0.05 AC DRIVE + .06 AC SIDEWALKS = 1.05 = 1 AC
- A MIN. OF (1) TREE SHALL BE PLANTED FOR EVERY 50' OF STREET FRONTAGE OR FRACTION THERE OF: 561 LF / 50 = 11.22
- NO MORE THAN 50% OF THE REQUIRED NUMBER OF TREES OR SHRUBS MAY BE COMPRISED OF ANY ONE SPECIES. NO LESS THAN 25% OF THE REQUIRED NUMBER OF TREES SHALL BE OVER-STORY DECIDUOUS AND NO LESS THAN 25% SHALL BE CONIFEROUS.

§ 9.113 PLANNED UNIT DEVELOPMENT DISTRICT.
AREAS OF FLEXIBILITY: DEVELOPMENT FLEXIBILITY PROVIDED THROUGH THE ESTABLISHMENT OF A PUD DISTRICT WILL NOT BE APPROVED IN AVOIDANCE OF THE REGULATIONS SET FORTH BY THE PRIMARY ZONING DISTRICT. HOWEVER, IF A DEVELOPMENT IS ABLE TO ACHIEVE A HIGHER QUALITY OF DESIGN, EFFICIENCY, AND TECHNOLOGY THAN WHAT CURRENT MARKET CONDITIONS ALLOW, THE ESTABLISHMENT OF A PUD DISTRICT WILL PROVIDE FLEXIBILITY TO THE FOLLOWING AREAS:
(4) LANDSCAPING REQUIREMENTS:

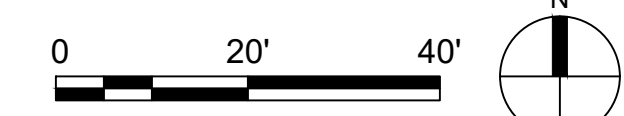
GENERAL NOTES

- ALL LANDSCAPING DISTURBED BEYOND THE NEW PLANTINGS SHALL BE REPLACED IN KIND.
- ALL NEWLY INSTALLED PLANT MATERIAL AND SOD SHALL RECEIVE IRRIGATION. IRRIGATION TO BE DESIGNED AND INSTALLED BY THE CONTRACTOR, SEE IRRIGATION NOTES.

PLANT SCHEDULE

DECIDUOUS TREES						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
AAB	1	Autumn Brilliance Apple Serviceberry	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' (multi-trunk)	1-1/2" CAL. (average)	B&B	Leaders shall be 1" CAL. minimum.
AFA	3	Autumn Blaze Maple	<i>Acer x fremanii</i> 'Jeffersred'	2-1/2" CAL.	B&B	Single, straight leader. No 'V' crotches.
COC	3	Common Hackberry	<i>Celtis occidentalis</i>	2-1/2" CAL.	B&B	Single, straight leader. No 'V' crotches.
GTS	3	Shademaster Honeylocust	<i>Gleditsia triacanthos var. inermis</i> 'Shademaster'	2-1/2" CAL.	B&B	Single, straight leader. No 'V' crotches.
MSS	2	Spring Snow Crabapple	<i>Malus x 'Spring Snow'</i>	2" CAL.	B&B	Single, straight leader. No 'V' crotches.
CONIFEROUS TREES						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
PGD	3	Black Hills Spruce	<i>Picea glauca var. densata</i>	6' HT.	B&B	Full form to grade - 12" max. leader length. Sheared and clipped trees will not be accepted.
PPO	3	Ponderosa Pine	<i>Pinus ponderosa</i>	6' HT.	B&B	Full form to grade - 12" max. leader length. Sheared and clipped trees will not be accepted.
DECIDUOUS SHRUBS						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
AMO	15	Helvetica Serviceberry	<i>Amelanchier ovalis</i> 'Helvetica'	5 GAL.	POT	60" O.C. spacing
CKF	52	Karl Foerster Feather Reed Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	2 GAL.	POT	30" O.C. spacing
HAD	44	Dolce 'Appletini' Coral Bells	<i>Heuchera 'Appletini'</i> PP29396 CPBRAAF	1 GAL.	POT	24" O.C. spacing
SBG	26	Goldflame Spirea	<i>Spiraea x bumalda</i> 'Goldflame'	5 GAL.	POT	48" min. spacing
CONIFEROUS SHRUBS						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
JCS	6	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 GAL.	POT	60" min. spacing
JHH	29	Hughes Juniper	<i>Juniperus horizontalis</i> 'Hughes'	2 GAL.	POT	48" min. spacing
PCC	16	Chalet Swiss Stone Pine	<i>Pinus cembra</i> 'Chalet'	5 GAL.	POT	36" min. spacing

1 PLANTING PLAN
SCALE: 1" = 20' (24" x 36" PAPER)



GENERAL LANDSCAPE NOTES:

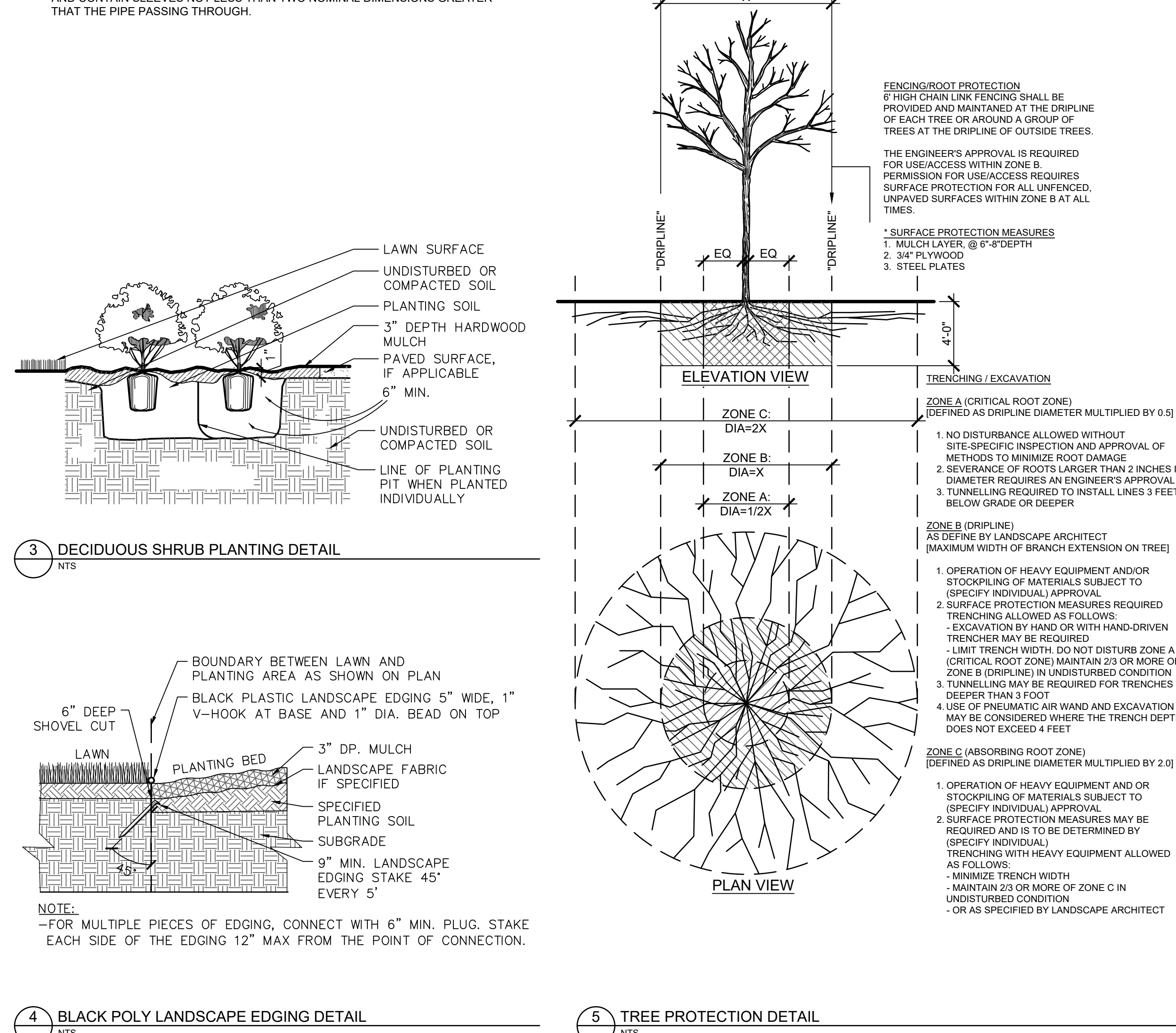
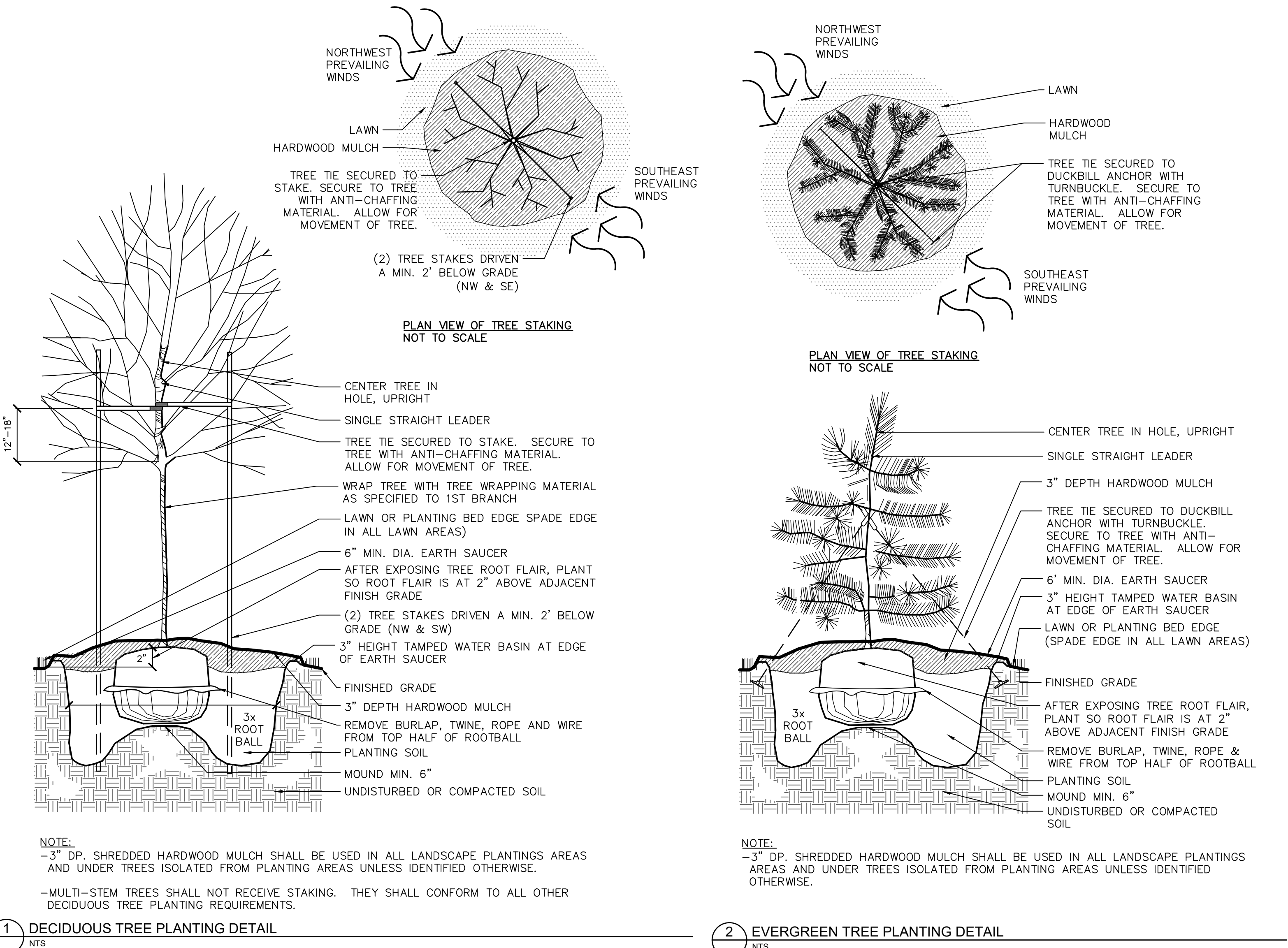
- LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING SHALL BE INSTALLED UNTIL ALL GRADING, BUILDING, CONSTRUCTION, UTILITY WORK & IRRIGATION (IF APPLICABLE) HAS BEEN COMPLETED IN THE AREAS TO BE PLANTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLAN. IF THE CONTRACTOR BELIEVES AN ERROR HAS BEEN MADE REGARDING SPACING OR LOCATION OF THE PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO PROPERTY DAMAGE FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- ALL NEWLY PLANTED PLANT MATERIAL SHALL BE GUARANTEED THROUGH ONE CALENDAR YEAR STARTING FROM THE DATE OF ACCEPTANCE ESTABLISHED BY THE OWNER.
- THE CONTRACTOR SHALL MEET WITH THE OWNER OR OWNERS REPRESENTATIVE ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE ONE (1) YEAR WARRANTY PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.
- WIND BURN OR OTHERWISE DAMAGED PLANT MATERIAL WILL NOT BE ACCEPTED.
- CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNER APPROVAL.
- THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTY PERIOD OR AS DIRECTED BY THE OWNER.
- LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH MAINTENANCE INFORMATION DURING THE GUARANTEE PERIOD RELATING TO WATERING, FERTILIZING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO THE OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- INSTALL CORRUGATED PLASTIC TREE GUARDS, WHITE IN COLOR, WITH THE SIZE OF TUBE 1" DIA. (MIN.) LARGER THAN THE CALIPER OF THE TREE TO BE PROTECTED.
- CONTRACTOR TO FURNISH & STALL PLASTIC EDGING AS SHOWN ON THE PLANS & DETAILS. PLASTIC EDGING SHALL BE MEDIUM DENSITY POLYETHYLENE WITH U.V. INHIBITOR, BLACK IN COLOR, WITH A TOTAL DEPTH OF 5" (1" DIA. TOP AND 4" SHAFT WITH 1.5" V EVERY 3-1/2 FEET OF EDGING).
- 3" DEPTH SHREDDED HARDWOOD MULCH SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- CALIPER OF TREES UP TO AND INCLUDING 4" SHALL BE MEASURED AT 6" ABOVE GROUND LEVEL, AND 12" ABOVE GROUND LEVEL FOR LARGER SIZES.
- FOR BALLED & BURLAP PLANT MATERIAL, REMOVE THE TOP HALF OF THE BURLAP FROM THE ROOT BALL. WIRE CAGES, STRAPS, ETC. SHALL BE REMOVED FROM THE TOP HALF OF THE ROOTBALL BEFORE INSTALLATION.
- ALL CONTAINER MATERIAL SHALL HAVE BEEN GROWN IN CONTAINER FOR A MINIMUM OF 6 MONTHS PRIOR TO INSTALLATION.
- SHRUBS AND GROUND COVER SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON-CENTER SPACING FROM PAVING EDGE UNLESS OTHERWISE NOTED.
- DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
- ALL BOULDERS SHOWN ON PLAN SHALL BE INSTALLED SO APPROXIMATELY 1/3 OF THE VERTICAL HEIGHT OF THE BOULDER WILL BE BELOW GRADE. NO BOULDER SHALL BE SET ON END UNLESS SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL NURSERY GROWN PLANT MATERIAL CONFORMING TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF ANSI Z60.1 STANDARDS UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO LIGHT, LIGHT TO HEAVY, HEAVY TO LIGHT SOILS). CONTRACTOR SHALL REVIEW SOIL CONDITIONS/TYPES WITH OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF ANY PLANT MATERIAL IS LOCATED IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
- ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS:
 - SUMMER AND FALL PLANTING: 0-20-20 GRANULAR (IN SAUCER AROUND PLANT AT THE RATE OF 12 OZ. PER 2-3" CAL. TREE & 6 OZ. PER SHRUB).
 - SPRING PLANTING: 10-10-10 GRANULAR (APPLY ABOVE REFERENCED FERTILIZER AT A RATE OF 12 OZ. PER 1-1/2" CAL. TREE OR LARGER & 6 OZ. PER SHRUB & PERENNIAL).
- ALL PLANTINGS SHALL RECEIVE AN AMENDED SOIL MIX CONSISTING OF THREE (3) PARTS:
 - 45% APPROVED TOPSOIL (ONE SITE PREFERRED)
 - 45% ORGANIC MATTER (TYPE 1 SPHAGNUM PEAT MOSS FINELY DIVIDED WITH A PH OF 3.1 - 5.0)
 - 10% SAND (FINE CLEAN MASONRY SAND)
- AREAS CONFINED TO A MASS PLANTING AREA (PLANTING BED) SHALL RECEIVE THE AMENDED SOIL MIX AT MIN. 12" DEPTH THROUGHOUT THE PLANTING AREA. AMENDED SOIL MIX SHALL BE MIXED THOROUGHLY AND INSTALLED IN 6" LIFTS.

GENERAL SODDING, SEEDING & TOPSOIL NOTES:

- AREAS TO RECEIVE SOD OR SEED SHALL HAVE A 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL PROVIDE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONE LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE. TO BE LAID PARALLEL WITH THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.

GENERAL IRRIGATION NOTES:

- PRIOR TO CONSTRUCTION, VERIFY WITH THE GENERAL CONTRACTOR AND ALL LOCAL UTILITY COMPANIES TO LOCATE EXACT LOCATIONS OF UNDERGROUND UTILITIES.
- THE IRRIGATION SHALL BE DESIGN/BUILD SYSTEM BY THE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE OWNER PRIOR TO ORDER AND/OR INSTALLATION.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE. SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN TURF AREAS SHALL BE VALVED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IT IS RECOMMENDED THAT FULL SUN AND SHADY AREAS TO BE VALVED SEPARATELY AS WELL AS HIGH RUN-OFF AND LOW RUN-OFF AREAS TO BE VALVED SEPARATELY.
- CONFIRM LIMITS OF IRRIGATION, EXISTING AND FUTURE HARDSCAPE AND BUILDING LOCATIONS PRIOR TO THE DESIGN OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY WATER SOURCE LOCATION AND PRESSURE AND SUPPLY A SYSTEM THAT PROVIDES FULL AND COMPLETE COVERAGE TO ALL AREAS TO BE IRRIGATED.
- SYSTEM SHOULD BE DESIGNED TO OPERATE AT UP TO 300 GPM @ 90 PSI TO COMPLETE WATER SCHEDULES WITHIN 12-HOURS MAXIMUM.
- RAIN SENSORS AND OTHER WATER SAVING TECHNOLOGIES SHALL BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- PROVIDE THE OWNER WITH AN OPERATING SCHEDULE THAT WORKS WITH THE APPROVED LAYOUT PLAN AND IDENTIFY ANY FIELD ADJUSTMENTS PRIOR TO PROJECT COMPLETION.
- AVOID OVER-SPRAY ONTO ROADS, SIDEWALKS, SIGNS AND PARKING AREAS. SPRINKLER ARCS SHALL BE DETERMINED ON SITE BY THE IRRIGATION INSTALLER TO PROVIDE THE MAXIMUM COVERAGE POSSIBLE. CAREFULLY ADJUST THE ARCS AND RADIUS OF EACH SPRINKLER TO PROVIDE HEAD-TO-HEAD COVERAGE.
- WITHIN EXTREME SLOPED AREAS:
 - INSTALL STATIONS SEPARATELY FOR TOP AND BOTTOM OF SLOPED AREAS
 - INSTALL LATERAL PIPES PARALLEL TO SLOPE
 - IF SLOPE IS TOO EXTREME FOR MACHINERY, INSTALL LATERAL PIPES SAFELY AND TEE-FEED INDIVIDUAL SPRINKLERS VIA DOWNHILL PIPING PERPENDICULAR TO FEED LINE
- LOCATE VALVE BOXES AWAY FROM ROAD/CURB SO THEY ARE LESS VISUAL WHERE APPLICABLE.
- DO NOT TRENCH THROUGH THE ROOT BALLS OF NEW PLANTINGS.
- MAINLINE PIPING BENEATH TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM EARTH COVER OF 30-INCHES FROM BOTTOM OF ROAD SUB-GRADE AND CONTAIN SLEEVES NOT LESS THAN TWO NOMINAL DIMENSIONS GREATER THAT THE PIPE PASSING THROUGH.
- IRRIGATION INSTALLER SHALL FURNISH AND INSTALL SLEEVE MATERIAL UNDER ALL ROADWAYS, WALKS AND DRIVEWAYS WHERE NECESSARY.
- TOP OF MAINLINES SHALL BE AT LEAST 30-INCHES BELOW GRADE IN TURF AREAS.
- TOP OF LATERAL LINES SHALL BE AT LEAST 18-INCHES BELOW GRADE.
- MAINLINE PRESSURE PIPE FITTINGS 3-INCHES AND LARGER SHALL BE PUSH ON GASKET JOINED AND SHALL HAVE MECHANICAL JOINT RESTRAINTS. MAINLINE PRESSURE PIPE FITTINGS 2.5-INCHES AND SMALLER SHALL BE GLUED AND SHALL HAVE CONCRETE THRUST BLOCKS AT FITTINGS THAT COMPRISE CHANGE IN DIRECTION.
- OTHERS SHALL FURNISH, INSTALL AND BRING 24-INCHES ABOVE GRADE A MUNICIPAL POTABLE STUB FOR IRRIGATION, COORDINATE WITH GENERAL CONTRACTOR.
- INSTALLER IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE BACKFLOW PREVENTOR, WATER METER AND BOOSTER PUMP, IF APPLICABLE.
- IRRIGATION CONTROL WIRE SHALL BE DIGITAL TWO-WIRE, UL LISTED FOR DIRECT BURIAL.
- CONNECT ALL ELECTRICAL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES INCLUDING:
 - ALL LOW VOLTAGE IRRIGATION CONTROL WIRE SHALL BE INSTALLED WITH THE MAINLINE PIPE WHERE POSSIBLE.
 - DO NOT LOOP THE LOW VOLTAGE IRRIGATION CONTROL WIRE PATH.
 - SNAKE WIRE AT BOTTOM OF TRENCH BENEATH MAINLINE.
 - PROVIDE 18-INCH OF SLACK CONTROL WIRE AT ALL CHANGES IN DIRECTION.
 - PROVIDE 24-INCH OF SLACK CONTROL WIRE AT EACH REMOTE CONTROL VALVE COILED INSIDE VALVE BOX.
 - ALL WIRE SPLICES SHALL BE WATERTIGHT CONNECTORS AND CONTAINED IN VALVE BOX.
 - ALL WIRING BENEATH HARDSCAPES SHALL BE CONTAINED IN SLEEVING, SEPARATE FROM PIPING. ELECTRICAL SLEEVES ARE TO BE SIZED APPROPRIATELY FOR EASE OF WIRE INSTALLATION AND REPAIR.
 - ALL WIRING SHALL BE IDENTIFIED AT EACH END TO PROVIDE INDICATION AS TO WHICH LOCATION THE WIRE IS CONNECTED.
 - GROUNDING PER MANUFACTURER'S RECOMMENDATION OR LOCAL ELECTRICAL CODE.
- SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS.



333 Washington Ave N, Suite 210
Minneapolis, Minnesota 55401
612.676.2700 www.djr-inc.com



13605 1st Avenue N, #100
Plymouth, MN 55441 | ae-mn.com
P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Landscape Architect under the laws of the State of Minnesota.

JOSEPH D. LUCHT, PLA
PRINT NAME
SIGNATURE
52858 04/05/2021
REGISTRATION NUMBER DATE

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Drawn by: JAF
Checked by: JDL

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