

ACREAGE SUMMARY TABLE		
PARCEL	± 17,105 SF (0.39 AC)	
PERVIOUS AREA	± 2,955 SF (0.07AC)	
IMPERVIOUS AREA	± 14,150 SF (0.32 AC)	
PARKING TABLE		
	SPACES REQUIRED	SPACES PROVIDED
STANDARD CAR PARKING	4 SPACES	13 SPACES
ACCESSIBLE PARKING	1 SPACE	1 SPACE
TOTAL CAR PARKING	5 SPACE	14 SPACES

SITE INFORMATION	
ZONING	NEIGHBORHOOD COMMERCIAL (C-N)
BUILDING FOOTPRINT (TOTAL, 1 STRUCTURE)	910 SF
BUILDING HEIGHT	19'
SETBACKS	
NORTH	10' BUILDING; 10' LANDSCAPE
SOUTH	10' BUILDING; 10' LANDSCAPE
EAST	10' BUILDING; 10' LANDSCAPE
WEST	10' BUILDING; 10' LANDSCAPE

ADJACENT ZONING INFORMATION	
NORTH	NEIGHBORHOOD COMMERCIAL (C-N)
SOUTH	NEIGHBORHOOD COMMERCIAL (C-N)
EAST	DOWNTOWN (DT-PV)
WEST	SUBURBAN NEIGHBORHOOD (S-N)



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

SITE BENCHMARK	
TBM#1	SET CUT SQUARE ON LIGHT POST CONCRETE BASE ELEVATION: 53.00' NORTHING: 2193878.33 EASTING: 6582374.52
TBM#2	SET CUT "X" IN CURB ELEVATION: 55.71' NORTHING: 2193750.46 EASTING: 6582342.00

LEGEND

EXISTING LEGEND

●	FOUND MONUMENT AS NOTED	NG	NATURAL GROUND
○	COMPUTED POINT	(M)	MEASURED/CALCULATED DIMENSION
⊕	IRRIGATION CONTROL VALVE	(R)	RECORD DIMENSION
⊕	TEMPORARY BENCHMARK (TBM)	(R1)	RECORD DIMENSION PER
⊕	SIGN		PARCEL MAP NO. 5, P.M.B. 13 / 81
⊕	FIRE HYDRANT	N/F	NOW OR FORMERLY
⊕	WATER METER	PS	PARKING SPACES
⊕	BACK FLOW PREVENTER	POC	POINT OF COMMENCEMENT
⊕	LIGHT	POB	POINT OF BEGINNING
⊕	SANITARY MANHOLE (SMH)	CC	CONCRETE
FL	FLOW LINE	---	PROPERTY LINE
TC	TOP OF CONCRETE	---	EASEMENT LINE
EC	EDGE OF CONCRETE	---	RIGHT-OF-WAY LINE
TA	TOP OF ASPHALT	SS	UNDERGROUND SANITARY SEWER LINE
EA	EDGE OF ASPHALT	IRR	UNDERGROUND IRRIGATION LINE
BOC	BACK OF CURB	UGL	UNDERGROUND ELECTRIC LINE
		W	UNDERGROUND WATER LINE
		GAS	UNDERGROUND GAS LINE

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE
---	CONCRETE CURB AND GUTTER. SEE DETAIL PAVING PLAN
⊕	CURB INLET
⊕	BUILDING CONTROL POINT
⊕	PROPOSED PARKING SPACES
---	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCHITECTURAL PLANS)

GENERAL SITE NOTES

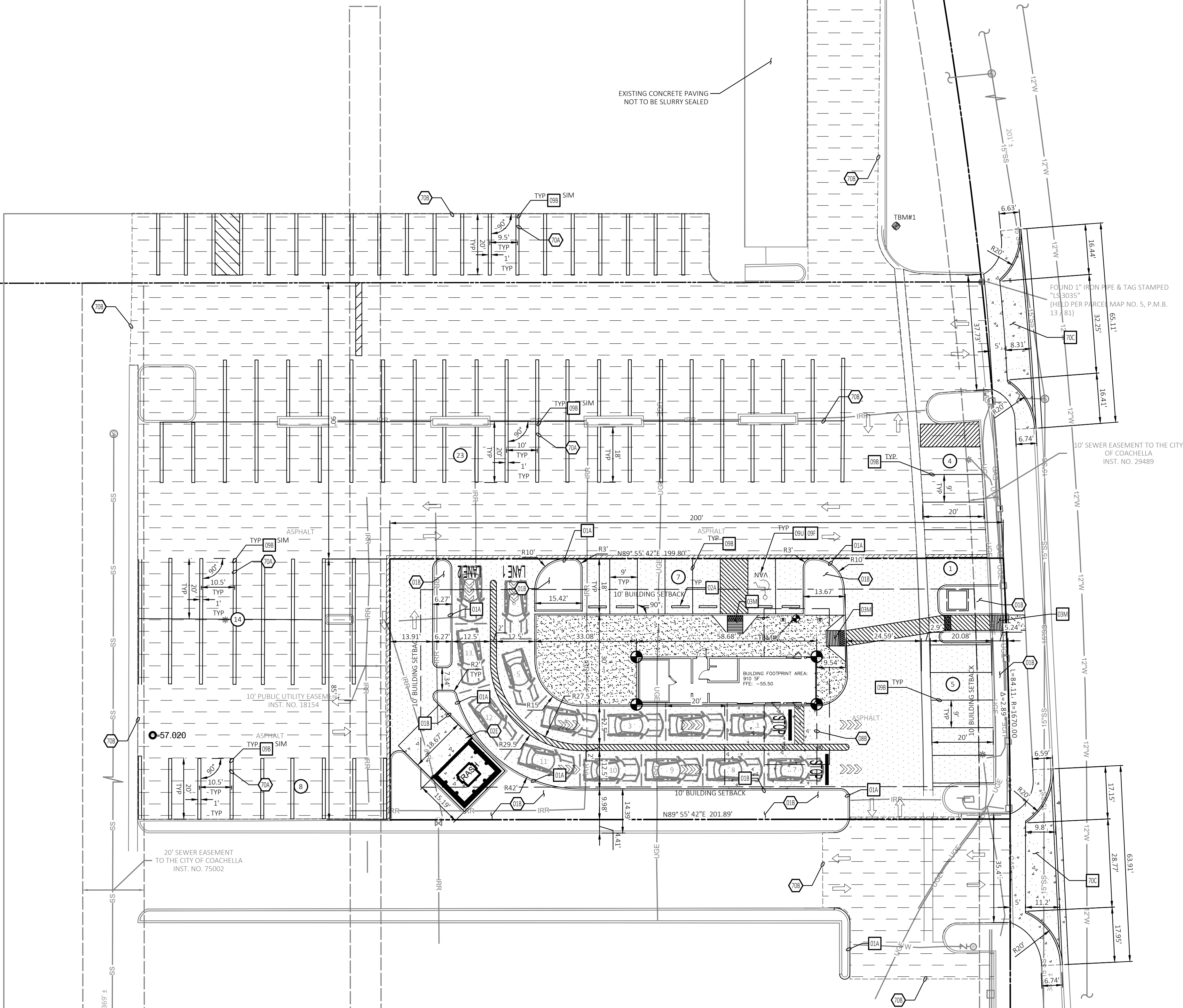
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADI SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS, ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09N.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
- PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
01B TYPE B CONCRETE INTEGRAL CURB AND GUTTER
02A PRECAST CONCRETE WHEEL STOP
03M WHEEL CHAIR RAMP IN SIDEWALK
09B NINETY DEGREE PARKING SPACE STRIPING
09F 90 DEGREE ACCESSIBLE PARKING SPACE STRIPING
09U ACCESSIBLE PARKING SYMBOL
70C COMMERCIAL DRIVE APPROACH (WITH SIDEWALK AT CURB) PER COUNTY OF RIVERSIDE STANDARD NO. 207A

SITE NOTES

- 01B LANDSCAPE AREA. SEE LANDSCAPE PLAN.
02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
08B OVERHEAD CANOPY (TYP. PER ARCH. PLANS).
70A DOUBLE 4" SOLID WHITE LINE, 12" O.C.
70B LIMITS OF WORK FOR SLURRY SEAL AND PARKING STALL STRIPING.



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REVISION		
NO.	DESCRIPTION	DATE



CTAR INC.
49723 CESAR CHAVEZ STREET
COACHELLA, CALIFORNIA

PRELIMINARY NOT
FOR CONSTRUCTION

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	JAC
CEI PROJECT NUMBER	34748
DATE	6/12/2026
REVISION	REV-1

SITE PLAN

SHEET TITLE
SHEET NUMBER

C2.0

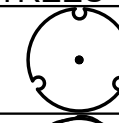
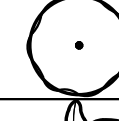
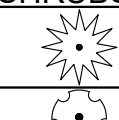
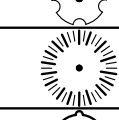
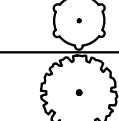
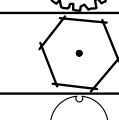
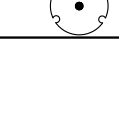
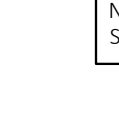
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NOTE TO CONTRACTOR:
ANY PROPOSED LANDSCAPE AREAS SHOWN OUTSIDE OF THE LIMITS OF THE SEVEN BREW PROPERTY SHALL BE IRRIGATED SEPARATELY. IRRIGATION SHALL BE PROVIDED BY EXPANSION/REHABILITATION OF EXISTING IRRIGATION SYSTEM. IF NO EXISTING SYSTEM IS PRESENT LANDSCAPE CONTRACTOR SHALL PROVIDE A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING FULL COVERAGE TO ALL PLANT MATERIAL IN COORDINATION WITH THE SHOPPING CENTER OWNER/MANAGEMENT.

LANDSCAPE ROCK SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	3/4" DECORATIVE ROCK. COLOR: DESERT GOLD DEPTH: 4" DEPTH	2,338 SF	
	2'-3" DIA. LANDSCAPE BOULDER COLOR: BROWN/TAN	37	
	3/4" DIA. CRUSHED GRANITE WASHED. COLOR: CALIFORNIA GOLD DEPTH: 4"	3,232 SF	
	2'-4" DIA. DECORATIVE ROCK. COLOR: HONEY QUARTZ DEPTH: 4"	201 SF	

2026-06-16 12:55

2026-06-11 10:59

PLANT SCHEDULE					
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	CAL.
TREES					
	3	PARKINSONIA FLORIDA / BLUE PALO VERDE	24" BOX	50A	2.00" CAL.
	3	PROSOPIS X 'AZT' / AZT THORNLESS MESQUITE	24" BOX	50A	2.00" CAL.
	5	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	24" BOX	50A	2.00" CAL.
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	
SHRUBS					
	18	DASYLIIRION WHEELERI / GREY DESERT SPOON	5 GAL	50B	
	42	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	50B	
	17	JUNIPERUS CHINENSIS 'SAN JOSE' / SAN JOSE JUNIPER	5 GAL	50B	
	44	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA	5 GAL	50B	
	7	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' / SILVERADO TEXAS SAGE	5 GAL	50B	
	5	SALVIA GREGGII 'ALBA' / WHITE TEXAS SAGE	5 GAL	50B	
	29	SALVIA GREGGII 'SIERRA LINDA' / SIERRA LINDA AUTUMN SAGE	5 GAL	50B	

NOTE: BOTH INSTALL HEIGHT AND CALIPER SHALL BE MET AT TIME OF PLANTING.

I AGREE TO COMPLY WITH THE REQUIREMENTS FOR THE PERFORMANCE COMPLIANCE OPTION OF THE MMVLO AND SUBMIT COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

SIGNATURE _____ DATE _____



NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.

SITE BENCHMARK

TBM#1
SET CUT SQUARE ON LIGHT POST CONCRETE BASE
ELEVATION:-53.00'
NORTHING: 2193878.33
EASTING: 6582374.52

TBM#2
SET CUT "X" IN CURB
ELEVATION:-55.71'
NORTHING: 2193750.46
EASTING: 6582342.00

LEGEND

EXISTING LEGEND

<i>e</i>	EAST OR ELECTRIC	<i>OHT</i>	OVERHEAD TELEPHONE
<i>n</i>	NORTH	<i>OHTV</i>	OVERHEAD TV
<i>oh</i>	OVERHEAD	<i>X'SS</i>	SANITARY SEWER
<i>s</i>	SOUTH OR SEWER	<i>UGE</i>	UNDERGROUND ELECTRIC
<i>t</i>	TELEPHONE	<i>UGE&T</i>	UNDERGROUND ELECTRIC AND TELEPHONE
<i>ug</i>	UNDERGROUND	<i>UGT</i>	UNDERGROUND TELEPHONE
<i>w</i>	WEST OR WATER	<i>UGTV</i>	UNDERGROUND TV
---	PROPERTY LINE	<i>X"W</i>	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
<i>X'G</i>	GAS		
<i>OHE</i>	OVERHEAD ELECTRIC		
<i>OHE&T</i>	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED LEGEND

---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	STORM DRAIN

LANDSCAPE DETAILS

50A TREE PLANTING
50B SHRUB PLANTING
50Q STEEL EDGING, COLOR: BLACK. INSTALL AT GRADE

GENERAL LANDSCAPE NOTES

A. REFER TO LANDSCAPE NOTES SHEET FOR NOTES AND DETAILS

LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
PARKING AREA	A MIN OF 5% OF THE PARKING AREA SHALL BE LANDSCAPED	11,767 SF OF PARKING LOT x 5% = 588 SF REQUIRED	632 SF PROVIDED
	A MIN OF 50% OF THE PARKING AREA SHALL BE SHADED WITHIN 15 YEARS	11,767 SF OF PARKING LOT x 50% = 5,883 SF OF SHADE REQUIRED	6 SHADE TREES x 1200 SF PER TREE = 7,200 SF PROVIDED



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CTAR INC.
49723 CESAR CHAVEZ STREET
COACHELLA, CALIFORNIA

PRELIMINARY NOT
FOR CONSTRUCTION

PROFESSIONAL OF RECORD SAB
PROJECT MANAGER MAS
DESIGNER MMP
CEI PROJECT NUMBER 34748
DATE 6/11/2026
REVISION REV-1

LANDSCAPE PLAN

SHEET TITLE
SHEET NUMBER

L1.0

1. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
2. CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
3. QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLANS TAKES PRECEDENCE OVER TABLE QUANTITIES.
4. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF DESIRED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
5. ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
6. CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
7. ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
8. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
9. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
10. IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROJECT DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS SEEN. THE AREA SHALL THEN BE SEEDDED/SODDED, FERTILIZED, MULCHED, WATERED, AND PROTECTED. ANY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREES IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPORT ANY AND ALL LOCATIONS OF UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
13. WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
14. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
15. IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
16. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
17. SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BARE PREPARATION HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS/ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
18. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2" FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BARRIERS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
- BACKFILL ALL TREES, SHRUBS, GROUNDCOVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS REACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO MANUFACTURED PLANT BEDS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION FROM DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A FOUR INCH (4") TOP DRESSING/MULCHING OF 1" - 2" DIA. CRUSHED ROCK SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY NOVEMBER-MARCH
DECIDUOUS SHRUBBERY & TREES NOVEMBER-MARCH
EVERGREEN TREES NOVEMBER-MARCH

A. GUARANTEE:
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

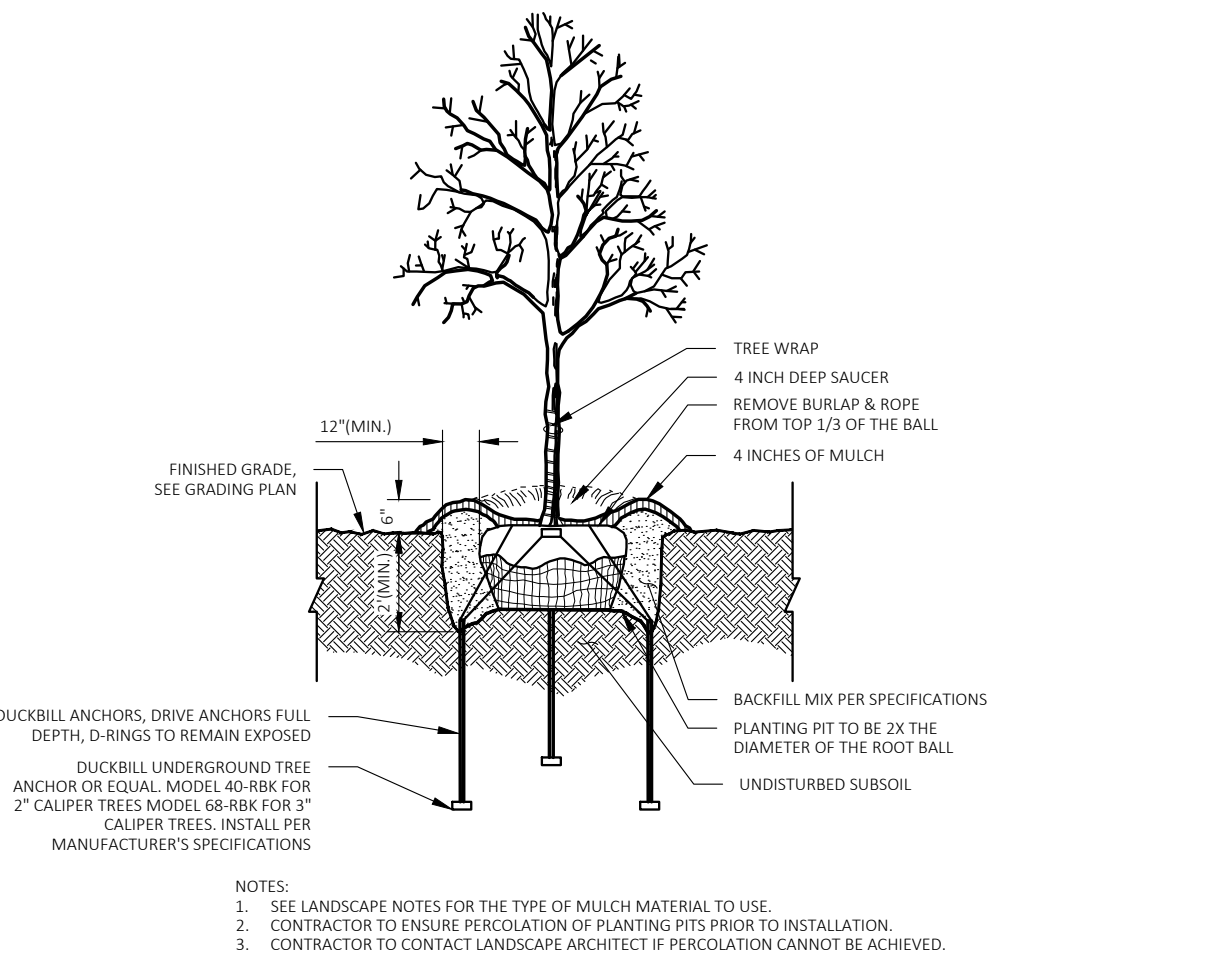
B. REPLACEMENT:
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

C. MAINTENANCE:
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THEREAFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

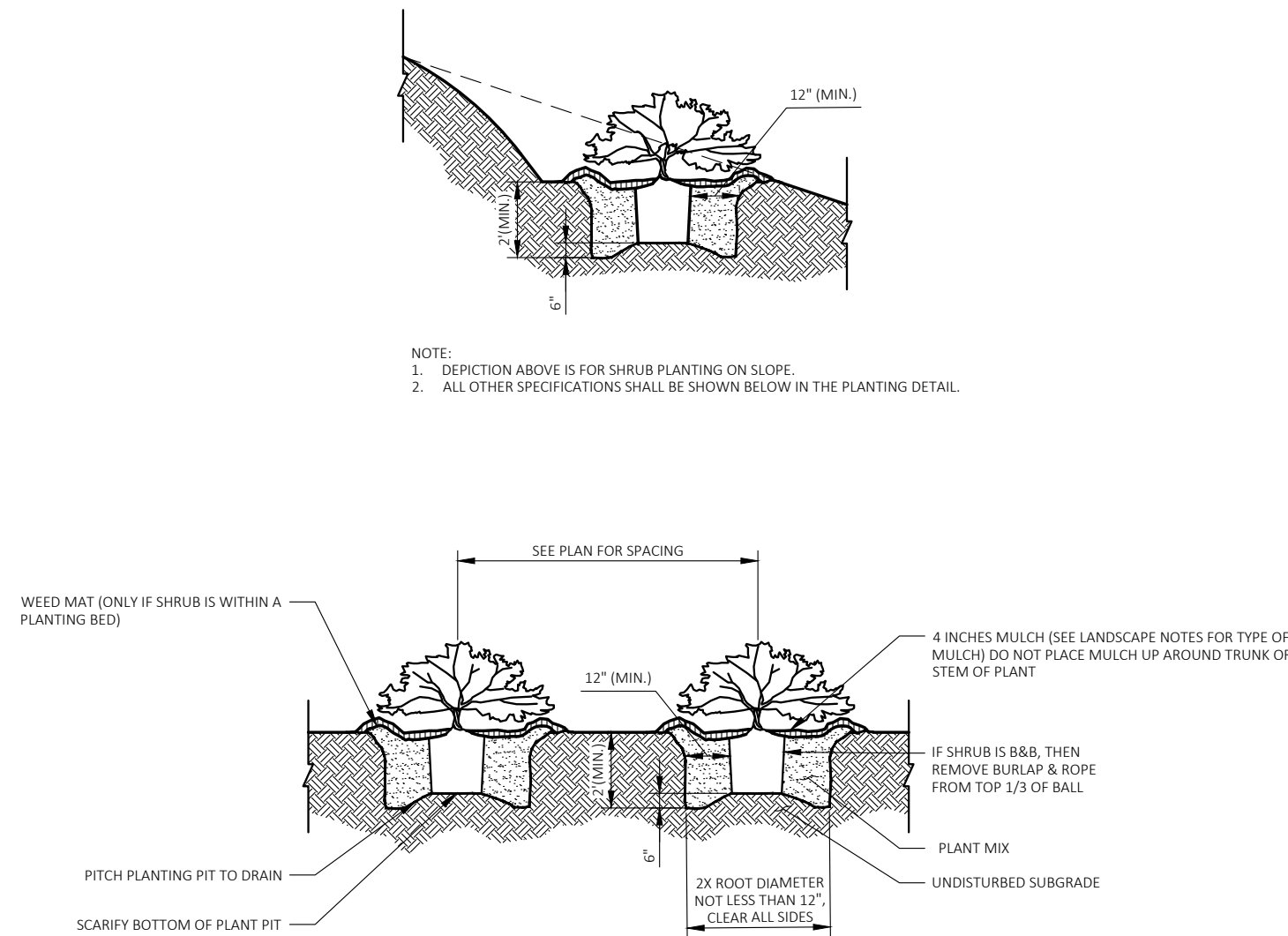
1. APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
2. IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE
3. NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
4. CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

- 1.1. THE CONTRACTOR SHALL OBTAIN A SOILS TEST FOR AGRICULTURAL, SUITABILITY AND FERTILITY PREPARED BY A CONSULTING SOIL ASSOCIATION OF AGRICULTURAL LABORATORY MEMBER. SOIL TESTING SHALL OCCUR AFTER ALL SOIL HAS BEEN IMPORTED TO THE SITE AND ROUGH GRADE ESTABLISHED, BUT PRIOR TO SOIL PREPARATION.
- 1.2. THE SOILS REPORT SHALL CONTAIN AN ANALYSIS OF SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM, AND PERCENT ORGANIC MATTER. THE SOILS REPORT SHALL ALSO CONTAIN RECOMMENDATIONS FOR PREPARATION, MAINTENANCE AND FERTILIZATION.
- 1.3. A MINIMUM OF TWO LOCATIONS SHALL BE SAMPLED, AND ADDITIONAL SAMPLES REQUIRED AT THE RATE OF ONE PER EVERY 10,000 SF OF LANDSCAPE AREA.
- 1.4. TWO SAMPLES PER LOCATION SHALL BE TAKEN. ONE AT A DEPTH OF 10" AND ONE AT A DEPTH OF 36". EACH SAMPLE SHALL CONTAIN APPROXIMATELY ONE QUARTER OF SOIL AND BE LABELED PER LOCATION AND DEPTH.
- 1.5. THE SOILS REPORT SHALL BE FURNISHED TO THE OWNER AND LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO IMPLEMENTATION.

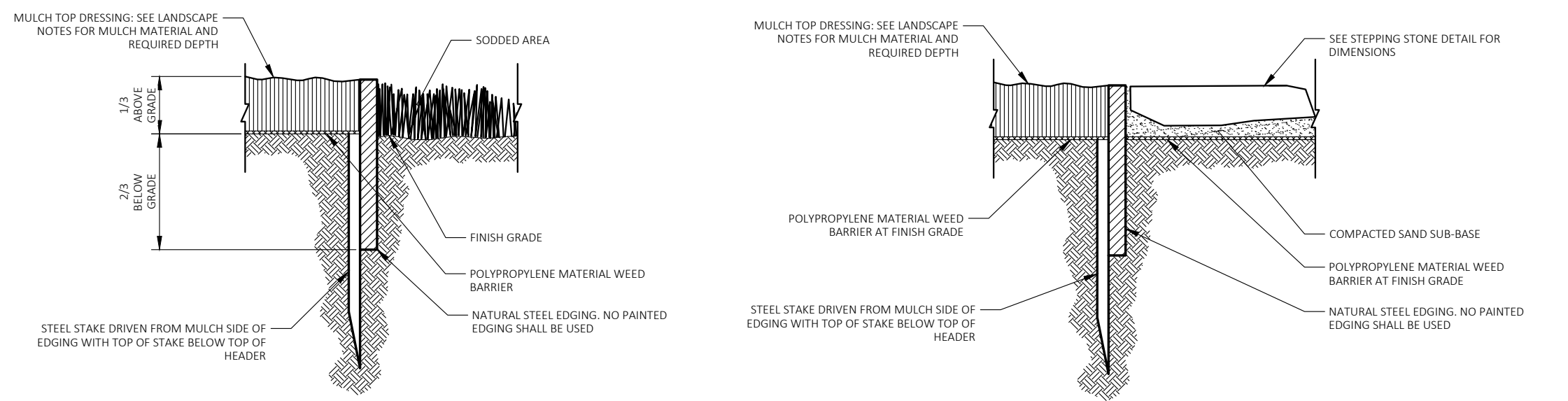
1. SEE CIVIL PLANS FOR GRADING PLAN.
2. A SOILS REPORT IS REQUIRED PER THE SOIL MANAGEMENT PLAN NOTES ABOVE.
3. PRIOR TO PLANTING OF TREES AND SHRUBS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION, ON ENGINEERED SLOPES, ONLY AMEND PLANTING HOLES NEEDED TO MEET THIS REQUIREMENT.
4. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO THE RECOMMENDATIONS OF THE SOILS REPORT. FOR AREAS WITH A 1% TO 2% SLOPE, A 12" DEEP 20% OF PERMANENT AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOILS. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6" ARE EXEMPT FROM ADDING COMPOST AND FILLING.
5. FOR AREAS WITH A 2% TO 5% SLOPE, A 12" DEEP 20% OF ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS COMBATED, ADD TO 5% OF THE LANDSCAPE MAY BE LEFT WITHOUT MULCH FOR INSECT HABITAT.
6. MULCH MUST BE NOTED ON DOWNSIDE.



N.T.S.



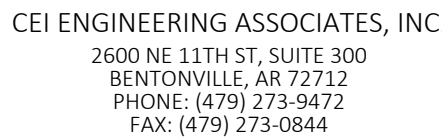
N.T.S.



N.T.S.

I AGREE TO COMPLY WITH THE REQUIREMENTS FOR THE PERFORMANCE COMPLIANCE OPTION OF THE MWELD AND SUBMIT COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

SIGNATURE _____ DATE _____



REVISION		
NO.	DESCRIPTION	DATE



CTAR INC.
49723 CESAR CHAVEZ STREET
COACHELLA, CALIFORNIA

PRELIMINARY NOT
FOR CONSTRUCTION

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	JAC
CEI PROJECT NUMBER	34748
DATE	6/11/2026
REVISION	REV-1

SHEET TITLE

SHEET NUMBER

L1.1



BLUE PALO VERDE



THORNLESS HONEY MESQUITE



MEXICAN FAN PALM

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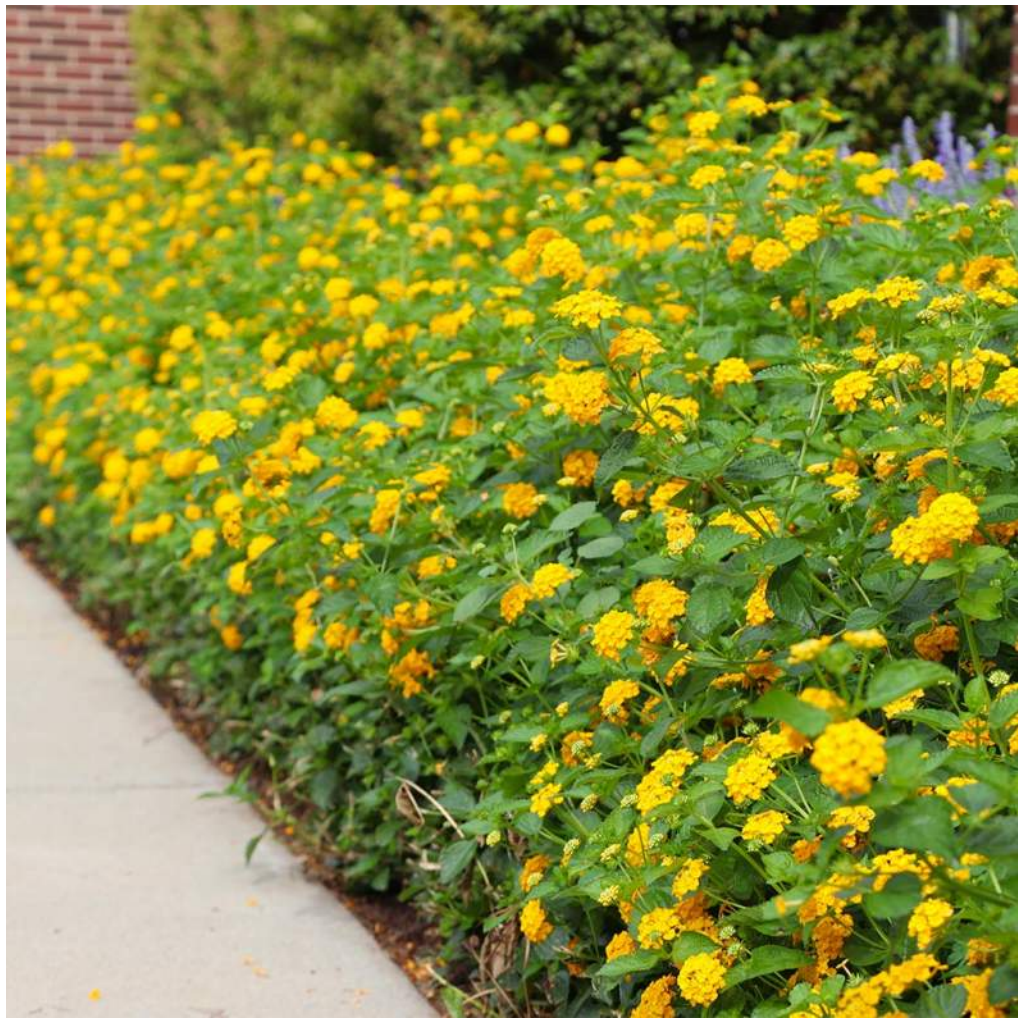
PLANT SCHEDULE					
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	CAL.
TREES					
	3	PARKINSONIA FLORIDA / BLUE PALO VERDE	24" BOX	50A	2.00" CAL.
	3	PROSOPIS X 'AZT' / AZT THORNLESS MESQUITE	24" BOX	50A	2.00" CAL.
	5	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	24" BOX	50A	2.00" CAL.
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	
SHRUBS					
	18	DASYLIRION WHEELERI / GREY DESERT SPOON	5 GAL	50B	
	42	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	50B	
	17	JUNIPERUS CHINENSIS 'SAN JOSE' / SAN JOSE JUNIPER	5 GAL	50B	
	44	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA	5 GAL	50B	
	7	LEUCOPHYLLUM FRUTESCENS 'SILVERADO' / SILVERADO TEXAS SAGE	5 GAL	50B	
	5	SALVIA GREGGII 'ALBA' / WHITE TEXAS SAGE	5 GAL	50B	
	29	SALVIA GREGGII 'SIERRA LINDA' / SIERRA LINDA AUTUMN SAGE	5 GAL	50B	

2026-06-11 11:03

LANDSCAPE ROCK SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	3/4" DECORATIVE ROCK. COLOR: DESERT GOLD DEPTH: 4" DEPTH	730 SF	
	2'-3" DIA. LANDSCAPE BOULDER COLOR: BROWN/TAN	37	
	3/4" DIA. CRUSHED GRANITE WASHED. COLOR: CALIFORNIA GOLD DEPTH: 4"	3,232 SF	
	2"-4" DIA. DECORATIVE ROCK. COLOR: HONEY QUARTZ DEPTH: 4"	201 SF	



SERRA LINDA AUTUMN SAGE



NEW GOLD LANTANA



RED YUCCA



LANDSCAPE BOULDER



2"-4" DIA HONEY QUARTZ ROCK



GREY DESERT SPOON



SAN JOSE JUNIPER



SILVERADO TEXAS SAGE



3/4" CALIFORNIA GOLD CRUSHED GRANITE



3/4" DESERT GOLD DECORATIVE ROCK

REVISION		
NO.	DESCRIPTION	DATE

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	JAC
CEI PROJECT NUMBER	34748
DATE	6/11/2026
REVISION	REV-1



DRAWING LOCATION: P:\24000\24748\0\DRAWINGS\DESIGN\WORKING\24748_L1.DWG - SAVED BY: MPARKS

GENERAL IRRIGATION NOTES

1.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
2.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
3.

CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
4.

THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR.
5.

ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
6.

CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE OF 65 PSI.
7.

IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
8.

ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
9.

SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
10.

IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
11.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS, OR PROVIDE BLOWOUT ASSEMBLY.
12.

ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW POINTS.
13.

IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
15.

ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER WIRE CONNECTION DETAIL.
16.

DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.
17.

LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
18.

MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL 64A.
19.

IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
20.

VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3" OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE.
21.

ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
22.

IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
23.

ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, OR NETAFFIM.
24.

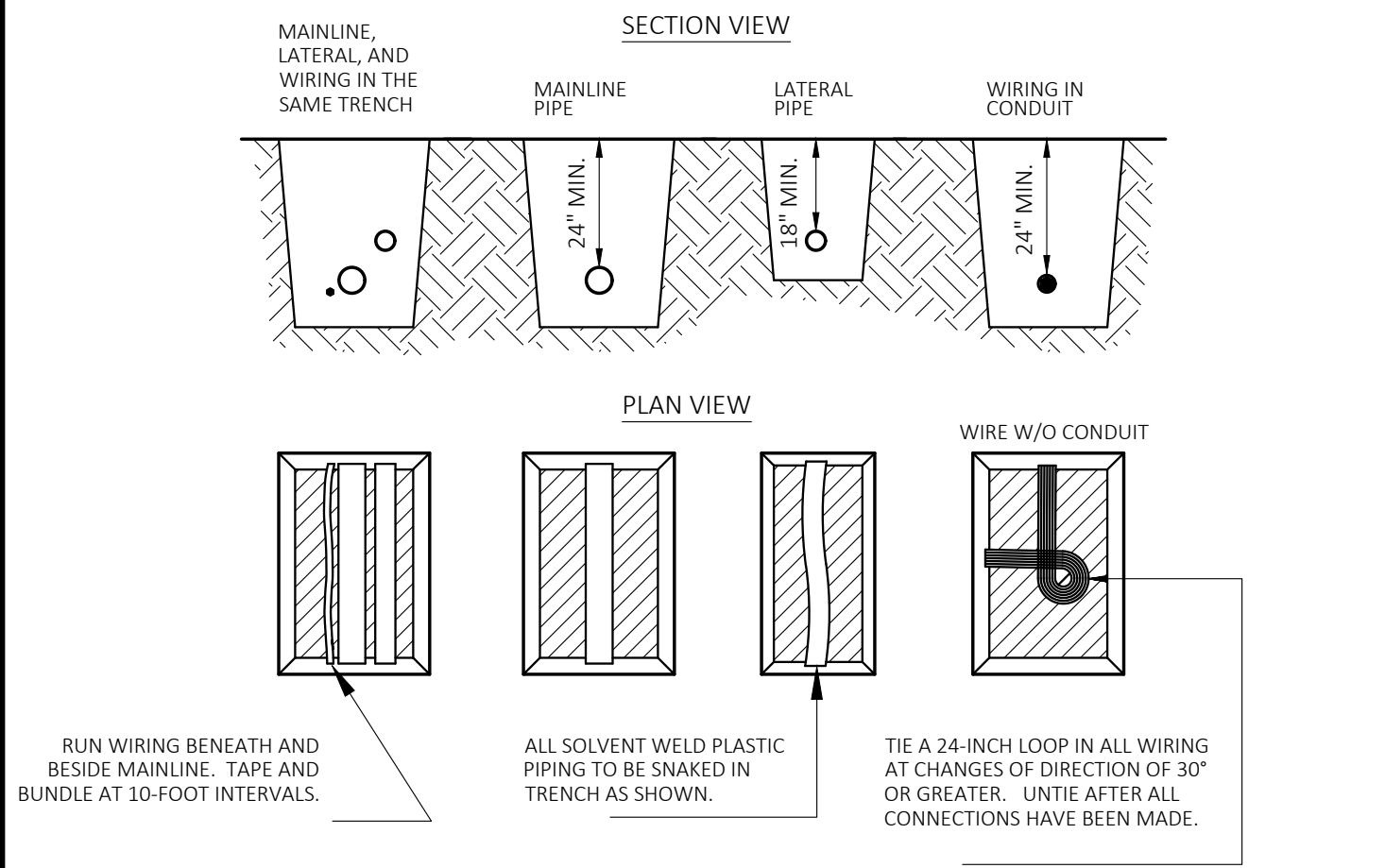
ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES, TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
25.

UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
26.

ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING ON CIVIL PLANS.
27.

CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
28.

ALL LATERAL LINE SIZING SHALL REFER TO LABELS AND PIPE SCHEDULE. ALL LATERALS NOT LABELED SHALL BE 3/4" MIN.

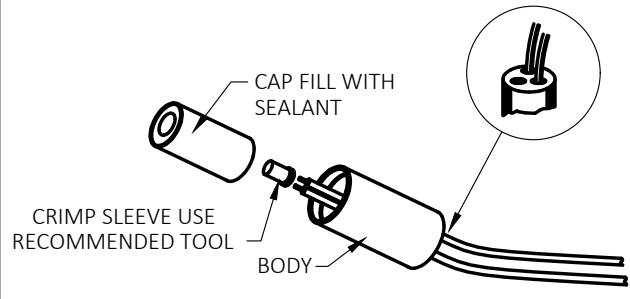


- NOTES:
- UNLESS OTHERWISE NOTED ON PLANS ALL LATERAL LINES SHALL BE SDR-13.5 OR SDR-21/CLASS 200 PVC PIPE. ALL MAIN LINES SHALL BE SCHEDULE 40 PVC PIPE.
 - SLEEVES BELOW ALL HARDSCAPE ELEMENTS SHALL BE SCH. 40 PVC AND SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
 - ALL LATERAL LINES SHALL BE BURIED NO LESS THAN 18" DEEP. ALL MAIN LINES AND ELECTRICAL LINES SHALL BE NO LESS THAN 24" DEEP.

IRRIGATION PIPE
AND WIRE TRENCHING

N.T.S.

64A



WIRE CONNECTION

N.T.S.

64A

I AGREE TO COMPLY WITH THE REQUIREMENTS FOR THE PERFORMANCE COMPLIANCE OPTION OF THE MWEO AND SUBMIT COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

SIGNATURE

DATE



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE



CTAR INC.
49723 CESAR CHAVEZ STREET
COACHELLA, CALIFORNIA

PRELIMINARY NOT
FOR CONSTRUCTION

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	JAC
CEI PROJECT NUMBER	34748
DATE	6/11/2026
REVISION	REV-1

IRRIGATION NOTES

SHEET TITLE

SHEET NUMBER

L2.1

DRAWING LOCATION: P:\34000\34748\0 DRAWINGS\DESIGN\WORKING\34748_LP.DWG - SAVED BY: MPARKS

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Enter value in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Click on the blue cell on right to Pick City Name

Coachella

Name of City

ET_o of City from Appendix A

88.10

ET_o (inches/year)

0

Overhead Landscape Area (ft²)

2028

Drip Landscape Area (ft²)

0

SLA (ft²)

Total Landscape Area

2,028

Results:

(ET_o) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA]

49,846

Gallons

6,663

Cubic Feet

67

HCF

0

Acre-feet

0

Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional) Precipitation (Optional)

ET_o of City from Appendix A

88

ET_o (inches/year)

Total Landscape Area

2,028

LA (ft²)

Special Landscape Area

0

SLA (ft²)

Total annual precipitation (inches/year)

Enter Effective Precipitation

0.00

Eppt (in/yr)(25% of total annual precipitation)

Results:

MAWA = [(ET_o - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]

-

Gallons

-

Cubic Feet

-

HCF

-

Acre-feet

-

Millions of Gallons



Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type

Very Low

0 - 0.1

Low

0.2 - 0.3

Medium

0.4 - 0.6

High

0.7 - 1.0

SLA

1.0

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Drip	Low	0.20	168	0.81	41
Zone 2	Drip	Low	0.30	1,776	0.81	658
Zone 3	Drip	Low	0.30	84	0.81	31
Zone 4						
Zone 5						
Zone 6						
Zone 7						
Zone 8						
Zone 9						
Zone 10						
Zone 11						
Zone 12						
Zone 13						
Zone 14						
Zone 15						
Zone 16						
Zone 17						
Zone 18						
Zone 19						
Zone 20						
Zone 21						
Zone 22						
Zone 23						
Zone 24						
Zone 25						
Zone 26						
Zone 27						
Zone 28						
Zone 29						
Zone 30						
Zone 31						
Zone 32						
Zone 33						
Zone 34						
Zone 35						730
		SLA		0		0
		Sum		2,028		

Results

MAWA = 49,846

ETWU = 39,893 Gallons

5,333 Cubic Feet

53.33 HCF

0.12 Acre-feet

0.04 Millions of Gallons

ETWU complies with MAWA



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
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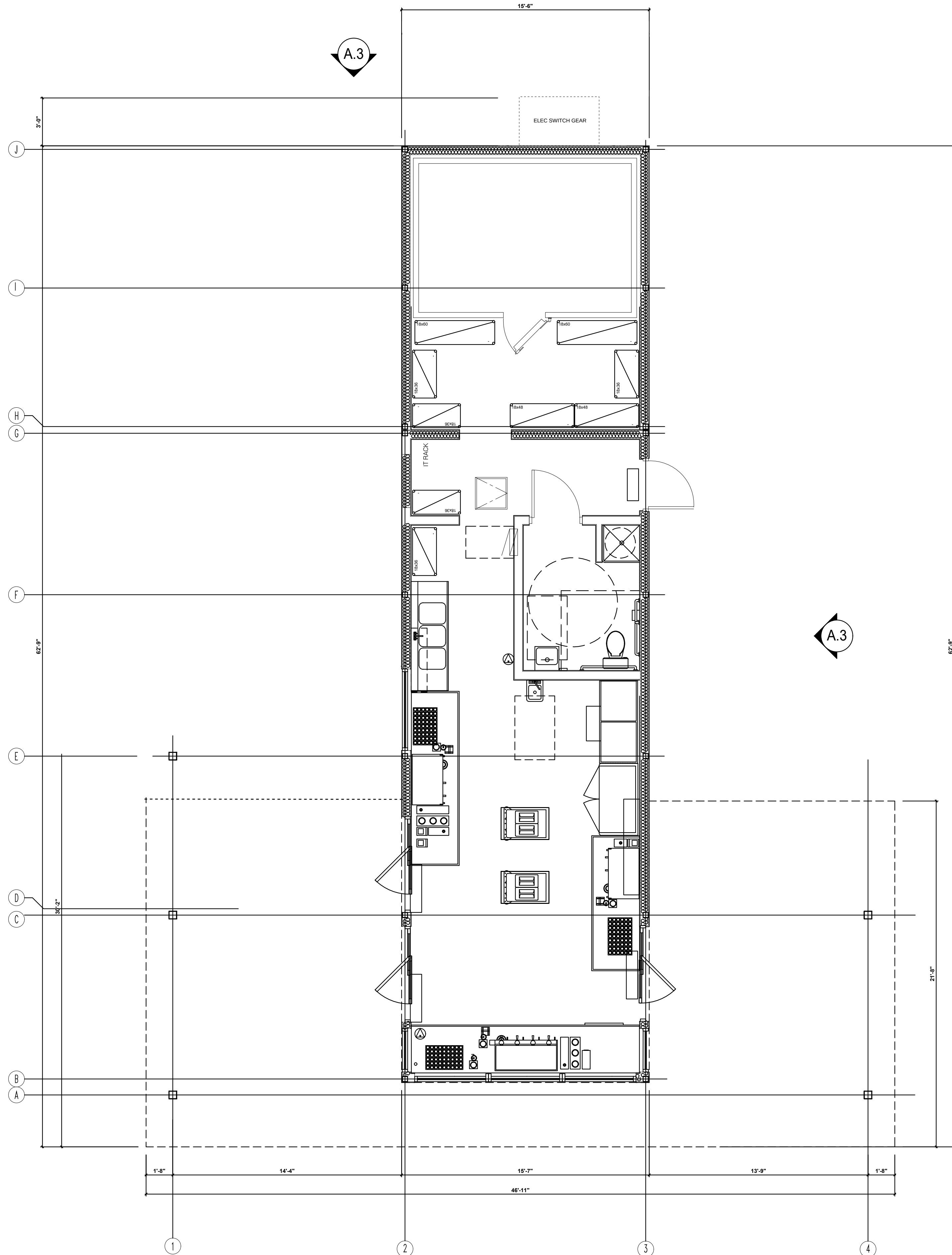
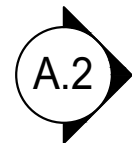
SEVEN 73 BREW COFFEE
DRIVE THRU

CTAR INC.
49723 CESAR CHAVEZ STREET
COACHELLA, CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

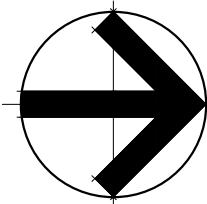
PROFESSIONAL OF RECORD JDC
PROJECT MANAGER MAS
DESIGNER JAC
CEI PROJECT NUMBER 34748
DATE 6/11/2026
REVISION REV-1

MEWLO CALCULATIONS
SHEET TITLE
SHEET NUMBER
L3.0



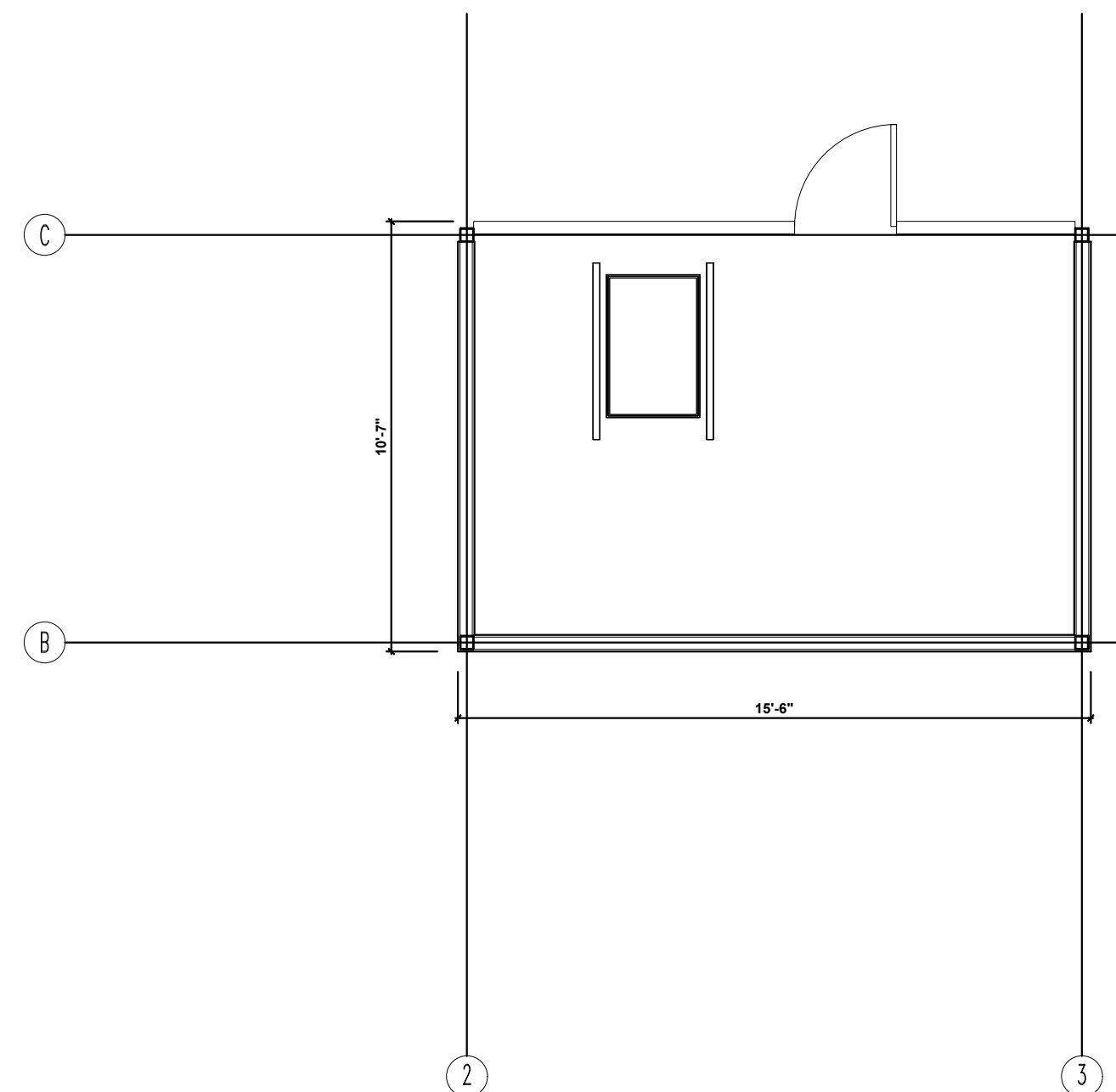
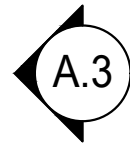
FLOOR PLAN

SCALE: 1/4" = 1'-0"



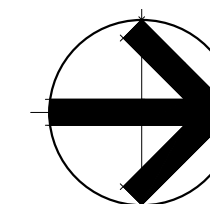
Building Area Breakdown

TOTAL GROUND FLOOR AREA:	910.00 S.F.
DESCRIPTION:	AREA
SERVICE AREA	704.00 SF.
RESTROOM	66.00 SF.
COOLER	140.00 SF.
MECH ACCESS ROOM	164.00 SF.



MECH. ACCESS ROOM PLAN

SCALE: 1/4" = 1'-0"



Kinetic Design

29833 Santa Margarita Pkwy., Suite 300
Rancho Santa Margarita, CA 92688
Main: 951.710.6334 Web: kineticdesign.build
Email: info@kineticdesign.build

NOT FOR CONSTRUCTION

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REVISIONS

No.	DATE	DESCRIPTION

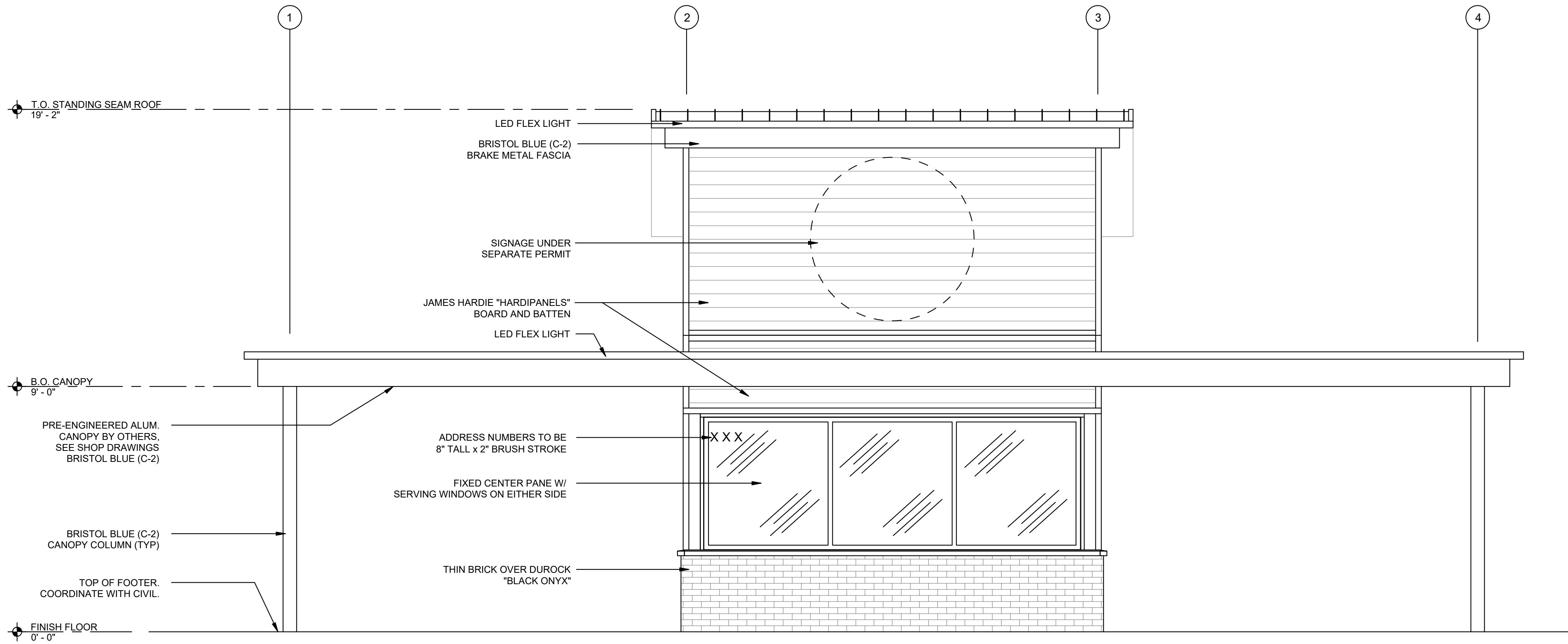
CLIENT INFORMATION



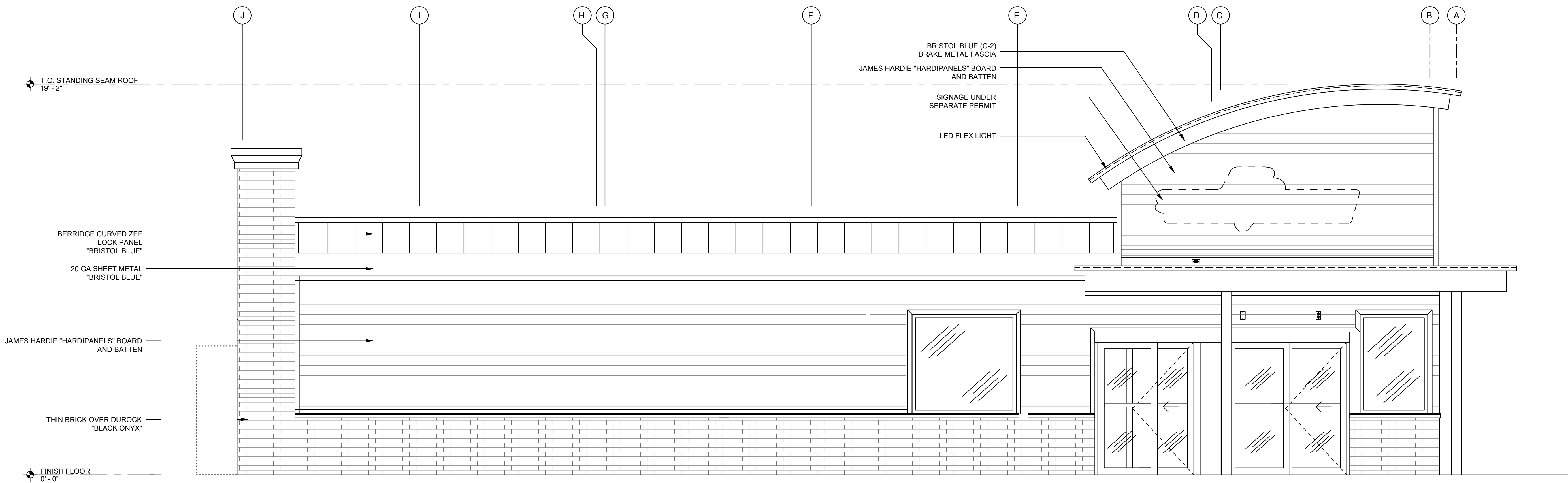
PROJECT NAME
7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020
SHEET NAME
CONCEPTUAL FLOOR PLANS

DRAWN	CHECKED
DATE	04/30/26
SCALE	
PROJECT NUMBER	
SHEET	

A1



FACING EAST ELEVATION



FACING SOUTH ELEVATION

NOT FOR CONSTRUCTION
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REVISIONS		
No.	DATE	DESCRIPTION



PROJECT NAME
**7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020**

SHEET NAME
CONCEPTUAL ELEVATIONS

DRAWN	CHECKED
DATE	04/30/26
SCALE	
PROJECT NUMBER	
SHEET	

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REVISIONS		
No.	DATE	DESCRIPTION
1	03/19/26	PLANNING

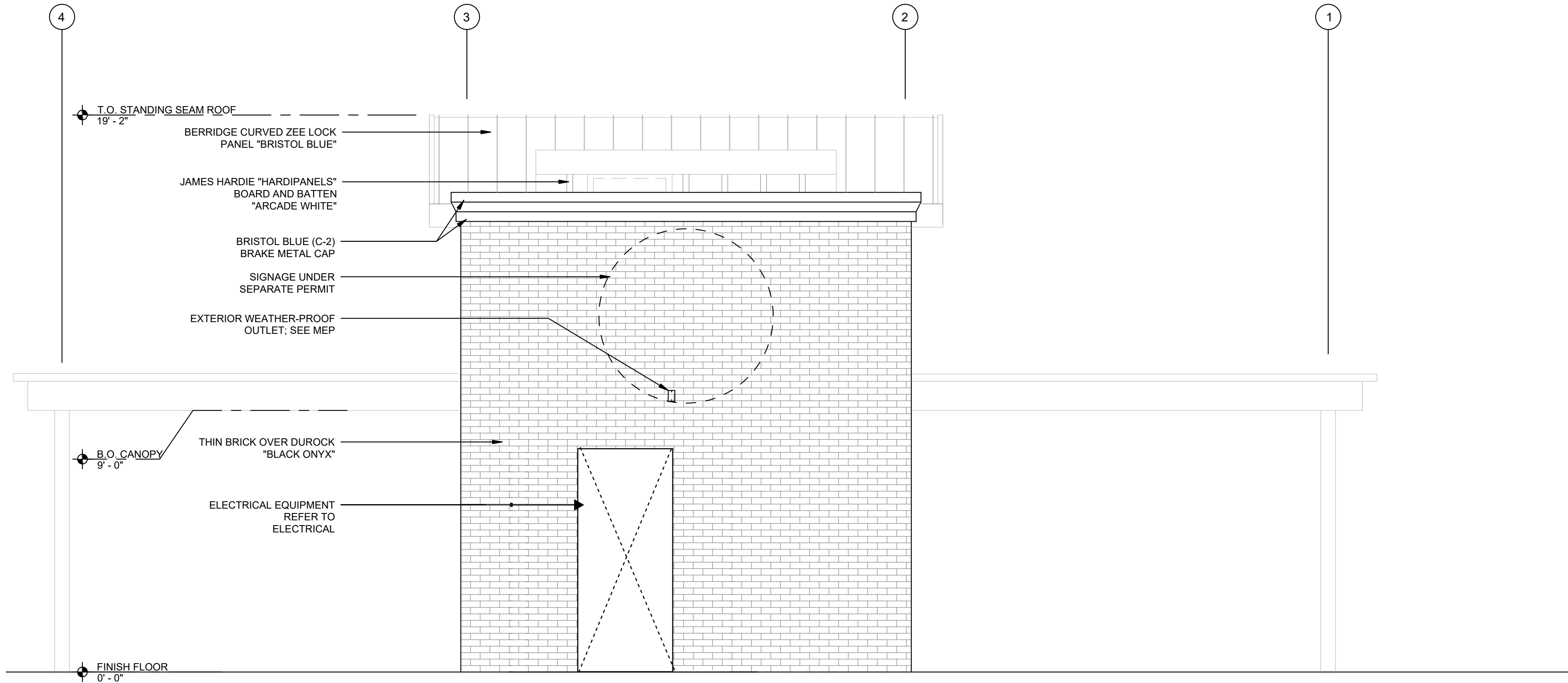


PROJECT NAME
**7 BREW
MODULAR BUILDING FOR CALIFORNIA**
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020

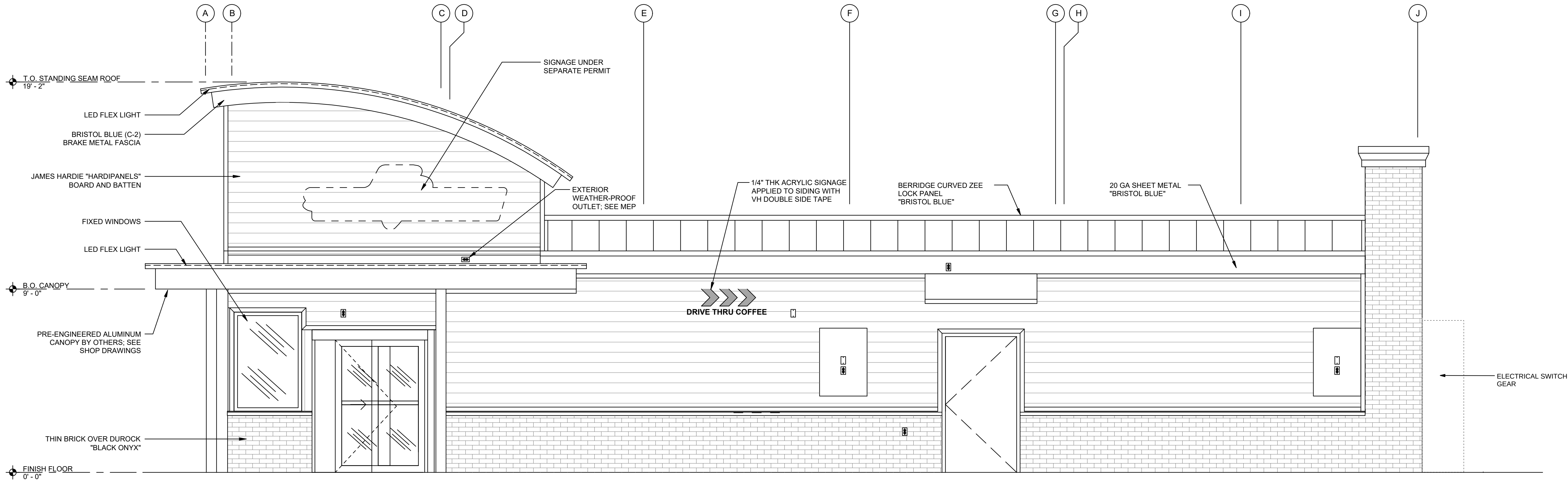
SHEET NAME
CONCEPTUAL ELEVATIONS

DRAWN	CHECKED
DATE	04/30/26
SCALE	
PROJECT NUMBER	
SHEET	

A3

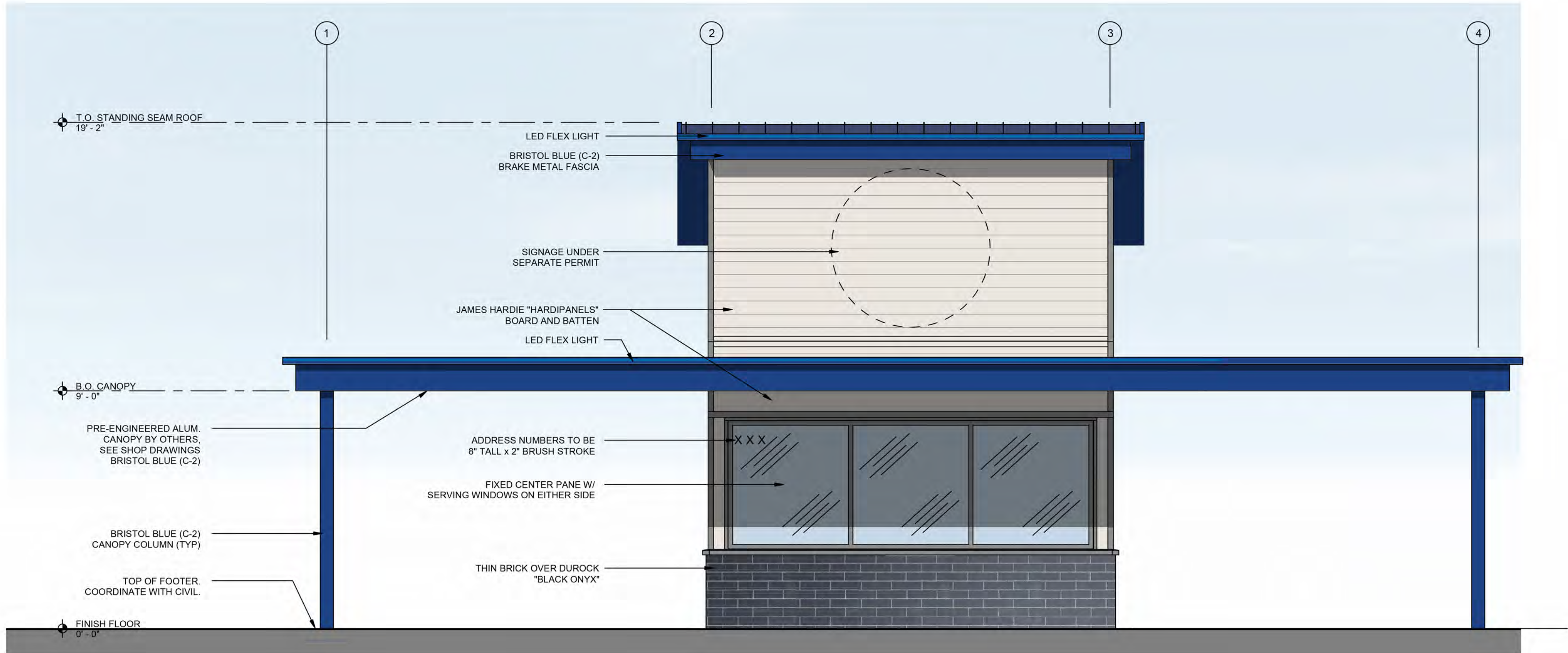


FACING WEST ELEVATION

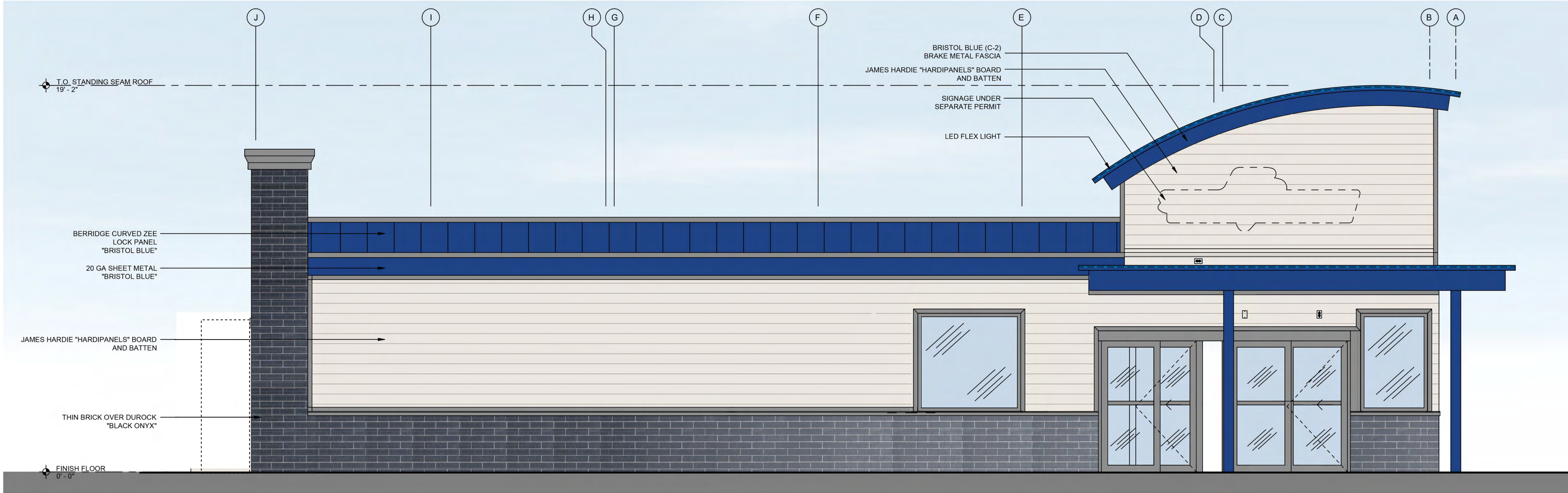


FACING NORTH ELEVATION

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FACING EAST ELEVATION



FACING SOUTH ELEVATION

KD

Kinetic Design

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REVISIONS

No.	DATE	DESCRIPTION
1	03/19/26	PLANNING

CLIENT INFORMATION



PROJECT NAME
7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020

SHEET NAME
COLORED ELEVATIONS

DRAWN	CHECKED
DATE	04/30/26
SCALE	
PROJECT NUMBER	
SHEET	

A4

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REVISIONS

No.	DATE	DESCRIPTION
1	03/19/26	PLANNING

CLIENT INFORMATION



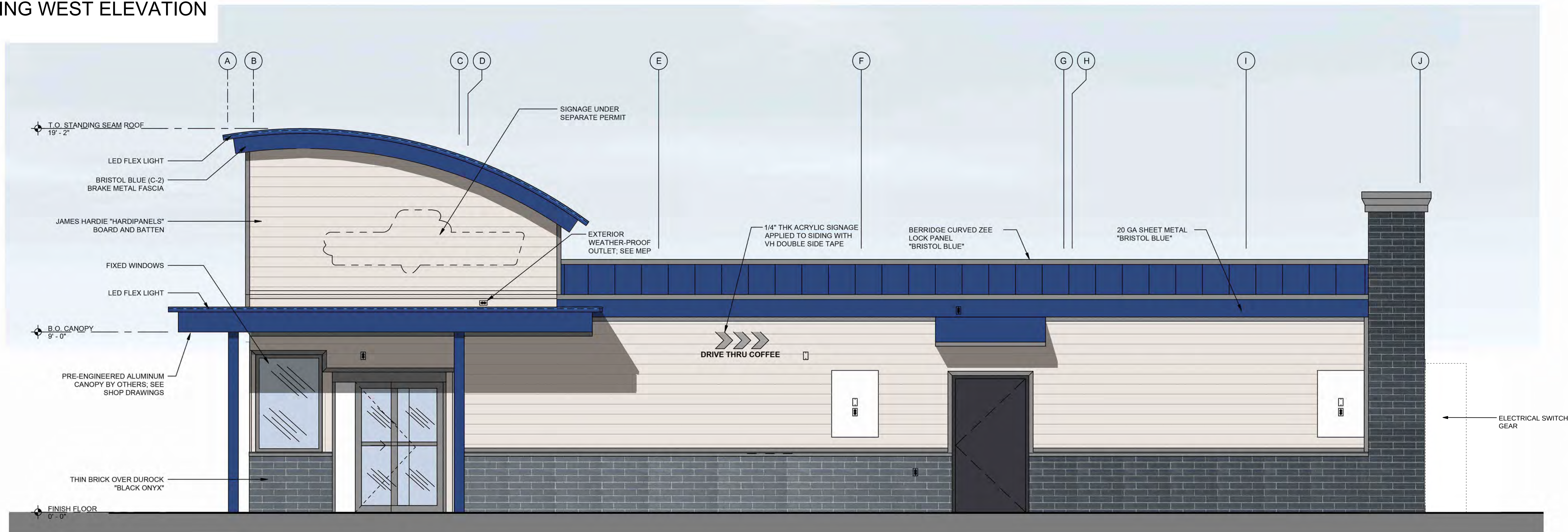
PROJECT NAME
**7 BREW
MODULAR BUILDING FOR CALIFORNIA**
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020
SHEET NAME
COLOR ELEVATIONS

DRAWN	CHECKED
DATE	04/30/26
SCALE	
PROJECT NUMBER	
SHEET	

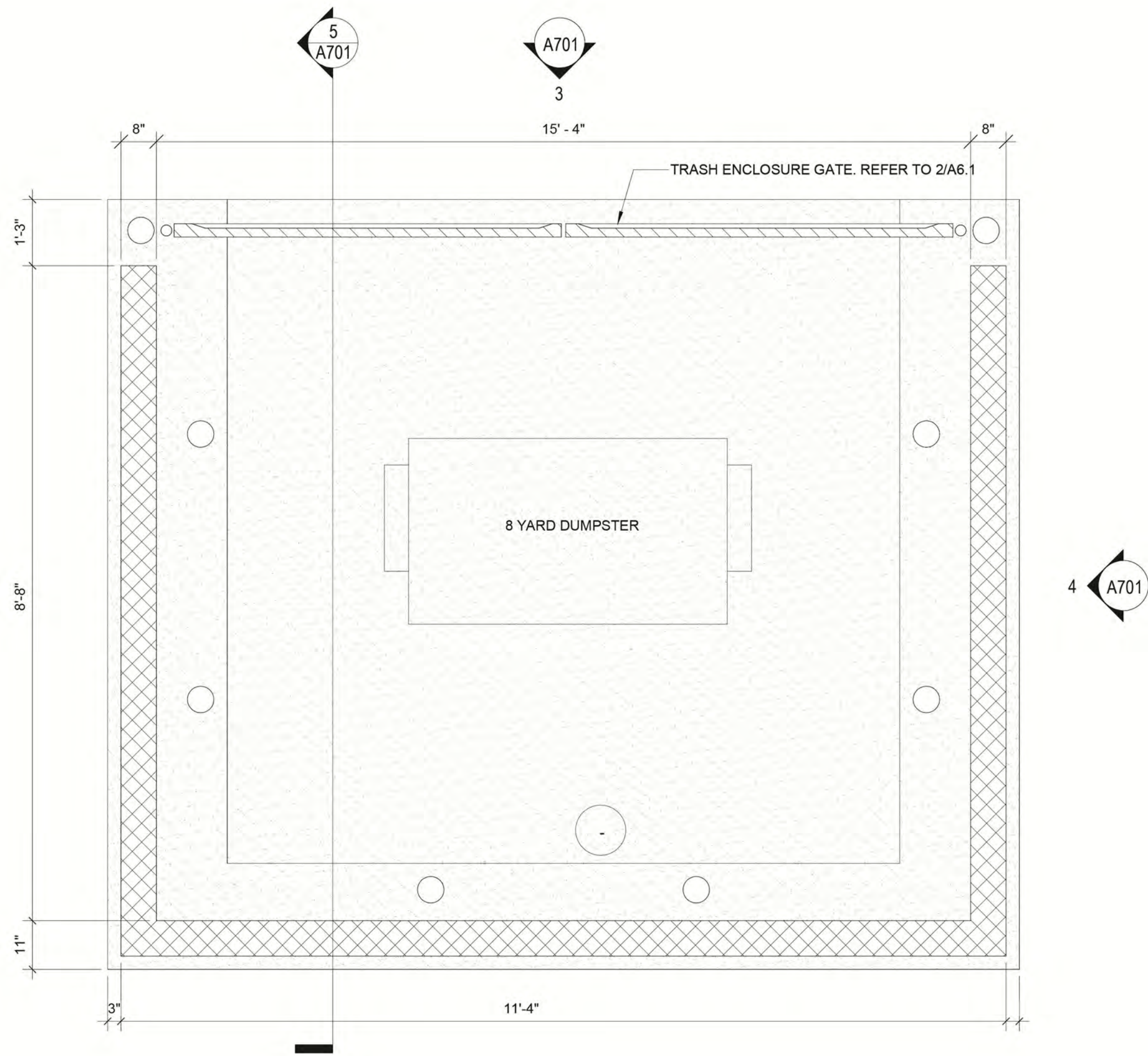
A5



FACING WEST ELEVATION



FACING NORTH ELEVATION



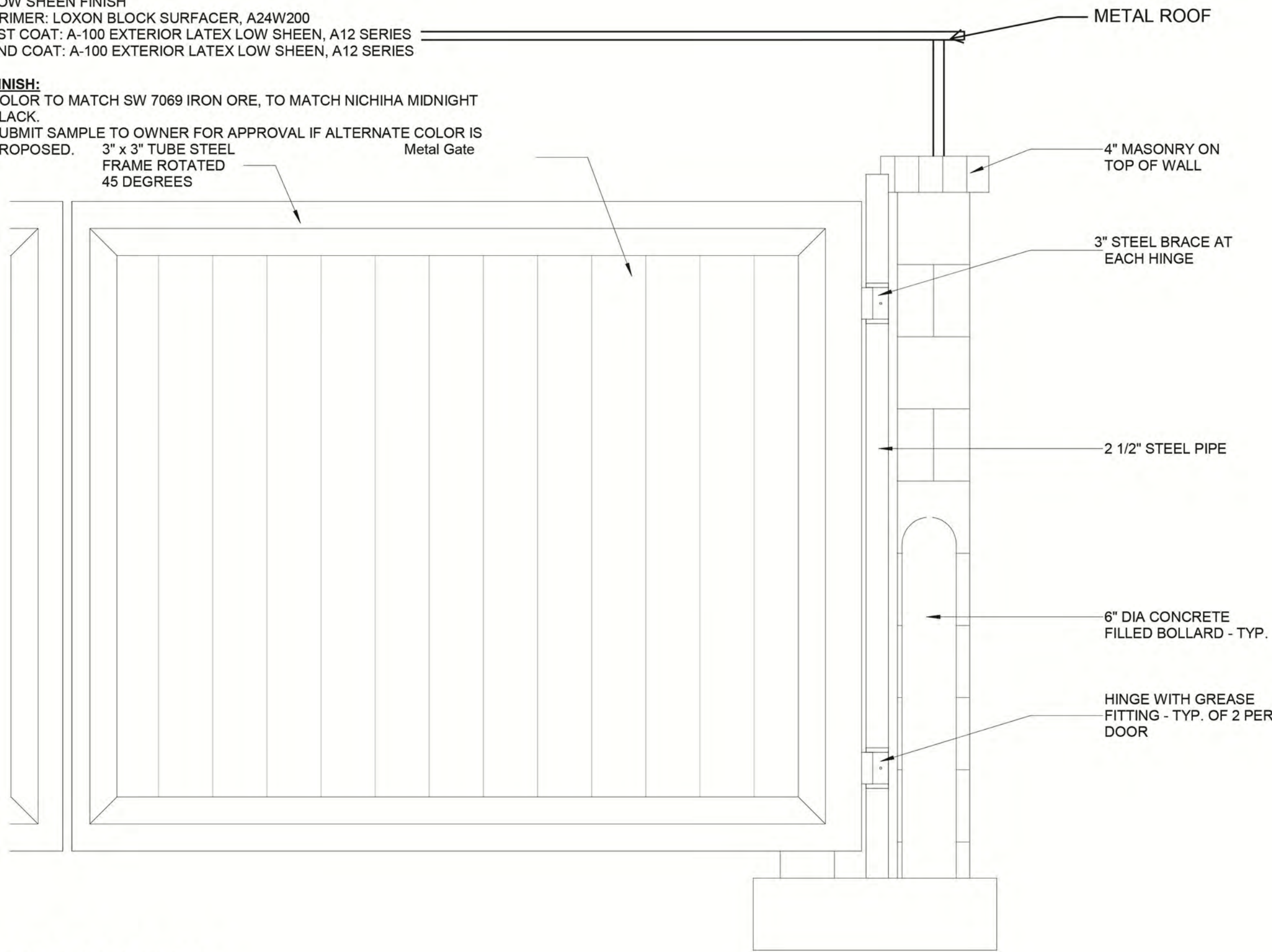
TRASH ENCLOSURE

1/2" = 1'-0"

DESIGNER NOTE: WHERE JURISDICTION REQUIRED, PAINT SPEC

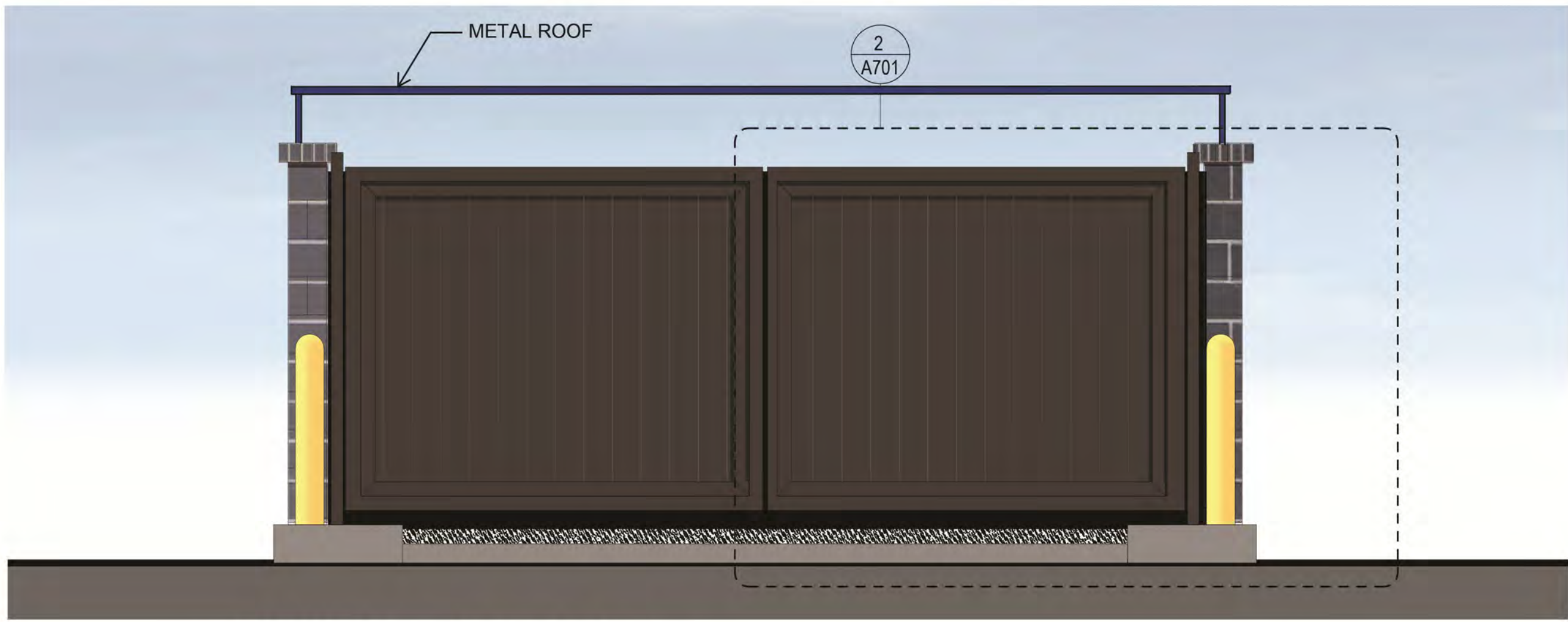
CMU PAINT SPEC:
LOW SHEEN FINISH
PRIMER: LOXON BLOCK SURFACER, A24W200
1ST COAT: A-100 EXTERIOR LATEX LOW SHEEN, A12 SERIES
2ND COAT: A-100 EXTERIOR LATEX LOW SHEEN, A12 SERIES

FINISH:
COLOR TO MATCH SW 7069 IRON ORE, TO MATCH NICHIA MIDNIGHT BLACK.
SUBMIT SAMPLE TO OWNER FOR APPROVAL IF ALTERNATE COLOR IS PROPOSED.
3" x 3" TUBE STEEL FRAME ROTATED 45 DEGREES
Metal Gate



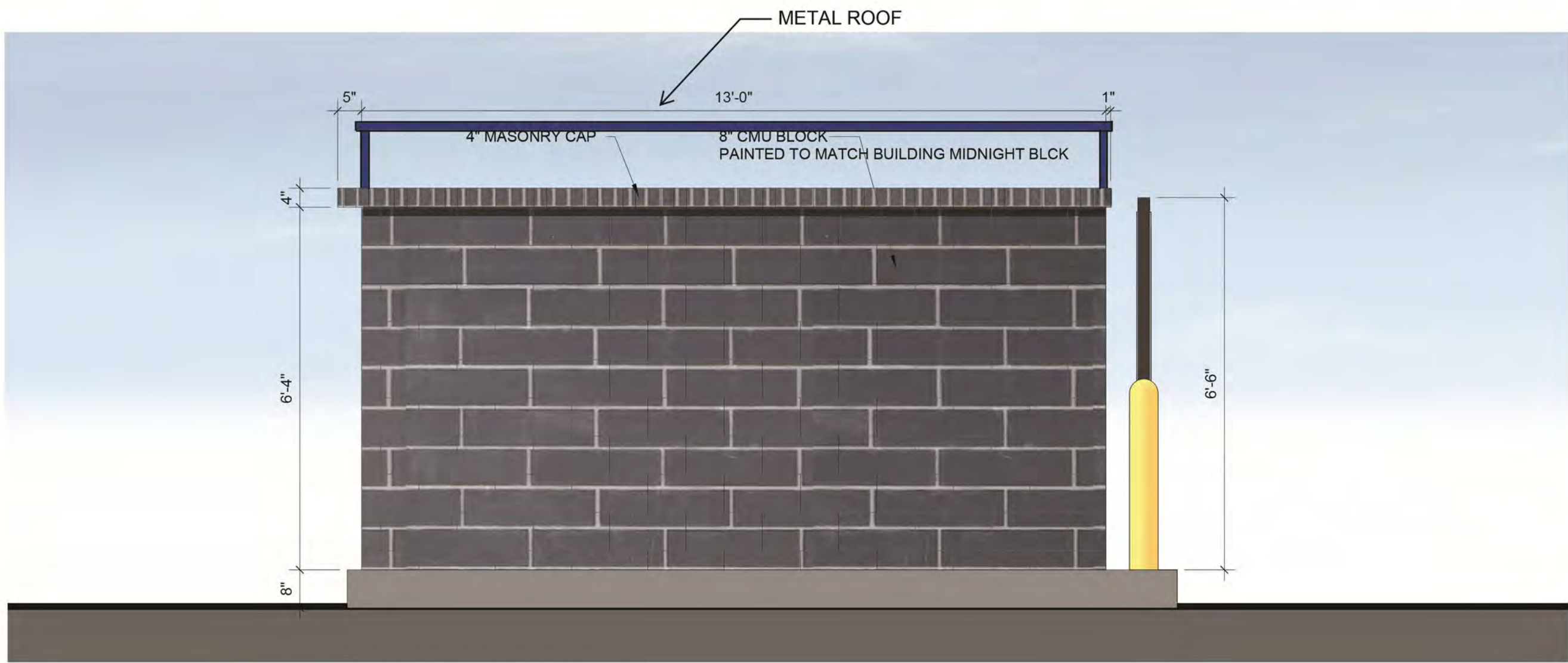
TRASH ENCLOSURE - GATE DETAIL

1" = 1'-0"



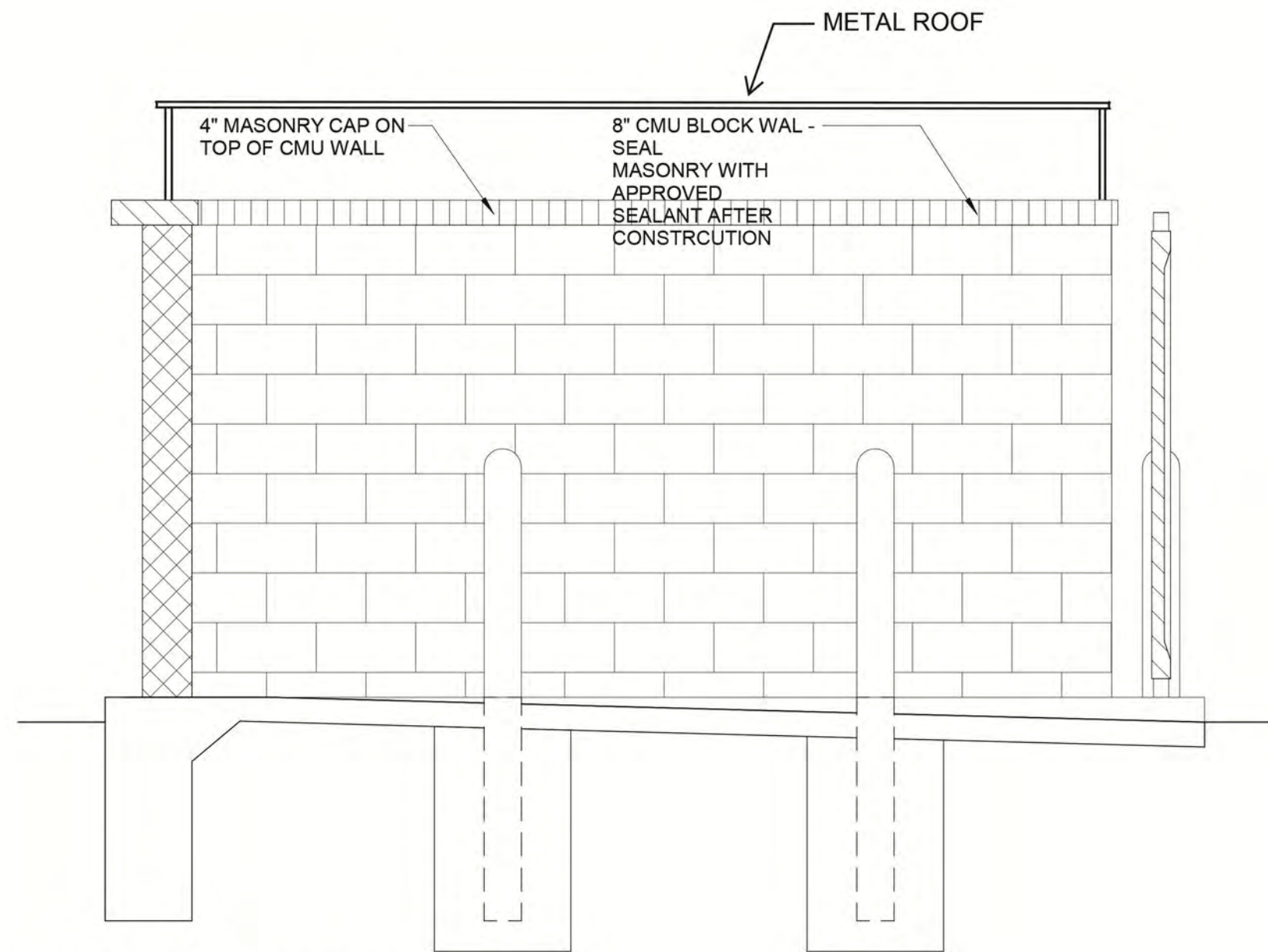
TRASH ENCLOSURE - FRONT ELEVATION

1/2" = 1'-0"



TRASH ENCLOSURE - SIDE ELEVATION

1/2" = 1'-0"



SECTION THROUGH TRASH ENCLOSURE

1/2" = 1'-0"

STAMP

REVISIONS

No.	DATE	DESCRIPTION

CLIENT INFORMATION



7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020

TRASH ENCLOSURE DETAILS

PROJECT NAME

DRAWN	CHECKED
HL	JL
DATE	02-11-2026
SCALE	
PROJECT NUMBER	
SHEET	

A701



LEFT - REAR SIDE VIEW



RIGHT -REAR SIDE VIEW



FRONT - RIGHT SIDE VIEW



FRONT - LEFT SIDE VIEW

KD

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REVISIONS		
No.	DATE	DESCRIPTION
1	03/19/26	PLANNING

CLIENT INFORMATION



7 BREW

MODULAR BUILDING FOR CALIFORNIA

49723 CESAR CHAVEZ ST

COACHELLA, CA 95020

SHEET NAME

COLORED ELEVATIONS

PROJECT NAME

7 BREW

DRAWN

CHECKED

DATE

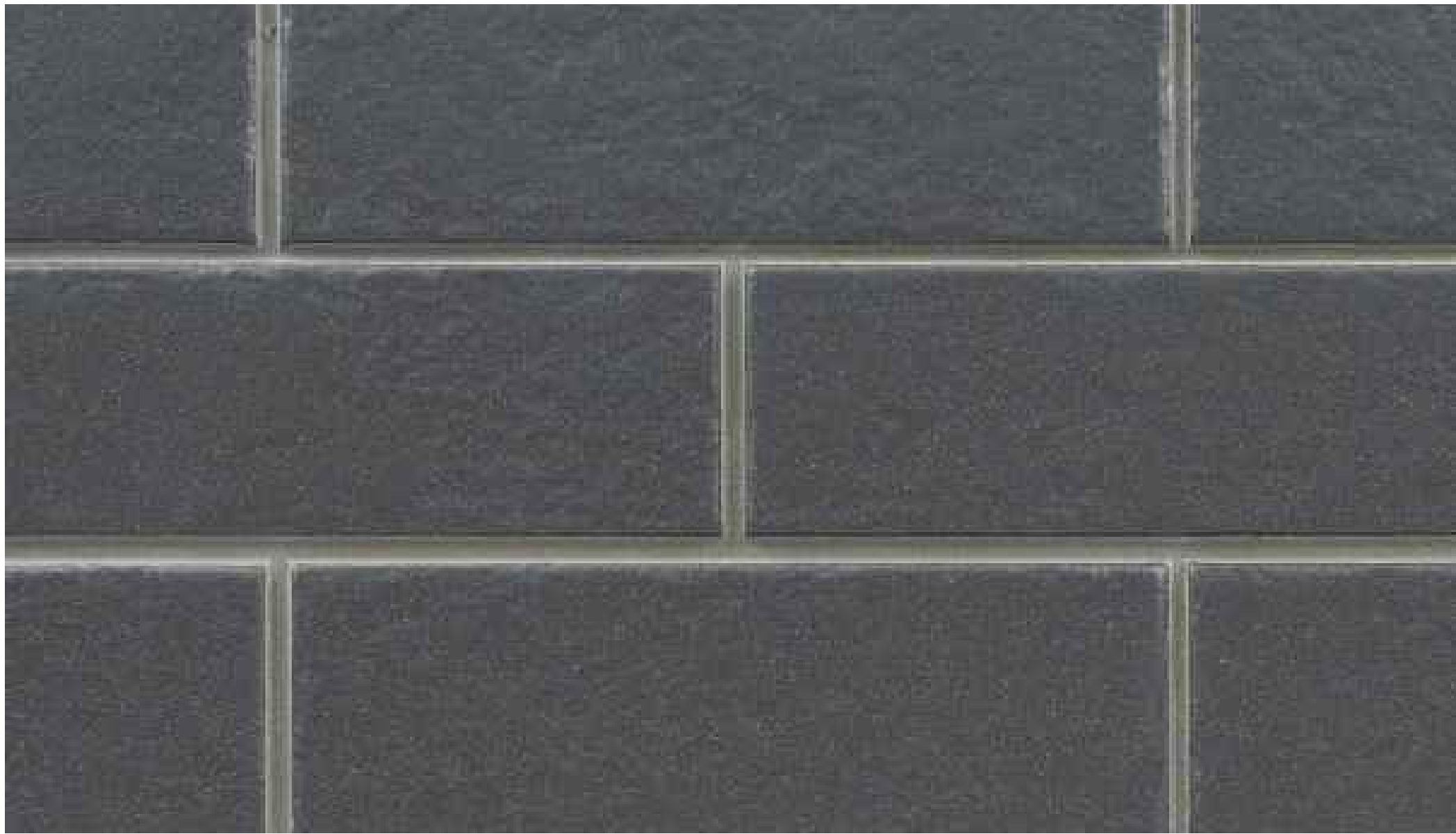
04/30/26

SCALE

PROJECT NUMBER

SHEET

A6



FIBER CEMENT PANEL
BRAND: NICHIIHA - MODERN BRICK
COLOR: MIDNIGHT
FINISH: SMOOTH



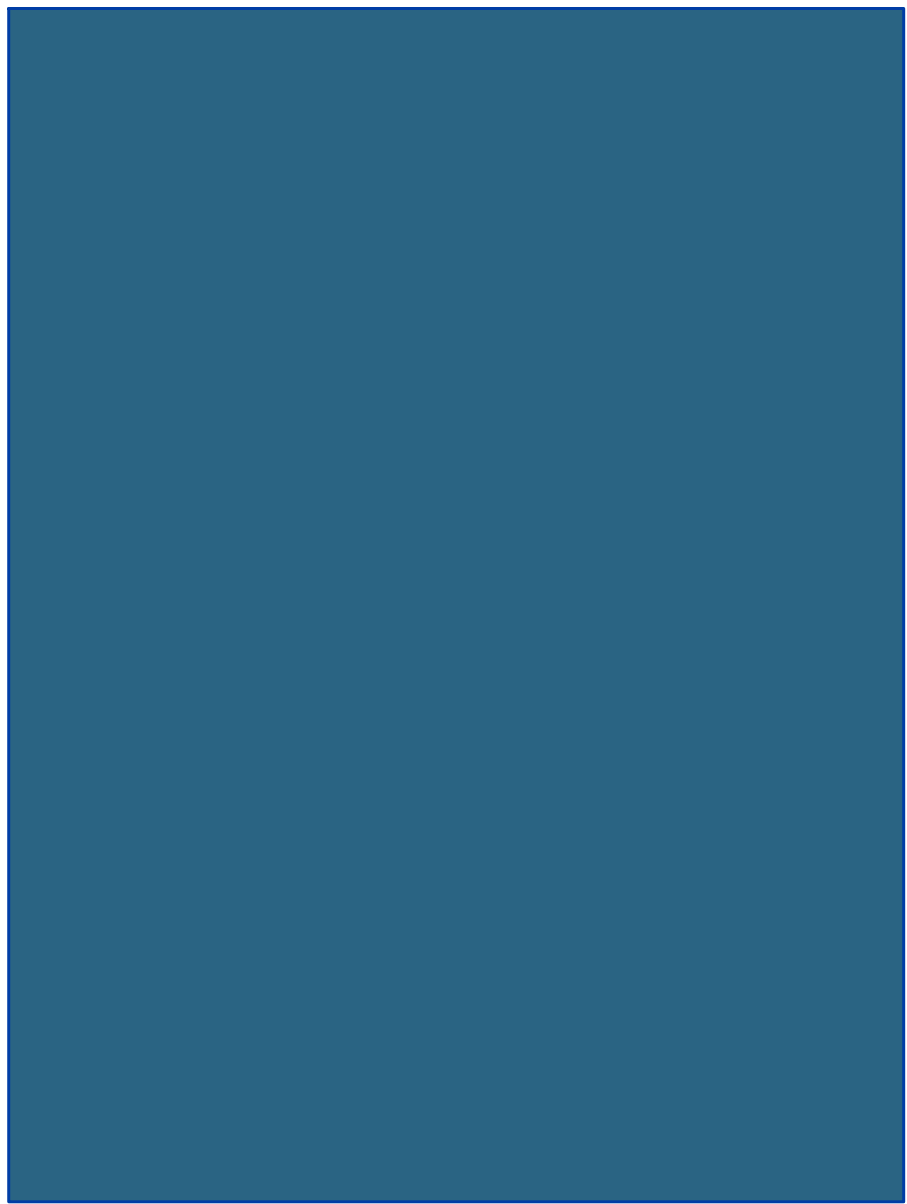
CLEAR ANODIZED WINDOW FRAME
BRAND: KAWNEER - TRIFAB II 451
COLOR: CLEAR ANODIZED
FINISH: BRUSHED ALUMINUM



LIGHT GRAY



GRAY METAL COPING & FLASHING
BRAND: KINKSPAN - MORIN
COLOR: ZINC GRAY
FINISH: SMOOTH



BLUE METAL STANDING SEAM
BRAND: KINGSPAN - MORIN
COLOR: REGAL BLUE
FINISH: SMOOTH

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REVISIONS		
No.	DATE	DESCRIPTION



PROJECT NAME

7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020

SHEET NAME

MATERIAL COLOR BOARD

DRAWN

CHECKED

DATE

04/30/26

SCALE

PROJECT NUMBER

SHEET

A7

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REVISIONS		
No.	DATE	DESCRIPTION

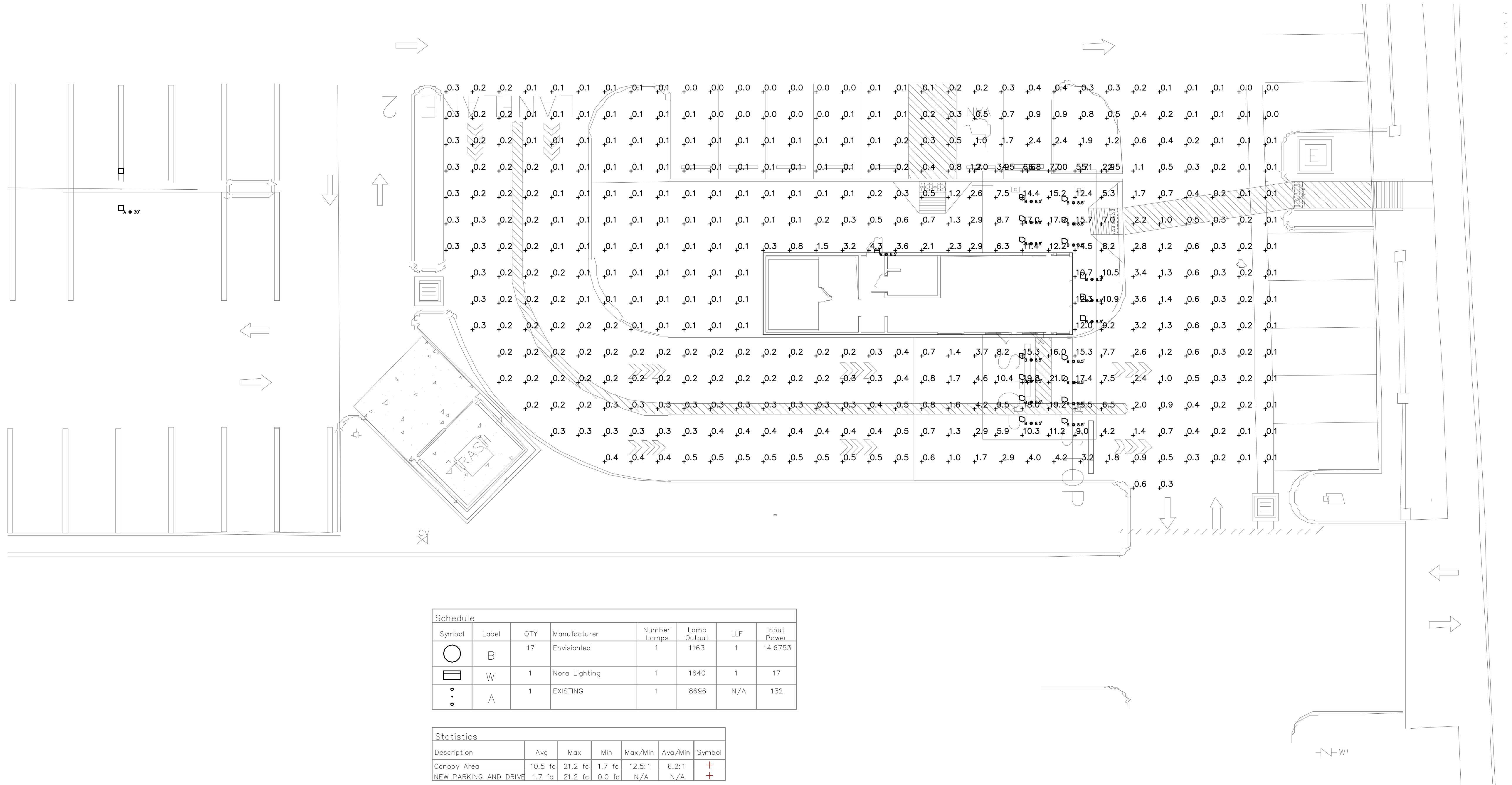


PROJECT NAME
**7 BREW
MODULAR BUILDING FOR CALIFORNIA
49723 CESAR CHAVEZ ST
COACHELLA, CA 95020**

SHEET NAME
SITE PHOTOMETRIC PLAN

DRAWN	CHECKED
DATE	01/28/26
SCALE	
PROJECT NUMBER	
SHEET	

E1



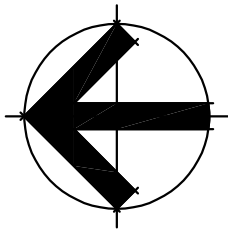
Schedule							
Symbol	Label	QTY	Manufacturer	Number Lamps	Lamp Output	LLF	Input Power
○	B	17	Envisionled	1	1163	1	14,675.3
▬	W	1	Nora Lighting	1	1640	1	17
•	A	1	EXISTING	1	8696	N/A	132

Statistics						
Description	Avg	Max	Min	Max/Min	Avg/Min	Symbol
Canopy Area	10.5 fc	21.2 fc	1.7 fc	12.5:1	6.2:1	+
NEW PARKING AND DRIVE	1.7 fc	21.2 fc	0.0 fc	N/A	N/A	+

Existing damage site lighting lamps within the lease limits that are damaged shall be replaced

SITE PHOTOMETRIC

SCALE: 3/32" = 1'-0"



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