

**CUP MODIFICATION 254, AR-24-02 ~ PRELIMINARY CIVIL PLAN  
COACHELLA GATEWAY SHOPPING CENTER EXPANSION**

48

**APPLICANT:**  
CHANDI AND KARAN LLC  
42270 SPECTRUM STREET  
INDIO, CALIFORNIA 92203  
CONTACT: NACHHATTAR SINGH CHANDI  
(760) 396-9260 X100

**PROPERTY OWNER:**  
CHANDI AND KARAN LLC  
42270 SPECTRUM STREET  
INDIO, CALIFORNIA 92203  
CONTACT: NACHHATTAR SINGH CHANDI  
(760) 396-9260 X100

**SITE ADDRESS:**  
48151 GRAPEFRUIT BOULEVARD  
COACHELLA, CALIFORNIA 92236

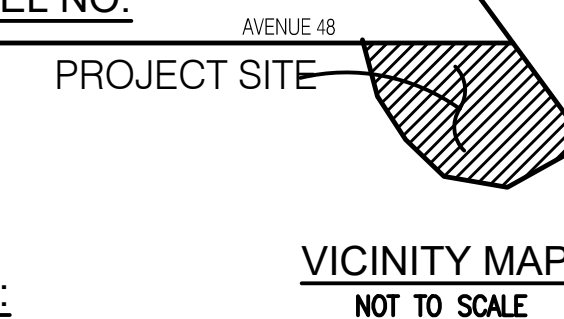
**EXISTING ZONING:**  
GENERAL COMMERCIAL (C-G)

**EXISTING LAND USE:**  
SUBURBAN RETAIL/COMMERCIAL

**PROPOSED LAND USE:**  
SUBURBAN RETAIL/COMMERCIAL

**LEGAL DESCRIPTION:**  
PARCEL 2 OF PARCEL MAP 36481 AS RECORDED  
IN BOOK 236 OF PARCEL MAPS AT PAGES 47-48  
IN THE COUNTY OF IMPERIAL OFFICIAL RECORDS  
ON NOVEMBER 26, 2013.

**ASSESSOR'S PARCEL NO.:**  
603-220-057



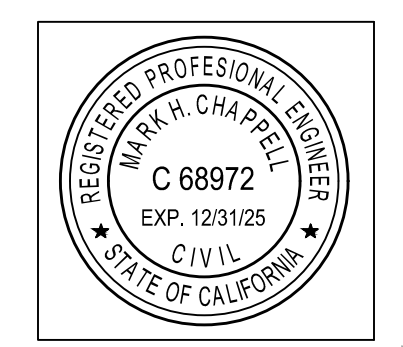
**FLOOD HAZARD ZONE:**  
SITE FALLS COMPLETELY WITHIN AREA DESIGNATED  
BY FLOOD ZONE DESIGNATION "X" - AREAS OF  
MINIMAL HAZARD OF FLOODING.  
AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM)  
NUMBER 060652254H, EFFECTIVE MARCH 6, 2018.

PREPARED BY:  
**Black Gold Engineering**  
ENGINEERING • LAND SURVEY • DESIGN  
42720 SPECTRUM STREET, INDIO, CALIFORNIA 92203  
PH: (760) 396-9260

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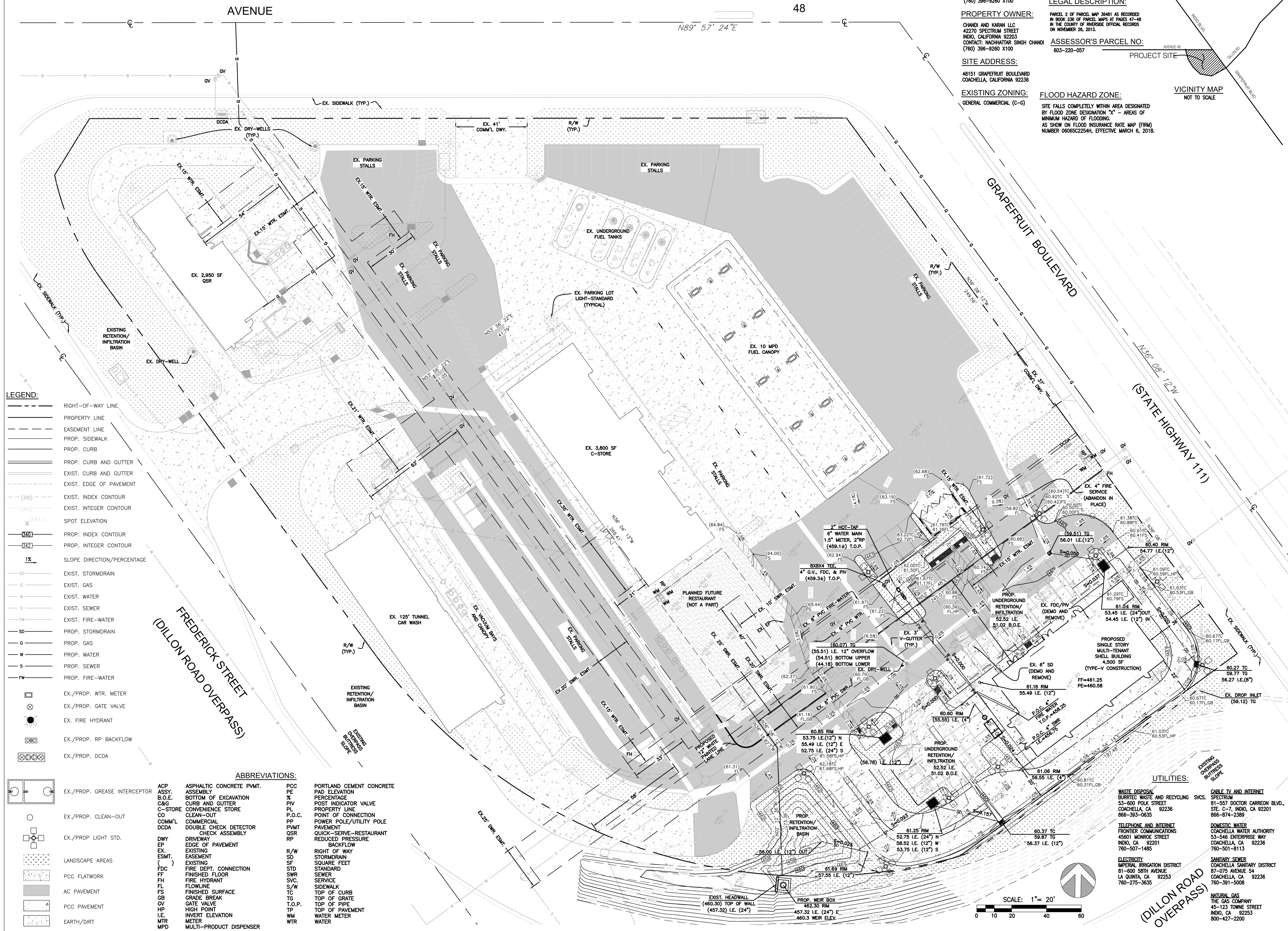
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CONDITIONAL USE PERMIT MODIFICATION FOR  
**COACHELLA GATEWAY  
SHOPPING CENTER -  
RETAIL BUILDING**  
48151 GRAPEFRUIT BOULEVARD  
COACHELLA, CA 92236



NO.	DATE	REVISION

SHEET  
**C1.0**  
OF 01 SHEETS



- LEGEND:**
- RIGHT-OF-WAY LINE
  - PROPERTY LINE
  - EASEMENT LINE
  - PROP. SIDEWALK
  - PROP. CURB
  - PROP. CURB AND GUTTER
  - EXIST. CURB AND GUTTER
  - EXIST. EDGE OF PAVEMENT
  - (340) EXIST. INDEX CONTOUR
  - (342) EXIST. INTEGER CONTOUR
  - X SPOT ELEVATION
  - (340) PROP. INDEX CONTOUR
  - (342) PROP. INTEGER CONTOUR
  - 1% SLOPE DIRECTION/PERCENTAGE
  - SD EXIST. STORMDRAIN
  - G EXIST. GAS
  - W EXIST. WATER
  - S EXIST. SEWER
  - FW EXIST. FIRE-WATER
  - SD PROP. STORMDRAIN
  - G PROP. GAS
  - W PROP. WATER
  - S PROP. SEWER
  - FW PROP. FIRE-WATER
  - EX/PROP. WTR. METER
  - EX/PROP. GATE VALVE
  - EX. FIRE HYDRANT
  - EX/PROP. RP BACKFLOW
  - EX/PROP. DCDA
  - EX/PROP. GREASE INTERCEPTOR
  - EX/PROP. CLEAN-OUT
  - EX/PROP. LIGHT STD.
  - LANDSCAPE AREAS
  - PCC FLATWORK
  - AC PAVEMENT
  - PCC PAVEMENT
  - EARTH/DIRT

**ABBREVIATIONS:**

ACP ASPHALTIC CONCRETE PAVT.	PCC PORTLAND CEMENT CONCRETE
ASSY. ASSEMBLY	PE PAD ELEVATION
B.O.E. BOTTOM OF EXCAVATION	% PERCENTAGE
C&G CURB AND GUTTER	PV POST INDICATOR VALVE
C-STORE CONVENIENCE STORE	PL PROPERTY LINE
CO CLEAN-OUT	P.O.C. POINT OF CONNECTION
COMM'L COMMERCIAL	PP POWER POLE/UTILITY POLE
DCDA DOUBLE CHECK DETECTOR	PVMT PAVEMENT
EP EASEMENT	QSR QUICK-SERVE-RESTAURANT
DWY DRIVEWAY	RP REDUCED PRESSURE
EP EDGE OF PAVEMENT	R/W RIGHT OF WAY
EX. EXISTING	SD STORMDRAIN
ESMT. CHECK ASSEMBLY	SF SQUARE FEET
( ) EXISTING	STD STANDARD
FDC FIRE DEPT. CONNECTION	SWR SEWER
FF FINISHED FLOOR	SVC. SERVICE
FH FIRE HYDRANT	S/W SIDEWALK
FL FLOWLINE	TC TOP OF CURB
FS FINISHED SURFACE	TG TOP OF GRATE
GB GRADE BREAK	T.P. TOP OF PIPE
GATE VALVE	TP TOP OF PAVEMENT
HP HIGH POINT	WM WATER METER
I.E. INVERT ELEVATION	WTR WATER
MTR METER	
MPD MULTI-PRODUCT DISPENSER	

**UTILITIES:**

**WASTE DISPOSAL**  
BURRTEC WASTE AND RECYCLING SVCS.  
53-600 POLK STREET  
COACHELLA, CA 92236  
866-393-0635

**TELEPHONE AND INTERNET**  
FRONTIER COMMUNICATIONS  
45601 MONROE STREET  
INDIO, CA 92201  
760-507-1485

**ELECTRICITY**  
IMPERIAL IRRIGATION DISTRICT  
81-070 AVENUE 54  
COACHELLA, CA 92253  
760-275-3635

**CABLE TV AND INTERNET**  
SPECTRUM  
81-557 DOCTOR CARREON BLVD.  
STE. C-7, INDIO, CA 92201  
866-393-0635

**DOMESTIC WATER**  
COACHELLA WATER AUTHORITY  
53-546 ENTERPRISE WAY  
COACHELLA, CA 92236  
760-501-8113

**SANITARY SEWER**  
COACHELLA SANITARY DISTRICT  
81-070 AVENUE 54  
COACHELLA, CA 92253  
760-275-3635

**NATURAL GAS**  
THE GAS COMPANY  
45-123 TOWNE STREET  
INDIO, CA 92253  
800-427-2200

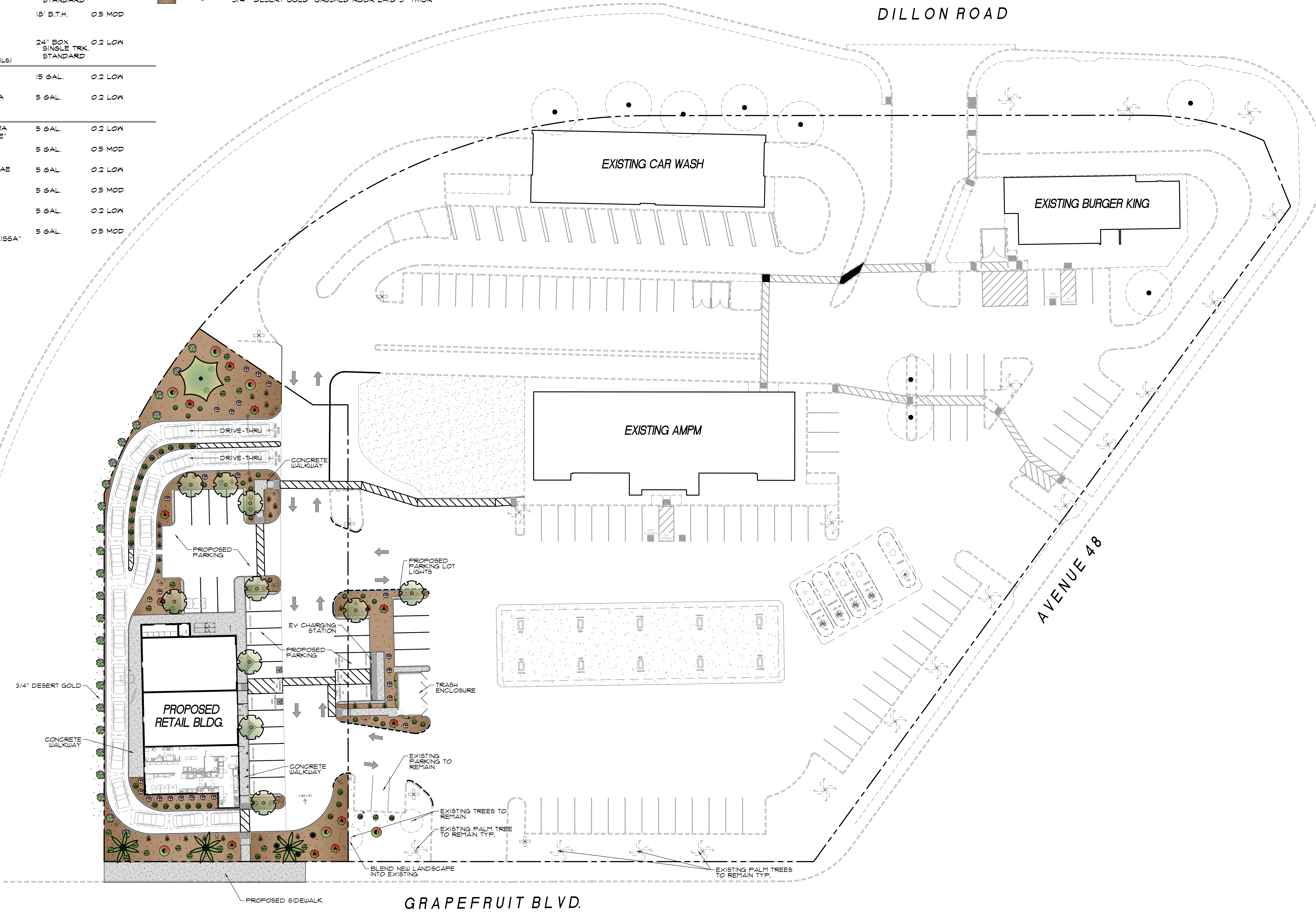
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P121 - Coachella, CA - 48151 - CIVIL WORKS/CLIP MODIFICATION - STARRICKS/STARRICKS, COACHELLA, CA - 4/18/24.dwg - Layout - 4/18/2024 3:23:34 PM

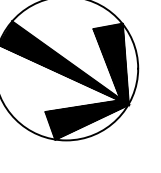
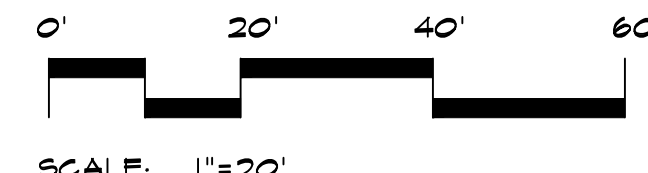

# PLANT LIST

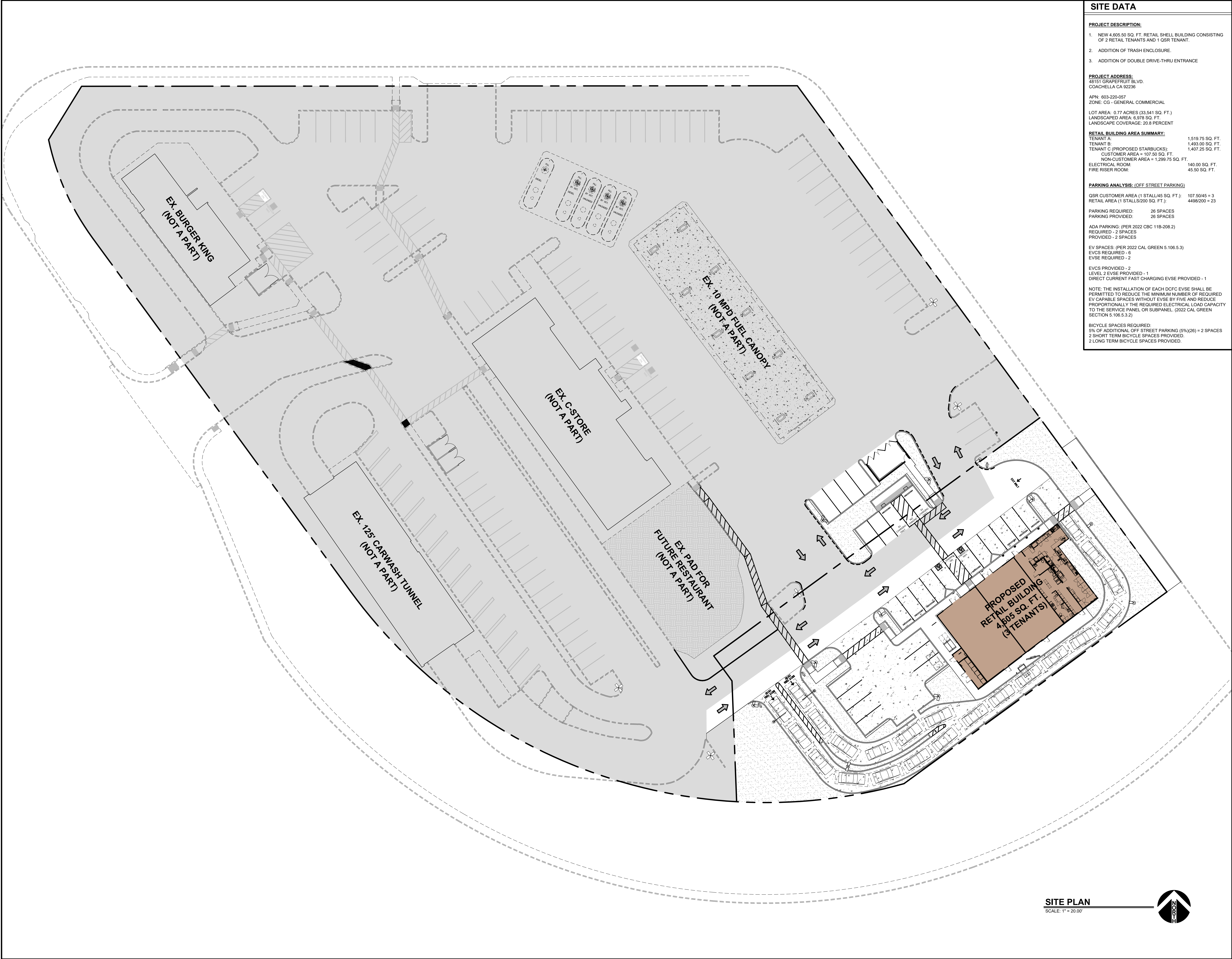
SYMBOL	QTY.	BOTANICAL NAME COMMON NAME	SIZE	WATER USE
<b>TREES &amp; PALMS (SEE DETAILS)</b>				
	1	PARKINSONIA X 'DESERT MUSEUM' 'DESERT MUSEUM PALO VERDE'	36" BOX SINGLE TRK. STANDARD	0.2 LOW
	3	PHOENIX DACTYLIFERA TO MACH EXISTING	18" B.T.H.	0.5 MOD
	10	ACACIA ANEURA 'MULGA'	24" BOX SINGLE TRK. STANDARD	0.2 LOW
<b>DESERT ACCENTS (SEE DETAILS)</b>				
	3	AGAVE 'BLUE FLAME'	15 GAL.	0.2 LOW
	28	HESPERALOE PARVIFLORA 'RED YUCCA'	5 GAL.	0.2 LOW
<b>SHRUBS (SEE DETAILS)</b>				
	6	CAESALPINIA FULCHERRIMA 'RED BIRD OF PARADISE'	5 GAL.	0.2 LOW
	11	BOUGAINVILLEA 'LA JOLLA'	5 GAL.	0.5 MOD
	24	LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	5 GAL.	0.2 LOW
	26	LANTANA 'TEENIE BEENIE'	5 GAL.	0.5 MOD
	29	LEUCOPHYLLUM CANDIDUM 'THUNDER CLOUD'	5 GAL.	0.2 LOW
	22	CARISSA MACROCARPA 'BOXWOOD BEAUTY CARISSA'	5 GAL.	0.5 MOD

**GROUNDCOVERS & VINES (SEE DETAILS)**  
 24 CARISSA 'GREEN CARPET' 5 GAL. 0.5 MOD  
**PAVING, STONE, & GRAVEL MATERIALS (SEE DETAILS)**  
 - 3/4" 'DESERT GOLD' CRUSHED ROCK LAID 3" THICK



## COACHELLA GATEWAY EXPANSION PRELIMINARY LANDSCAPE PLAN RIVERSIDE COUNTY, CA




**HERMANN DESIGN GROUP**  
 77-899 WOLF RD.  
 SUITE 102  
 PALM DESERT, CA  
 92211  
 LIC# 2754, EXP 04/30/26  
 PH. (760) 777-9131  
 FAX (760) 777-9132  
 JOB #24003 DATE 04/19/24



**SITE DATA**

**PROJECT DESCRIPTION:**

- NEW 4,605.50 SQ. FT. RETAIL SHELL BUILDING CONSISTING OF 2 RETAIL TENANTS AND 1 QSR TENANT.
- ADDITION OF TRASH ENCLOSURE.
- ADDITION OF DOUBLE DRIVE-THRU ENTRANCE

**PROJECT ADDRESS:**  
48151 GRAPEFRUIT BLVD.  
COACHELLA CA 92236

APN: 603-220-057  
ZONE: CG - GENERAL COMMERCIAL

LOT AREA: 0.77 ACRES (33,541 SQ. FT.)  
LANDSCAPED AREA: 6,978 SQ. FT.  
LANDSCAPE COVERAGE: 20.8 PERCENT

**RETAIL BUILDING AREA SUMMARY:**

TENANT A:	1,519.75 SQ. FT.
TENANT B:	1,493.00 SQ. FT.
TENANT C (PROPOSED STARBUCKS):	1,407.25 SQ. FT.
CUSTOMER AREA = 107.50 SQ. FT.	
NON-CUSTOMER AREA = 1,299.75 SQ. FT.	
ELECTRICAL ROOM:	140.00 SQ. FT.
FIRE RISER ROOM:	45.50 SQ. FT.

**PARKING ANALYSIS: (OFF STREET PARKING)**

QSR CUSTOMER AREA (1 STALL/45 SQ. FT.):	107.50/45 = 3
RETAIL AREA (1 STALL/200 SQ. FT.):	4498/200 = 23

PARKING REQUIRED: 26 SPACES  
PARKING PROVIDED: 26 SPACES

ADA PARKING: (PER 2022 CBC 11B-208.2)  
REQUIRED - 2 SPACES  
PROVIDED - 2 SPACES

EV SPACES: (PER 2022 CAL GREEN 5.106.5.3)  
EVCS REQUIRED - 6  
EVSE REQUIRED - 2

EVCS PROVIDED - 2  
LEVEL 2 EVSE PROVIDED - 1  
DIRECT CURRENT FAST CHARGING EVSE PROVIDED - 1

NOTE: THE INSTALLATION OF EACH DCFC EVSE SHALL BE PERMITTED TO REDUCE THE MINIMUM NUMBER OF REQUIRED EV CAPABLE SPACES WITHOUT EVSE BY FIVE AND REDUCE PROPORTIONALLY THE REQUIRED ELECTRICAL LOAD CAPACITY TO THE SERVICE PANEL OR SUBPANEL. (2022 CAL GREEN SECTION 5.106.5.3.2)

BICYCLE SPACES REQUIRED:  
5% OF ADDITIONAL OFF STREET PARKING (5%)(26) = 2 SPACES  
2 SHORT TERM BICYCLE SPACES PROVIDED.  
2 LONG TERM BICYCLE SPACES PROVIDED.

**BLACK GOLD ENGINEERING**  
INC.  
CIVIL ENGINEERING - LAND SURVEYING - DESIGN  
42270 SPECTRUM STREET, INDIAN WELLS, CA 92203  
PH: 17601-396-9260 • FX: 17601-396-5245

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**Coachella Gateway**  
**Retail Building**  
48151 Grapefruit Blvd.  
Coachella, CA 92236

NO.	DATE	REVISION

4/18/2024  
121-04  
ARCHITECTURAL SITE PLAN

**SITE PLAN**  
SCALE: 1" = 20.00'

**A0.1**



SITE KEYNOTES	
NO.	DESCRIPTION
1	(E) DRIVEWAY APPROACH
2	(E) SIDEWALK
3	(E) CURBED RAMP
4	(E) PARKING LOT PAVING
5	(E) LANDSCAPED AREA
6	(E) PARKING LOT LIGHTS
7	CONCRETE SIDEWALK PER CIVIL PLANS
8	CONCRETE PAVING PER CIVIL PLANS
9	PARKING LOT PAVING PER CIVIL PLANS
10	LANDSCAPED AREA
11	ACCESSIBLE PARKING STALLS
12	TRASH ENCLOSURE
13	PARKING LOT LIGHTS SET BEHIND CURB MINIMUM OF 2'-6"
14	CURB TO BE PAINTED RED W/ SIGNAGE "NO PARKING, FIRE LANE"
15	BIKE RACK/BIKE LOCKER
16	GREASE INTERCEPTOR
17	EV CAPABLE SPACE
18	VAN ACCESSIBLE EV CHARGING SPACE WITH LEVEL 2 EV SUPPLY EQUIPMENT
19	EV SPACE WITH DIRECT CURRENT FAST CHARGING SUPPLY EQUIPMENT
20	AC BURM PER CIVIL PLANS
21	8" WIDE WHITE CHANNELIZING LINE PER CIVIL PLANS
22	FIRE RISER ROOM
23	ELECTRICAL ROOM
24	ACCESSIBLE PEDESTRIAN PATH STRIPING

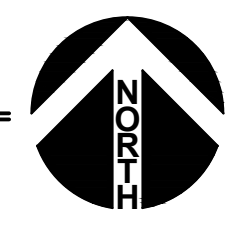
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ENLARGED SITE PLAN  
 SCALE: 1" = 10.00'



NO.	DATE	REVISION

4/18/2024  
 121-04  
 ENLARGED SITE PLAN

**A0.2**

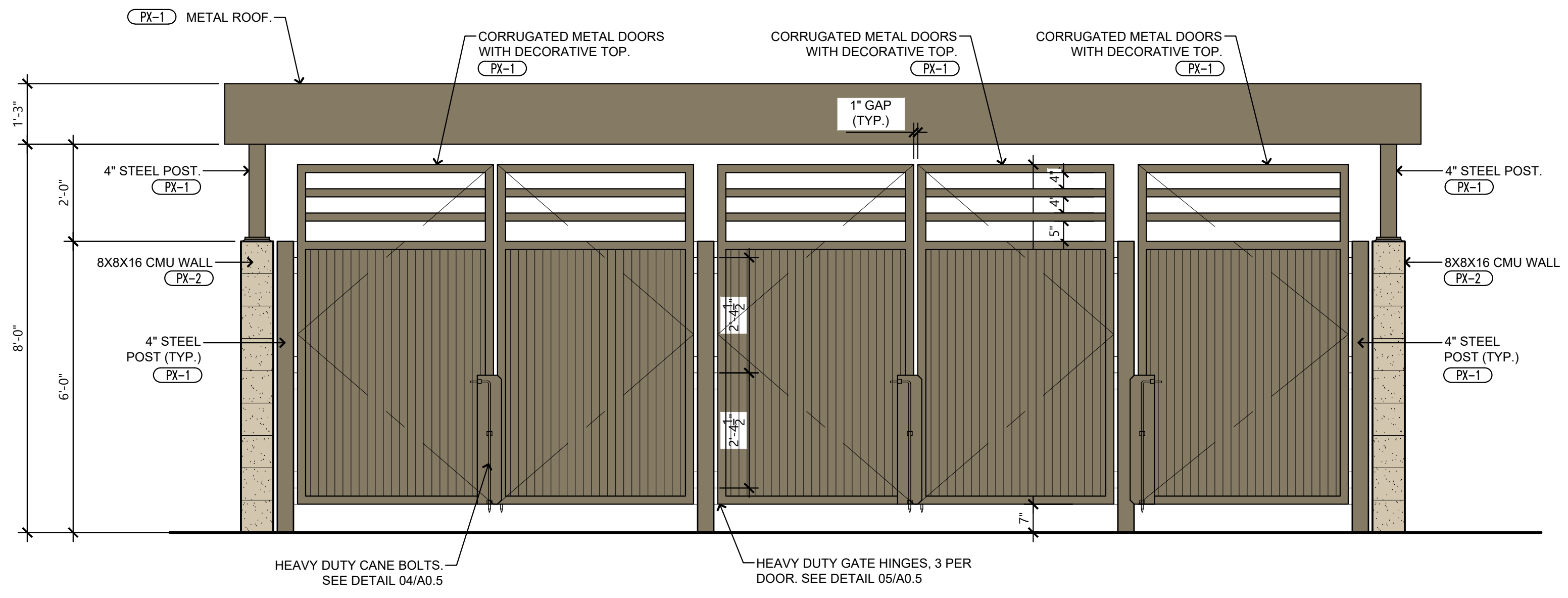
**EXTERIOR FINISH NOTES**

1. THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
2. CMU TO BE FINISHED PX-2.

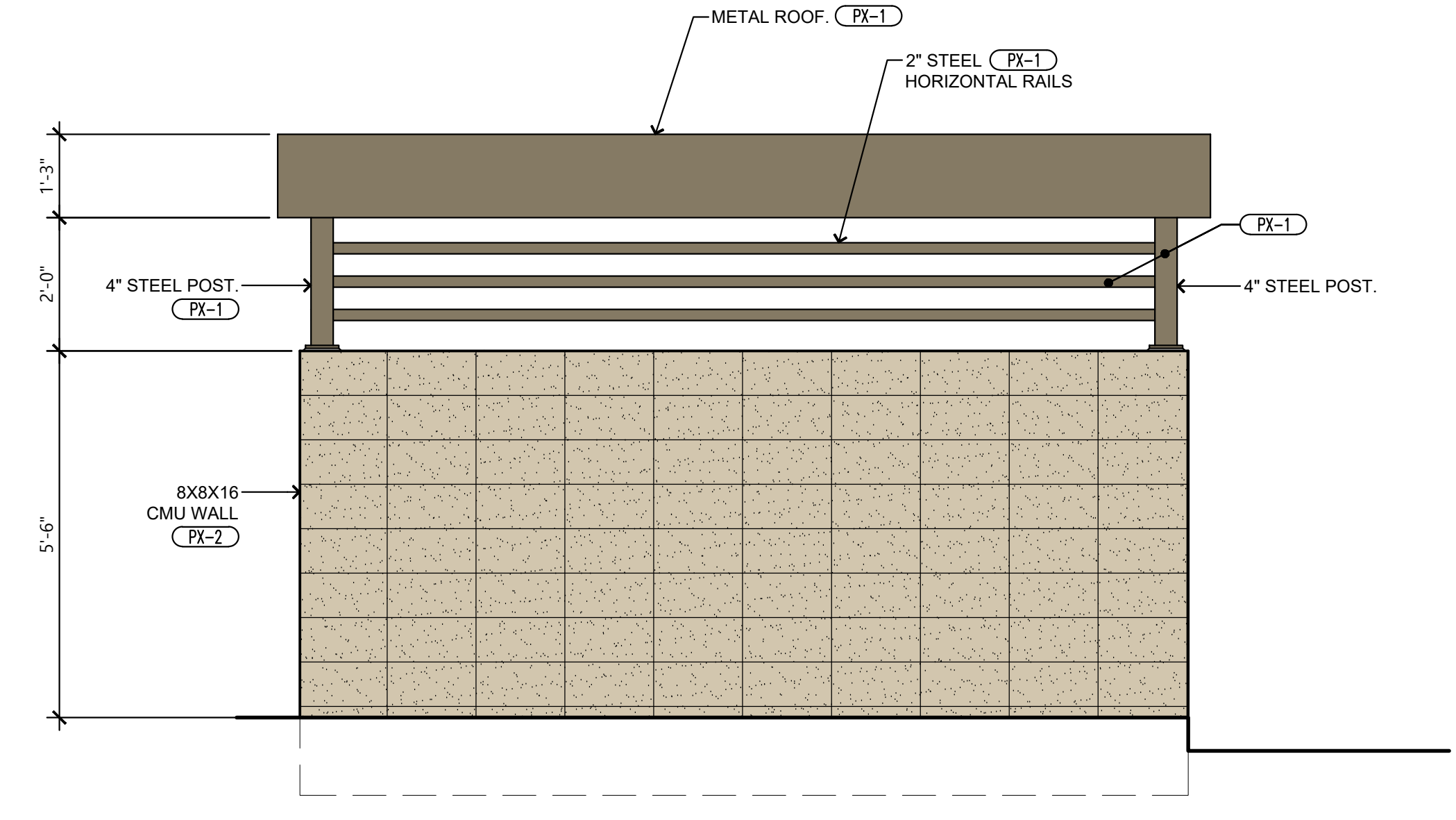
**EXTERIOR MATERIAL /FINISH SCHEDULE**

PX-1	MANUFACTURER: DUNN EDWARDS COLOR: MISSION TRAIL
	NOTES: EPOXY FINISH TO BE APPLIED TO METAL ROOF (15 YEAR FILM COATING & 5 YEAR FADE WARRANTY MIN.)
PX-2	MANUFACTURER: ORCO BLOCK PRODUCT: SPLIT FACE BLOCK COLOR: TAN MW

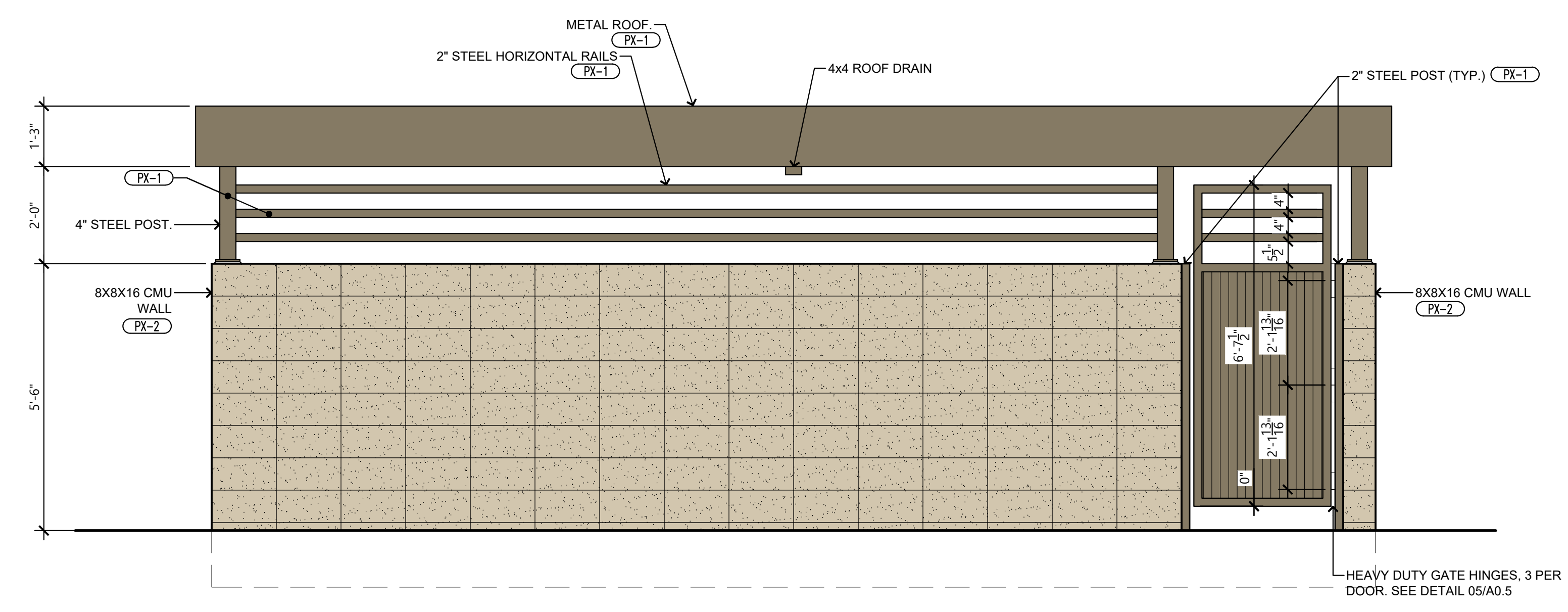
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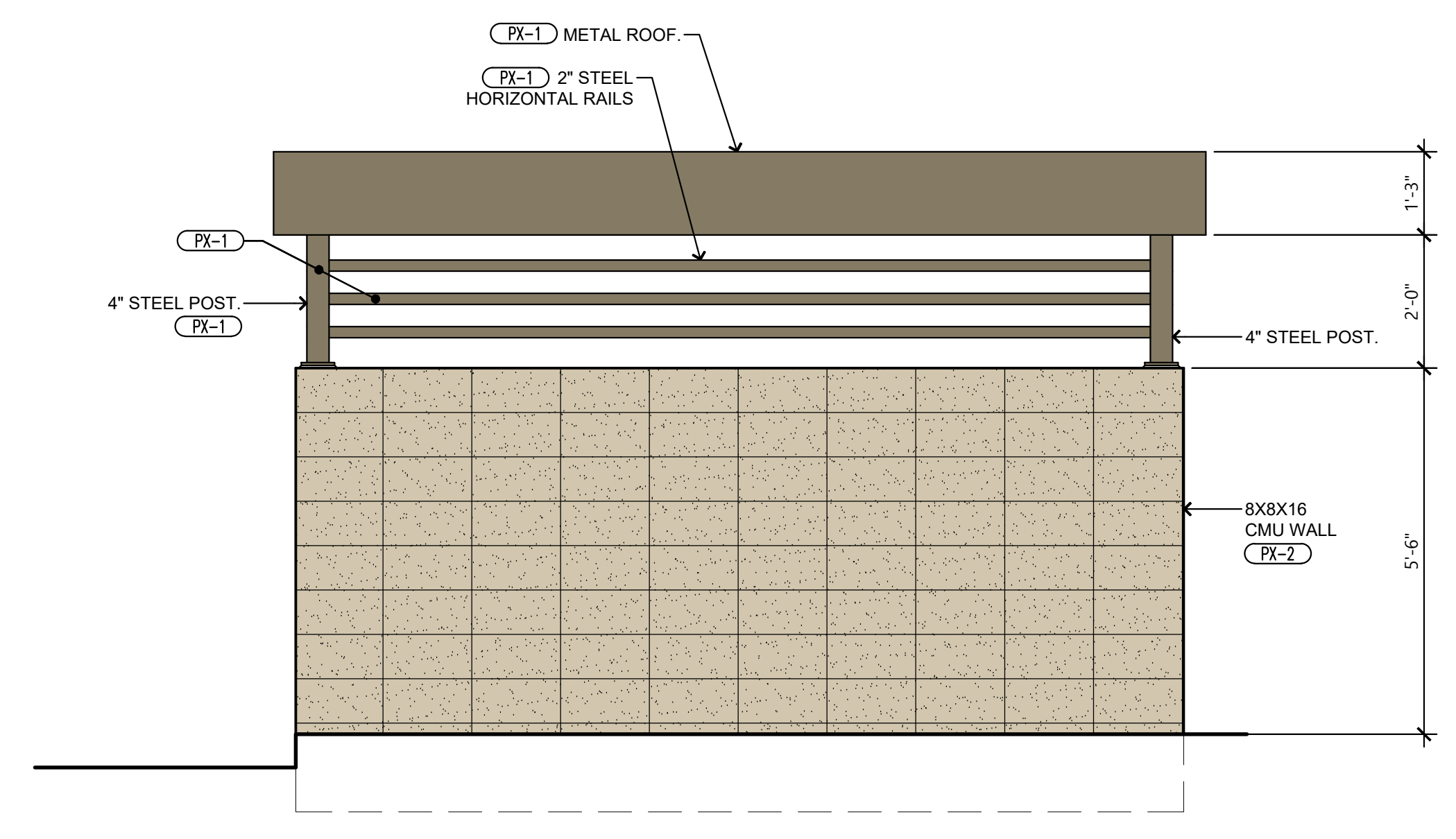
**TRASH ENCLOSURE ELEVATION 01**  
SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE ELEVATION 02**  
SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE ELEVATION 03**  
SCALE: 1/2" = 1'-0"



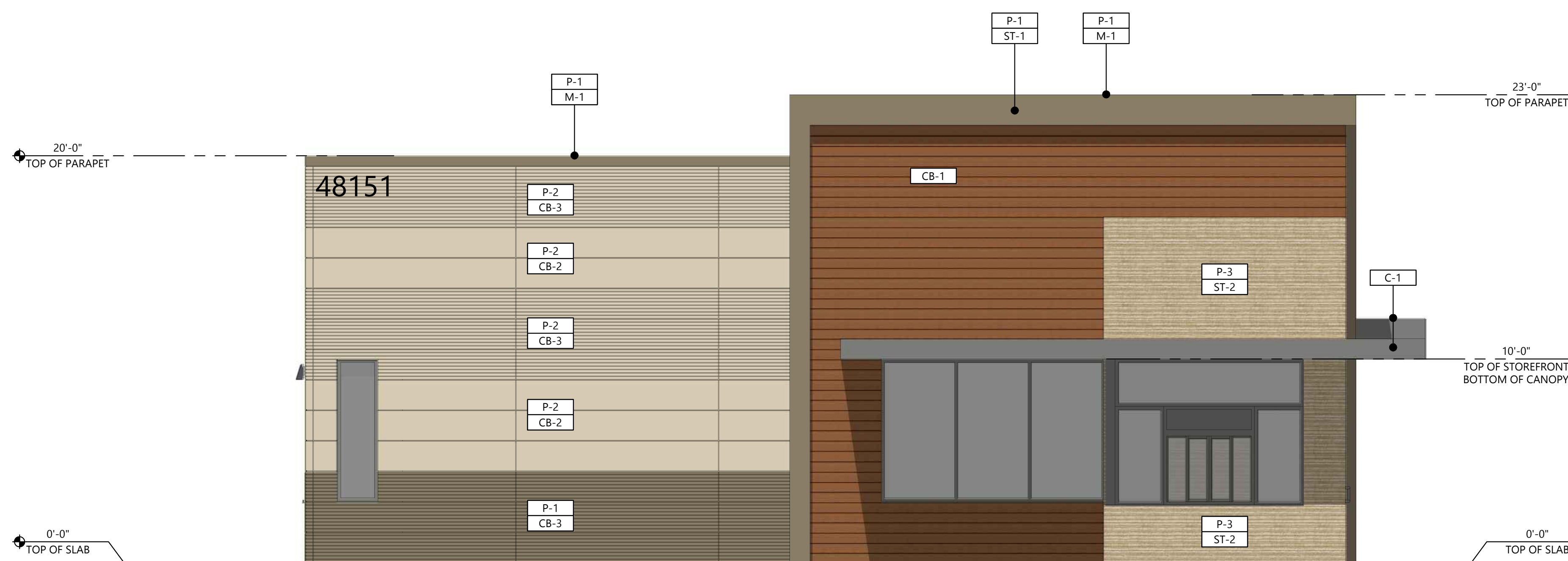
**TRASH ENCLOSURE ELEVATION 04**  
SCALE: 1/2" = 1'-0"

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**Retail Building**  
48151 Grapefruit Blvd.  
Coachella, CA 92236

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**BUILDING ELEVATION 1**  
SCALE: 1/4" = 1'-0"



**BUILDING ELEVATION 2**  
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE	
FINISH	DESCRIPTION
P	PAINT & STAIN
P-1	MANUFACTURER: DUNN EDWARDS COLOR: D6623 "MISSION TRAIL"
P-2	MANUFACTURER: DUNN EDWARDS COLOR: D6192 "NOMADIC TAUPE"
P-3	MANUFACTURER: DUNN EDWARDS COLOR: D6193 "BAMBOO SCREEN"
P-4	MANUFACTURER: DUNN EDWARDS COLOR: D6375 "SANTA FE TAN"
P-5	MANUFACTURER: DUNN EDWARDS COLOR: D6272 "SEDONA AT SUNSET"
INTERIOR FINISHES	
GB-1	5/8" TYPE X GYPSUM BOARD, LEVEL 5 FINISH
PLY-1	PLYWOOD, REFER TO STRUCTURAL PLANS
EXTERIOR FINISHES	
ST-1	PRODUCT: 3-COAT STUCCO SYSTEM FINISH: FINE SAND FLOAT FINISH
ST-2	PRODUCT: 3-COAT STUCCO SYSTEM FINISH: COMBED FINISH
CB-1	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: VINTAGEWOOD "REDWOOD"
CB-2	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: ILLUMINATION "CUSTOM"
CB-3	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: RIBBED "CUSTOM"
C-1	PRODUCT: METAL CANOPY FINISH: CLEAR ANODIZED ALUMINUM
M-1	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM

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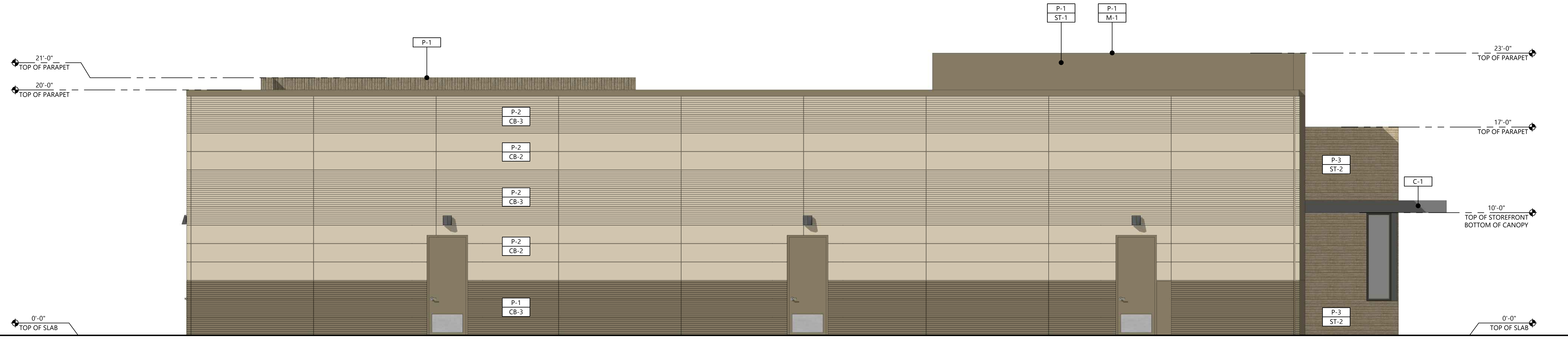
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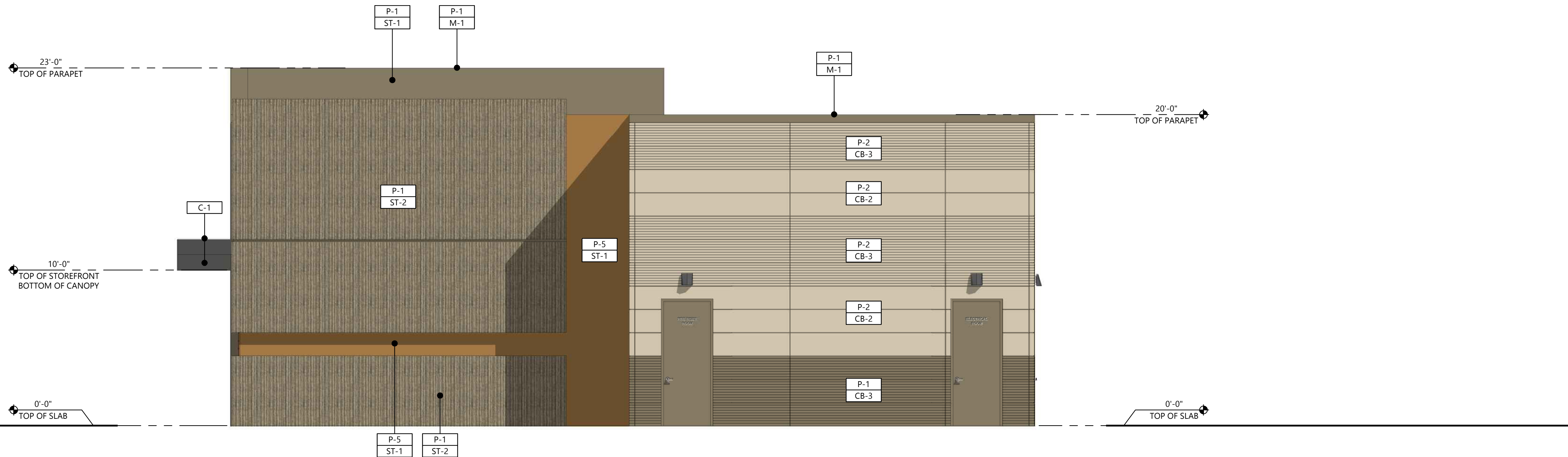
NO.	DATE	REVISION

4/16/2024  
121-04  
EXTERIOR BUILDING ELEVATIONS

**A1.2**



**BUILDING ELEVATION 3**  
SCALE: 1/4" = 1'-0"



**BUILDING ELEVATION 4**  
SCALE: 1/4" = 1'-0"

FINISH SCHEDULE	
FINISH	DESCRIPTION
P	PAINT & STAIN
P-1	MANUFACTURER: DUNN EDWARDS COLOR: D6623 "MISSION TRAIL"
P-2	MANUFACTURER: DUNN EDWARDS COLOR: D6192 "NOMADIC TAUPE"
P-3	MANUFACTURER: DUNN EDWARDS COLOR: D6193 "BAMBOO SCREEN"
P-4	MANUFACTURER: DUNN EDWARDS COLOR: D6375 "SANTA FE TAN"
P-5	MANUFACTURER: DUNN EDWARDS COLOR: D6272 "SEDONA AT SUNSET"
INTERIOR FINISHES	
GB-1	5/8" TYPE X GYPSUM BOARD, LEVEL 5 FINISH
PLY-1	PLYWOOD, REFER TO STRUCTURAL PLANS
EXTERIOR FINISHES	
ST-1	PRODUCT: 3-COAT STUCCO SYSTEM FINISH: FINE SAND FLOAT FINISH
ST-2	PRODUCT: 3-COAT STUCCO SYSTEM FINISH: COMBED FINISH
CB-1	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: VINTAGEWOOD "REDWOOD"
CB-2	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: ILLUMINATION "CUSTOM"
CB-3	CEMENT BOARD MANUFACTURER: NICHHA PRODUCT: ARCHITECTURAL WALL PANEL MODEL: RIBBED "CUSTOM"
C-1	PRODUCT: METAL CANOPY FINISH: CLEAR ANODIZED ALUMINUM
M-1	MANUFACTURER: PRODUCT/FINISH: METAL FLASHING / TRIM

**BLACK GOLD ENGINEERING**  
INC.  
CIVIL ENGINEERING - LAND SURVEYING - DESIGN  
42270 BEECHMOUNT STREET, INDIANAPOLIS, IN 46254  
PH: 317.601.9569 FAX: 317.601.9565

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EXTERIOR BUILDING ELEVATIONS

**A1.3**

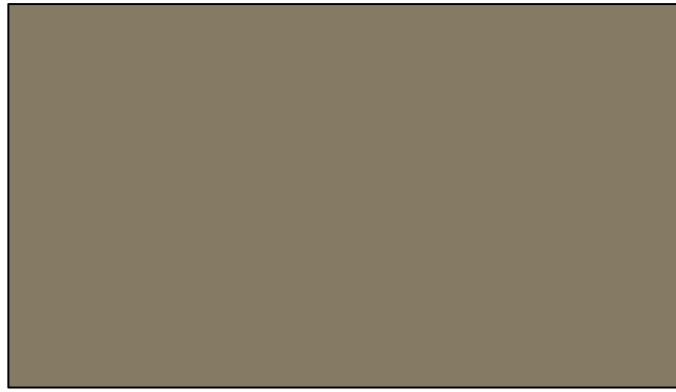


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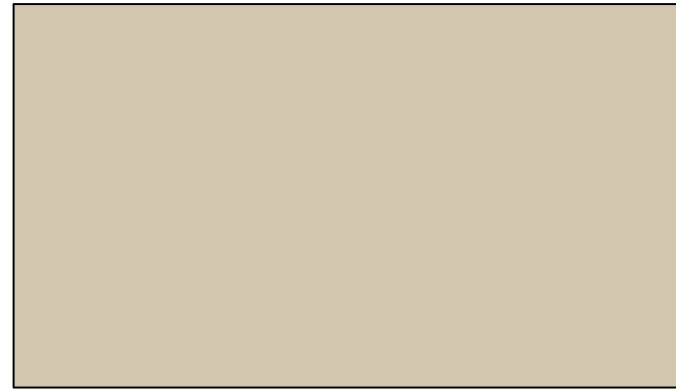
NO.	DATE	REVISION

4/16/2024  
 121-04  
 BUILDING  
 PERSPECTIVE VIEWS

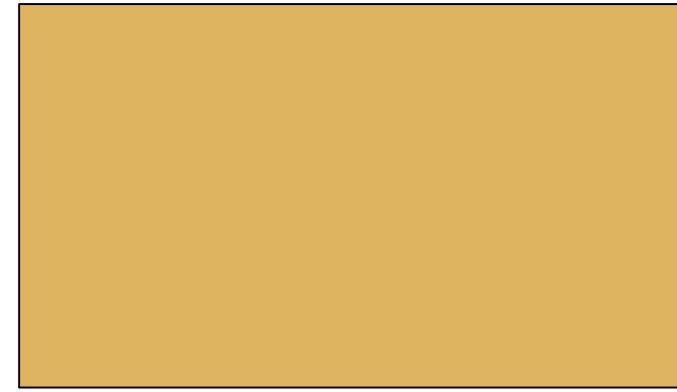




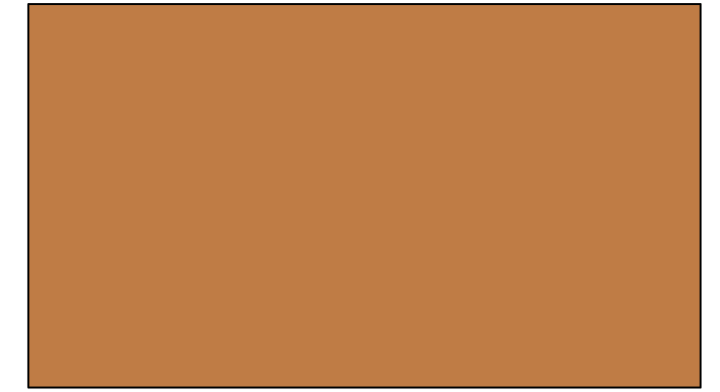
DUNN EDWARDS  
DE6223 MISSION TRAIL



DUNN EDWARDS  
DE6192 NOMADIC TAUPE



DUNN EDWARDS  
DE5375 SANTA FE TAN



DUNN EDWARDS  
DE5272 SEDONA AT SUNSET



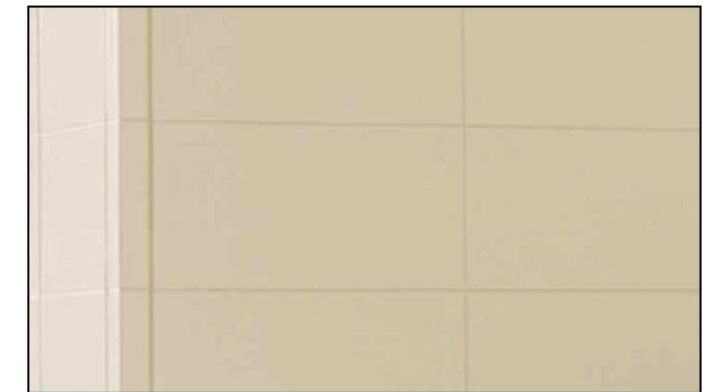
DUNN EDWARDS  
DE6223 MISSION TRAIL  
WITH COMBED FINISH



DUNN EDWARDS  
DE6193 BAMBOO SCREEN  
WITH COMBED FINISH



NICHIHA RIBBED PANEL CUSTOMIZED COLOR TO  
MATCH DUNN EDWARDS DE6192 NOMADIC TAUPE



NICHIHA IUUMINATION PANEL CUSTOMIZED COLOR  
TO MATCH DUNN EDWARDS DE6192 NOMADIC TAUPE



NICHIHA IUUMINATION PANEL CUSTOMIZED COLOR  
TO MATCH DUNN EDWARDS DE6223 MISSION TRAIL



NICHIHA VINTAGEWOOD SERIES WITH  
REDWOOD COLOR

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