



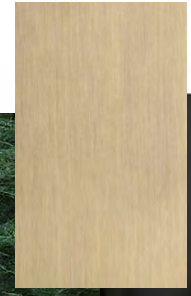
**FINISH LEGEND:**

- C-X CONCRETE
- E-X EPOXY
- F-X FABRIC/UPHOLSTERY
- G-X GLASS
- M-X METAL
- PA PAINT
- S-X STONE/SOLID SURFACE
- T-X TILE
- W-X WOOD
- WC-X WALL COVERING

**SHEET NOTES:**

1. SEE SHEETS A0 10 FOR MATERIAL SAMPLES.
2. SEE SHEETS A0 11, A0 12 AND 13 FOR COLOR RENDERED VIEWS.
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

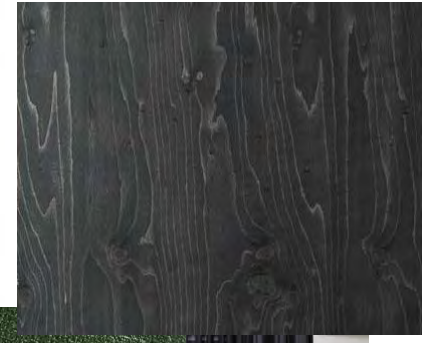
BRUSHED BRASS SIGNAGE AND TRIM - ENTRY / CONSUMPTION LOUNGE / PORTE COCHERE CEILING



BLACK MIRROR ACCENT WALL - CONSUMPTION LOUNGE BAR



BLACK STAINED PLYWOOD PANELING - CONSUMPTION LOUNGE / VIP CONSUMPTION LOUNGE CEILING



CUSTOM GRAPHIC WALLPAPER - EPOXY FLOORING AND CABINETS AT ENTRY TO MATCH



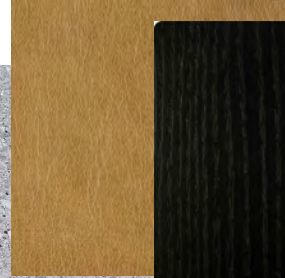
VEINDE QUATAMA A MARBLE - CONSUMPTION LOUNGE BAR COUNTER



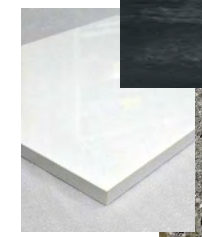
EBONIZED ASH - STOOLS AND SIDE TABLES

DISTRESSED CAMEL FAUX LEATHER UPHOLSTERY - CHAIR & STOOLS

PERBED GREEN FAUX LEATHER UPHOLSTERY - BANQUETTE



SOLID SURFACE DISPLACE CASE - CAESERSTONE - BLACK TAMPAL

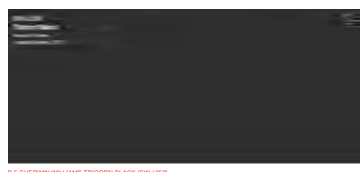


SEMGLOSS WHITE LACQUER CABINETS

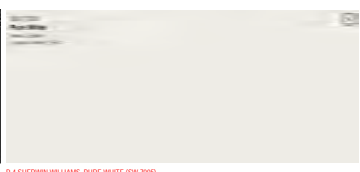


BLACK SHEER CURTAIN

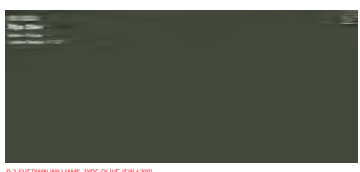
POLISHED AND SEALED CONCRETE STRUCTURAL SLAB



P-5 SHERWIN WILLIAMS TRICORN BLACK (SW 6256)



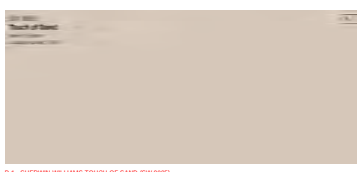
P-4 SHERWIN WILLIAMS PURE WHITE (SW 7000)



P-3 SHERWIN WILLIAMS RIPE OLIVE (SW 6299)



P-2 SHERWIN WILLIAMS CAVERN CLAY (SW 7703)



P-1 SHERWIN WILLIAMS TOUCH OF SAND (SW 9085)

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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**SHEET TITLE:**  
MATERIAL BOARD

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: Author

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONESOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING



VIEW TO ENTRY / RESTAURANT SEATING FROM DRIVE



VIEW TO BUILDING FROM DRIVEWAY



VIEW TO ENTRY FROM PARKING

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED UNLESS NOTED AS SHOWN  
DIMENSIONS SHALL GOVERN OVER DIMENSIONS SHOWN

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY:



VIEW OF NORTH FACADE FROM EAST PARKING



VIEW OF SOUTH AND EAST FACADES FROM SOUTH DRIVE



VIEW TO WEST FACADE / RESTAURANT SEATING FROM PARKING LOT

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

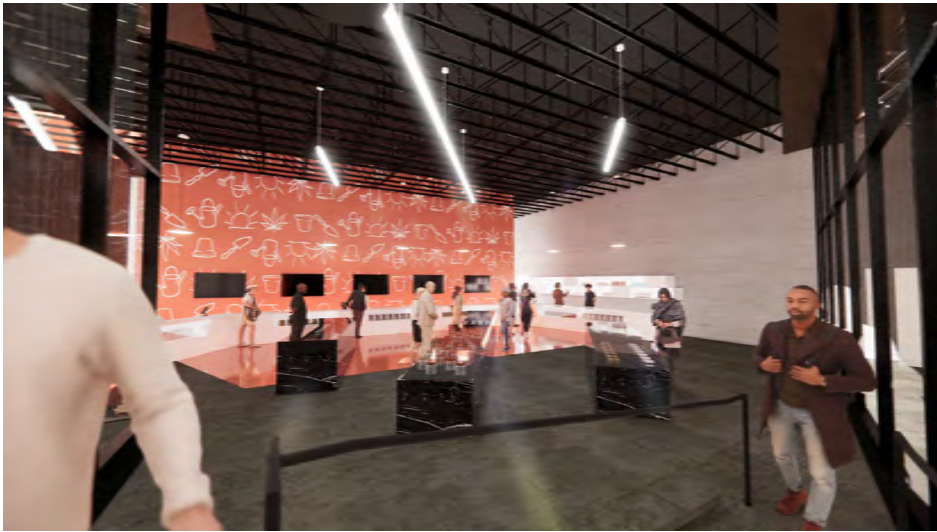
4154 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: 



VIEW OR RETAIL FROM HALLWAY



VIEW OR RETAIL / LOUNGE HALLWAY FROM LOBBY



VIEW OF RETAIL FROM DISPLAY / QUEUE



VIEW OF LOBBY FROM ENTRY DOOR

FINISH LEGEND

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/POLYESTER
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

THIS DRAWING AND THE DESIGN, DIMENSIONS, SPECIFICATIONS, AND ANY OTHER INFORMATION CONTAINED HEREIN CONSTITUTE THE UNPAID INTELLECTUAL PROPERTY OF STUDIO REN ARCHITECTS. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISSEMINATED, TRANSMITTED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF STUDIO REN ARCHITECTS. VISUAL CONTACT WITH THE ARCHITECTS OR ANY PART THEREOF SHALL CONSTITUTE CONSENT OR ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE:  
3D VIEWS INTERIOR

PLANS AT SCALE UNLESS NOTED OTHERWISE  
DATE: 12/18/2019  
PROJECT NUMBER: 1908  
DRAWN BY: Austin



VIEW OF VIP CONSUMPTION LOUNGE



VIEW OF LOUNGE FROM DOOR



VIEW OF RETAIL & LOUNGE ENTRY FROM CONSUMPTION BAR



VIEW TO LOUNGES FROM RETAIL POINT OF SALE

**FINISH LEGEND:**

CX	CONCRETE
EX	EPoxy
FH	FABRIC/HYPOLSTERY
GL	GLASS
MT	METAL
PT	PANT
STX	STONE/SOLID SURFACE
TL	TILE
WD	WOOD
WLY	WALL COVERING

**studio ren**  
ARCHITECTURE  
1802 N LOS ROBLES AVENUE  
PASADENA, CA 91104  
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info@studio-ren.com  
www.studio-ren.com

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

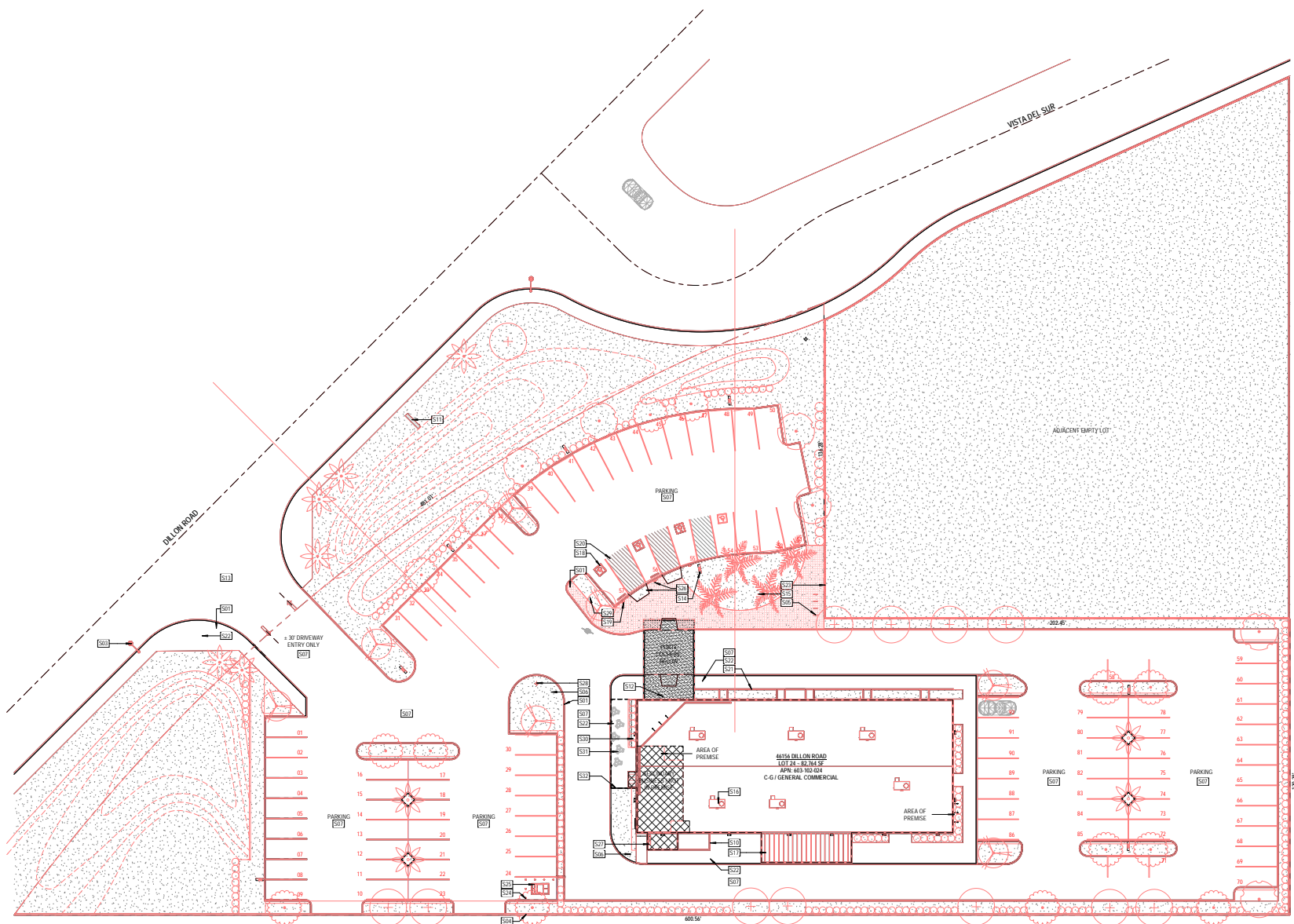
NO. ISSUE/REVISION DATE

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SHEET TITLE:  
3D VIEWS INTERIOR

PLANS AT SCALE UNLESS NOTED OTHERWISE PRINTED AT 1/8"=1'-0"  
DATE: 12/18/2019  
DRAWN BY: Author

**A0.14**



- KEYNOTE LEGEND - SITE PLAN**
- S01 (E) CURB
  - S02 (N) CURB CUT, ADD TRUNCATED DOMES WHERE REQ'D.
  - S03 (E) STREET LIGHT, TYP.
  - S04 (E) 4" OF HIGH MASONRY SITE WALL WITH CHARLINK FENCE ABOVE
  - S05 (N) BIKE PARKING STALLS
  - S06 (N) PLANTER W/ DROUGHT TOLERANT / NATIVE PLANTINGS, S.I.D.
  - S07 (E) PARKING ASPHALT PARKING LOT
  - S08 (E) STANDARD PARKING SPACES WITH STRIPING
  - S09 (E) 4" OF MASONRY TRASH ENCLOSURE WITH METAL GATES
  - S10 (E) MONUMENT BUILDING SIGNAGE
  - S11 (N) BUILDING ENTRANCE
  - S12 (E) PROPERTY ENTRY AND EXIT
  - S13 (E) SITE LIGHTING, TYP.
  - S14 (E) CONCRETE HARDSCAPE
  - S15 (E) ROOFTOP MECHANICAL UNIT
  - S16 (E) TRELIS/MASONRY PATIO ENCLOSURE
  - S17 (E) ACCESSIBLE PARKING DESIGNATION
  - S18 (E) ACCESSIBLE PARKING SIGNAGE
  - S19 (E) ACCESSIBLE PARKING PATH STRIPING
  - S20 (E) BUILDING SCREEN WALL
  - S21 (E) SHERBARK
  - S22 (E) FENCE
  - S23 (E) CONCRETE BOLLARDS AND PAD
  - S24 (E) TRANSFORMER
  - S25 (E) WHEELSTOP
  - S26 (E) UTILITY METERS
  - S27 (N) FIRE HYDRANT
  - S28 (E) FOUNTAIN
  - S29 (N) COUNTERTOP
  - S30 (N) FURNITURE
  - S31 (N) FABRIC AWNING W/ MASTERS
  - S32 (E) FABRIC AWNING W/ MASTERS

**studio ren**  
ARCHITECTURE

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PASADENA, CA 91104  
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PROJECT:  
**COACHELLA CAN LLC - APPLICATION**

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

- SHEET NOTES:**
1. SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND TOPOGRAPHY.
  2. OUTDOOR PARKING AREA LIGHTING SHALL COMPLY WITH SECTION 17.64.220 P.M.C.
  3. HOURS OF OPERATION ARE TO BE LISTED AS 7AM TO 10PM DAILY.
  4. MAXIMUM AVERAGE ILLUMINATION AT GROUND LEVEL SHALL NOT EXCEED THREE (3) FOOT CANDLES WHEN THE PARKING IS LOCATED WITHIN A NONRESIDENTIAL ZONING DISTRICT, PER 17.64.220 P.M.C.
  5. OUTDOOR PARKING AREA LIGHTING SHALL NOT EXCEED 18' IN HEIGHT, UNLESS SPECIFICALLY APPROVED BY THE DESIGN COMMISSION OR OTHER APPLICABLE REVIEW AUTHORITY, AND EXCEPT WHEN LOCATED WITHIN CITY PARKS.

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- LEGEND**
- PROPERTY LINE
  - - - - - SET BACK
  - X-X-X-X-X-X-X-X-X-X-X- (E) CHARLINK FENCE
  - [Hatched Box] ACCESSIBILITY STRIPING
  - [Dotted Box] TRUNCATED DOMES

**SHEET TITLE**

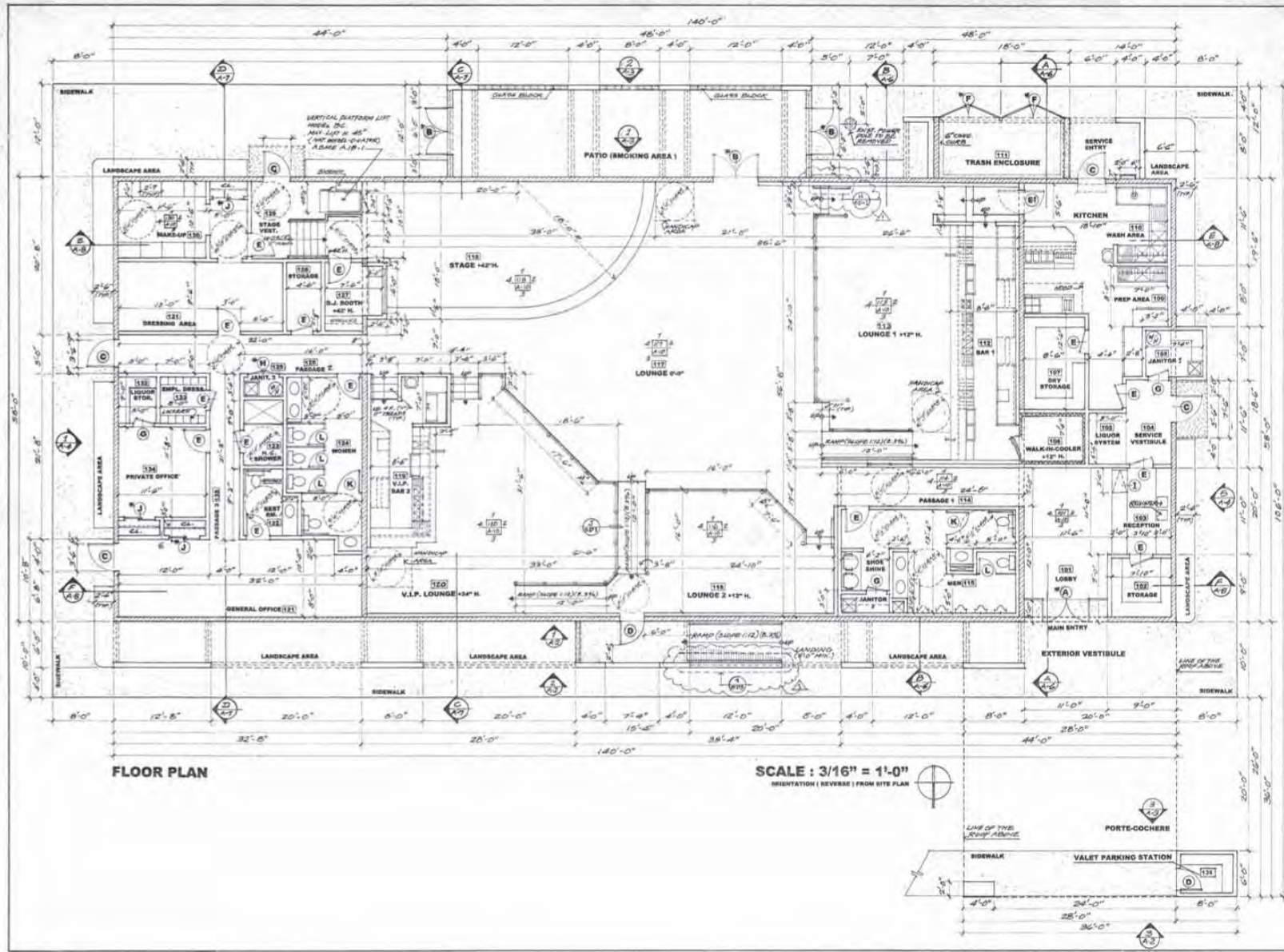
**SITE PLAN**

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36" (1:1200)

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: BMC

**A1.01**

**1 SITE PLAN**  
12-2019



FLOOR PLAN

SCALE: 3/16" = 1'-0"  
ORIENTATION ( REVERSE ) FROM SITE PLAN

A M C E  
CONSULTING ENGINEERS  
REGISTERED PROFESSIONAL  
ARCHITECTS AND ENGINEERS  
H. O'CAJIZ & ASSOC.  
ARCHITECTS



REVISIONS:

#	DESCRIPTION	DATE
1	FOR COMMENTS	2-28-08

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**SEVENTH HEAVEN GENTLEMEN'S CLUB**  
AP #2 603-012-024 DILLON RD COACHELLA CA 92236  
OWNERS: ROBERT FOSTER / MORGOS S. ACER TEL: (951) 904 9377

DATE: 08.12.2001  
SCALE: 3/16" = 1'-0"  
DRAWN: MDC  
JOB: 08.001  
SHEET 1  
OF 12 SHEETS  
A-1

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
EXISTING FLOOR PLAN

PLANS AT SCALE NOTED WERE PRINTED AT 24" X 36" USING THE SCALES AND DIMENSIONS SHOWN ON THESE SHEETS.  
PROJECT NUMBER: 1278/2019  
DATE: 12/18/2019  
DRAWN BY: Aduh



KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX.
- 04 (N) CASEWORK COUNTER @ 3" HIGH MAX.
- 05 (N) CASEWORK POINT OF SALE STATION
- 06 (N) CASEWORK WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 REFRIG. CASHIERS
- 20 (N) IMPACT RESISTANT SECURITY GLAZING
- 21 SECURE CANNIBIS PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2" X 4" CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) WAREHOUSE WHERE DECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 3" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) LUMBER FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK CONSUMPTION BAR
- 35 CASEWORK CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SHEET
- 42 (N) MIRROR/WALL AND SOFT W/ BRASS BATHS
- 43 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 44 (N) SELF ILLUMINATED SIGN
- 45 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
- 46 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGNALS

FINISH LEGEND:

- CX CONCRETE
- EX EPOXY
- FX FABRIC/UPHOLSTERY
- GX GLASS
- TX METAL
- PX PAINT
- STX STONE/SOLID SURFACE
- TX TILE
- WX WOOD
- WCX WALL COVERING

**FIRE PROTECTION:**  
PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED. SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SECTIONS 905.1.1 AND 905.1.2.1 IN GROUP A, E, F, H, I, R, 2, R-2.1 OCCUPANCIES.  
A. ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION  
B. WHERE REQUIRED BY TYP. 1  
C. IN SPECIAL HAZARD AREAS, WHERE REQUIRED BY THE CODE OFFICIAL.

LEGEND:

- LIMITED ACCESS AREA
- COMMON AREA
- (E) WOOD FRAMED WALL TO REMAIN
- (D) EXISTING TO BE DEMOLISHED
- (N) 2x4 WOOD FRAMED WALL (FURR ADJACENT WALLS TO ALUMI FINISH WHERE REQ'D)
- SECONDARY BUSINESS

PROJECT:  
COACHELLA CAN LLC - APPLICATION

4154 DULON ROAD,  
COACHELLA, CA 92336

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SHEET TITLE:

FIRST FLOOR PLAN

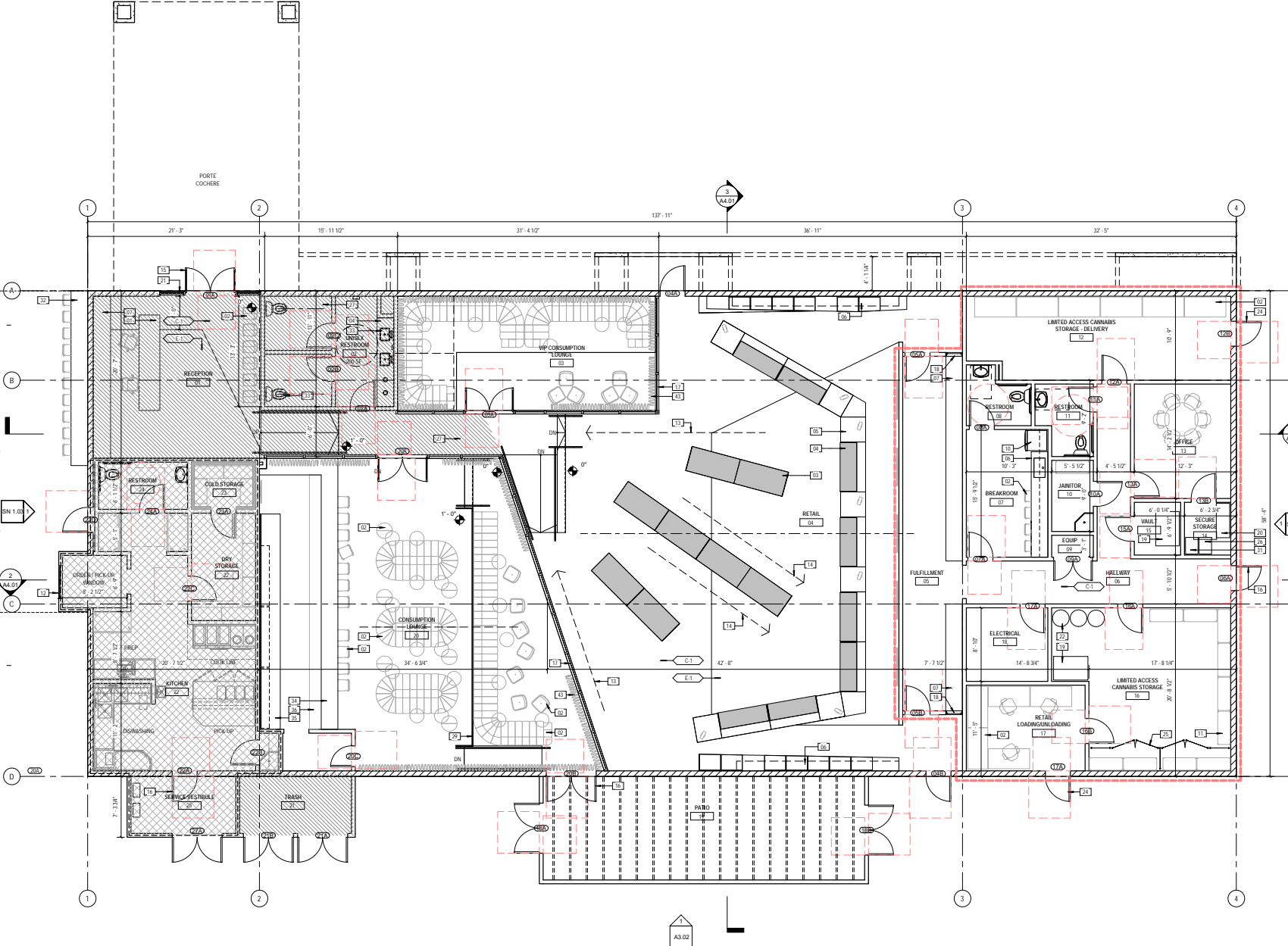
PLANS AT SCALE UNLESS NOTED OTHERWISE. SCALE: ARCHITECTURE: 1/8" = 1'-0"; STRUCTURE: 1/4" = 1'-0"; MECHANICAL/ELECTRICAL/PLUMBING: 1/4" = 1'-0";

PROJECT NUMBER: 1908

DATE: 12/18/2019

DRAWN BY: Aduha

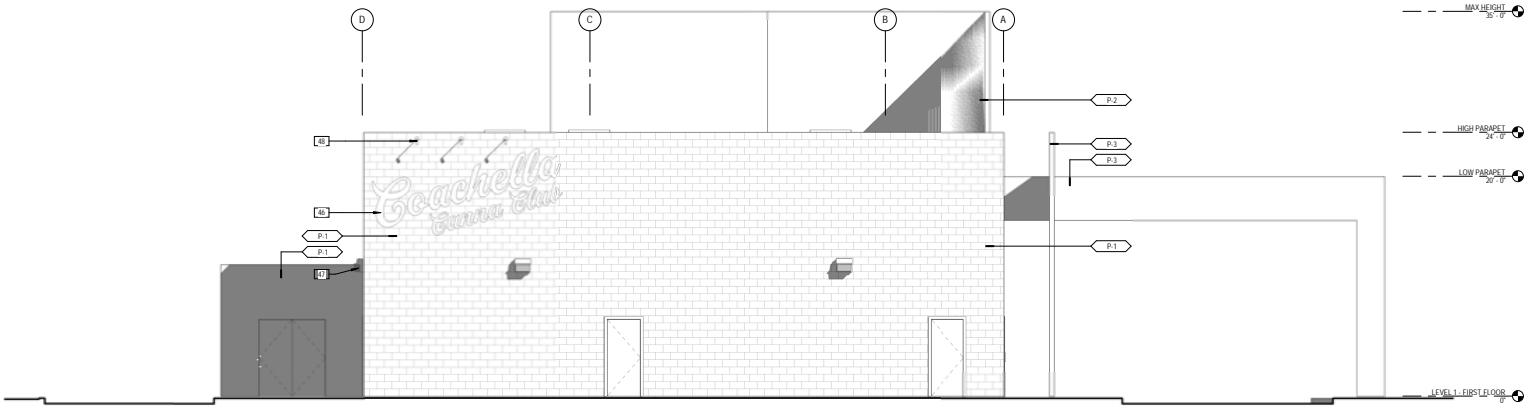
**A2.01**



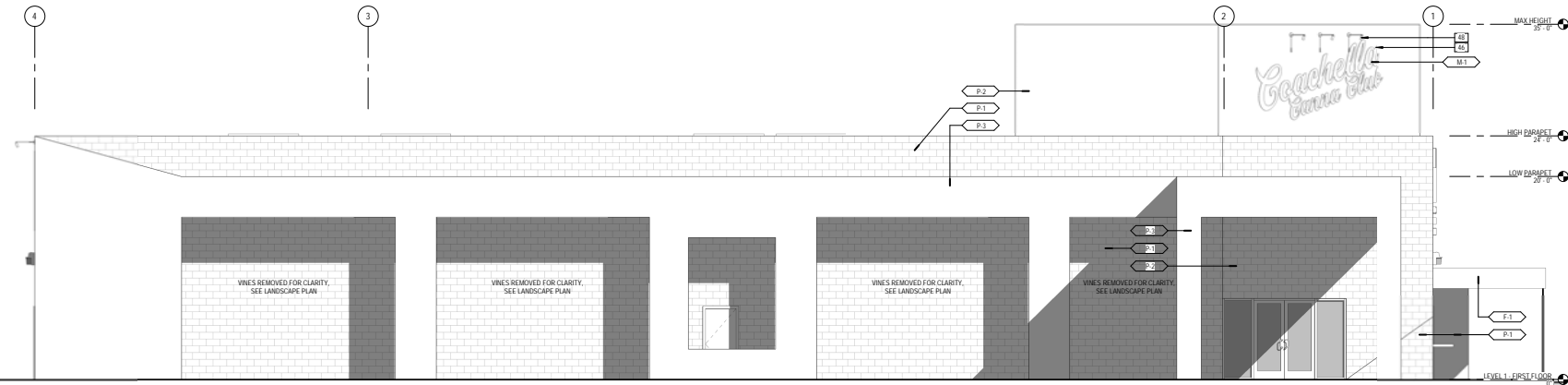
1 LEVEL 1 - FIRST FLOOR  
3/16" = 1'-0"

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVER-CLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNAS/PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF COLLUMBS
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 3/4" X 6" CHAIR-LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR - WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR/WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 EAST ELEVATION  
3/16" = 1'-0"



1 NORTH ELEVATION  
3/16" = 1'-0"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- S.T.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

1. SEE SHEETS A01-10 FOR MATERIAL SAMPLES
2. SEE SHEETS A01-11, A01-12 AND A01-13 FOR COLOR-RENDERED VIEWS
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE

PROJECT:  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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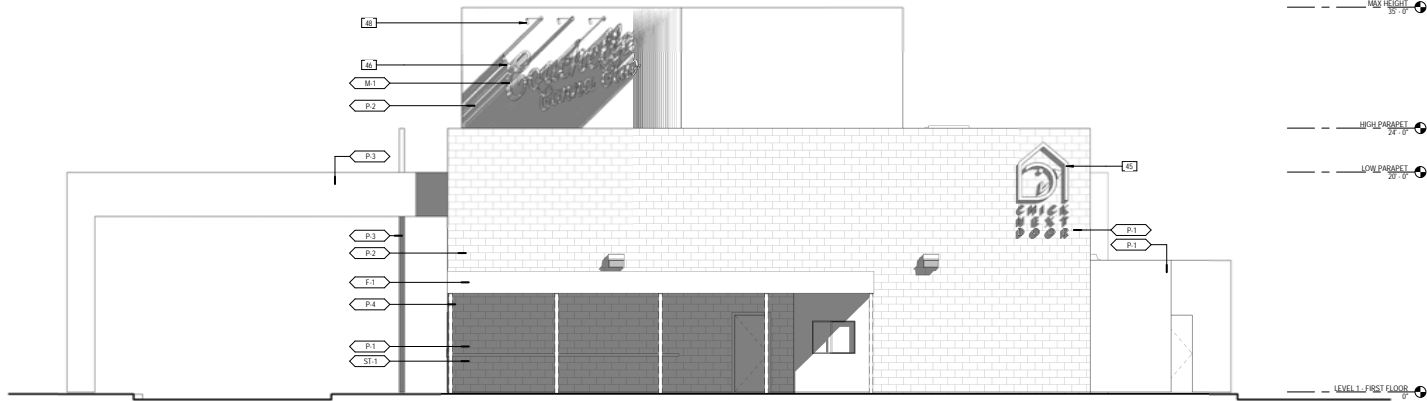
SHEET TITLE:  
**BUILDING ELEVATIONS**

PLANS AT SCALE NOTED UNLESS PRINTED AT 3/16" = 1'-0"  
DATE: 12/18/2019  
DRAWN BY: Author

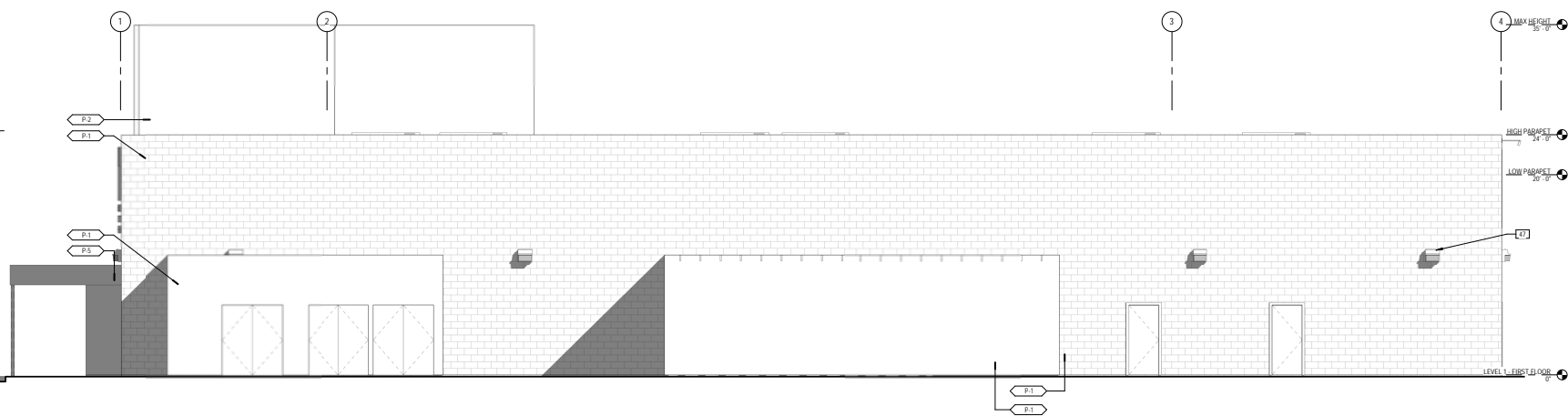
**A3.01**

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3'0" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 3'0" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER PURCHASES OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SAFES
- 20 SECURE RECORDS STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEIPT TABLES
- 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2 07X2 07 CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR, W/ WIRE RECO
- 28 (N) RAMP OR STAR W/ RAILS @36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) FLUORESCENT FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) UNBORDERED WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHERY FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 WEST ELEVATION  
316' - 1'6"



1 SOUTH ELEVATION  
316' - 1'6"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

- 1. SEE SHEETS A0-10 FOR MATERIAL SAMPLES.
- 2. SEE SHEETS A0-11, A0-12 & A0-13 FOR COLOR RENDERED VIEWS.
- 3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
**BUILDING  
ELEVATIONS**

PLANE AT SCALE NOTED UNLESS PRINTED AT 3/4" = 1'-0"  
DRAWING FILE: 20240120-001-001-001

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: Author

**KEYNOTES:**

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, STORAGE CABINET
- 07 (N) CASEWORK, RESISTANT GLAZING
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERCROW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STONEFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS-THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 23 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
- 24 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 7" DIA Ø CHAIN LINK CAGE
- 25 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RASLED FLOOR WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @36" AFF, BOTH SIDES, TYP
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 34" AFF, TYP
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) IN-PLATE METAL SIGNAGE/ CONCEALED STUDS
- 47 (E) WALL BACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS
- 501 (E) CURB
- 502 (N) CURB CUT, ADD TRUNCATED DOMES WHERE RECD
- 503 (E) STREET LIGHT, TYP
- 504 (E) 12" HIGH MASONRY SIDE WALL WITH CHAIN LINK FENCE ABOVE
- 505 (N) BIKE PARKING STALLS
- 506 (N) IN-PLATE W/ DRUG/TOLERANT/ NATIVE PLANTINGS, S.L.D.
- 507 (E) PARKING ASPHALT PARKING LOT
- 508 (E) STANDARD PARKING SPACES WITH STRIPING
- 510 (E) 12" MASONRY TRASH ENCLOSURE WITH METAL GATES
- 511 (E) MONUMENT BUILDING SIGNAGE
- 512 (E) BUILDING ENTRANCE
- 513 (E) PROPERTY ENTRY AND EXIT
- 514 (E) SITE LIGHTING, TYP
- 515 (E) CONCRETE HARDSCAPE
- 516 (E) ROOFTOP MECHANICAL UNIT
- 517 (E) TRUSS/MASONRY PATIO ENCLOSURE
- 518 (E) ACCESSIBLE PARKING DESIGNATION
- 519 (E) ACCESSIBLE PARKING SIGNAGE
- 520 (E) ACCESSIBLE PARKING/PATH STRIPING
- 521 (E) BUILDING SCREEN/WALL
- 522 (E) SIDEWALK
- 523 (E) FENCE
- 524 (E) CONCRETE BOLLARDS AND PAD
- 525 (E) TRANSFORMER
- 526 (E) WHEELSTOP
- 527 (E) UTILITY METERS
- 528 (N) FIRE HYDRANT
- 529 (E) FOUNTAIN
- 530 (N) COUNTERTOP
- 531 (N) FURNITURE
- 532 (N) FABRIC AWNING W/ MASTERS

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92316

NO.	ISSUE/REVISION	DATE

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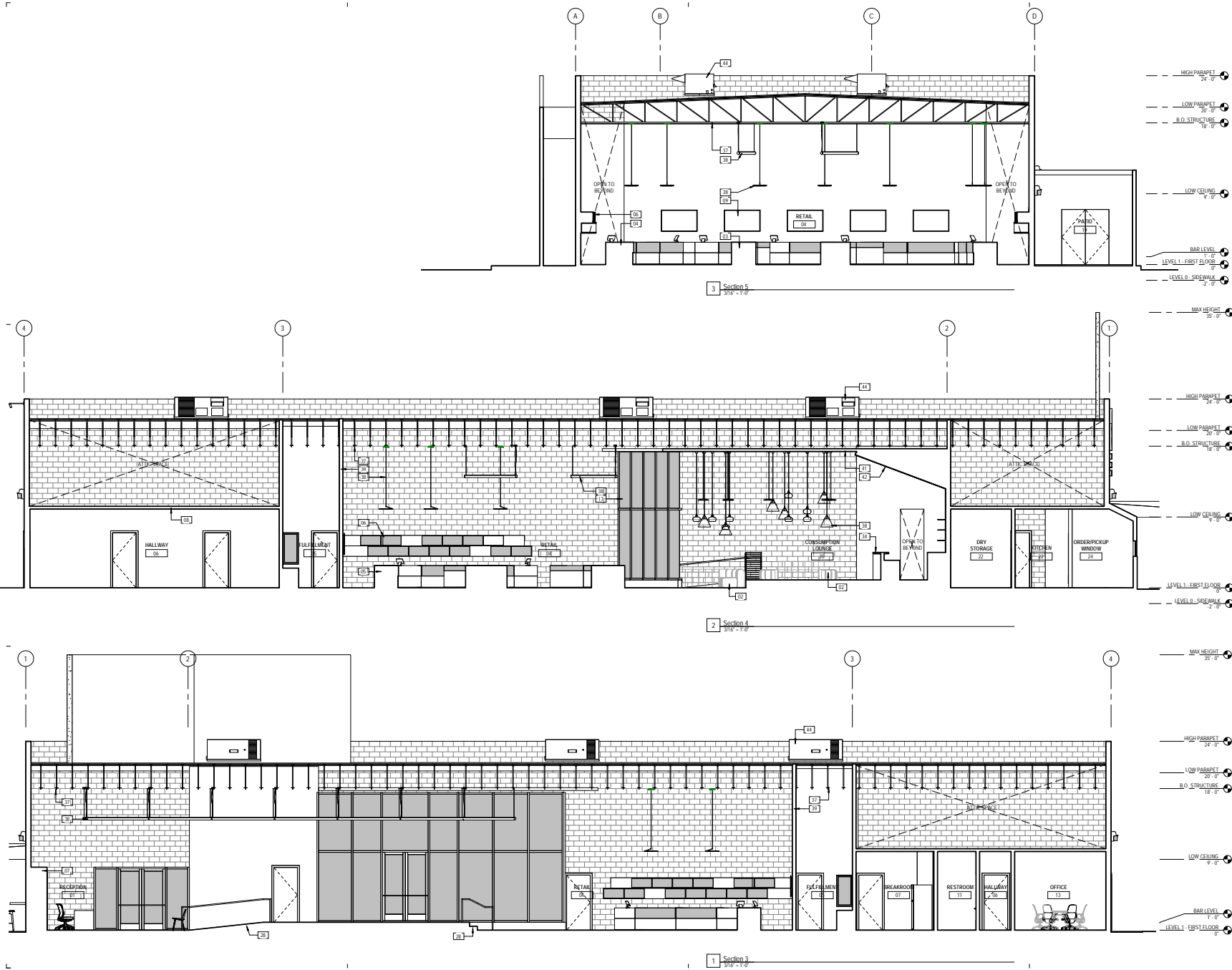
**SHEET TITLE:**

**BUILDING SECTIONS**

PLANS AT SCALE NOTED WERE PRINTED AT 1/8"=1'-0"  
DATE: 12/18/2019  
DRAWN BY: Aduan

**SHEET NUMBER:** 1/08  
**PROJECT NUMBER:** 12/18/2019  
**DATE:** 12/18/2019  
**DRAWN BY:** Aduan

**A4.01**



3 Section 5  
3/16'-1'-0"

2 Section 4  
3/16'-1'-0"

1 Section 3  
3/16'-1'-0"

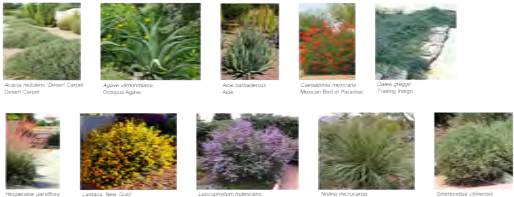


PROPOSED TREES



Black Olive (Proposed) Bottle Tree  
 Goldenrain Tree  
 Phoenix Palmetto Date Palm  
 African Sumac  
 Mexican Fan Palm

PROPOSED SHRUBS & GROUNDCOVER



Alamo Redwoods Dwarf Carpet  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata  
 Agave attenuata



**PROPOSED TREE LEGEND**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	2	24" BOX	BRACHYCHTON POPULNEUS	BOTTLE TREE
	4	15 GAL		
	3	24" BOX	KOELREUTERA PANICULATA	GOLDENRAIN TREE
	4	15 GAL		
	4	24" BOX	PHOENIX DACTYLIS FRONS	DATE PALM
			MALE SPECIMEN ONLY	
	6	24" BOX	Rhus LANCEA	AFRICAN SUMAC
	8	15 GAL		
	4	15 GAL	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM

**CITY OF COACHELLA LANDSCAPE GUIDELINE REQUIREMENTS**

1 TREE PER 30' LINEAR FEET OF BUILDING  
 360' LINEAR FEET = 12 TREES REQ'D

1 TREE PER 3 PARKING STALLS  
 91 TOTAL PARKING STALLS = 30 TREES REQ'D

TOTAL TREES REQ'D = 42

TOTAL PROPOSED TREES = 38

TOTAL EXISTING TREES TO REMAIN = 11

TOTAL PROPOSED + EXISTING TREES = 49

25% OF REQ'D TREES TO BE 24" BOX = 11  
 PROPOSED 24" BOX TREES = 10

15% MINIMUM OF NET LOT AREA TO BE LANDSCAPED  
 LOT AREA = 42,194 SQ. FT.  
 15% = 6,329 SQ. FT.

PROPOSED LANDSCAPED AREA = 11,266 SQ. FT.



PROJECT  
 COACHELLA CANNABIS  
 CO. - CONSUMPTION  
 LOUNGE

41156 DILLON ROAD  
 COACHELLA, CA 92226

NO. ISSUANCE/REVISION DATE

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SHEET TITLE  
 CONCEPTUAL  
 LANDSCAPE PLAN

NAME OF CLIENT ARCHITECTURE FIRM OR PROJECT  
 STUDIO REN ARCHITECTURE

PROJECT NUMBER 1833

DATE 12/19/2019

DRAWN BY MRC

1 CONCEPTUAL LANDSCAPE PLAN  
 1" = 20'

L1.01



PROJECT:  
COACHELLA CANNABIS  
CO. - CONSUMPTION  
LOUNGE

48156 DILLON ROAD,  
COACHELLA, CA 92226

NO. ISSUE/REVISION DATE

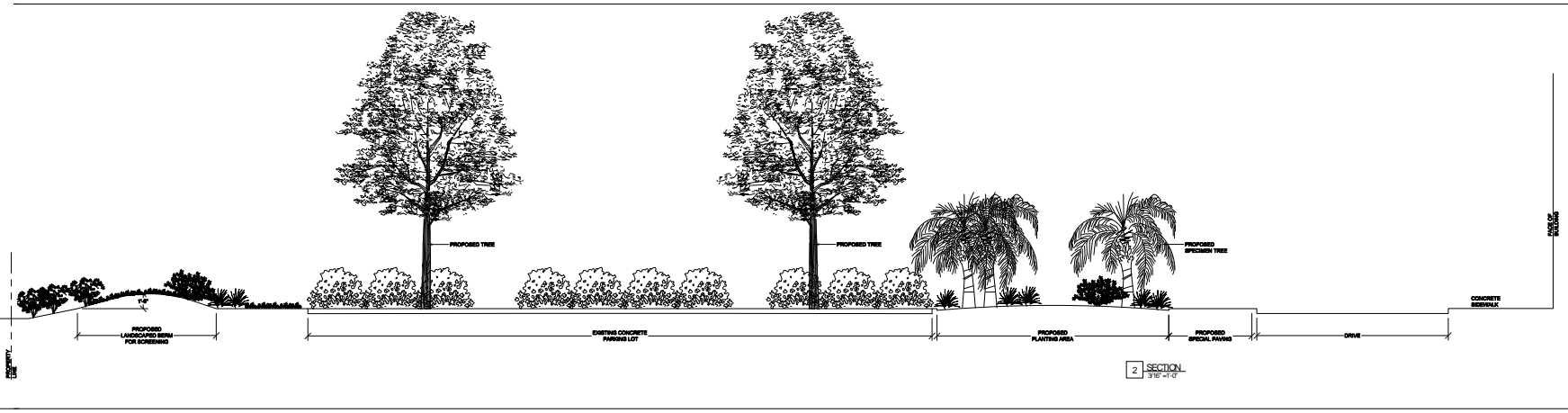
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES.

SHEET TITLE:  
CONCEPTUAL  
LANDSCAPE  
SECTIONS

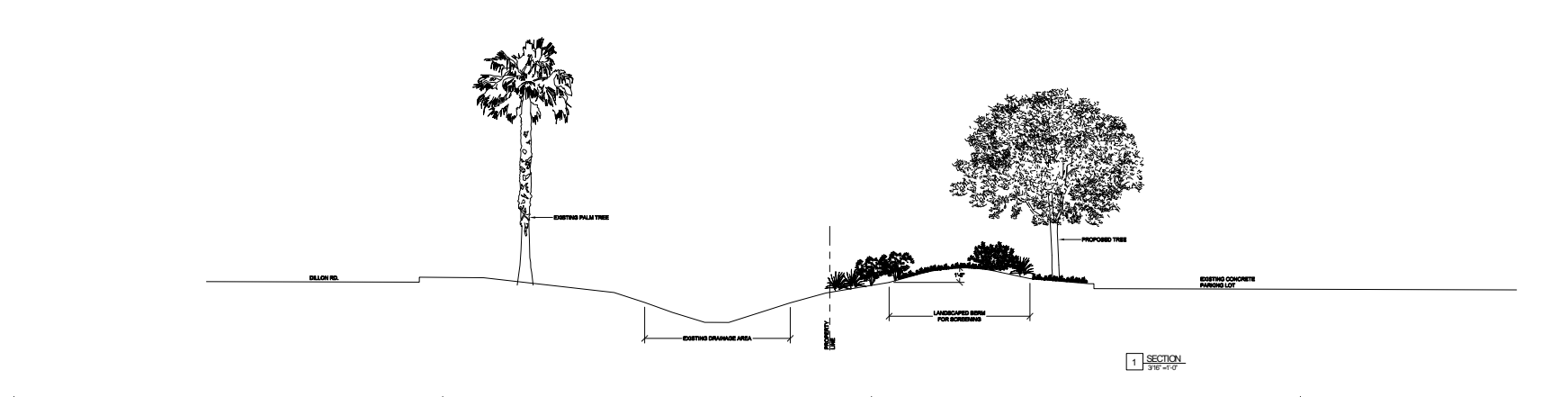
PLANS AND SECTIONS SHALL BE PREPARED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND SHALL REMAIN THE PROPERTY OF STUDIO REN ARCHITECTURE AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF STUDIO REN ARCHITECTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES.

PROJECT NUMBER: 1338  
DATE: 12/18/2019  
DRAWN BY: MRC

L3.01



2 SECTION  
3/16" = 1'-0"



1 SECTION  
3/16" = 1'-0"

# COACHELLA CAN LLC - PRIMARY BUSINESS SIGNAGE

## PROJECT DATA:

SCOPE OF WORK:  
REPLACE (E) BUILDING SIGNS; REFURBISH (E) MONUMENT SIGN AT DILLON RD; ADD A POST SIGN AT VISTAL DEL SUR

ADDRESS: 46156 DILLON ROAD, COACHELLA, CA 92236

APN: 003 102 024

LOT AREA: 82,729 SF / 1.9 ACRE

BUILDING AREA: 8,045 SF GROSS

(E) ZONING: C-G

(E) ZONING: C-GRC

(E) OCCUPANCY: A-3

(N) OCCUPANCY: M-CANNABIS F-1 (KITCHEN)

FLOOR AREA: EXISTING: 8,045 SF (GROSS)

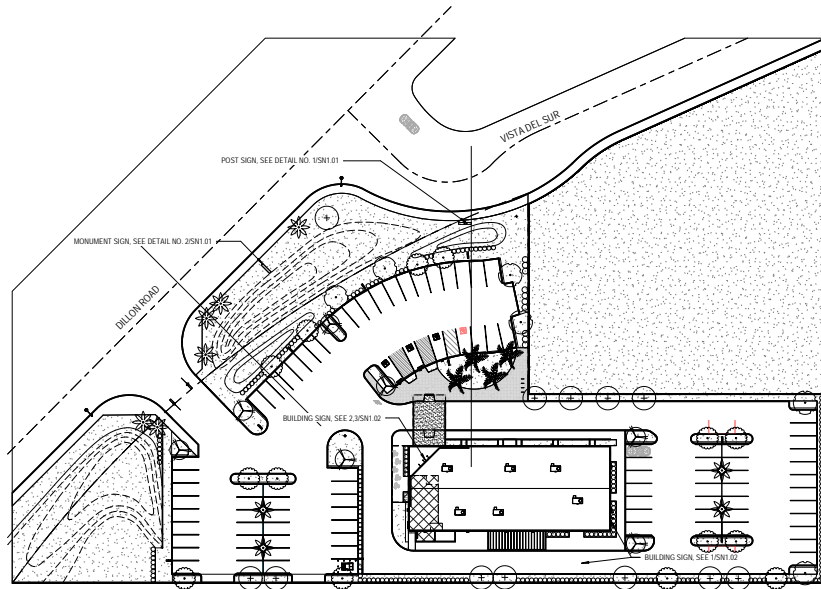
PROPOSED: 8,045 SF (GROSS)

CONSTRUCTION TYPE: TYPE V-B

FIRE PROTECTION: SPRINKLERED, SEE DEFERRED SUBMITTALS BELOW



4 EXTERIOR WALL MOUNT SIGN - EAST ELEVATION  
12' - 7 1/2"



1 SIGNAGE SITE PLAN  
11' - 4 1/2"



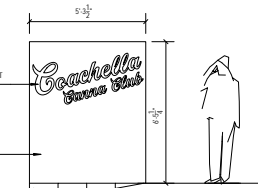
SHERWIN WILLIAMS  
RPE OLIVE, SW 6209

(N) FLAT CUT LETTERING, WELDED STUD MOUNT ON BOTH SIDES, SEE 4-17SM1.02

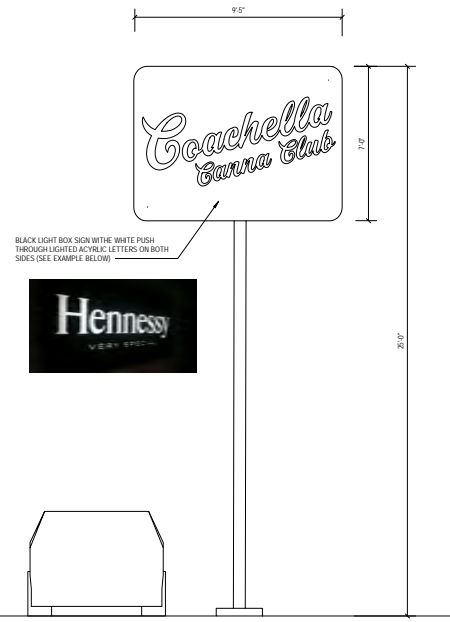
FRAME (O) (E) SIGN, APPLY (N) STUCCO FINISH

(E) CMU WALL

SIGN TO BE SPLIT WITH LANDSCAPE LIGHTING BOTH SIDES, REFER TO RENDERING ABOVE



2 EXTERIOR SIGN - MONUMENT  
10' - 7 1/2"



BLACK LIGHT BOX SIGN WITH WHITE PUSH THROUGH LIGHTED ACRYLIC LETTERS ON BOTH SIDES (SEE EXAMPLE BELOW)

3 EXTERIOR SIGN - POST  
30' - 7 1/2"



studio ren  
ARCHITECTURE

1882 N LOS ROBLES AVENUE  
PASADENA, CA 91104  
P: 323.481.8103  
E: info@studioren.com  
www.studioren.com

OWNER:  
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SOLANO BEACH, CA 90705  
P: (415) 518.8443  
W: WES@WMLA.COM

TENANT:  
COACHELLA CAN LLC  
464 COACHELLA CANNA CLUB  
47TH BREVARD CHANING  
9370 ALBUQUERQUE BLVD, SUITE 104  
TODDANA, CA 91034  
P: (818) 510.4306  
W: JAMIE@MFLACANNABISCO.COM

ARCHITECT:  
STUDIO REN ARCHITECTURE  
47TH BREVARD CHANING  
1882 N LOS ROBLES AVENUE  
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E: SR@STUDIOREN.COM  
WWW.STUDIOREN.COM

LANDSCAPE ARCHITECT:  
MCG RUSHING COFFEE LANDSCAPE ARCHITECTURE  
4144 34 SIMONE AVENUE  
LOS ANGELES, CA 90045  
P: (213) 851.5911  
W: MCG@LCSA.COM

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

46156 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

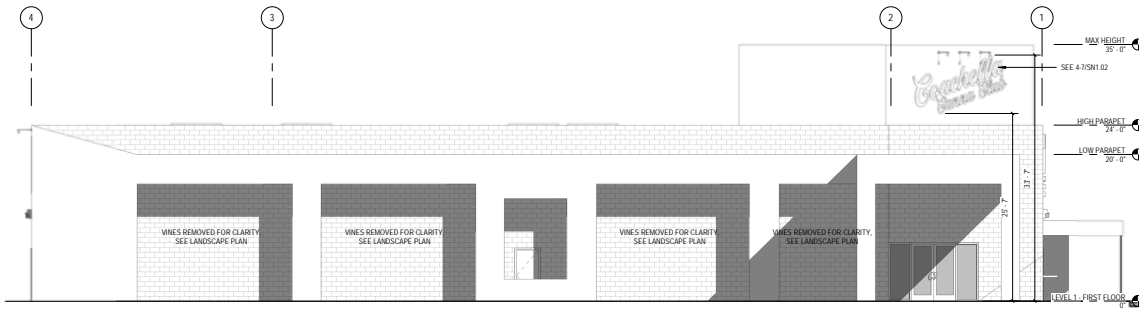
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SHEET TITLE:  
SIGNAGE - SITE PLAN

PLANS AT SCALE UNLESS INDICATED AT 3/8"=1'-0"  
DATE: 12/18/2019  
DRAWN BY: Author

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: Author

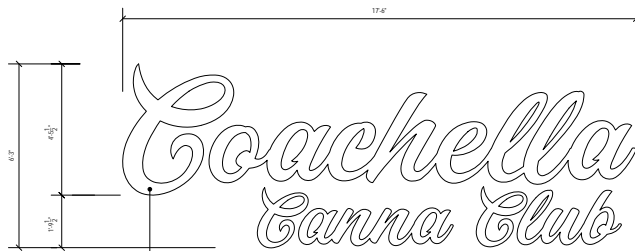
SN 1.01



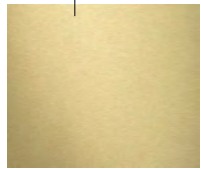
2 SIGNAGE NORTH ELEVATION  
1/8" = 1'-0"



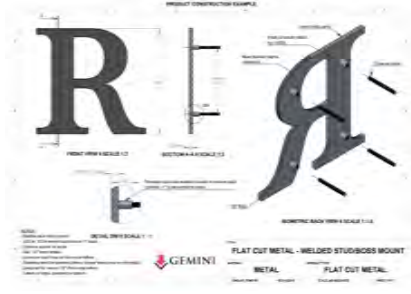
8 PARAPET SIGN OVER ENTRY  
1/2" = 1'-0"



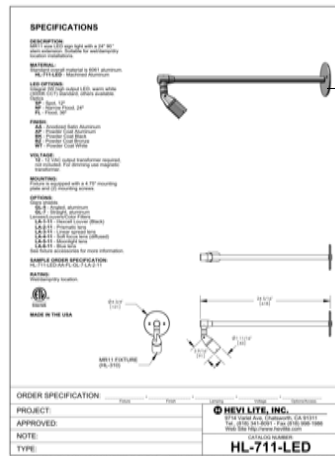
4 EXTERIOR SIGN  
1/2" = 1'-0"



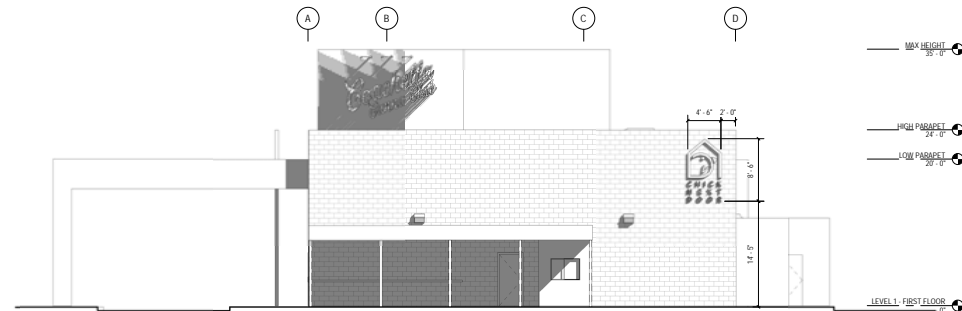
7 BRASS FINISH  
3/4" = 1'-0"



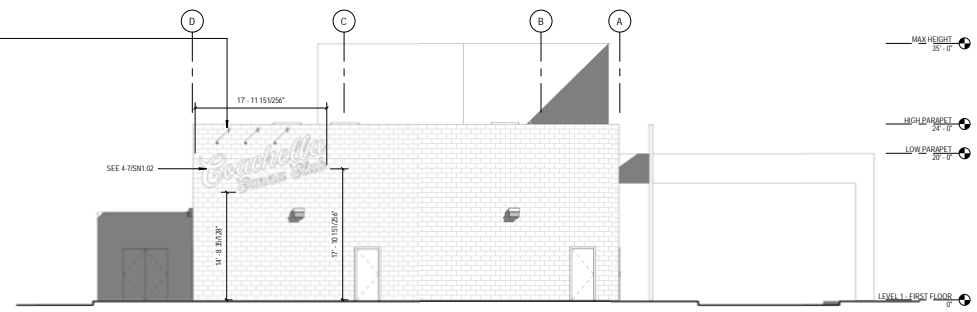
5 EXTERIOR STUD MOUNTED LETTERS  
1/2" = 1'-0"  
FOR REFERENCE ONLY



6 EXTERIOR STEM LED STEM LIGHT  
1/2" = 1'-0"



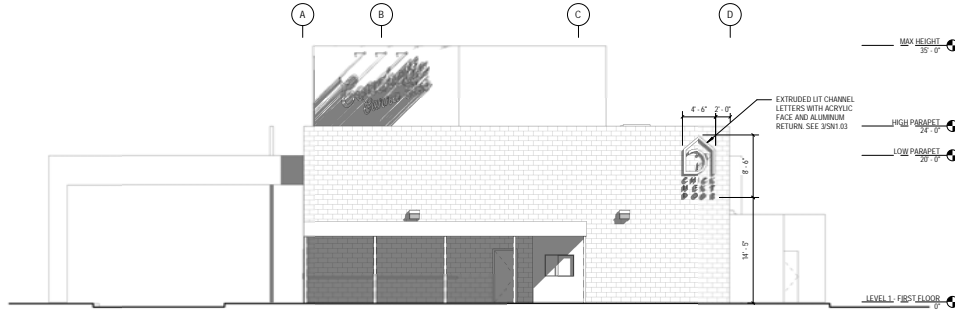
3 SIGNAGE WEST ELEVATION  
1/8" = 1'-0"



1 SIGNAGE EAST ELEVATION  
1/8" = 1'-0"



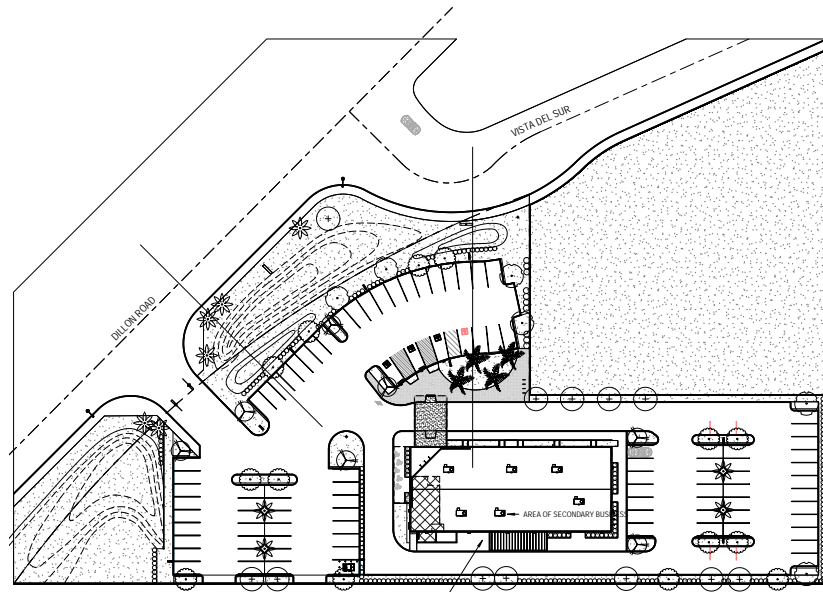
# COACHELLA CAN LLC - SECONDARY BUSINESS SIGNAGE



1 SIGNAGE WEST ELEV - SECONDARY BUSINESS  
1/8" = 1'-0"



5 RESTAURANT SIGN WEST ELEVATION  
1/8" = 1'-0"



2 SIGNAGE SITE PLAN - SECONDARY BUSINESS  
1" = 32'-0"



3 SIGNAGE EX - SECONDARY BUSINESS  
3/8" = 1'-0"



4 LOGO - SECONDARY BUSINESS  
6" = 1'-0"

## PROJECT DATA:

SCOPE OF WORK:  
ADD (N) SIGNAGE AT WEST ELEVATION FOR SECONDARY BUSINESS  
ADDRESS: 46156 DILLON ROAD, COACHELLA, CA 92236  
APN: 600 102 024  
LOT AREA: 82,729 SF / 1.9 ACRE  
BUILDING AREA: 8,045 SF GROSS  
SECONDARY BUSINESS AREA: 1200 SF  
(I) ZONING: C-G  
(J) ZONING: C-G/RC  
(K) OCCUPANCY: A-3  
(N) OCCUPANCY: F-1 (KITCHEN)  
FLOOR AREA: EXISTING: 8,045 SF (GROSS)  
PROPOSED: 8,045 SF (GROSS)  
CONSTRUCTION TYPE: TYPE V-B  
FIRE PROTECTION: SPRINKLERED, SEE DEFERRED SUBMITTALS BELOW.

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

46156 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
**SIGNAGE -  
SECONDARY  
BUSINESS**

PLANS AT SCALE UNLESS INDICATED AT 3/8" = 1'-0"  
PAPER IN THE SCALE INDICATED UNLESS INDICATED AT 3/8" = 1'-0"  
PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: Author

SN 1.03



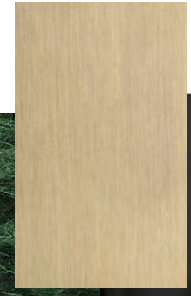
**FINISH LEGEND:**

- C-X CONCRETE
- E-X EPOXY
- F-X FABRIC/UPHOLSTERY
- G-X GLASS
- M-X METAL
- PA PAINT
- S-X STONE/SOLID SURFACE
- T-X TILE
- W-X WOOD
- WC-X WALL COVERING

**SHEET NOTES:**

1. SEE SHEETS A010 FOR MATERIAL SAMPLES.
2. SEE SHEETS A011, A012 AND A013 FOR COLOR RENDERED VIEWS.
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

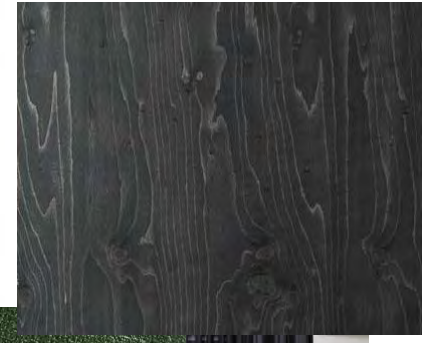
BRUSHED BRASS SIGNAGE AND TRIM - ENTRY / CONSUMPTION LOUNGE / PORTE COCHERE CEILING



BLACK MIRROR ACCENT WALL - CONSUMPTION LOUNGE BAR



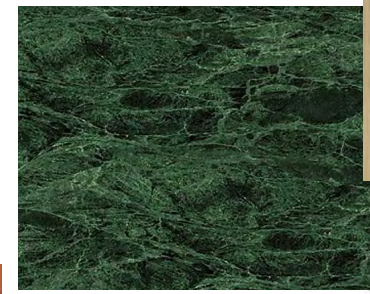
BLACK STAINED PLYWOOD PANELING - CONSUMPTION LOUNGE / VIP CONSUMPTION LOUNGE CEILING



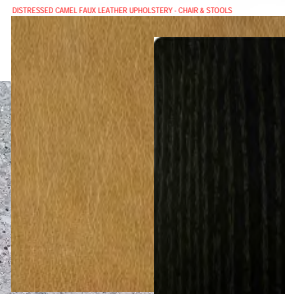
CUSTOM GRAPHIC WALLPAPER - EPOXY FLOORING AND CABINETS AT ENTRY TO MATCH



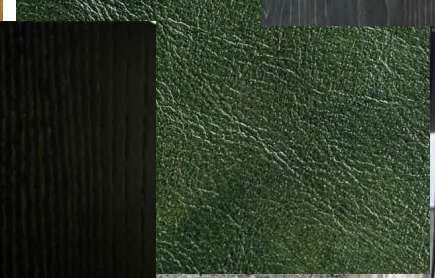
VEINDE QUATAMA MARBLE - CONSUMPTION LOUNGE BAR COUNTER



EBONIZED ASH - STOOLS AND SIDE TABLES



PERBED GREEN FAUN LEATHER / UPHOLSTERY - BANQUETTE



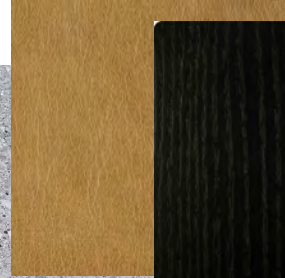
SOLID SURFACE DISPLACE CASE - CAESERSTONE - BLACK TAMPAL



SEMGLOSS WHITE LACQUER CABINETS



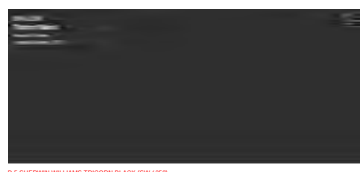
DISTRESSED CAMEL FAUN LEATHER UPHOLSTERY - CHAIR & STOOLS



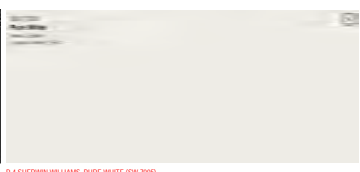
BLACK SHEER CURTAIN



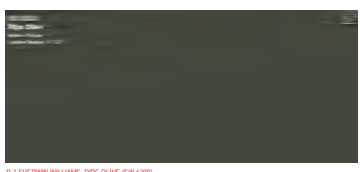
POLISHED AND SEALED CONCRETE STRUCTURAL SLAB



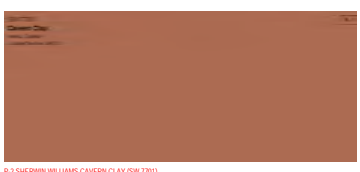
P-5 SHERWIN WILLIAMS TROPIC BLACK (SW 6256)



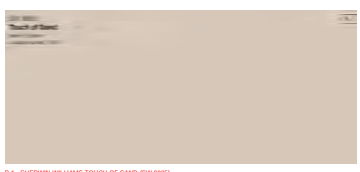
P-4 SHERWIN WILLIAMS PURE WHITE (SW 7000)



P-3 SHERWIN WILLIAMS RIPE OLIVE (SW 6299)



P-2 SHERWIN WILLIAMS CAVERN CLAY (SW 7703)



P-1 SHERWIN WILLIAMS TOUCH OF SAND (SW 9085)

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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**SHEET TITLE:**  
MATERIAL BOARD

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: Author

FINISH LEGEND:

C.X	CONCRETE
E.X	EPOXY
F.X	FABRIC/UPHOLSTERY
G.X	GLASS
M.X	METAL
P.X	PAINT
ST.X	STONE/SOLID SURFACE
T.X	TILE
W.X	WOOD
WC.X	WALL COVERING



VIEW TO ENTRY / RESTAURANT SEATING FROM DRIVE



VIEW TO ENTRY FROM PARKING



VIEW TO BUILDING FROM DRIVEWAY

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:24)  
ELEVATIONS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:24)

PROJECT NUMBER:  
DATE: 12/18/2019  
DRAWN BY: *Auth*



VIEW OF NORTH FACADE FROM EAST PARKING



VIEW OF SOUTH AND EAST FACADES FROM SOUTH DRIVE



VIEW OF WEST FACADE / RESTAURANT SEATING FROM PARKING LOT

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

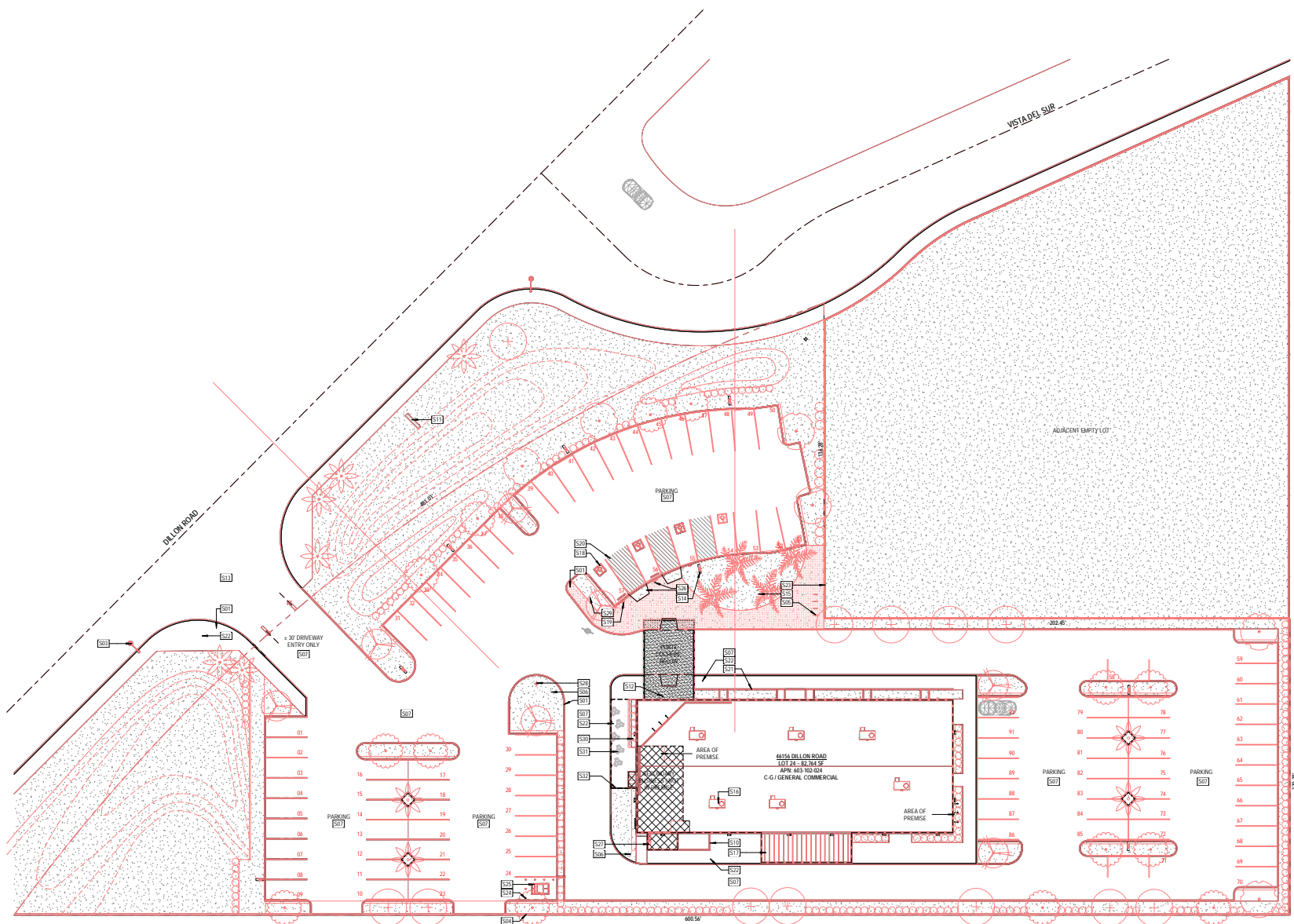
NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: Author





- KEYNOTE LEGEND - SITE PLAN**
- S01 (E) CURB
  - S02 (N) CURB CUT, ADD TRUNCATED DOMES WHERE REQ'D.
  - S03 (E) STREET LIGHT, TYP.
  - S04 (E) 4" OF HIGH MASONRY SITE WALL WITH CHARLINK FENCE ABOVE
  - S05 (N) BIKE PARKING STALLS
  - S06 (N) PLANTER W/ DROUGHT TOLERANT / NATIVE PLANTINGS, S.I.D.
  - S07 (E) PARKING ASPHALT PARKING LOT
  - S08 (E) STANDARD PARKING SPACES WITH STRIPING
  - S09 (E) 4" OF MASONRY TRASH ENCLOSURE WITH METAL GATES
  - S10 (E) MONUMENT BUILDING SIGNAGE
  - S11 (N) BUILDING ENTRANCE
  - S12 (E) PROPERTY ENTRY AND EXIT
  - S13 (E) SITE LIGHTING, TYP.
  - S14 (E) CONCRETE HARDSCAPE
  - S15 (E) ROOSTOP/MECHANICAL UNIT
  - S16 (E) TRELIS/MASONRY PATIO ENCLOSURE
  - S17 (E) ACCESSIBLE PARKING DESIGNATION
  - S18 (E) ACCESSIBLE PARKING SIGNAGE
  - S19 (E) ACCESSIBLE PARKING PATH STRIPING
  - S20 (E) BUILDING SCREEN WALL
  - S21 (E) SHERBARK
  - S22 (E) FENCE
  - S23 (E) CONCRETE BOLLARDS AND PAD
  - S24 (E) TRANSFORMER
  - S25 (E) WHEELSTOP
  - S26 (E) UTILITY METERS
  - S27 (N) FIRE HYDRANT
  - S28 (E) FOUNTAIN
  - S29 (N) COUNTERTOP
  - S30 (N) FURNITURE
  - S31 (N) FABRIC AWNING W/ MISTERS
  - S32

- SHEET NOTES:**
1. SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND TOPOGRAPHY.
  2. OUTDOOR PARKING AREA LIGHTING SHALL COMPLY WITH SECTION 17.6A.220 P.M.C.
  3. HOURS OF OPERATION ARE TO BE LISTED AS 7AM TO 10PM DAILY.
  4. MAXIMUM AVERAGE ILLUMINATION AT GROUND LEVEL SHALL NOT EXCEED THREE (3) FOOT CANDLES WHEN THE PARKING IS LOCATED WITHIN A NONRESIDENTIAL ZONING DISTRICT, PER 17.6A.200 P.M.C.
  5. OUTDOOR PARKING AREA LIGHTING SHALL NOT EXCEED 18' IN HEIGHT, UNLESS SPECIFICALLY APPROVED BY THE DESIGN COMMISSION OR OTHER APPLICABLE REVIEW AUTHORITY, AND EXCEPT WHEN LOCATED WITHIN CITY PARKS.

- LEGEND**
- PROPERTY LINE
  - SET BACK
  - X-X-X-X-X-X-X-X-X-X- CHANLINK FENCE
  - [Hatched Box] ACCESSIBILITY STRIPING
  - [Dotted Box] TRUNCATED DOMES

**studio ren**  
ARCHITECTURE

1802 N LOS ROBLES AVENUE  
PASADENA, CA 91104  
P: 213.449.8107  
E: info@studioren.com  
www.studioren.com

PROJECT:  
**COACHELLA CAN LLC - APPLICATION**

4154 DILLON ROAD,  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

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**SHEET TITLE**

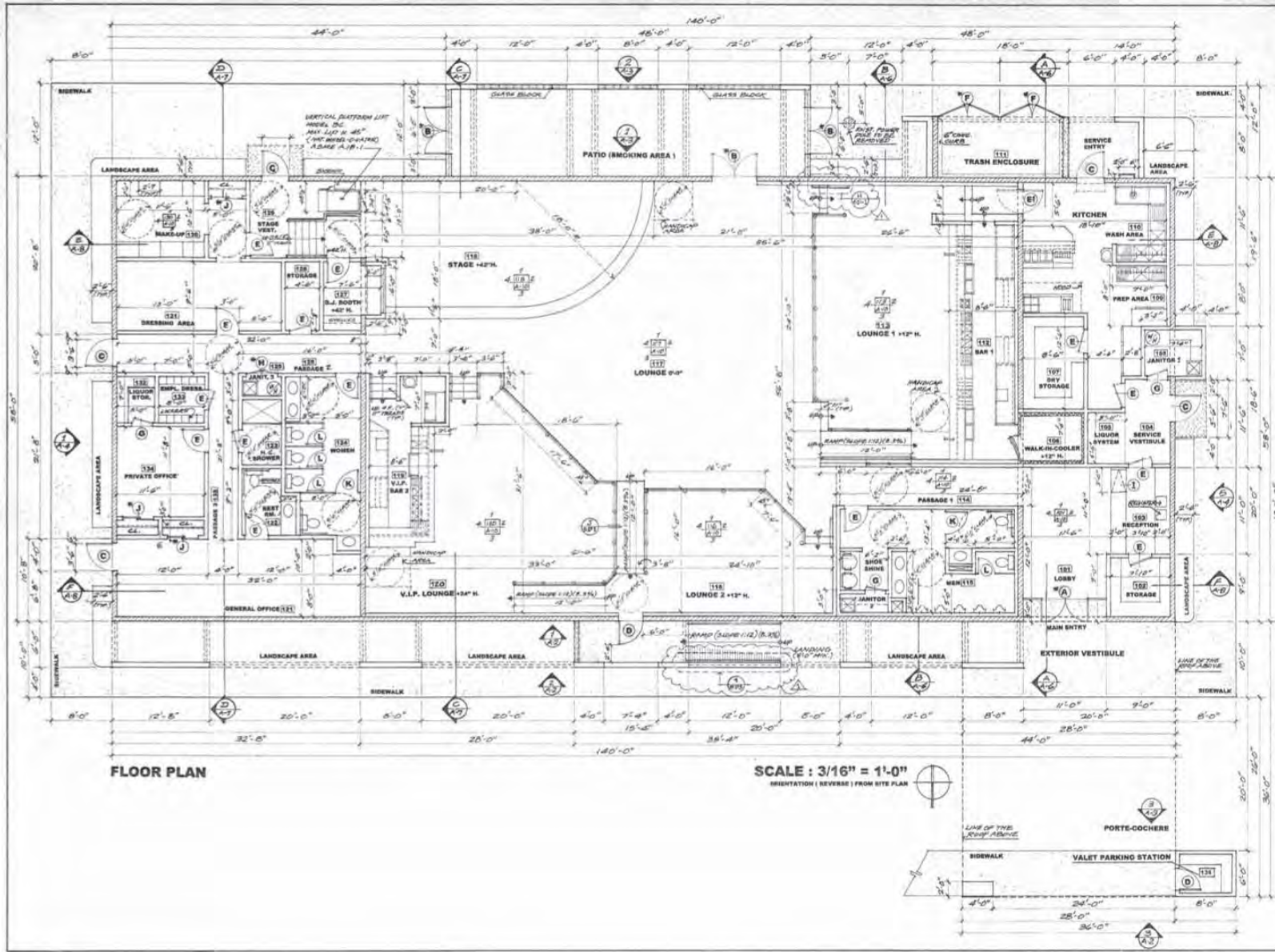
**SITE PLAN**

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36" SCALE  
PARKING SIGNAGE SHALL BE PRINTED AT 24"X36" SCALE

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: BMC

**A1.01**

**1 SITE PLAN**  
12-2019



FLOOR PLAN

SCALE: 3/16" = 1'-0"  
ORIENTATION ( REVERSE ) FROM SITE PLAN

A M C E  
CONSULTING ENGINEERS  
REGISTERED PROFESSIONAL ENGINEERS  
ARCHITECTS AND INTERIORS DESIGNERS  
H. O'CAJIZ & ASSOC.  
ARCHITECTS



REVISIONS:

#	DESCRIPTION	DATE
1	FOR COMMENTS	2-28-20

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**SEVENTH HEAVEN GENTLEMEN'S CLUB**  
AP #2 603-012-024 DILLON RD COACHELLA CA 92236  
OWNERS: ROBERT FOSTER / HORCOS S. AZER TEL: (951) 904 9377

**FLOOR PLAN**

DATE: 02-28-2021  
SCALE: 3/16" = 1'-0"  
DRAWN: MDC  
JOB: 20-001  
SHEET 1  
OF 12 SHEETS

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4155 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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SHEET FILE:  
EXISTING FLOOR PLAN

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36"  
DRAWING THE SCALE NOTED WERE PRINTED AT 24"X36"

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: Aduh

EXISTING CONDITIONS - BY OTHERS / FOR REFERENCE ONLY A2.00

**KEYNOTE LEGEND - FLOOR PLAN**

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK POINT OF SALE STATION
- 06 (N) CASEWORK WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVERFLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR LOADING AND UNLOADING OF DELIVERIES
- 25 (N) ADMINISTRATIVE HOLD AREA WIRE SHELVING W/ 27"x30" CHAIN LINK CAGE
- 26 INDUSTRIAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) BASED FLOOR WHERE DECID
- 28 (N) RAMP OR STAIR W/ RAILS @ 42" AFF, BOTH SIDES, TYP.
- 29 (N) COUNTER @ 42" AFF
- 31 SERVER
- 32 (N) COUNTER @ 34" AFF TYP PER ROOM
- 34 CASEWORK CONSUMPTION BAR
- 35 CASEWORK CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTERS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) POFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE @ CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGNLIGHTS

**FINISH LEGEND:**

- CX CONCRETE
- EX EPOXY
- FX FABRIC/UPHOLSTERY
- GLX GLASS
- HTX METAL
- PX PAINT
- STX STONE/SOLID SURFACE
- TX TILE
- WX WOOD
- WCX WALL COVERING

**FIRE PROTECTION:**  
PORTABLE FIRE EXTINGUISHER SHALL BE PROVIDED. SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SECTIONS 904.2.1-904.2.6.5. SEE 904.2.1 IN GROUP A, E, F, H, I, R, 2, R-21 OCCUPANCIES.  
4. ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION  
4. WHERE REQUIRED BY T904.1  
4. SPECIAL HAZARD AREAS, WHERE REQUIRED BY THE CODE OFFICIAL.

**LEGEND:**

- (LIMITED ACCESS AREA)
- (COMMON AREA)
- (E) WOOD FRAMED WALL TO REMAIN
- (EXISTING TO BE DEMOLISHED)
- (N) 2x6 WOOD FRAMED WALL (FURR ADJACENT WALLS TO ALIGH FINISH WHERE DECID)
- (SECONDARY BUSINESS)

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DULON ROAD  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

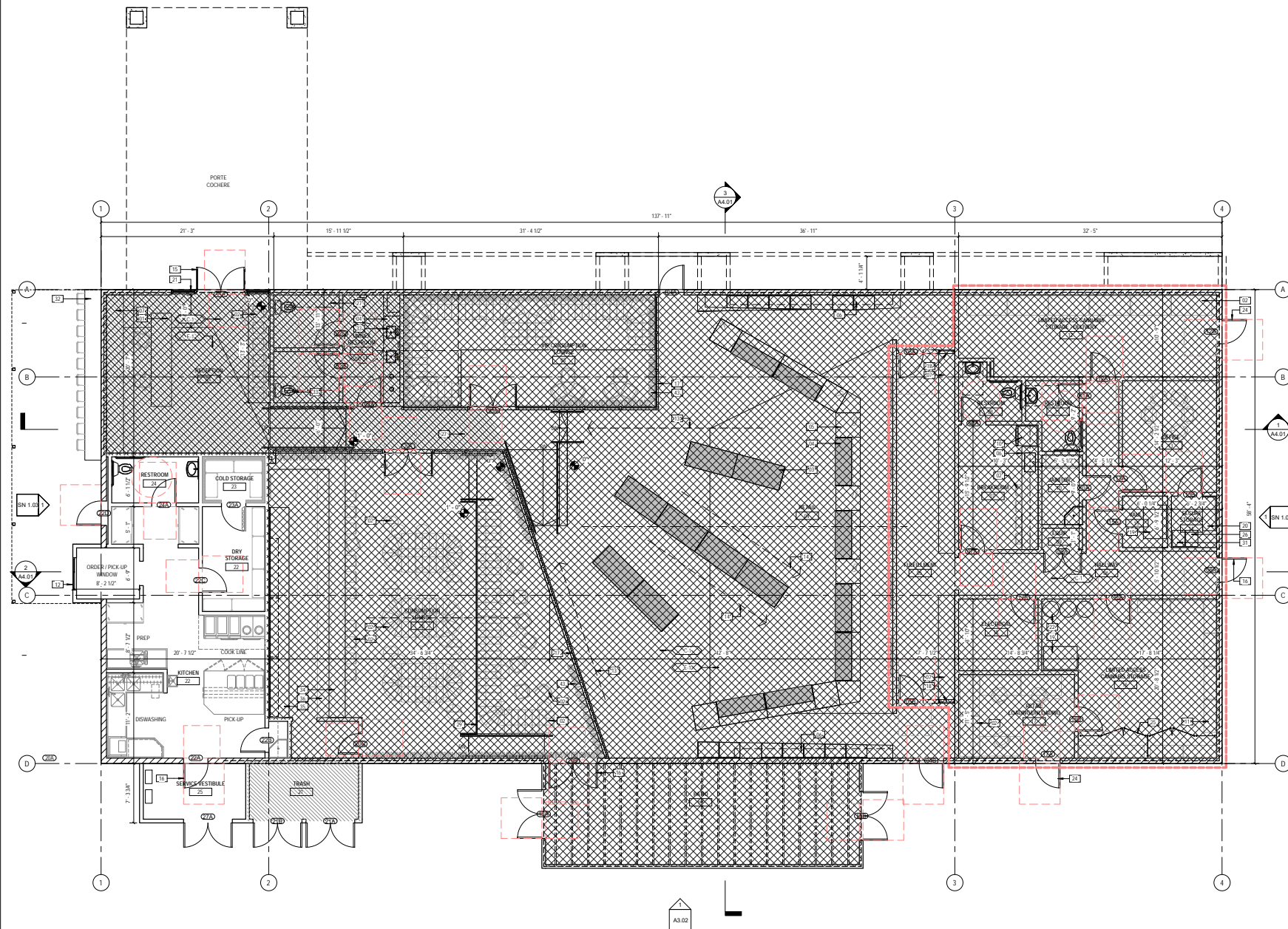
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**SHEET TITLE:**

**FIRST FLOOR PLAN**

PLANS AND SECTION DRAWINGS SHALL BE PRINTED AT SCALE. DIMENSIONS SHALL BE SHOWN UNLESS OTHERWISE NOTED.  
PROJECT NUMBER: 1908  
DATE: 12/28/2019  
DRAWN BY: Adam

**A2.01**

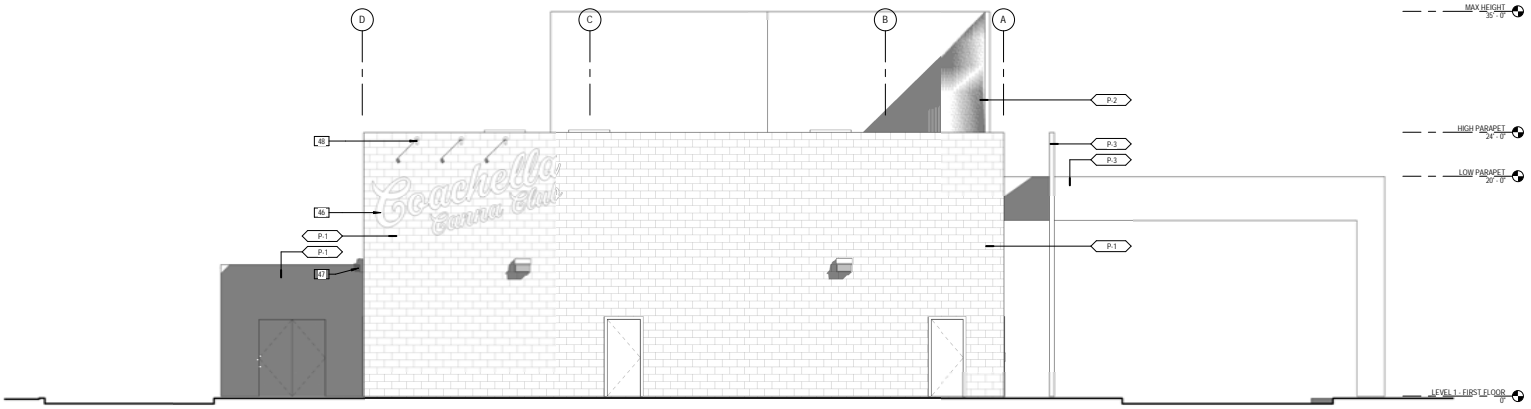


1 LEVEL 1 - FIRST FLOOR  
3/16" = 1' 0"

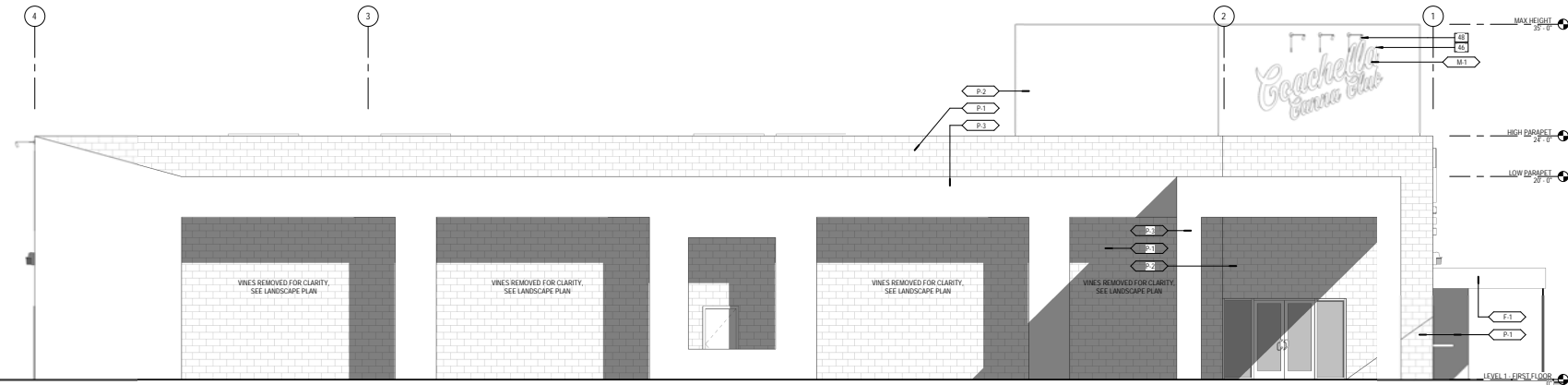


KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVER-CLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNAS/PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF COLLUMBS
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 3/8" X 6" CHAIN LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR - WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR/WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 EAST ELEVATION  
3/16" = 1'-0"



1 NORTH ELEVATION  
3/16" = 1'-0"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- S.T.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

1. SEE SHEETS A01-10 FOR MATERIAL SAMPLES
2. SEE SHEETS A01-11, A01-12 AND A01-13 FOR COLOR RENDERED VIEWS
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE

PROJECT:  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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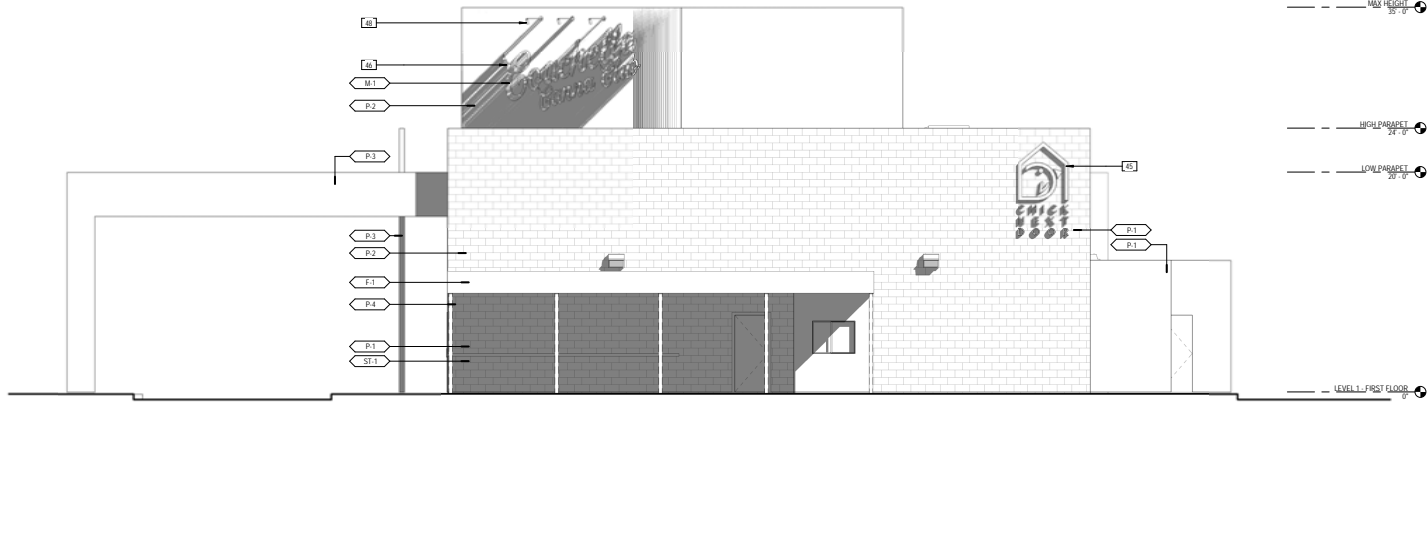
SHEET TITLE:  
BUILDING ELEVATIONS

PLANS AT SCALE NOTED UNLESS PRINTED AT 3/16" = 1'-0"  
DATE: 12/18/2019  
DRAWN BY: Author

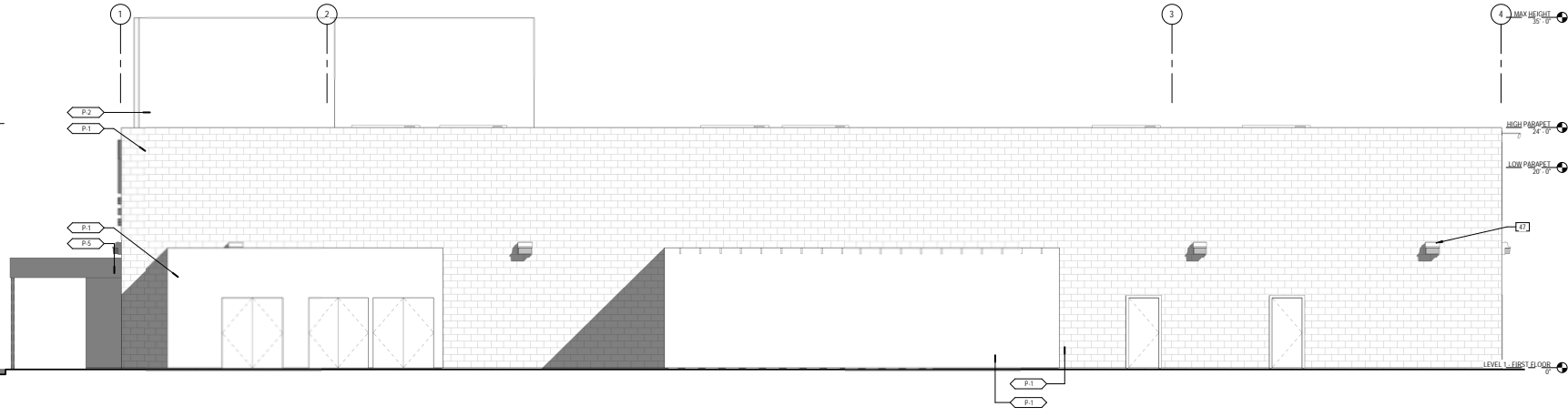
A3.01

KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3'0" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 3'0" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 (N) QUEUE FOR CUSTOMER PURCHASES
- 14 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 15 (E) EMERGENCY EXIT DOOR
- 16 (N) STOREFRONT WINDOW
- 17 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 18 (N) FIREPROOF CASH SAFES
- 19 (N) SECURE RECORDS STORAGE
- 20 (N) IMPACT RESISTANT SECURITY GLAZING
- 21 (N) SECURE CANNABIS PRODUCT WASTE RECEIPT TABLES
- 22 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
- 23 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2 07X2 07 CHAIN LINK CAGE
- 24 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 25 (N) RAMP OR STAR W/ RAILS @36" AFF, BOTH SIDES, TYP.
- 26 (N) GUARDRAIL @ 42" AFF
- 27 (N) SERVER
- 28 (N) COUNTERTOP 3/4" AFF, TYP.
- 29 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 30 (N) CASEWORK, CONSUMPTION BAR
- 31 (N) KITCHEN OR BAR EQUIPMENT
- 32 (E) TRUSS
- 33 (N) LIGHT FIXTURE
- 34 (N) WALL
- 35 (N) STAINED PLYWOOD SOFFIT
- 36 (N) UNINSULATED WALL AND SOFFIT W/ BRASS BATTENS
- 37 (N) SHERY FABRIC CURTAIN
- 38 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 39 (N) SELF ILLUMINATED SIGN
- 40 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
- 41 (E) WALL PACK LIGHTS
- 42 (N) POST MOUNTED SIGN LIGHTS



2 WEST ELEVATION  
316' - 1/8"



1 SOUTH ELEVATION  
316' - 1/8"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- ST.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

- 1. SEE SHEETS A0-10 FOR MATERIAL SAMPLES.
- 2. SEE SHEETS A0-11, A0-12, A0-13 FOR COLOR RENDERED VIEWS.
- 3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
BUILDING  
ELEVATIONS

PLANE AT SCALE NOTED UNLESS PRINTED AT 3/4" = 1'-0"  
DATE: 12/18/2019  
DRAWN BY: Author

KEYNOTES:

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, STORAGE CABINET
- 07 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 08 (N) TELEVISION W/ WALL BRACKET
- 09 (N) REFRIGERATOR
- 10 (N) WIRE SHELVING
- 11 (N) PASS THROUGH WINDOW W/ IMPACT OVERHEAD SECURITY GATE
- 12 (N) QUEUE FOR CUSTOMER SHOWROOM OVERCROW
- 13 (N) QUEUE FOR CUSTOMER PURCHASES
- 14 (E) STONE/RTW W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 15 (E) EMERGENCY EXIT DOOR
- 16 (N) STOREFRONT WINDOW
- 17 (N) PASS-THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 18 (N) FIREPROOF CASH SALES
- 19 (N) SECURE RECORD STORAGE
- 20 (N) IMPACT RESISTANT SECURITY GLAZING
- 21 (N) SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 22 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
- 23 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 7" DIA OF CHAIN LINK CAGE
- 24 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 25 (N) RASLED FLOOR WHERE RECD
- 26 (N) RAMP OR STAIR W/ RAILS @36" AFF, BOTH SIDES, TYP
- 27 (N) GUARDRAIL @ 42" AFF
- 28 (N) SERVER
- 29 (N) COUNTERTOP 34" AFF, TYP
- 30 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 31 (N) CASEWORK, CONSUMPTION BAR
- 32 (N) CASEWORK, CONSUMPTION DISPLAY
- 33 (N) KITCHEN OR BAR EQUIPMENT
- 34 (E) TRUSS
- 35 (N) LIGHT FIXTURE
- 36 (N) WALL
- 37 (N) STAINED PLYWOOD SOFFIT
- 38 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 39 (N) SHEER FABRIC CURTAIN
- 40 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 41 (N) SELF-ILLUMINATED SIGN
- 42 (N) IN-PLATE METAL SIGNAGE/ CONCEALED STUDS
- 43 (E) WALL BACK LIGHTS
- 44 (N) POST MOUNTED SIGN LIGHTS
- 501 (E) CLUBE
- 502 (N) CLUBE CUT, ADD TRUNCATED DOMES WHERE RECD
- 503 (E) STREET LIGHT, TYP
- 504 (E) 12" HIGH MASONRY SITE WALL WITH CHAIN LINK FENCE ABOVE
- 505 (N) BIKE PARKING STALLS
- 506 (N) IN-PLATE W/ DRUG/TOLERANT/ NATIVE PLANTINGS, S.L.D.
- 507 (E) PARKING ASPHALT PARKING LOT
- 508 (E) STAMPS/PARKING SPACES WITH STRIPING
- 510 (E) 12" MASONRY TRASH ENCLOSURE WITH METAL GATES
- 511 (E) MONUMENT BUILDING SIGNAGE
- 512 (E) BUILDING ENTRANCE
- 513 (E) PROPERTY ENTRY AND EXIT
- 514 (E) SITE LIGHTING, TYP
- 515 (E) CONCRETE HARDSCAPE
- 516 (E) ROOFTOP MECHANICAL UNIT
- 517 (E) TRUSS/MASONRY PATIO ENCLOSURE
- 518 (E) ACCESSIBLE PARKING DESIGNATION
- 519 (E) ACCESSIBLE PARKING SIGNAGE
- 520 (E) ACCESSIBLE PARKING/PATH STRIPING
- 521 (E) BUILDING SCREEN/WALL
- 522 (E) SIDEWALK
- 523 (E) FENCE
- 524 (E) CONCRETE BOLLARDS AND PAD
- 525 (E) TRANSFORMER
- 526 (E) WHEELSTOP
- 527 (E) UTILITY METERS
- 528 (N) FIRE HYDRANT
- 529 (E) FOUNTAIN
- 530 (N) COUNTERTOP
- 531 (N) FURNITURE
- 532 (N) FABRIC AWNING W/ MESTERS

PROJECT:  
**COACHELLA CAN LLC - APPLICATION**

4154 DILLON ROAD  
COACHELLA, CA 92316

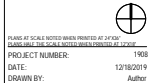
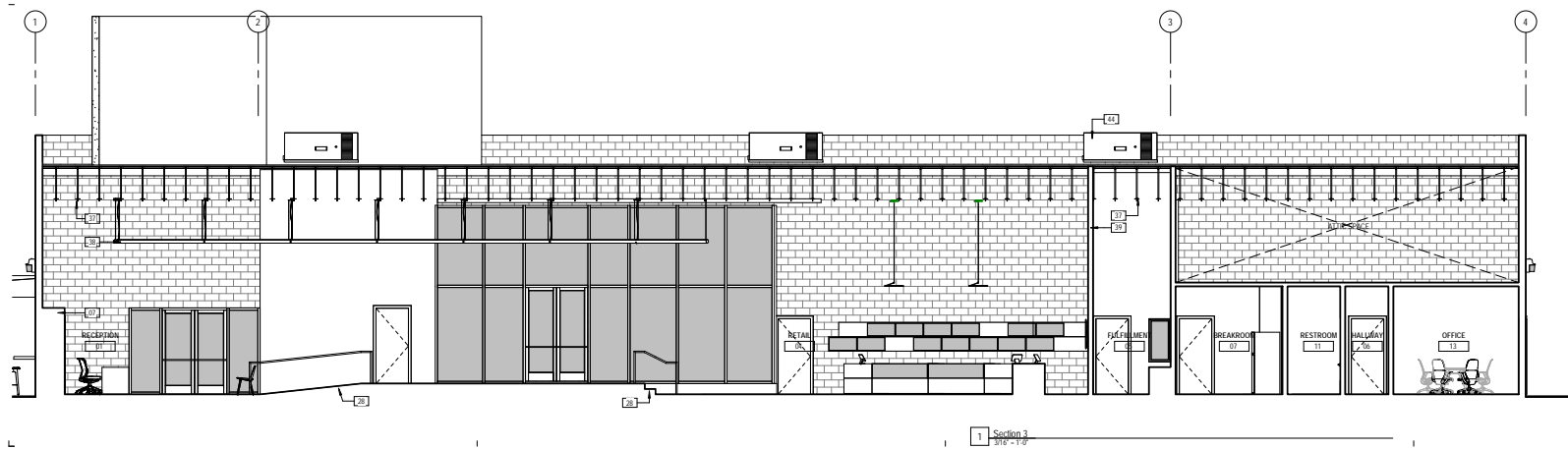
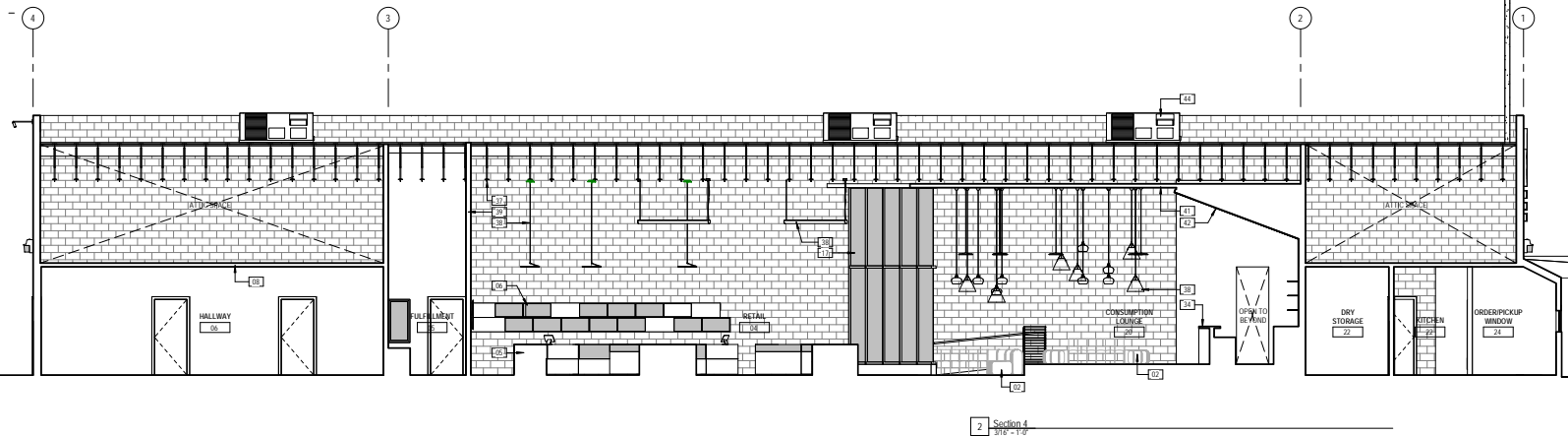
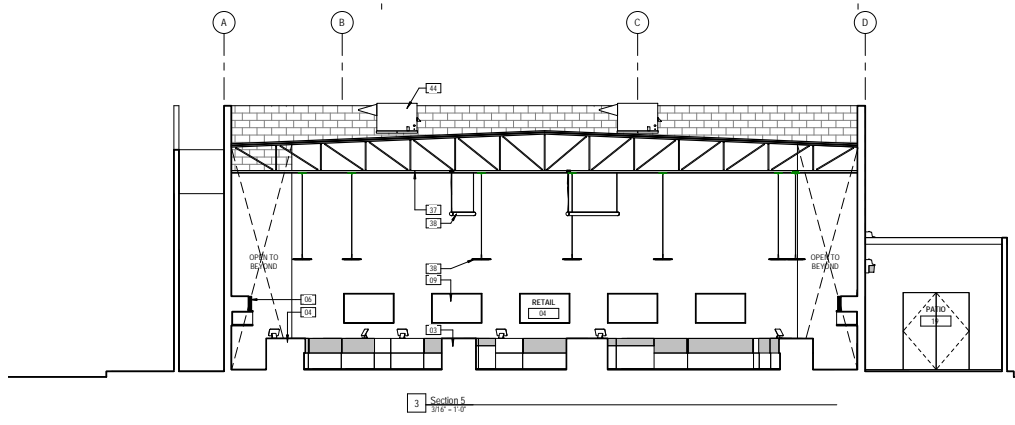
NO.	ISSUE/REVISION	DATE

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PROJECT TITLE:  
**BUILDING SECTIONS**

PLANS AT SCALE NOTED WERE PRINTED AT 1/8"=1'-0"  
DATE: 12/18/2019  
DRAWN BY: Aduan

SHEET NUMBER:  
**A4.01**

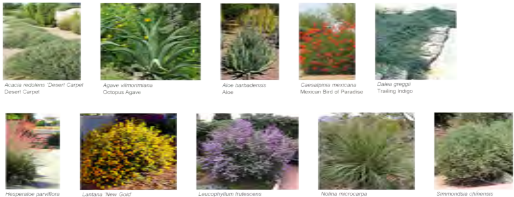


PROPOSED TREES



Black-chalk acacia - Bottle Tree  
 Quercus agrifolia - Goldenrain Tree  
 Phoenix dactyloperis - Date Palm  
 Rhus glabra - African Sumac  
 Washingtonia robusta - Mexican Fan Palm

PROPOSED SHRUBS & GROUNDCOVER



Arundo donax - Dwarf Carpet Grass  
 Agave attenuata - Claret Agave  
 Aloe vera - Aloe  
 Callitriche herbacea - Mexican Blue of Phoradendron  
 Dianella sp. - Tropic Star  
 Euphorbia maculata - Red Tasse  
 Gaura linearis - New Gold Larkspur  
 Lavandula angustifolia - True Lavender  
 Yucca filamentosa - Bear Grass  
 Verbena stricta - Jubaea



**PROPOSED TREE LEGEND**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	2	24" BOX	BRADYCHITON POPULNEUS	BOTTLE TREE
	4	15 GAL		
	3	24" BOX	KOELREUTERIA PANICULATA	GOLDENRAIN TREE
	4	15 GAL		
	4	24" BOX	PHOENIX DACTYLOPERIS	DATE PALM
	4	15 GAL		
	6	24" BOX	RHUS LANCEA	AFRICAN SUMAC
	8	15 GAL		
	4	15 GAL	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM

**CITY OF COACHELLA LANDSCAPE GUIDELINE REQUIREMENTS**

1 TREE PER 30' LINEAR FEET OF BUILDING  
 360' LINEAR FEET = 12 TREES REQ'D

1 TREE PER 3 PARKING STALLS  
 91 TOTAL PARKING STALLS = 30 TREES REQ'D

TOTAL TREES REQ'D = 42

TOTAL PROPOSED TREES = 38

TOTAL EXISTING TREES TO REMAIN = 11

TOTAL PROPOSED + EXISTING TREES = 49

25% OF REQ'D TREES TO BE 24" BOX = 11  
 PROPOSED 24" BOX TREES = 10

1/4" MINIMUM OF NET LOT AREA TO BE LANDSCAPED  
 LOT AREA = 42,194 SQ. FT.  
 1/4" = 12,412 SQ. FT.

PROPOSED LANDSCAPED AREA = 11,266 SQ. FT.



PROJECT  
 COACHELLA CANNABIS  
 CO. - CONSUMPTION  
 LOUNGE

40156 DILLON ROAD  
 COACHELLA, CA 92226  
 NO. ISSUEREVISION DATE

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SHEET TITLE  
 CONCEPTUAL  
 LANDSCAPE PLAN

NAME OF CLIENT ARCHITECTURE FIRM OR OTHER PARTY FOR WHOM THESE DRAWINGS ARE PREPARED  
 PROJECT NUMBER 1888  
 DATE 12/19/2019  
 DRAWN BY MRC

1 CONCEPTUAL LANDSCAPE PLAN  
 1" = 20'

L1.01



PROJECT:  
COACHELLA CANNABIS  
CO. - CONSUMPTION  
LOUNGE

48156 DILLON ROAD,  
COACHELLA, CA 92226

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
CONCEPTUAL  
LANDSCAPE  
SECTIONS

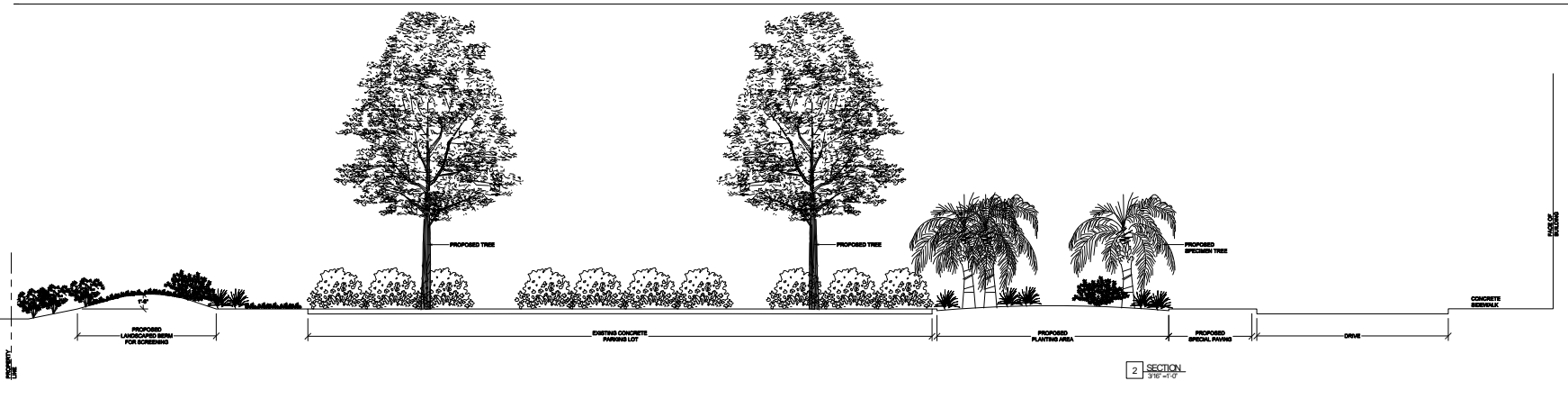
PLANS AND SECTIONS ARE DRAWN IN ACCORDANCE WITH THE STANDARD PRACTICES OF THE LANDSCAPE ARCHITECTURE PROFESSION.

PROJECT NUMBER: 1338

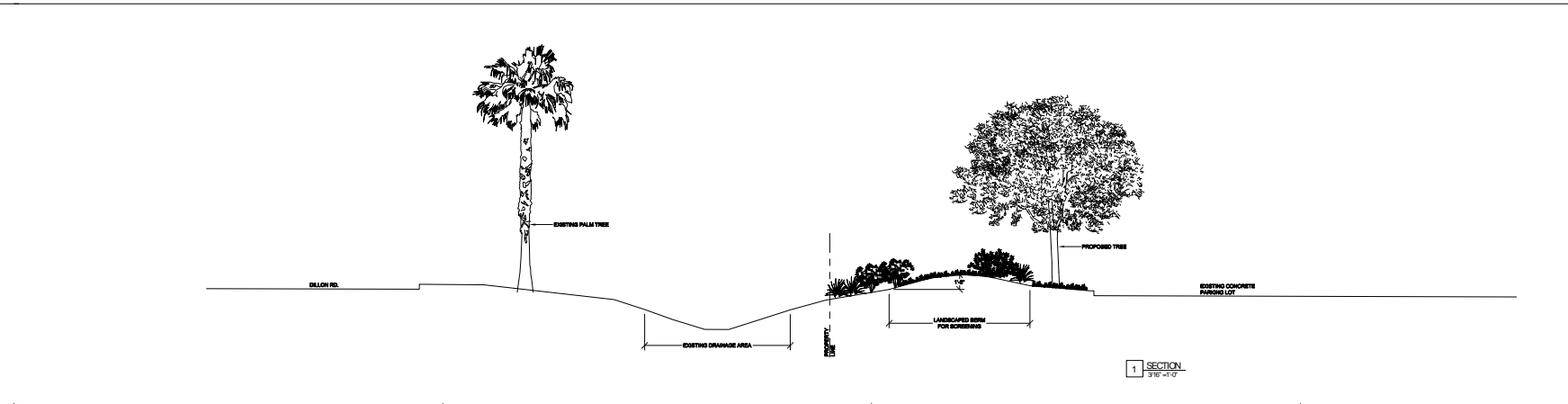
DATE: 12/18/2019

DRAWN BY: MRC

L3.01



2 SECTION  
3/16" = 1'-0"



1 SECTION  
3/16" = 1'-0"