

EXISTING ZONING
 C.O. GENERAL COMMERCIAL
 CHANGE OF ZONE TO
 C.S.-R.C. GENERAL COMMERCIAL - RETAIL CANNABIS OVERLAY

MDEX
 MDESIGN GROUP, INC.
 1000 JONES BLVD, SUITE 1000
 COACHELLA, CA 92236
 TEL: 760.939.3400
 FAX: 760.939.3400
 WWW.MDESIGNGROUP.COM

PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPEFRUIT BLVD
 COACHELLA, CA 92236

DESIGNER: *Armando Lerma*

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NO.	REVISIONS	DESCRIPTION	DATE

PROJECT # 220071
 DATE 06/17/2020
 STATUS FIRST SUBMITTAL
 SHEET NAME CHANGE OF ZONE

A1.11



CHANGE OF ZONE
 SCALE: 1/8"=1'-0"
 ALL EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR



PLANT LEGEND

PLAN SYMBOL	QUANTITY	SIZE
	2	24"
	10	18"
	10	12"
	3	12"
	1	12"
	DO	3"

(1) DATE PALM
 PROXIMA QUANTIFERNA
 48" BOX
 (2) BLUE PALM
 PROXIMA QUANTIFERNA
 48" BOX
 (3) RED VECCA
 HESPERALOA PARVIFLORA
 (4) GRAPPEL LANTANA
 LANTANA HOUSTONENSIS
 (5) SPARKING TONING JACARANDA QUINCY D.G.
 3" INCHES HIGH AFTER COMPLETION



ALL EXISTING CONDITIONS SHALL BE
 SCALE: 1/8" = 1'-0"
 CONTRIBUTOR: MDESIGN GROUP, INC.

MDESIGN GROUP, INC.
 MDESIGN GROUP, INC. @ OUTLOOK.COM
 7891 JON DRIVE #8
 PALM DESERT, CA 92260
 C: 760-218-9888
 F: 760-218-9888

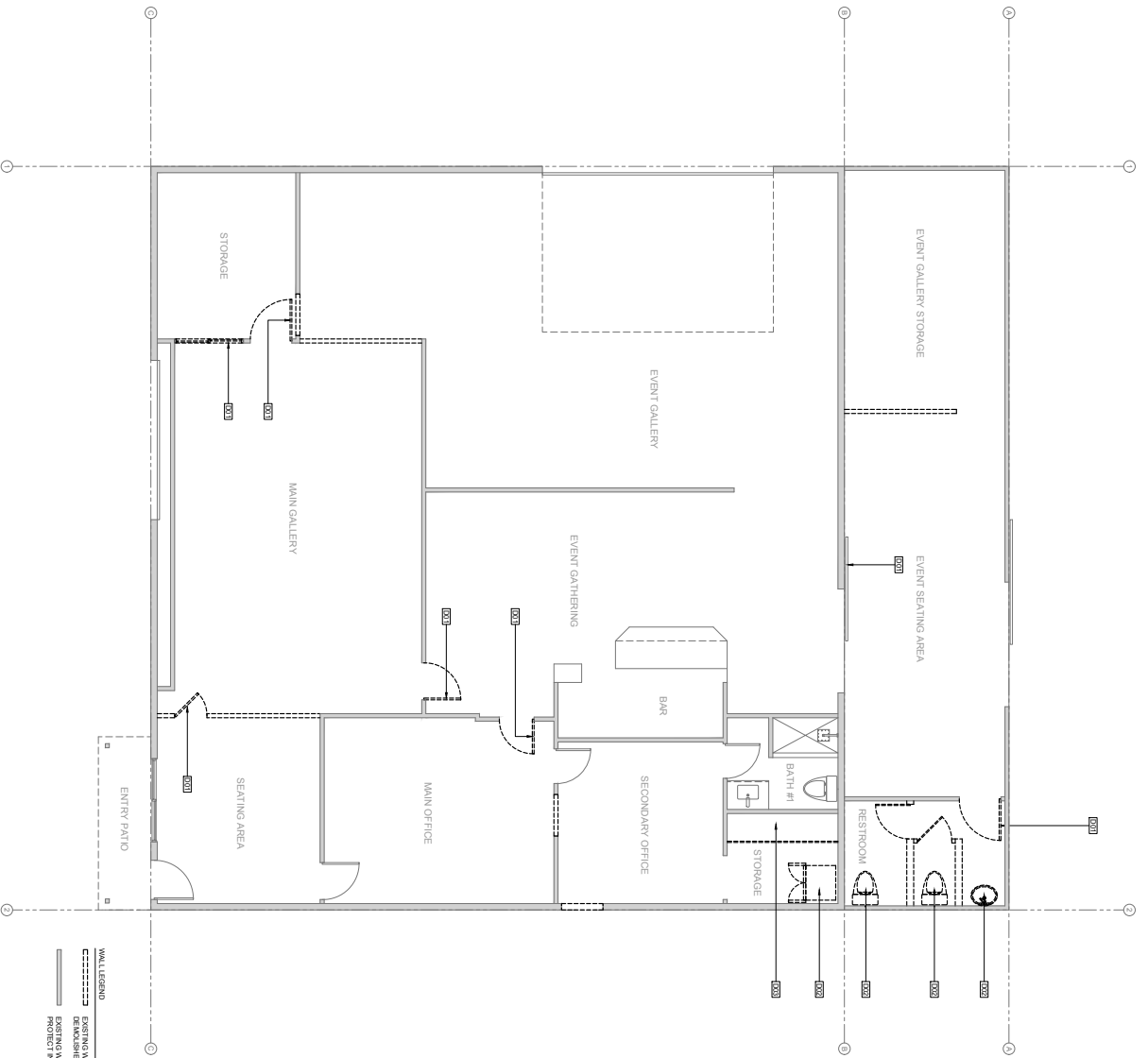
PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 85561 GRAPEFRUIT BLVD
 COACHELLA, CA 92236
 DESIGNER:

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NO.	DESCRIPTION	DATE

PROJECT # 229971
 DATE 08/11/2020
 STATUS FIRST SUBMITTAL
 SHEET NAME LANDSCAPE PLAN

L1.10



WALL LEGEND
 - - - - - EXISTING WALL/DWELL TO BE REMOVED
 = = = = = EXISTING WALL TO REMAIN
 - - - - - PROJECT INFRASTRUCTURE

EXISTING / DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"

MDESIGN GROUP, INC.
 1000 JONES BLVD, SUITE 100
 PALMDALE, CA 93550
 TEL: 805.251.2500
 FAX: 805.251.2500

KEYNOTES

- 1. EXISTING DOOR FRAME, FRAME, AND HARDWARE TO BE REMOVED
- 2. EXISTING PARTIAL CEILING TO REMAIN
- 3. EXISTING PARTIAL CEILING TO BE REMOVED
- 4. EXISTING PARTIAL CEILING TO BE REMOVED
- 5. EXISTING PARTIAL CEILING TO BE REMOVED
- 6. EXISTING PARTIAL CEILING TO BE REMOVED
- 7. EXISTING PARTIAL CEILING TO BE REMOVED
- 8. EXISTING PARTIAL CEILING TO BE REMOVED
- 9. EXISTING PARTIAL CEILING TO BE REMOVED
- 10. EXISTING PARTIAL CEILING TO BE REMOVED

DEMOLITION NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND RECORD THEM ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
3. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED TO ORIGINAL CONDITIONS.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE REMOVAL OF ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
6. THE CONTRACTOR SHALL REMOVE, DISPOSE, AND RECYCLE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
7. THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
8. THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
9. THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.
10. THE CONTRACTOR SHALL REMOVE ALL EXISTING PARTIAL CEILING TO BE REMOVED. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY DEMOLITION AND CONSTRUCTION INFORMATION.

PROJECT TYPE: CONDITIONAL USE PERMIT

OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPERFRUIT BLVD
 COACHELLA, CA 92236

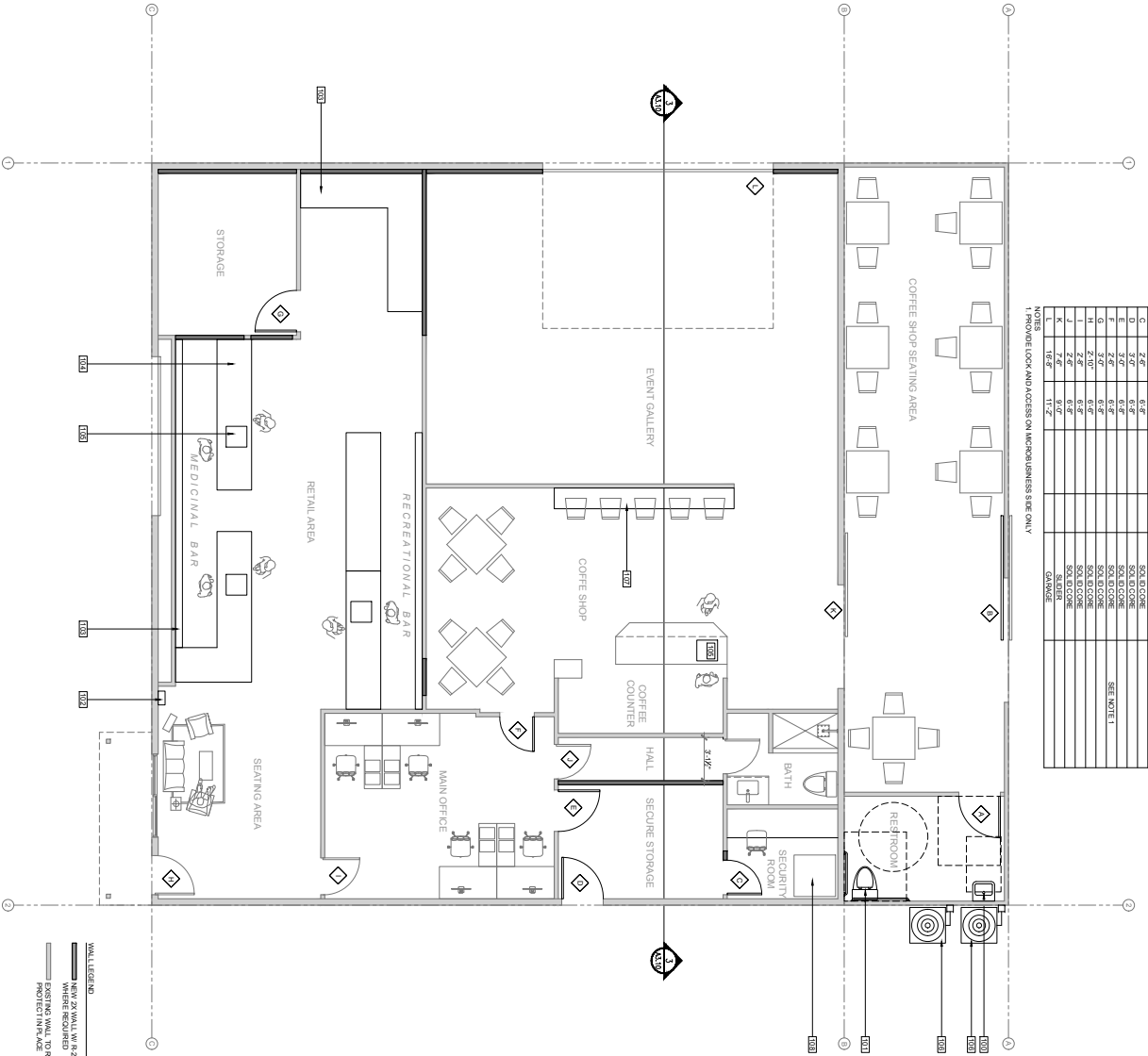
DESIGNER: *[Signature]*

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NO.	DESCRIPTION	DATE

PROJECT # 220071
 DATE 08/17/2020
 DRAWN BY FIRST SUBMITTAL
 SHEET NAME EXISTING / DEMOLITION FLOOR PLAN

A2.10



GRID	WIDTH	HEIGHT	USAGE	FRAME	TYPE	REMARKS
A	3'-0"	6'-6"			SOL. CORE	
B	7'-6"	9'-0"			INDUSTRIAL GLASS SLIDER	
C	3'-0"	6'-6"			SOL. CORE	
D	3'-0"	6'-6"			SOL. CORE	
E	3'-0"	6'-6"			SOL. CORE	
F	3'-0"	6'-6"			SOL. CORE	
G	3'-0"	6'-6"			SOL. CORE	
H	2'-0"	6'-6"			SOL. CORE	SEE NOTE 1
I	2'-0"	6'-6"			SOL. CORE	
J	3'-0"	6'-6"			SOL. CORE	
K	7'-6"	9'-0"			SOL. CORE	
L	16'-8"	11'-2"			GLASSWALL	

1. PROVIDE LOCK AND ACCESS ON MICROBUSINESS 3 SEE ONLY

WALL LEGEND
 ——— NEW 2" WALL W/ R-21 INSULATION
 ——— EXISTING WALL TO REMAIN
 ——— PROTECT FINISH

NEW FLOOR PLAN

SCALE: 1/8" = 1'-0"
 SHEET: A2.11

OWNER
 ARMANDO LERMA
 ADDRESS
 83591 GRAPERFRUIT BLVD
 COACHELLA, CA 92236

DESIGNER

PROJECT TYPE CONDITIONAL USE PERMIT

REVISIONS

NO.	DESCRIPTION	DATE
1	PROJECT # 220071	08/11/2020
2	DATE 07/15/20	FIRST SUBMITTAL
3	SHEET NAME NEW FLOOR PLAN	

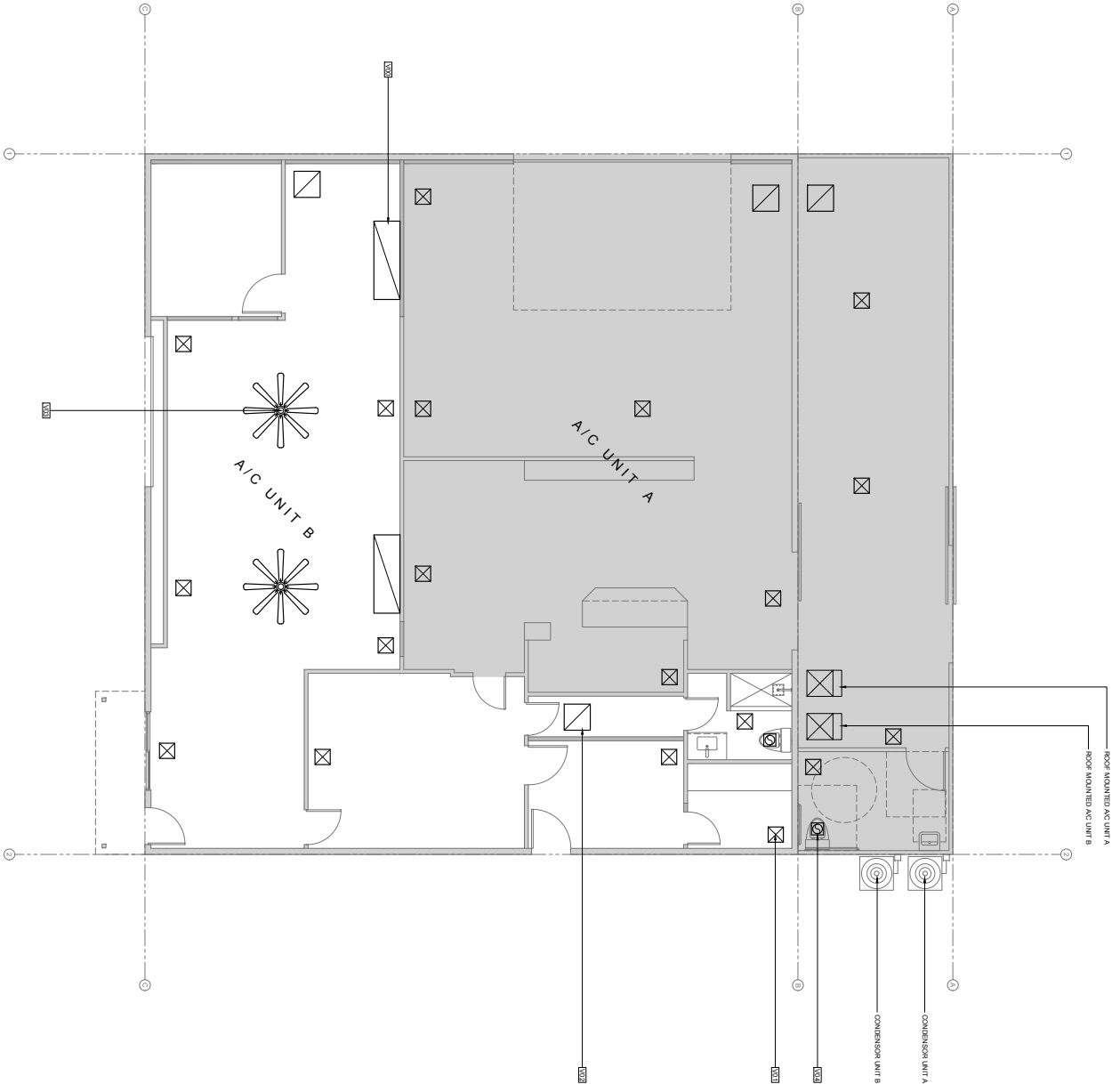
SQUARE FOOTAGE

ROOM	AREA (SF)
SEATING AREA	964.00 SF
EVENT GALLERY	780.00 SF
COFFEE SHOP	513.00 SF
COFFEE SHOP	173.00 SF
RECREATIONAL BAR	141.00 SF
RETAIL AREA	141.00 SF
STORAGE	141.00 SF
MAIN OFFICE	120.00 SF
SECURITY ROOM	100.00 SF
HALL	300.00 SF

KEYNOTES

- 100 NEW ADA TOILET
- 101 NEW ADA TOILET
- 102 NEW WALL MOUNTED FIRE EXTINGUISHER
- 103 NEW WALL MOUNTED CASE
- 104 NEW FLOOR DISPLAY CASE
- 105 NEW RESS TER
- 106 NEW AC CONDENSER
- 107 NEW AC CONDENSER
- 108 NEW SAFE

MDESIGN GROUP, INC.
 1000 JENNIFER RD.
 PALMDALE, CA 92301
 TEL: 805.251.9300
 FAX: 805.251.9300



VENTILATION PLAN

SCALE	1/8" = 1'-0"
TITLE	1

MDESIGN GROUP, INC.
 1400 EAST AVENUE SUITE 1000 • ANIM 1 • FERRIS • 3100219300
 1400 EAST AVENUE SUITE 1000 • ANIM 1 • FERRIS • 3100219300
 PALMDALE, CA 92367
 PHONE: 818-341-9300
 FAX: 818-341-9300

PROJECT TYPE CONDITIONAL USE PERMIT

OWNER
 ARMANDO LERMA

ADDRESS
 83591 GRAPFRUIT BLVD
 COACHELLA, CA 92236

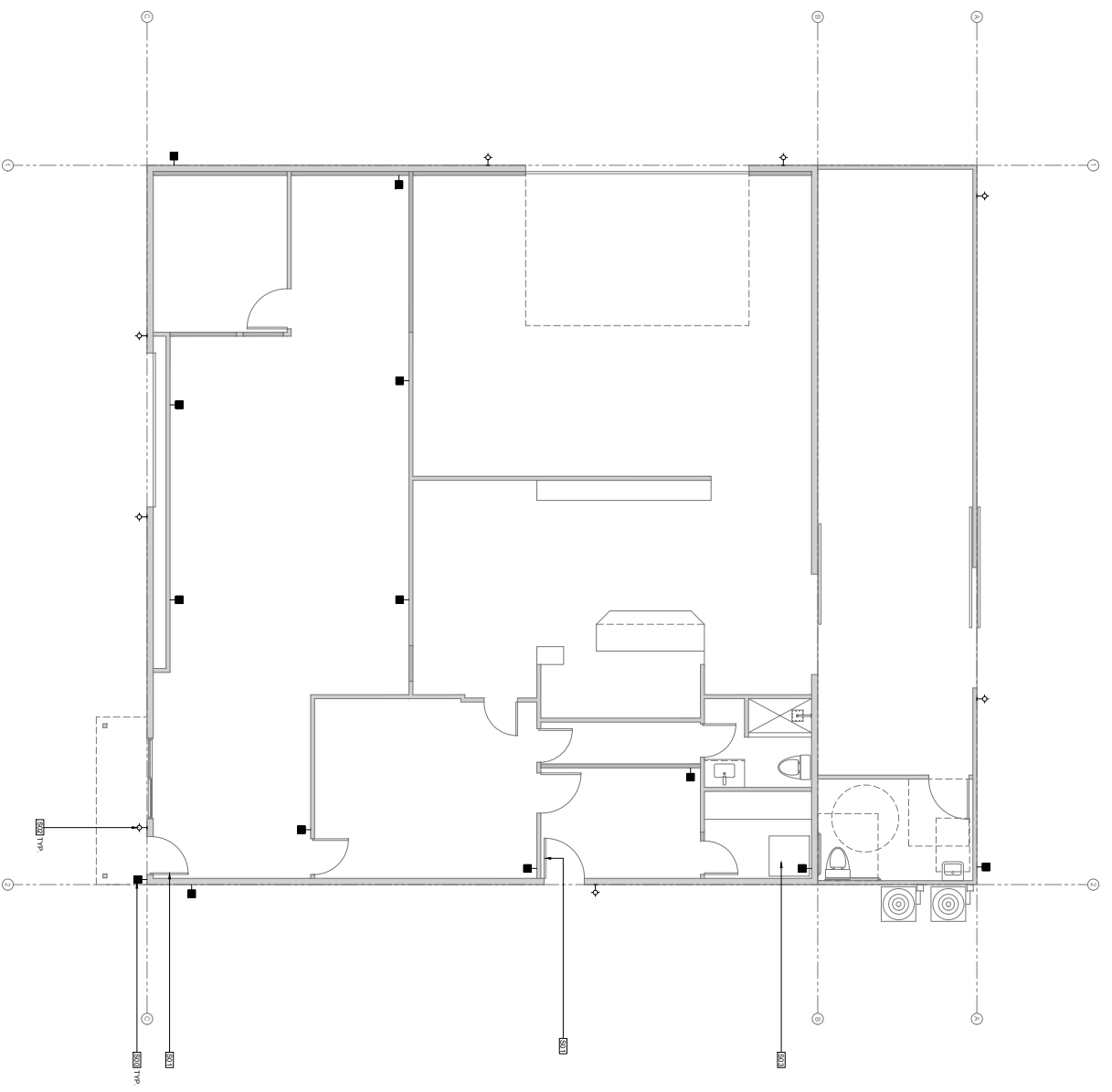
DESIGNER


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NO.	DESCRIPTION	DATE

PROJECT # 220071
DATE 08/17/2020
DRAWN BY FIRST SUBMITTAL
SHEET NAME VENTILATION PLAN

A2.12



SECURITY PLAN

SCALE	1/8" = 1'-0"
TITLE	1



A2.13

MDSX
MDESIGN GROUP, INC.
 1000 JACOBSON BLVD., SUITE 100, SAN JOSE, CA 95128
 4080 JACOBSON BLVD., SUITE 100, SAN JOSE, CA 95128
 PALMDALE, CA 92367
 TEL: 415.941.9200 FAX: 415.941.9200
 WWW.MDESIGNGROUP.COM

KEYNOTES

- K1** NEW WALL MOUNTED SECURITY CAMERA
- K2** NEW DOOR WITH COMMERCIAL GRADE LOCK
- K3** NEW WALL MOUNTED OUTDOOR LIGHT FIXTURE
- K4** NEW SAFE

PROJECT TYPE: CONDITIONAL USE PERMIT

OWNER:
ARMANDO LERMA
 ADDRESS:
**83591 GRAPERFRUIT BLVD
 COACHELLA, CA 92236**

DESIGNER:

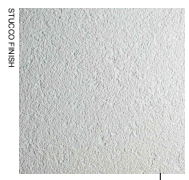

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PROJECT # 220071
 DATE 06/17/20
 STATUS FIRST SUBMITTAL
 SHEET NAME SECURITY PLAN

PUERBLO

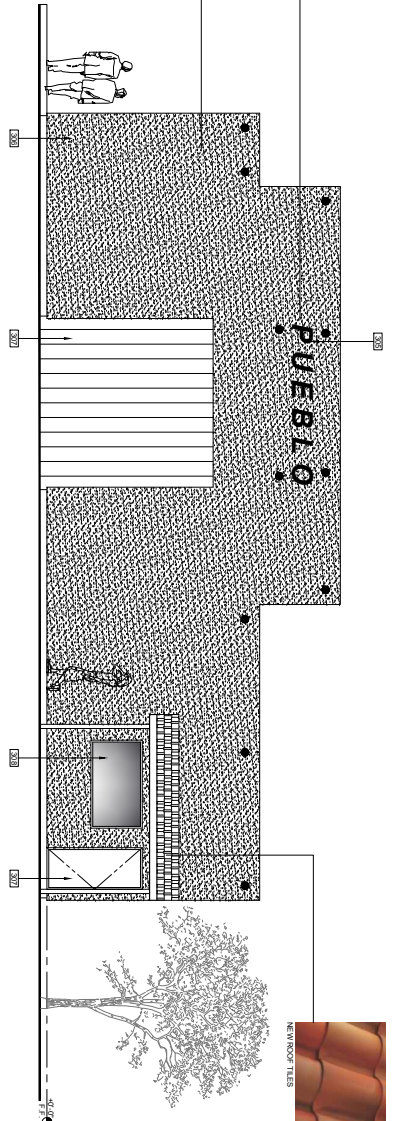
NEW EXTERIOR BUILDING SCIENCE



STUCCO FINISH



NEW ROOF TELES



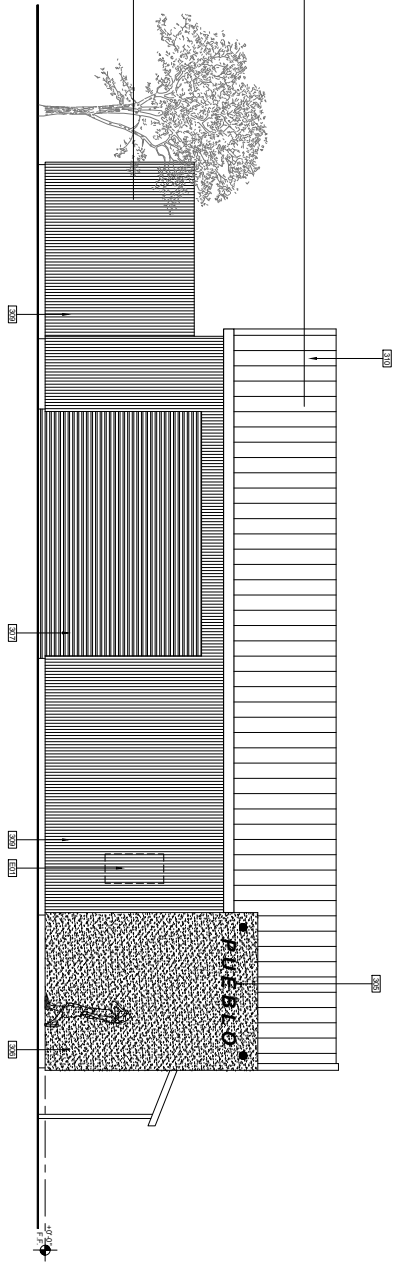
FRONT ELEVATION SCALE 1/8" = 1'-0"



STANDING SEAM METAL ROOF



CORRUGATED METAL SIDING



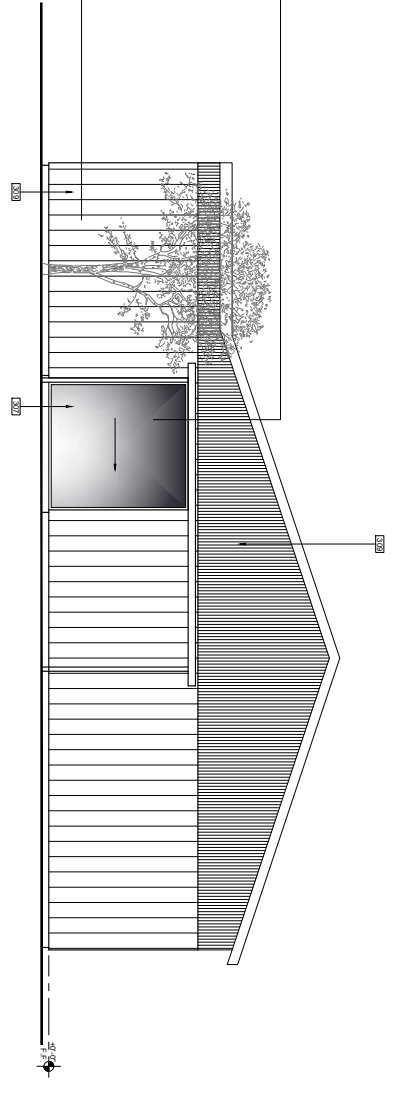
LEFT ELEVATION SCALE 1/8" = 1'-0"



NEW GLASS DOOR



CORRUGATED METAL SIDING



REAR ELEVATION SCALE 1/8" = 1'-0"

MIDEX
M DESIGN GROUP, INC.
 1000 S. GARDEN AVENUE, SUITE 100, COSTA MESA, CA 92626
 PHONE: (714) 440-9900 FAX: (714) 440-9901
 WWW.MIDEXGROUP.COM

KEYNOTES

- 100 NEW 12" X 12" STUCCO WITH AN EASTON/EMC COATING SAND TEXTURE FINISH
- 101 NEW 24 GA. ALUM. CORRUGATION RESISTANT WE-EP SCROD NEW DOOR - SEE DOOR SCHEDULE
- 102 NEW WINDOW - SEE WINDOW SCHEDULE
- 103 NEW NEW INSULATION
- 104 NEW ROOF
- 105 EXISTING STUCCO
- 106 EXISTING DOOR
- 107 EXISTING WINDOW
- 108 EXISTING CORRUGATED METAL
- 109 EXISTING METAL ROOF
- 110 NEW 40' X 10' MAIN PANEL

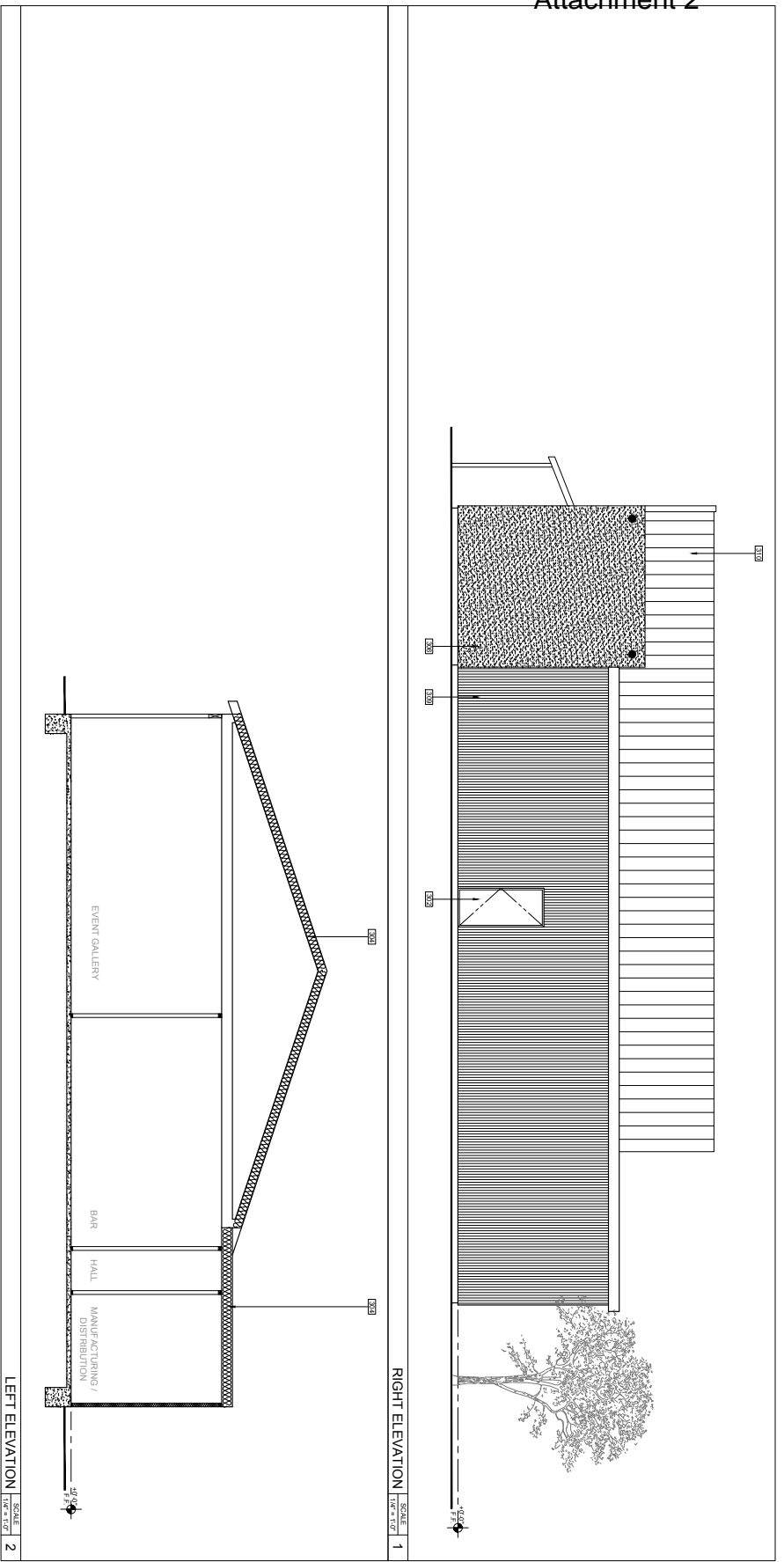
PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPERFRUIT BLVD
 COACHELLA, CA 92236
 DESIGNER: *Handwritten signature*

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NO.	DESCRIPTION	DATE

PROJECT # 220071
 DATE 08/17/20
 DRAWING FIRST SUBMITTAL
 SHEET NAME ELEVATIONS

A3.10



MDESIGN GROUP, INC.
 1001 JACOBSON BLVD., SUITE 1000
 PALMDALE, CA 92367
 TEL: 805.251.9000
 FAX: 805.251.9001
 WWW.MDESIGNGROUP.COM

- KEYNOTES**
- 100 NEW 1/2\"/>

PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPERFRUIT BLVD
 COACHELLA, CA 92236
 DESIGNER: *[Signature]*

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NO.	DESCRIPTION	DATE

PROJECT # 220071
 DATE 08/11/2020
 STATUS FIRST SUBMITTAL
 SHEETNAME ELEVATIONS SECTION
A3.11

SINGLE LINE: **PUEBLO**

DOUBLE LINE: **PUEBLO**

TYPICAL TENANT SIGNAGE ILLUMINATED LETTERS

TYPE "A" ILLUMINATED LETTERS
 LETTERING TYPE STYLE SHALL BE "CHANNEL LETTERS"
 1. SINGLE LINE SIGNS. LETTER SIZE SHALL BE 24" HIGH
 2. DOUBLE LINE SIGNS. LETTER SIZE SHALL BE 12" HIGH
 3. MOUNTING SHALL ONLY COVER 80% OF WINDOW AREA

COLOR SELECTIONS:
 GOLD ANODIZED
 MEDIUM BRONZE
 RED "B"
 TYPE "B" CAST METAL LETTERS (4" HIGH) ARE INDIVIDUALLY HANDCAST IN ELECTRIC FURNACES GEMINI CAST PRIME ALUM. AND LEAD FREE BRONZE IN VIRGIN SA AND MOLDS USING PAGES AND REUSING WET MOLD TO PRODUCE BEFINISHES.

GENERAL CUT METAL LETTERS
 WWW.SIGNLETTERS.COM

ROOM AND ARE SIGNAGE MOUNTING DETAIL FASTENING METHODS

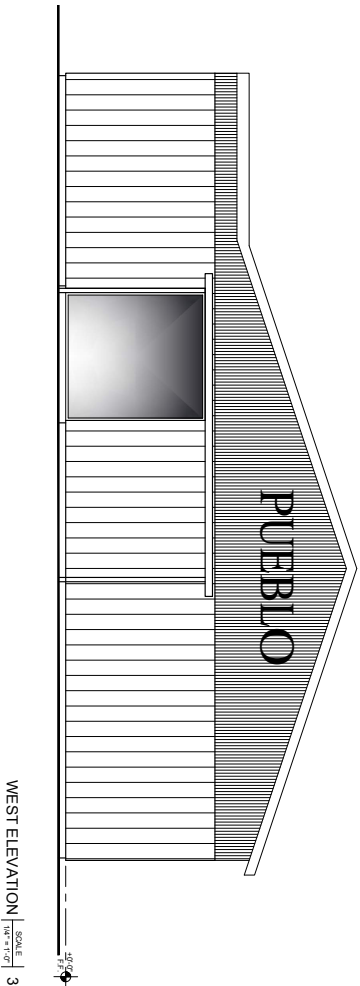
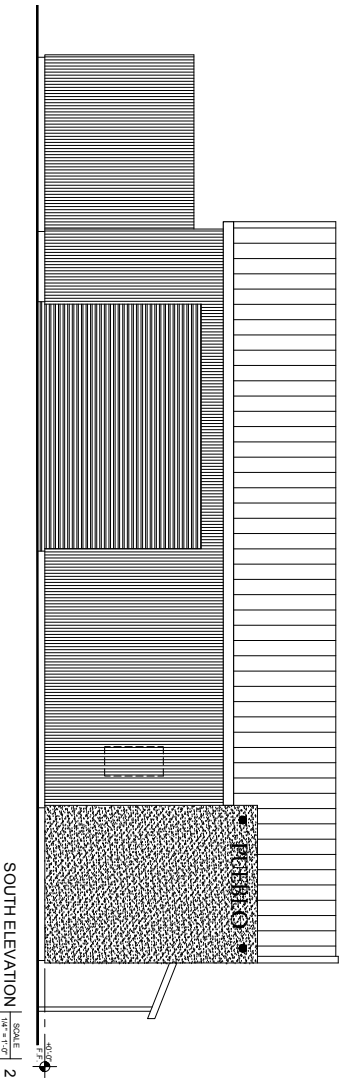
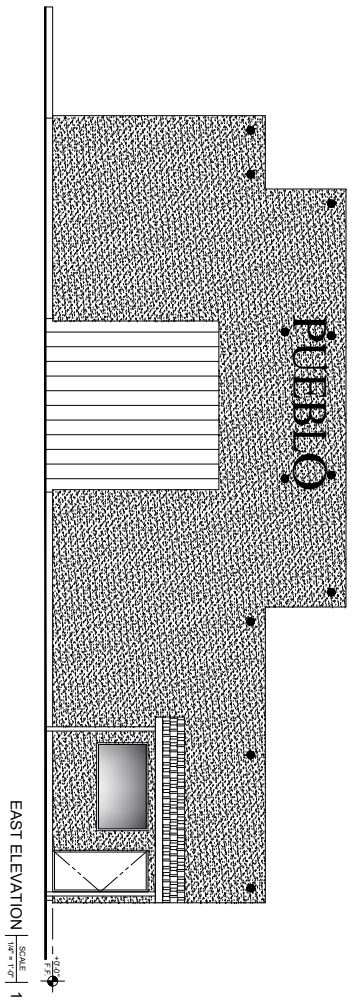
EMM-1*
 TYPE CONVENTIONALLY MOUNTED SIGNAGE WITH OVERLAPPING CONTACT

EMM-2*
 TYPE CONVENTIONALLY MOUNTED SIGNAGE WITH OVERLAPPING CONTACT AND RECESSED CONTACT SURFACE TO PROTECT FROM DAMAGE TO SIGNAGE

EMM-3*
 ANTI-VIBRATION MOUNTING METHOD WITH ANTI-VIBRATION MOUNTS TO 3/4"

EMM-4*
 STAINLESS STEEL U-BRACKET AND CONVENTIONALLY MOUNTED SIGNAGE WITH OVERLAPPING CONTACT AND RECESSED CONTACT SURFACE TO PROTECT FROM DAMAGE TO SIGNAGE

PRECISION CUT METAL LETTERS



MDEX
 MDESIGN GROUP, INC.
 MDESIGN AND ASSOCIATES • 40111 COVE, CDM
 10001 JENSEN RD. • SUITE 100 • BOSTON, MA 02124
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PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPERFRUIT BLVD
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 DESIGNER: *Armando Lerma*

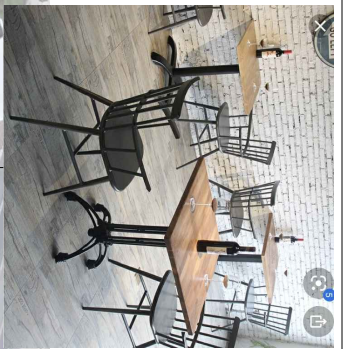
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NO.	REVISIONS	DESCRIPTION	DATE
1			

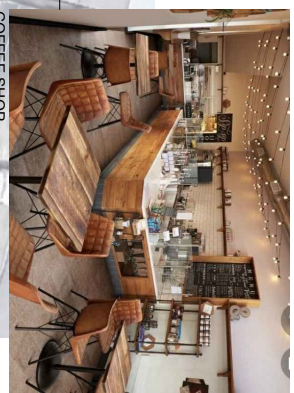
PROJECT # 220071
 DATE 06/17/2020
 STATUS FIRST SUBMITTAL
 SHEET NAME SIGN PROGRAM



FOOD TRUCK AREA



COFFEE SHOP SEATING AREA



COFFEE SHOP



OUTDOOR SEATING AREA



EVENT GALLERY

PERSPECTIVES

SCALE	1
SHEET	1

P1.10

MDSX
 MDESIGN GROUP, INC.
 JULES VANDANAS SOULATES @ JUYI.COVC.COM
 3900 JORDAN BLVD. SUITE 1000
 PALMDALE, CA 92366
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PROJECT TYPE: CONDITIONAL USE PERMIT
 OWNER: ARMANDO LERMA
 ADDRESS: 83591 GRAPERFRUIT BLVD
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DESIGNER: *Armando Lerma*

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NO.	DESCRIPTION	DATE
220071	PROJECT #	06/11/2020
DATE	FIRST SUBMITTAL	
SHEET NAME	PERSPECTIVES	



OUTDOOR SEATING



COFFEE SHOP



EVENT GALLERY

PERSPECTIVES SCALE 1/8"=1'-0" 1

MIDEX
MDESIGN GROUP, INC.
 JUDITH AND ASSOCIATES @ DUTYLOVE.COM
 2000 JACOBI DRIVE #1000
 PALMDALE, CA 92367
 TEL: 818.241.9200 FAX: 818.241.9200

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 COACHELLA, CA 92236

DESIGNER: *Armando Lerma*

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NO.	REVISIONS	DESCRIPTION	DATE
1	220071	PROJECT #	08/11/2020
2	DATE	FIRST SUBMITTAL	
3	DRAWING	PERSPECTIVES	

P1.11