

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- | | |
|--|---|
| 1. 2025 CALIFORNIA ADMINISTRATIVE CODE | 6. 2025 CALIFORNIA FIRE CODE |
| 2. 2025 CALIFORNIA BUILDING CODE | 7. ANY LOCAL BUILDING CODE AMENDMENTS |
| 3. 2025 CALIFORNIA ELECTRIC CODE | 8. CITY/COUNTY ORDINANCES |
| 4. 2025 CALIFORNIA MECHANICAL CODE | 9. ANSI / TIA-222 STRUCTURAL CODE |
| 5. 2025 CALIFORNIA PLUMBING CODE | 10. NFPA 780 - LIGHTING PROTECTION CODE |

HANDICAP REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, AND IS EXEMPTED FROM ACCESSIBILITY REQUIREMENTS IN ACCORDANCE WITH 2025 CALIFORNIA BUILDING CODE SECTION 11B-203.5.

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

GENERAL NOTES

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

IF CONTRACTOR ENCOUNTERS CONDITIONS IN FIELD, EITHER UNFORESEEN OR IN SOME MANNER IN CONFLICT WITH THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE REGISTERED DESIGN PROFESSIONAL OF SUCH CONDITIONS IN WRITING AND SHALL ACKNOWLEDGE ANY WORK DONE OUTSIDE OF JURISDICTIONAL PERMITTED PLANS IS DONE AT CONTRACTORS OWN RISK.

FOR "SPECIAL INSPECTIONS" SPECIFIC TO THIS PROJECT PURSUANT TO CBC SECTION 1704.3, SEE SHEET T-4, "STATEMENT OF SPECIAL INSPECTIONS"

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

FULL SIZE = 24"x36". ANY OTHER SIZE PRINT IS NOT ORIGINAL SCALE.

ALL INDICATED DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DIMENSIONS.

SITE NUMBER: CA-4009
SITE NAME: STARFRUIT



PROJECT: APC TOWERS
SITE TYPE: MONOPALM
SITE ADDRESS: 49640 OATES LANE,
COACHELLA, CA 92236

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE ZONING DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

APPROVED BY:	DATE:
APC OPERATIONS:	
SAQ MANAGER:	
PROJECT MANAGER:	
ZONING VENDOR:	
LEASING VENDOR:	
ZONING MANAGER:	
PROPERTY OWNER:	

PROJECT DESCRIPTION

APC PROPOSES TO INSTALL A WIRELESS COMMUNICATIONS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- | | |
|---|---|
| VERIZON WIRELESS SCOPE OF WORK: | APC SCOPE OF WORK: |
| <ul style="list-style-type: none"> (12) PROPOSED ANTENNAS ON MONOPALM (12) PROPOSED RRUS ON MONOPALM (1) PROPOSED RAYCAP ON MONOPALM (3) PROPOSED EQUIPMENT CABINETS AT GRADE (2) PROPOSED H-FRAME WITH CABINETS (1) PROPOSED EMERGENCY DIESEL GENERATOR AT GRADE (1) PROPOSED MICROWAVE ON MONOPALM | <ul style="list-style-type: none"> (1) PROPOSED 85'-0" HIGH MONOPALM (1) PROPOSED METERING H-FRAME TRANSFORMER (2) PROPOSED UTILITY TRENCHES (1) PROPOSED 6' HIGH SPLIT FACE BLOCK WALL (1) NEW KNOX KEY VAULT FOR ACCESS GATE |

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8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615
WWW.APCTOWERS.COM



65 POST, SUITE 1000
IRVINE, CA 92618
TEL: (949) 553-8566
WWW.EUKONGROUP.COM

NOT FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	UTILITIES CHECKED BY:	A&E CHECKED BY:
FG	GD	RB

ZONING DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	07/01/25	90% ZONING DRAWINGS
B	08/28/25	RFDS UPDATE
C	10/13/25	JX COMMENTS
D	12/08/25	PLANING COMMENTS
E	01/15/26	FIRE COMMENTS
F	01/7/26	ENGINEERING COMMENTS

PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

TITLE SHEET

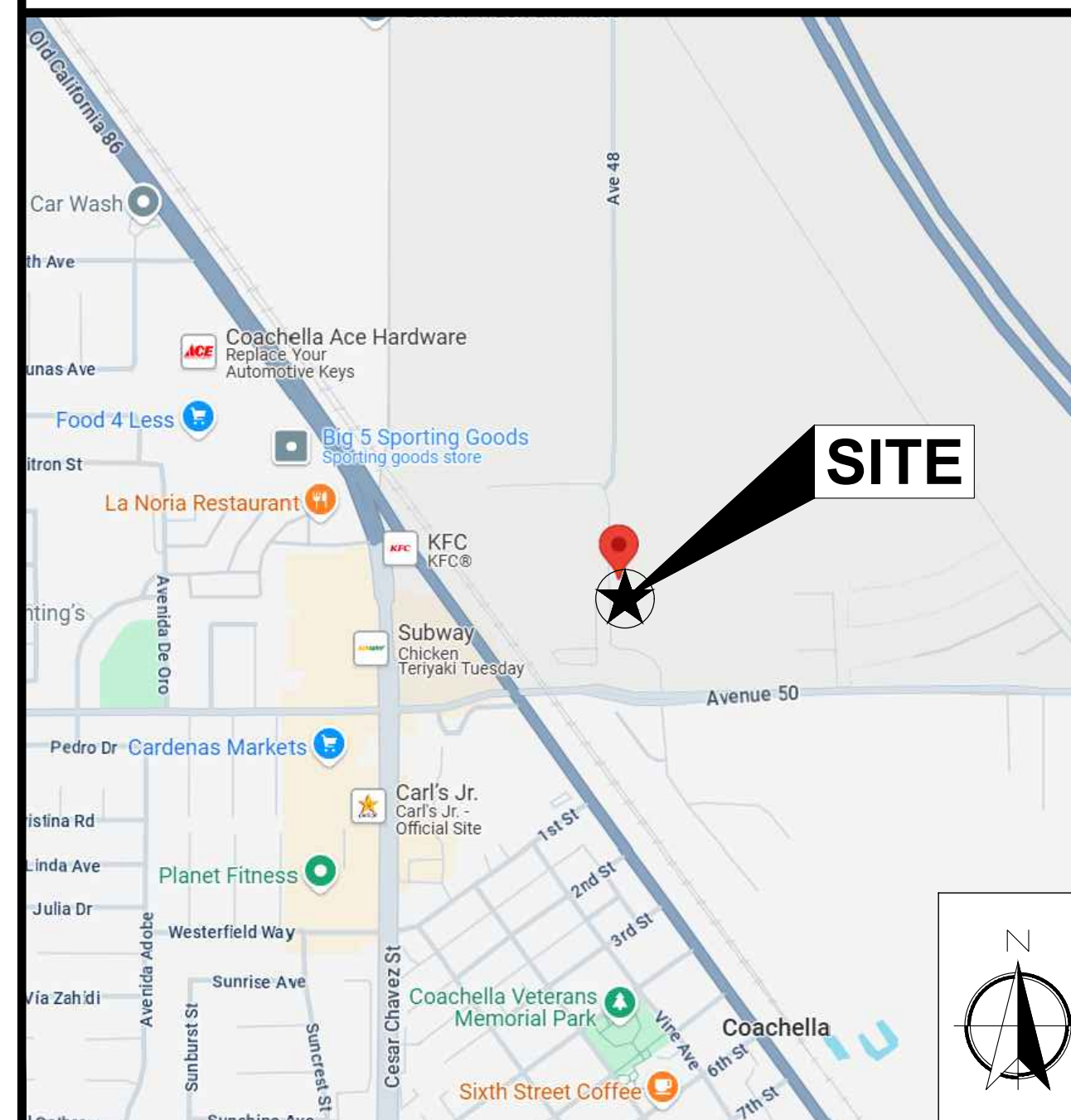
SHEET NUMBER

T-1

SITE INFORMATION

PROPERTY OWNER:	JULIA MOLINAR	TOWER OWNER:	APC TOWERS
PHONE:	TBD	ADDRESS:	8601 SIX FORKS RD SUITE 250
COUNTY:	RIVERSIDE COUNTY	CONTACT:	RALEIGH, NC 27615 ABIGAIL JOHNSON (614) 946-0819 ajohnson@apctowers.com
ZONING JURISDICTION:	CITY OF COACHELLA	TOWER CO SITE ID:	CA-4009
ZONING DISTRICT:	TBD	TOWER APP NUMBER:	--
PARCEL NUMBER:	603-300-013	LATITUDE (NAD 83):	33° 41' 13.13" N 33.686981°
OCCUPANCY GROUP:	U	LONGITUDE (NAD 83):	116° 10' 36.14" W 116.176706°
CONSTRUCTION TYPE:	II-B		
POWER COMPANY:	IID		
TELEPHONE COMPANY:	TWC		
LEASE AREA:	2500 SQFT		

VICINITY MAP



AERIAL VIEW



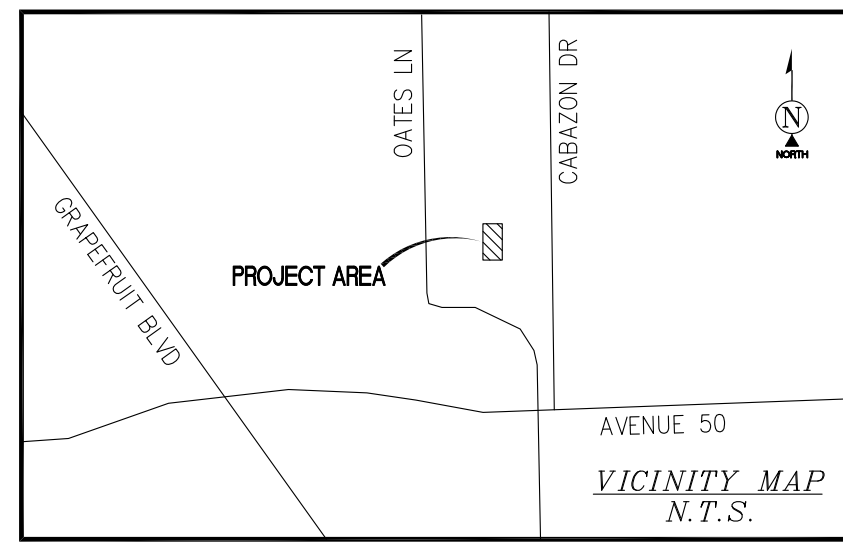
PROJECT TEAM

PROJECT MANAGER: APC TOWERS 8601 SIX FORKS ROAD, SUITE 250 RALEIGH, NC 27615 CONTACT: ABIGAIL JOHNSON PHONE: (919) 346-8799 EMAIL: ajohnson@apctowers.com	SITE ACQUISITION: EUKON GROUP 65 POST, SUITE 1000 IRVINE, CA 92618 CONTACT: JON SILVA PHONE: (714) 393-7963 EMAIL: jon.silvia@eukongroup.com	A&E CONTACT: EUKON GROUP 65 POST, SUITE 1000 IRVINE, CA 92618 CONTACT: RICH BRUNET PHONE: (949) 899-5597 EMAIL: rich.brUNET@eukongroup.com
RF ENGINEER: -	ZONING: EUKON GROUP 65 POST, SUITE 1000 IRVINE, CA 92618 CONTACT: JERRY AMBROSE PHONE: (805) 637-7407 EMAIL: jambrose@wireless01.com	CONSTRUCTION: -

DRIVING DIRECTIONS

DIRECTIONS FROM HARRY REID INTERNATIONAL AIRPORT AT 5757 WAYNE PROPOSEDTON BLVD, LAS VEGAS, NV 89119

- HEAD EAST ON KIRK DOUGLAS WAY TOWARD E BARISTO RD
- TURN LEFT ONTO RAMON RD
- SLIGHT RIGHT TO MERGE ONTO I-10 E TOWARD INDO
- MERGE ONTO I-10 E
- TAKE EXIT 145 FOR CALIFORNIA 86 S TOWARD BRAWLEY/EL CENTRO
- CONTINUE ON CA-86 S. DRIVE TO OATES LN IN COACHELLA
- CONTINUE ONTO CA-86 S
- TURN RIGHT ONTO AVENUE 50/TYLER ST
- CONTINUE TO FOLLOW AVENUE 50
- TURN RIGHT ONTO OATES LN
- DESTINATION WILL BE ON THE RIGHT



SURVEY DATE

06/16/2025

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE SIX STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983(2011) (EPOCH 2019.25), DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

BENCHMARK

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 18" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE "SMARTNET" REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

GRID-TO-GROUND SCALE FACTOR NOTE

ALL BEARINGS AND DISTANCES ARE BASED ON THE CALIFORNIA SIX STATE PLANE COORDINATE ZONE GRID. TO DERIVE GROUND DISTANCES DIVIDE BY 0.99998134

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06065C2260H, DATED 03/06/2008

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTES

CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS AND FOLLOW THE CURRENT NATIONAL MAP STANDARDS FOR VERTICAL ACCURACY.

THE BOUNDARY LINES SHOWN HEREON ARE BASED ON MAPS OF RECORD AND DEED INFORMATION AS PROVIDED BY A TITLE REPORT AND A SEARCH OF THE COUNTY RECORDER AND SURVEYOR ONLINE DATABASE. A FIELD SURVEY HAS BEEN PERFORMED AND MONUMENTATION HAS BEEN RECOVERED TO PLACE THE RECORD INFORMATION. RECORD BEARINGS HAVE BEEN ADJUSTED TO THE BASIS OF BEARING STATEMENT SHOWN ON THIS SURVEY. THIS SURVEY DOES NOT MAKE ANY ATTEMPT TO RECONCILE ANY ERRORS IN THE RECORD MAPS OR DEEDS OF RECORD.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

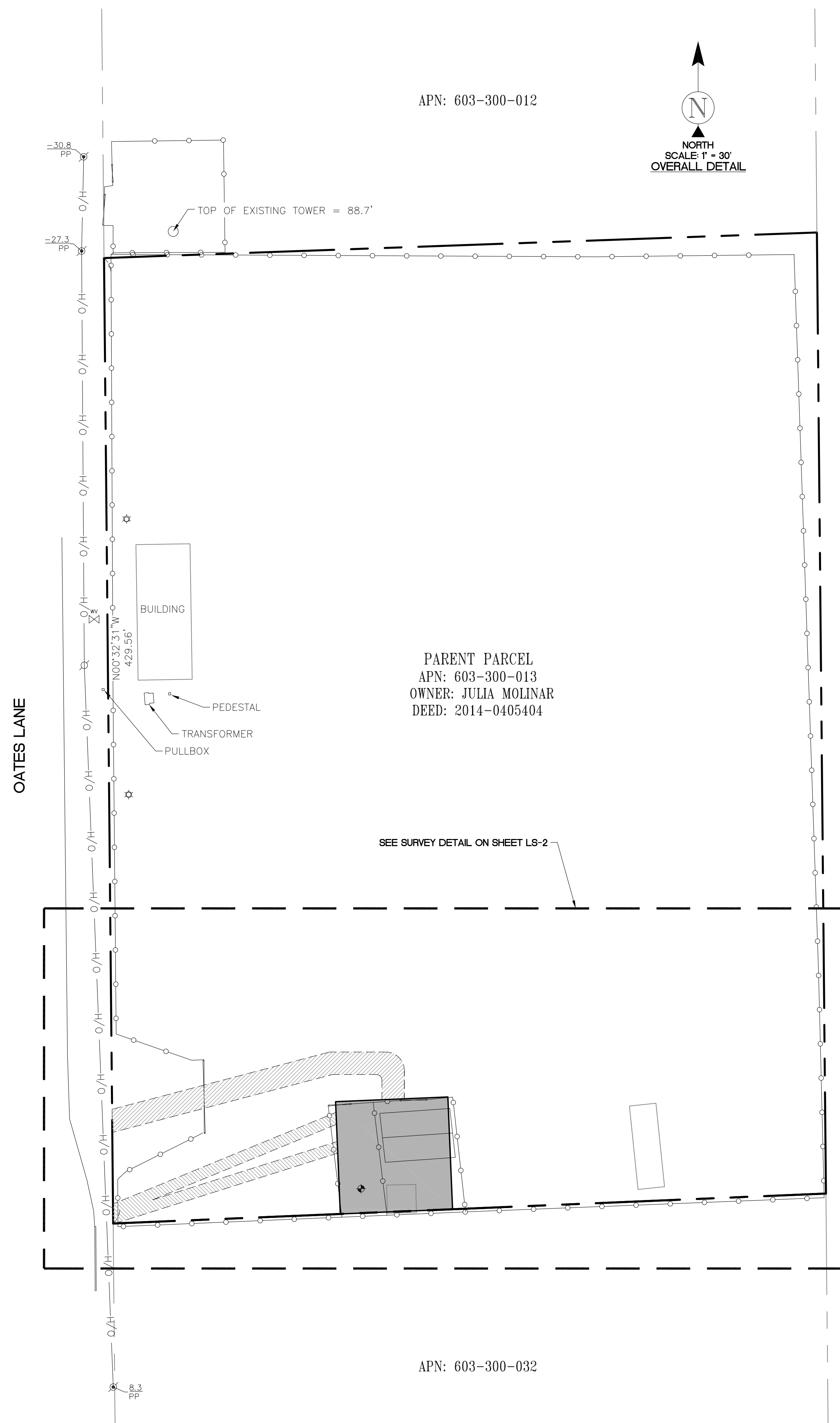
SCHEDULE "B" NOTE

REFERENCE IS MADE TO THE TITLE REPORT ORDER #01-25004543-01T, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED JANUARY 28, 2025. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

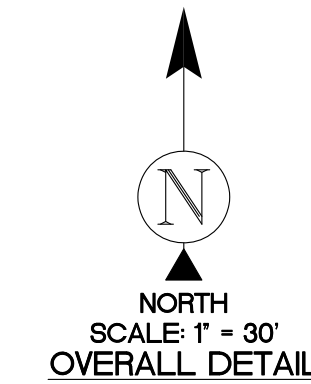
ITEMIZED NOTES:

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART 1 REQUIREMENTS ARE MET. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- FACTS WHICH WOULD BE DISCLOSED BY A COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- RIGHTS OR CLAIMS OF PARTIES IN POSSESSION. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- MECHANICS', CONTRACTORS' OR MATERIAL MEN'S LIENS AND LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- ANY CHANGES IN TITLE OCCURRING SUBSEQUENT TO THE EFFECTIVE DATE OF THIS COMMITMENT AND PRIOR TO THE DATE OF ISSUANCE OF THE TITLE POLICY. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- TAXES AND SPECIAL ASSESSMENTS FOR CURRENT TAX YEAR AND ALL SUBSEQUENT YEARS. (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- A. UNPATENTED MINING CLAIMS.
B. RESERVATIONS OR EXCEPTION IN PATENTS, OR ACTS AUTHORIZING THE ISSUANCE THEREOF.
C. WATER RIGHTS, CLAIMS, OR TITLE TO WATER, WHETHER OR NOT THE MATTERS EXCEPTED UNDER (A), (B), OR (C) ARE SHOWN BY THE PUBLIC RECORDS (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- ANY CLAIM TO (A) OWNERSHIP OF OR RIGHTS TO MINERALS AND SIMILAR SUBSTANCES, INCLUDING BUT NOT LIMITED TO ORES, METALS, COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND, AND GRAVEL LOCATED IN, ON, OR UNDER THE LAND OR PRODUCED FROM THE LAND, WHETHER SUCH OWNERSHIP OR RIGHTS ARISE BY LEASE, GRANT, EXCEPTION, CONVEYANCE, RESERVATION, OR OTHERWISE; AND (B) ANY RIGHTS, PRIVILEGES, IMMUNITIES, RIGHTS OF WAY, AND EASEMENTS ASSOCIATED THEREWITH OR APPURTENANT THERETO, WHETHER OR NOT THE INTERESTS OR RIGHTS EXCEPTED IN (A) OR (B) APPEAR IN THE PUBLIC RECORDS OR ARE SHOWN IN SCHEDULE B (THE EXCEPTION IS A STANDARD EXCEPTION AND NOT THE TYPE TO BE DEPICTED HEREON)
- SUBJECT TO EASEMENT AND RIGHTS OF WAY, IF ANY, AS SHOWN ON THE PARCEL MAP NO. 3, AS RECORDED ON 07/24/1972, IN PLAT BOOK 5, PAGE 61, F THE RIVERSIDE COUNTY RECORDS. (NOTHING TO PLOT)
- SUBJECT TO TERMS AND CONDITIONS OF STATEMENT OF REDEVELOPMENT PROCEEDINGS RECORDED 07/10/2007 AS DOCUMENT NO. 2007-0449637 O THE RIVERSIDE COUNTY RECORDS. (BLANKET IN NATURE-AFFECTS THE LEASE AND EASEMENT AREAS)
- SUBJECT TO TERMS AND CONDITIONS OF WQMP COVENANT AND AGREEMENT, WATER QUALITY MANAGEMENT PLAN AND URBAN RUNOFF BMP TRANSFER, ACCESS AND MAINTENANCE AGREEMENT, BY AND BETWEEN JULIA MOLINAR AND THE CITY OF COACHELLA, RECORDED 03/20/2017, AS DOCUMENT NO. 2017-0111945 OF THE RIVERSIDE COUNTY RECORDS. (BLANKET IN NATURE-AFFECTS THE LEASE AND EASEMENT AREAS)

LEGEND			
AP	ASPHALT	○	UTILITY POLE
BLDG	TOP OF BUILDING	☆	LIGHT POLE
FENCE	TOP OF FENCE	⊙	POSITION OF GEODETIC COORDINATES
FC	FACE OF CURB	▲	SPOT ELEVATION
LP	LIGHT POLE		
NG	NATURAL GRADE		
PP	TOP OF UTILITY POLE		
PEAK	BUILDING PEAK		
P.O.B.	POINT OF BEGINNING		
P.O.C.	POINT OF COMMENCEMENT		
P.O.T.	POINT OF TERMINUS		
○-○-○	CHAIN LINK FENCE		
—	CURBLINES		
—	EXISTING BUILDINGS		
— O/H —	OVERHEAD LINES		
—	STREET CENTERLINES		
—	SUBJECT PROPERTY LINE		
—	ADJACENT PROPERTY LINE		
—	EASEMENT LINES		
—	TIE LINES		
—	LEASE AREA LIMITS		
—	MAJOR CONTOUR INTERVAL		
—	MINOR CONTOUR INTERVAL		



APN: 603-300-012



APN: 603-300-029

PARENT PARCEL
APN: 603-300-013
OWNER: JULIA MOLINAR
DEED: 2014-0405404

SEE SURVEY DETAIL ON SHEET LS-2

APN: 603-300-032



8601 SIX FORKS ROAD, SUITE 250
RALEIGH, NC 27615
PHONE: (919) 926-9838
WWW.APCTOWERS.COM

PROJECT INFORMATION:

CA-4009
STARFRUIT
49640 OATES LANE
COACHELLA, CA 92236
RIVERSIDE COUNTY

ORIGINAL ISSUE DATE:

06/19/2025

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	06/19/25	PRELIM SUBMITTAL	AC
0	07/25/25	DESIGN (C)	CK
1	01/19/26	REVISE DESIGN (C)	CK

SURVEY PREPARED BY:

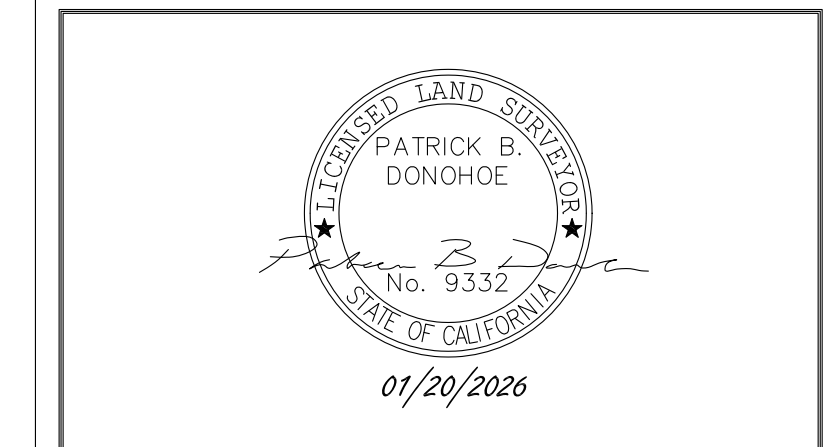
428 MAIN STREET
SUITE 206
HUNTINGTON BEACH, CA 92648
PH. (480) 659-4072
www.ambitconsulting.us

CONSULTANT:

DRAWN BY: CHK.: APV.:

AC	PD(1)	PD
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LICENSER:



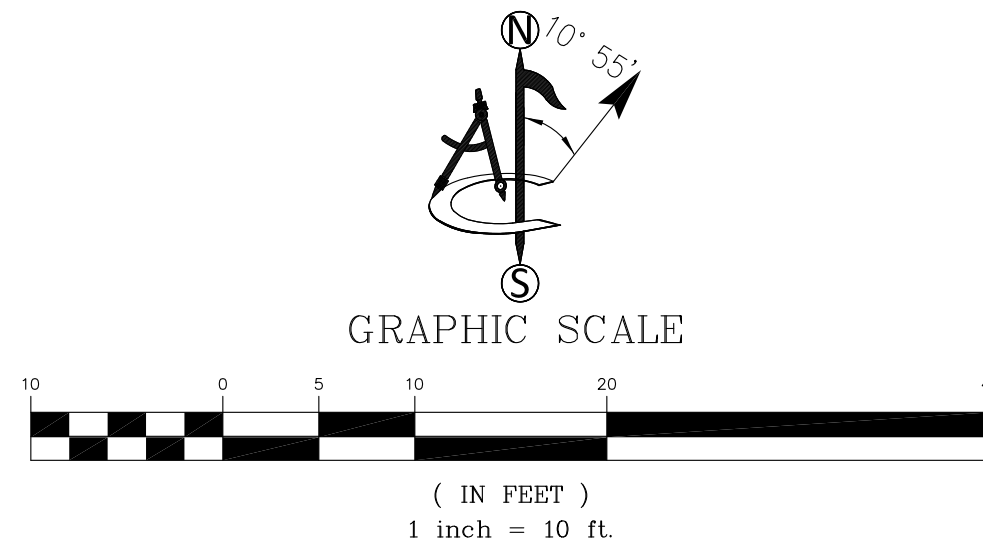
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SITE SURVEY

SHEET NUMBER:

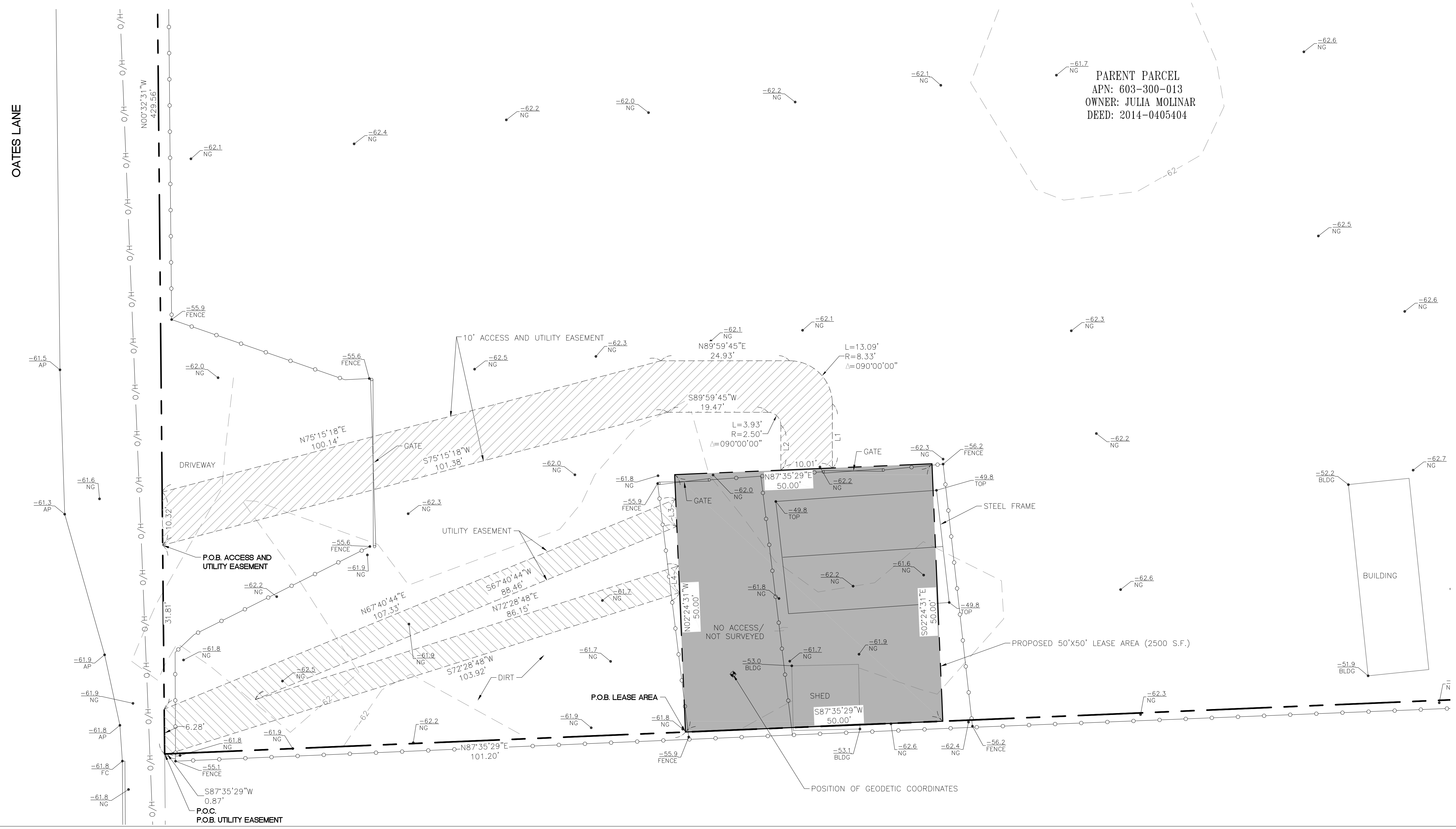
LS-1

LINE TABLE		
LINE#	LENGTH	DIRECTION
L1	12.48'	S00°00'15"E
L2	8.73'	N00°00'15"W
L3	5.32'	S02°24'31"E
L4	5.16'	S02°24'31"E



POSITION OF GEODETIC COORDINATES
 LATITUDE 33° 41' 13.13" (33.686981) NORTH (NAD83)
 LONGITUDE 116° 10' 36.14" (116.176706) WEST (NAD83)
 GROUND ELEVATION @ -61.8' (NAVD88)

LEGEND			
AP	ASPHALT	○	UTILITY POLE
BLDG	TOP OF BUILDING	☆	LIGHT POLE
FENCE	TOP OF FENCE	⬢	POSITION OF GEODETIC COORDINATES
FC	FACE OF CURB	⊙	SPOT ELEVATION
LP	LIGHT POLE	—	CHAIN LINK FENCE
NG	NATURAL GRADE	—	CURBLINES
PP	TOP OF UTILITY POLE	—	EXISTING BUILDINGS
PEAK	BUILDING PEAK	—	OVERHEAD LINES
P.O.B.	POINT OF BEGINNING	—	STREET CENTERLINES
P.O.C.	POINT OF COMMENCEMENT	—	SUBJECT PROPERTY LINE
P.O.T.	POINT OF TERMINUS	—	ADJACENT PROPERTY LINE
		—	EASEMENT LINES
		—	TIE LINES
		—	LEASE AREA LIMITS
		—	MAJOR CONTOUR INTERVAL
		—	MINOR CONTOUR INTERVAL



APC Towers
 8601 SIX FORKS ROAD, SUITE 250
 RALEIGH, NC 27615
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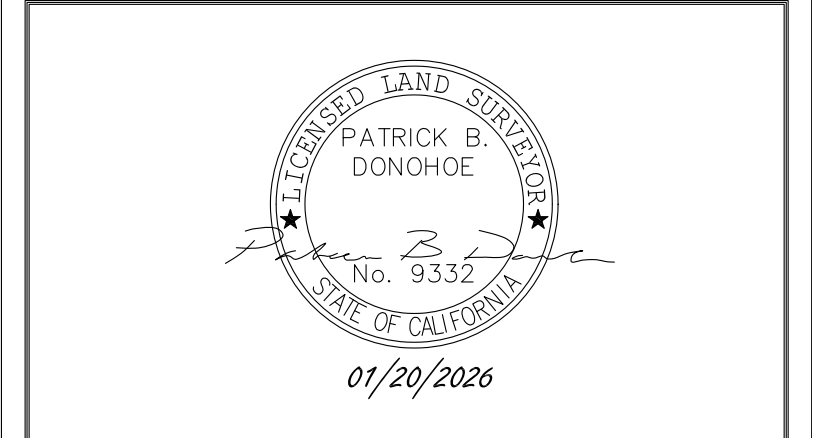
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06/19/2025

REV.	DATE	DESCRIPTION	BY
A	06/19/25	PRELIM SUBMITTAL	AC
0	07/25/25	DESIGN (C)	CK
1	01/19/26	REVISE DESIGN (C)	CK

SURVEY PREPARED BY:

 428 MAIN STREET
 SUITE 206
 HUNTINGTON BEACH, CA 92648
 PH. (480) 659-4072
 www.ambitconsulting.us

CONSULTANT:
 DRAWN BY: AC CHK.: PD(1) APV.: PD



SHEET TITLE:
SURVEY DETAIL

SHEET NUMBER:
LS-2



8601 SIX FORKS ROAD, SUITE 250
 RALEIGH, NC 27615
 PHONE: (919) 926-9838
 WWW.APCTOWERS.COM

PROJECT INFORMATION:

CA-4009
STARFRUIT
 49640 OATES LANE
 COACHELLA, CA 92236
 RIVERSIDE COUNTY

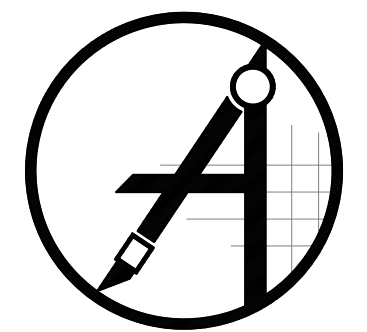
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REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
A	06/19/25	PRELIM SUBMITTAL	AC
0	07/25/25	DESIGN (C)	CK
1	01/19/26	REVISE DESIGN (C)	CK

SURVEY PREPARED BY:



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ambit consulting

CONSULTANT:

DRAWN BY: CHK.: APV.:

AC	PD(1)	PD
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LICENSER:



SHEET TITLE:

NOTES

SHEET NUMBER:

LS-3

LESSOR'S LEGAL DESCRIPTION (PER TITLE)

THE REAL PROPERTY IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS:

PARCEL 4 OF PARCEL MAP NO. 3, AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 61 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

TAX ID: 603-300-013

BEING THE SAME PROPERTY CONVEYED TO JULIA MOLINAR, A SINGLE WOMAN, GRANTEE; FROM MELVIN L. CURCI AND CAROLYN S. CURCI, TRUSTEES OF THE CURCI INTERVIVOS TRUST, DATED MAY 31, 1985, GRANTOR, BY DEED RECORDED 10/24/2014, AS DOCUMENT # 2014-0405404 OF THE COUNTY RECORDS.

LEASE AREA LEGAL DESCRIPTION

A PORTION OF PARCEL 4 OF PARCEL MAP NO. 3, AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 61 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL 4, FROM WHICH THE NORTHWEST CORNER OF SAID PARCEL BEARS NORTH 00°32'31" WEST, 429.56 FEET; THENCE FROM SAID POINT OF COMMENCEMENT NORTH 87°35'29" EAST ALONG THE SOUTH LINE OF SAID PARCEL, 101.20 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 0°24'31" WEST, 50.00 FEET; THENCE NORTH 87°35'29" EAST, 50.00 FEET; THENCE SOUTH 02°24'31" EAST, 50.00 FEET; THENCE SOUTH 87°35'29" WEST, 50.00 FEET TO A POINT ON THE SOUTH LINE OF PARCEL 4 AND THE POINT OF BEGINNING.

CONTAINING 2500 SQUARE FEET (0.057 ACRES) OF LAND, MORE OR LESS.

ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION

A PORTION OF PARCEL 4 OF PARCEL MAP NO. 3, AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 61 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL 4, FROM WHICH THE NORTHWEST CORNER OF SAID PARCEL BEARS NORTH 00°32'31" WEST, 429.56 FEET; THENCE FROM SAID POINT OF COMMENCEMENT NORTH 00°32'31" WEST ALONG THE WEST LINE OF SAID PARCEL, ALSO BEING THE EASTERLY RIGHT OF WAY OF OATES LANE, 38.09 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 00°32'31" WEST ALONG SAID RIGHT OF WAY, 10.32 FEET; THENCE DEPARTING SAID RIGHT OF WAY NORTH 75°15'18" EAST, 100.14 FEET; THENCE NORTH 89°59'45" EAST, 24.93 FEET TO A POINT OF TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 8.33 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 13.09 FEET; THENCE SOUTH 00°00'15" EAST, 12.48 FEET; THENCE SOUTH 87°35'29" WEST, 10.01 FEET; THENCE NORTH 00°00'15" WEST, 8.73 FEET TO A POINT OF TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 2.50 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 3.93 FEET; THENCE SOUTH 89°59'45" WEST, 19.47 FEET; THENCE SOUTH 75°15'18" WEST, 101.38 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY OF OATES LANE AND THE POINT OF BEGINNING.

UTILITY EASEMENT LEGAL DESCRIPTION

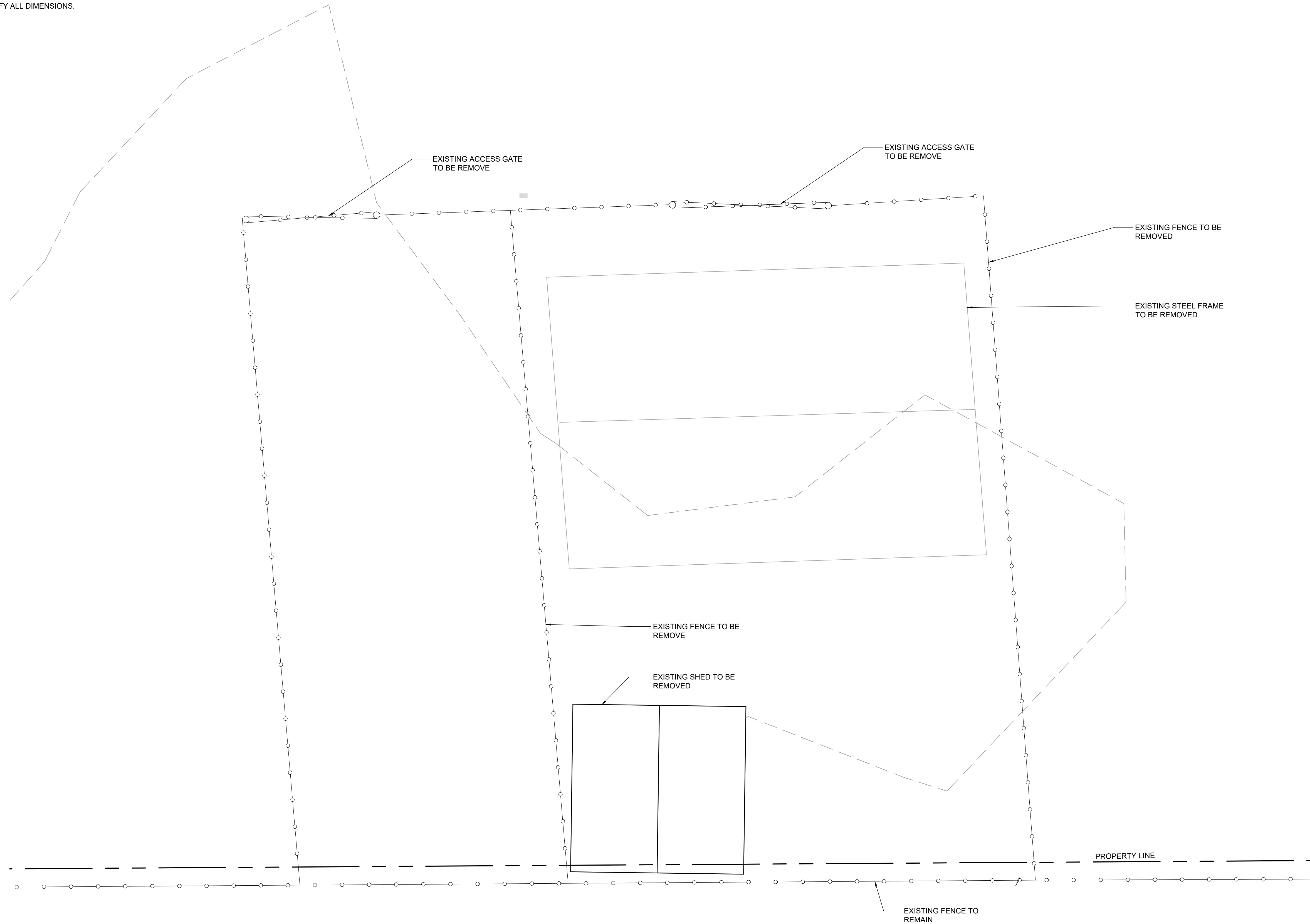
A PORTION OF PARCEL 4 OF PARCEL MAP NO. 3, AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 61 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID PARCEL 4, FROM WHICH THE NORTHWEST CORNER OF SAID PARCEL BEARS NORTH 00°32'31" WEST, 429.56 FEET; SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE NORTH 00°32'31" WEST ALONG THE WEST LINE OF SAID PARCEL 4, ALSO BEING THE EASTERLY RIGHT OF WAY OF OATES LANE, 6.28 FEET, THENCE DEPARTING SAID RIGHT OF WAY NORTH 67°40'44" EAST, 107.33 FEET; THENCE SOUTH 02°24'31" EAST, 5.32 FEET; THENCE SOUTH 67°40'44" WEST, 88.46 FEET; THENCE NORTH 72°28'48" EAST, 86.15 FEET; THENCE SOUTH 02°24'31" EAST, 5.16 FEET; THENCE SOUTH 72°28'48" WEST, 103.92 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL; THENCE SOUTH 87°35'29" WEST ALONG SAID SOUTHERLY LINE 0.87 FEET TO THE POINT OF BEGINNING.

NOTES:

1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.



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DRAWN BY:	UTILITIES CHECKED BY:	A&E CHECKED BY:
FG	GD	RB

ZONING DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	07/01/25	90% ZONING DRAWINGS
B	08/28/25	RFDS UPDATE
C	10/13/25	JX COMMENTS
D	12/08/25	PLANING COMMENTS
E	01/15/26	FIRE COMMENTS
F	01/7/26	ENGINEERING COMMENTS

PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

**EXISTING/DEMO
COMPOUND PLAN**

SHEET NUMBER

A-2

EUKON AT&T_90CD_MONOPALM TEMPLATE_V2_11-18-22

ANTENNA SCHEDULE (VERIFY WITH CURRENT RFDS)							
SECTOR	TECHNOLOGY	ANTENNA MODEL	ANTENNA SIZE	ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION CABLE LENGTH	
ALPHA SECTOR	A1	700/850/PCS/AWS	NN-65C-HG-R1B	8'-0"	350°	80'-0"	105'
	A2	L6	AIR3283	4'-0"	350°	80'-0"	105'
	A3	CBAND NR	AIR6419_B77D	2'-6"	350°	80'-0"	105'
	A4	CBRS LTE	AIR3268	1'-10"	350°	80'-0"	105'
	-	-	-	-	-	-	-
BETA SECTOR	B1	700/850/PCS/AWS	NN-65C-HG-R1B	8'-0"	110°	80'-0"	105'
	B2	L6	AIR3283	4'-0"	110°	80'-0"	105'
	B3	CBAND NR	AIR6419_B77D	2'-6"	110°	80'-0"	105'
	B4	CBRS LTE	AIR3268	1'-10"	110°	80'-0"	105'
	-	-	-	-	-	-	-
GAMMA SECTOR	C1	700/850/PCS/AWS	NN-65C-HG-R1B	8'-0"	230°	80'-0"	105'
	C2	L6	AIR3283	4'-0"	230°	80'-0"	105'
	C3	CBAND NR	AIR6419_B77D	2'-6"	230°	80'-0"	105'
	C4	CBRS LTE	AIR3268	1'-10"	230°	80'-0"	105'
	-	-	-	-	-	-	-

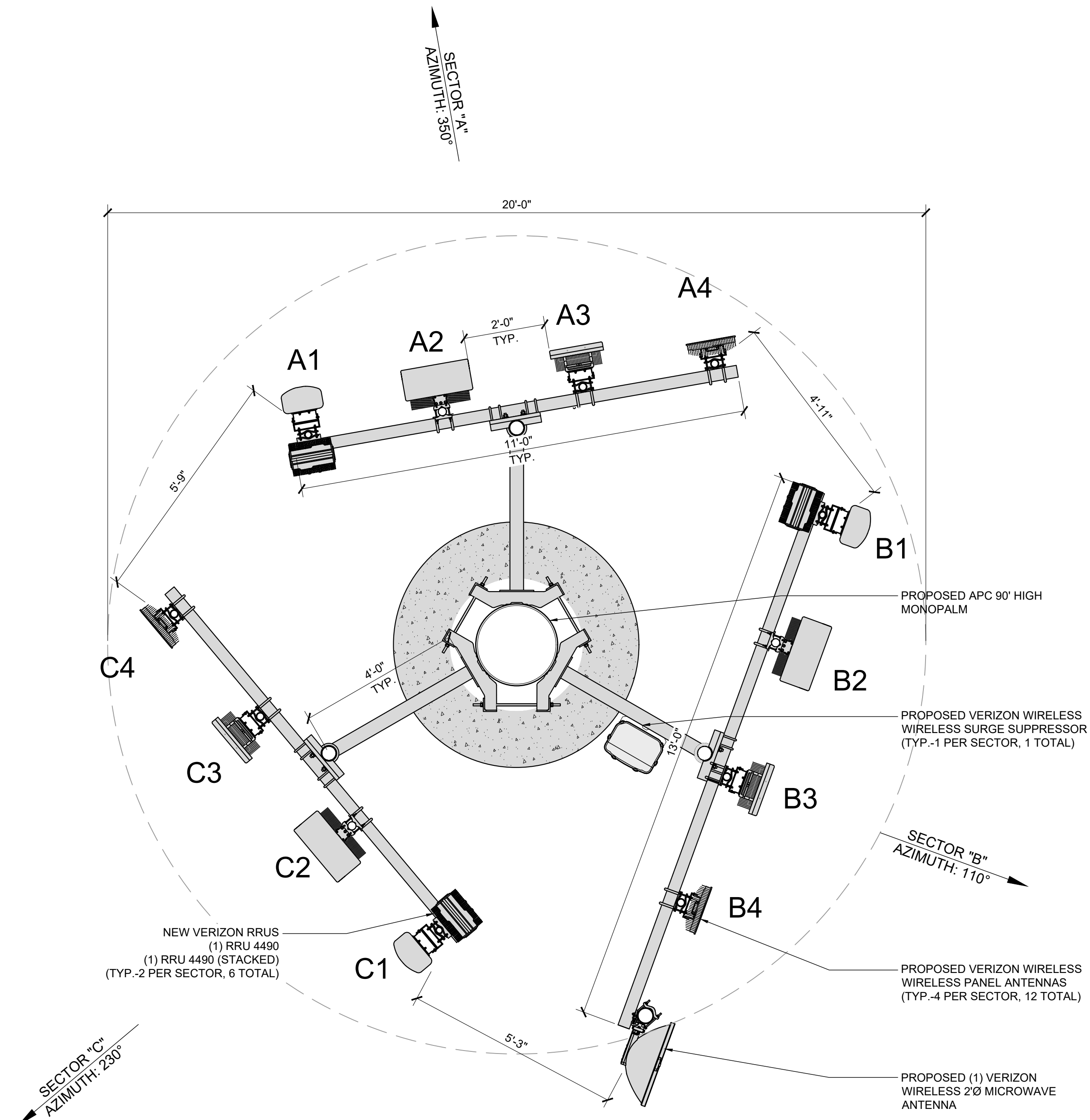
REMOTE RADIO UNIT SCHEDULE						
SECTOR	RRU TYPE	RRU LOCATION (DISTANCE FROM ANTENNA)	MINIMUM CLEARANCES			
			ABOVE	BELOW	SIDES	
ALPHA SECTOR	A1	(1) ERICSSON RRU 4490 B5 / B12	±15'	16"	8" 0"	
	A1	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	A2	(1) ERICSSON RRU 4419 B77D	±15'	16"	8" 0"	
	A3	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	A4					
BETA SECTOR	B1	(1) ERICSSON RRU 4490 B5 / B12	±15'	16"	8" 0"	
	B1	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	B2	(1) ERICSSON RRU 4419 B77D	±15'	16"	8" 0"	
	B3	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	B4					
GAMMA SECTOR	C1	(1) ERICSSON RRU 4490 B5 / B12	±15'	16"	8" 0"	
	C1	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	C2	(1) ERICSSON RRU 4419 B77D	±15'	16"	8" 0"	
	C3	(1) ERICSSON RRU 3283 B25+B66	±15'	16"	8" 0"	
	C4					

NOTES TO CONTRACTOR:

- CONTRACTOR IS TO REFER TO T-MOBILE'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON A VISUAL INSPECTION DURING SITE WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.
- CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).
- CONTRACTOR TO USE CABLES SPECIFIED (OR ENGINEER APPROVED EQUAL).

NOTES:

- IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- FOR ANTENNA AND MW SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS.



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ZONING DRAWINGS

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PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

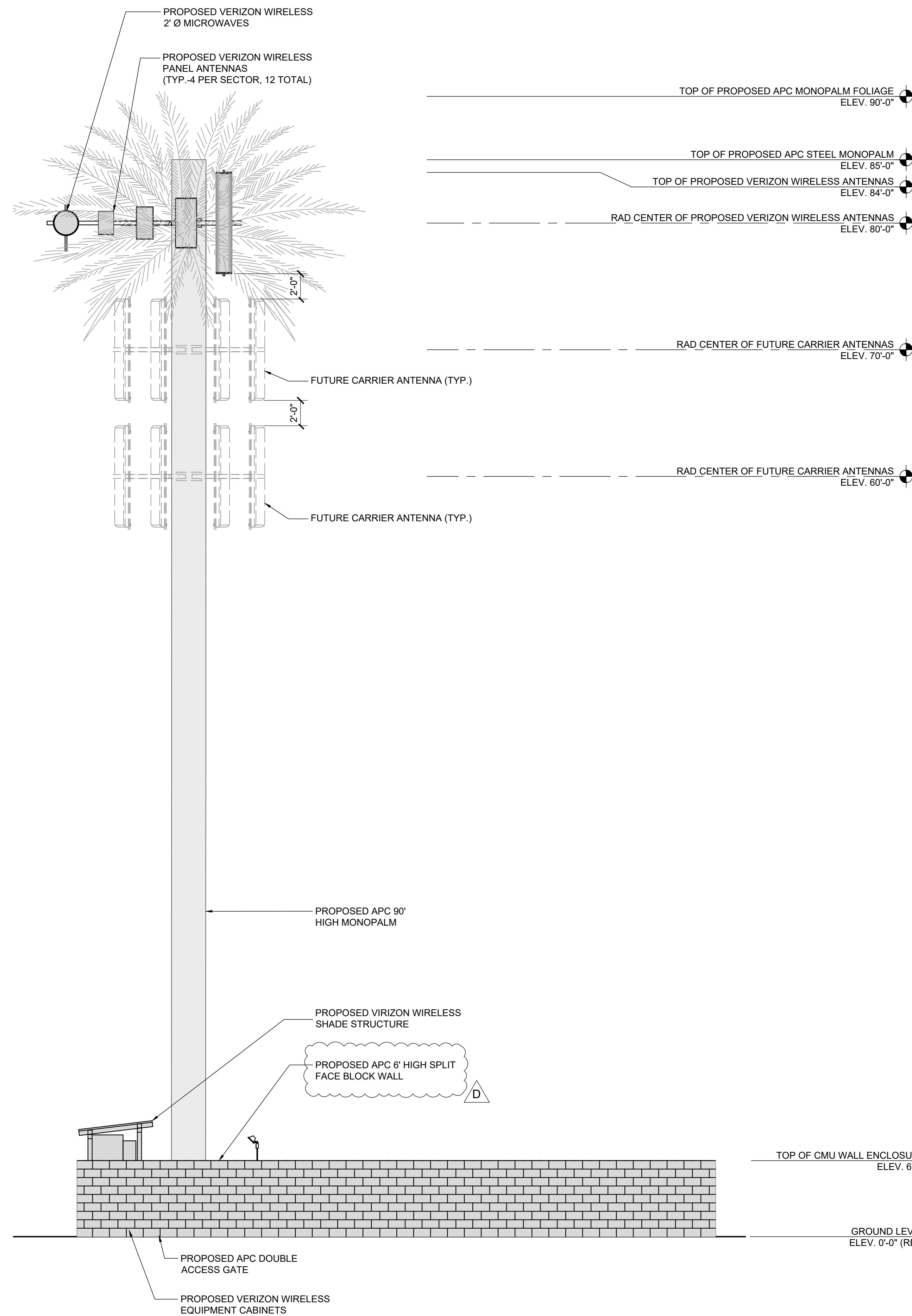
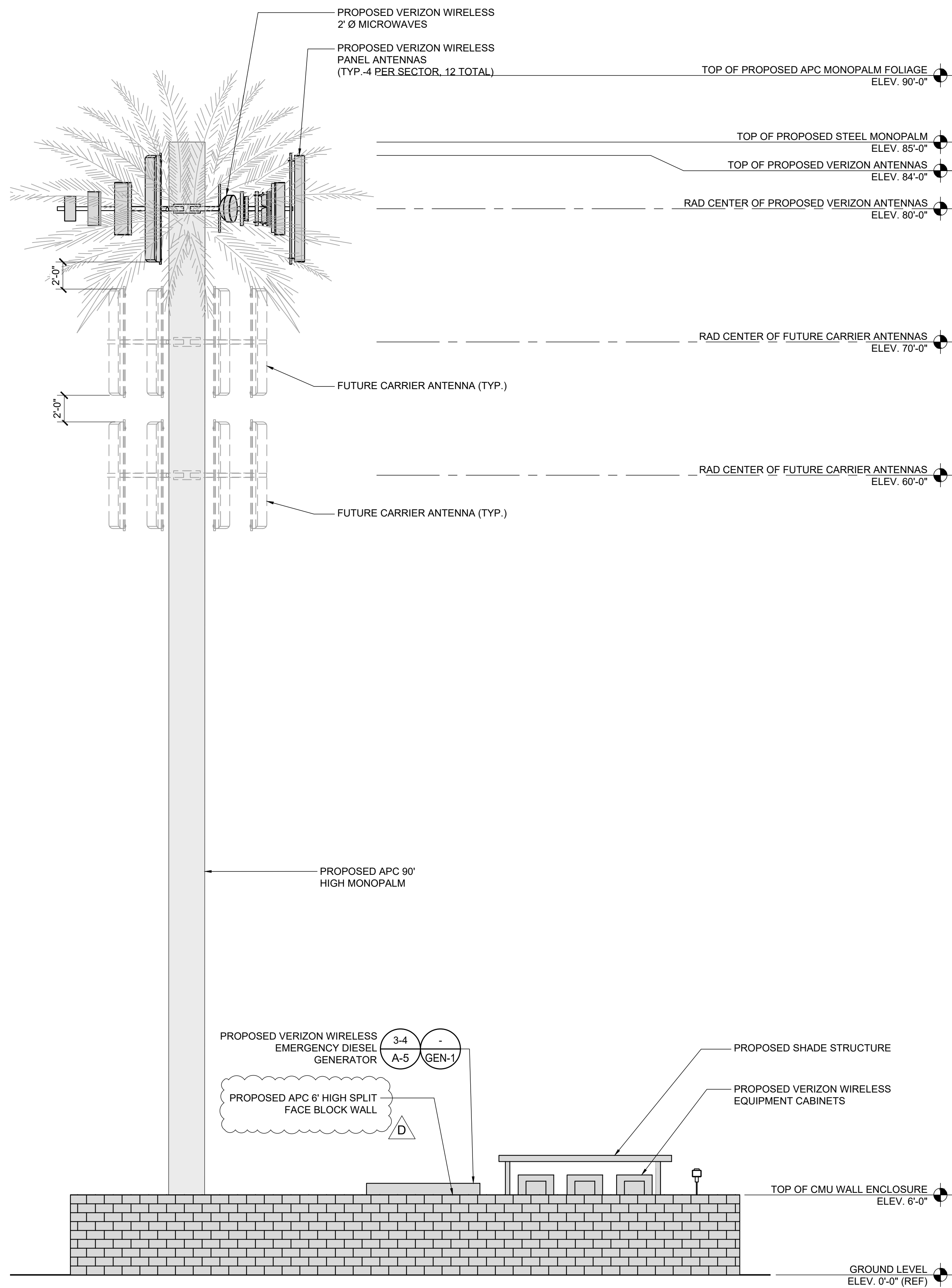
ANTENNA PLAN AND SCHEDULE

SHEET NUMBER

A-3

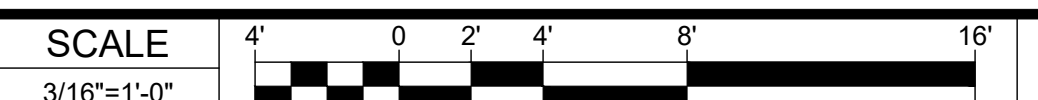
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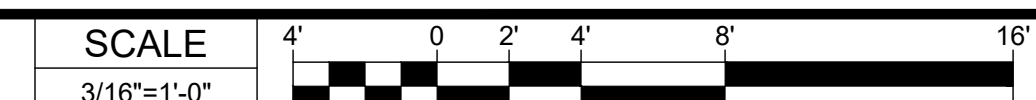


EUKON AT&T_90CD_MONOPALM TEMPLATE_V2_11-18-22

PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION



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PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-4

CONCRETE AND REINFORCING STEEL NOTES:

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION PER CAST-IN-PLACE CONCRETE.

ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE.

REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

- CONCRETE CAST AGAINST EARTH.....3 IN.
- CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER2 IN.
 - #5 AND SMALLER & WWF1 1/2 IN.
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL3/4 IN.
 - BEAMS AND COLUMNS.....1 1/2 IN.

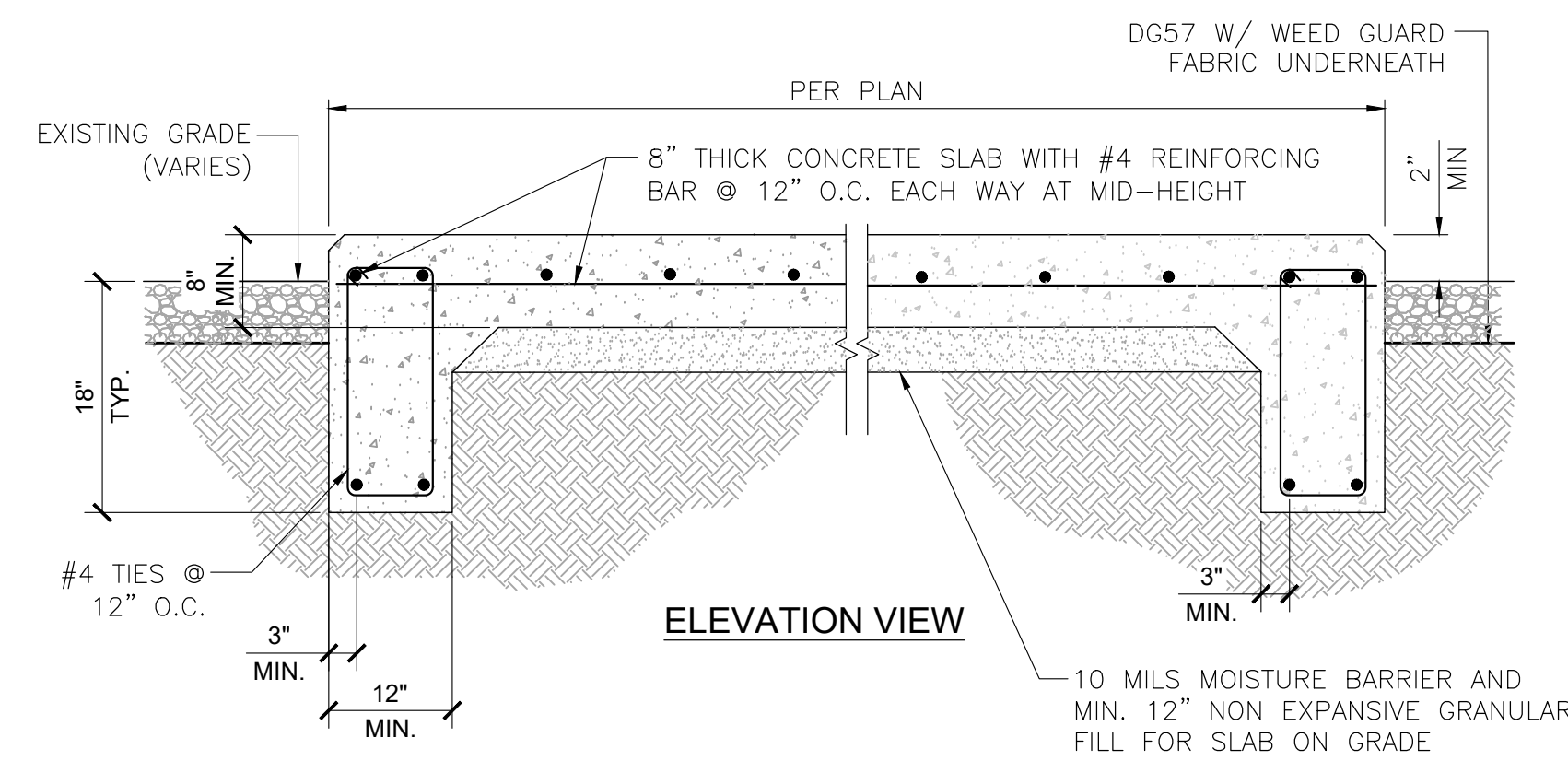
A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL, UNLESS NOTED OTHERWISE.

GRAVEL SHALL BE NATURAL OR CRUSHED STONE WITH 100% PASSING 1 INCH SIEVE.

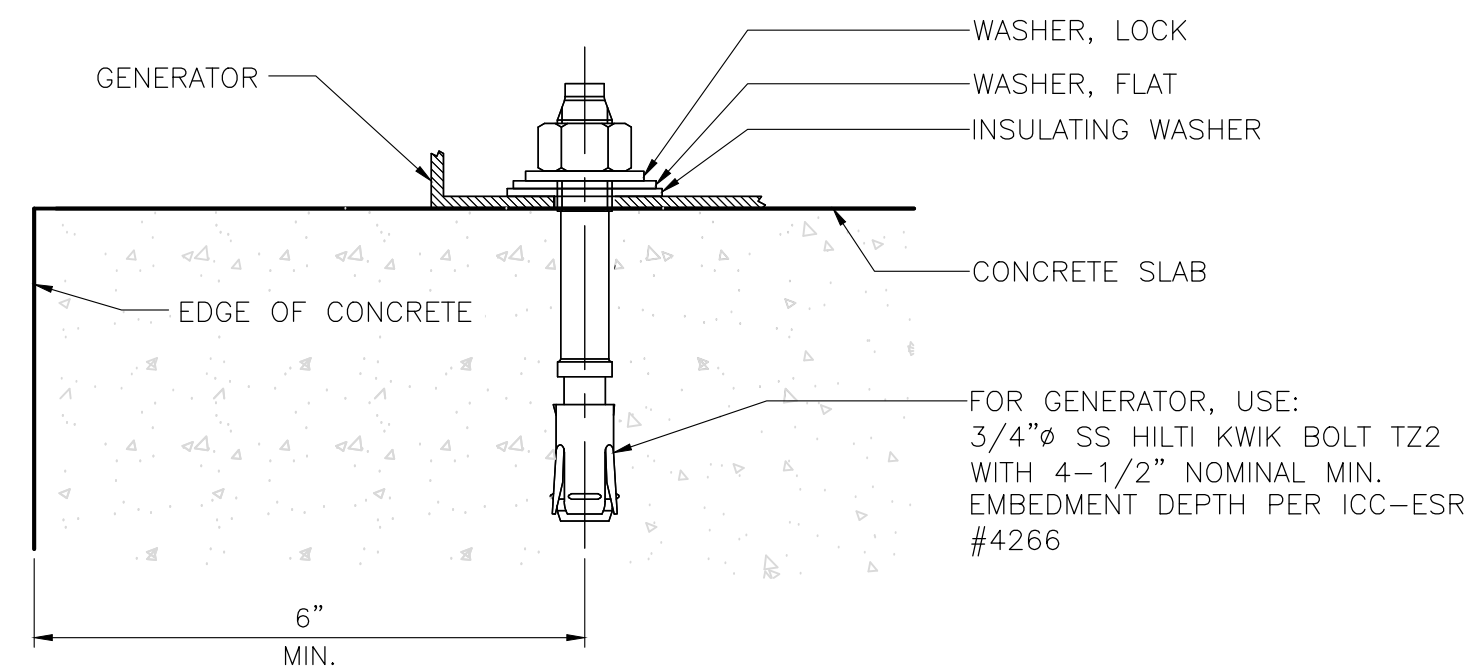
DIMENSIONS SHOWN ARE EXACT MINIMUM PAD SIZES REQUIRED FOR EQUIPMENT LAYOUTS – CONTRACTOR MAY ROUND UP TO THE NEAREST FOOT (OR HALF FOOT) IF LEASE AREA AND SPACE PERMIT.

NOTE:
1. CONTRACTOR SHALL MEET ALL REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT PREPARED BY OTHERS.



CONCRETE SLAB DETAIL

SCALE NONE 4



NOTES:
1. MIN. (4) 3/4" HILTI KWIK BOLT TZ2 (OR EQUIVALENT) PER GENERATOR, UNO.

EQUIPMENT ANCHORAGE DETAIL

SCALE NONE 3



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NOT USED

SCALE NONE 2

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ZONING DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	07/01/25	90% ZONING DRAWINGS
B	08/28/25	RFDS UPDATE
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F	01/7/26	ENGINEERING COMMENTS

PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

EQUIPMENT DETAIL

SHEET NUMBER

A-5

NOT USED

SCALE NONE 1

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FG	CHECKED BY:	GD
		RB

ZONING DRAWINGS

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PROJECT INFORMATION

CA-4009

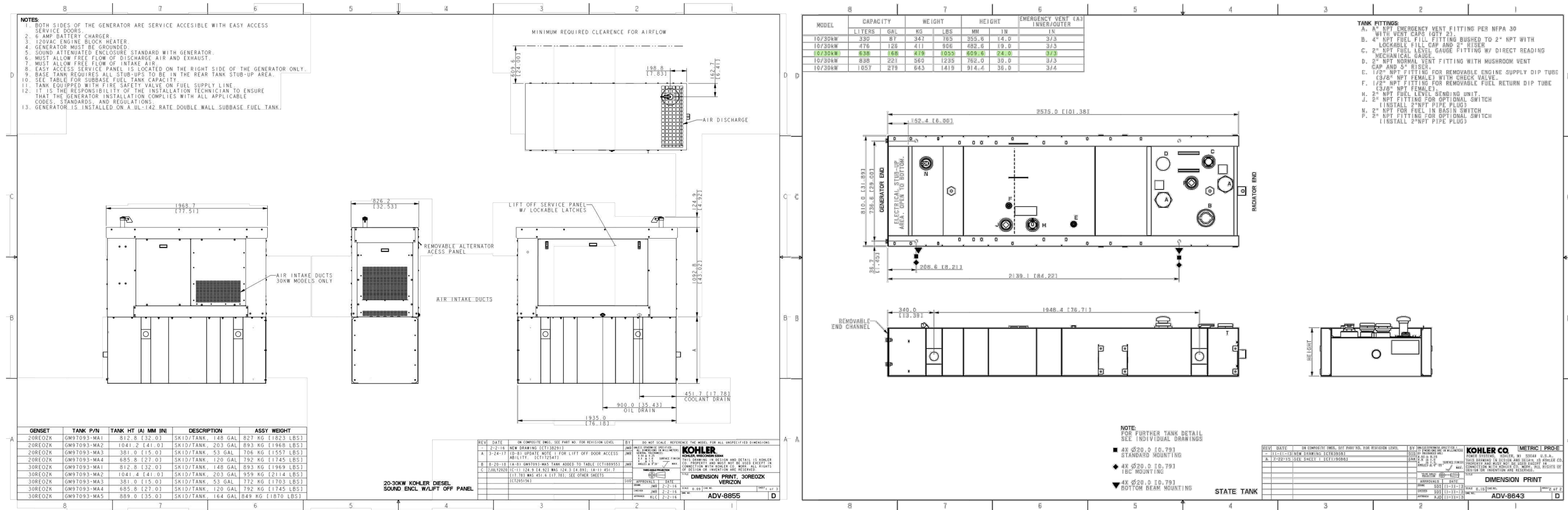
49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

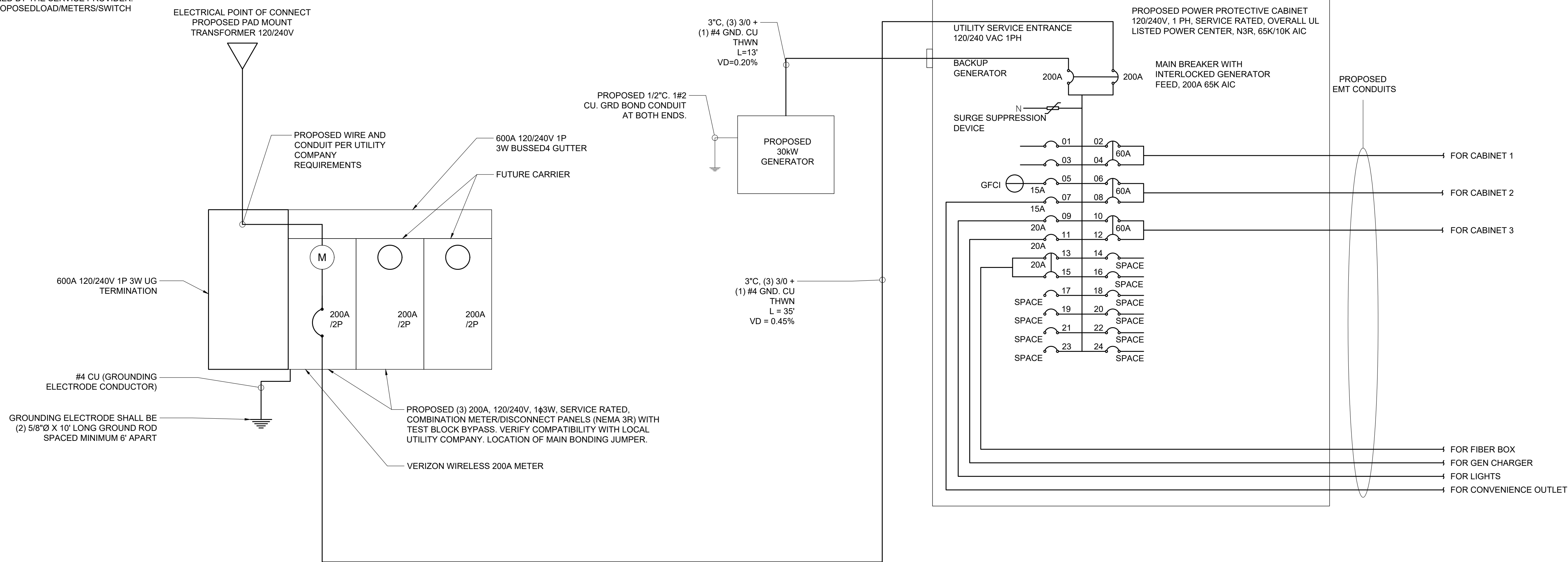
GENERATOR SPECIFICATIONS

SHEET NUMBER

GEN-1



- NOTES:
- FOR WIRING FROM LOAD CENTER TO EQUIPMENT REFER TO DRAWINGS PROVIDED BY MANUFACTURER.
 - FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY MANUFACTURER.
 - AIC RATING FOR NEW METER AND/OR PANEL BOARDS MUST MATCH OR EXCEED THE RATINGS AS DETERMINED BELOW:
- AIC RATING AS REQUIRED BY THE SERVICE PROVIDER.
 - AIC RATINGS AS OF PROPOSED LOAD/METERS/SWITCH GEAR EQUIPMENT.



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ELECTRICAL SINGLE DIAGRAM

SCALE NONE 2

ZONING DRAWINGS

MOUNTING		SURFACE		DOUBLE LUG		NO		VOLTS 120/240		MAIN BUS 200A		200A/2P		WIRE 3		A.I.C. 65K SERIES W/ MAIN			
WIRE SIZE	LOCATION	A	B	L	C	K	R	M	B	C	I	K	M	R	C	L	LOCATION	WIRE SIZE	
10	SURGE SUPPRESSOR	----	----					1	30/2	1	A	2	40/2	1			2880	RECTIFIER	8
10	----	----	----					1	-	3	B	4	-	1			2880	----	8
12	GFI RECEPTACLE	360	----					1	15/1	5	A	6	40/2	1			2880	RECTIFIER	8
12	GFI RECEPTACLE	360	360					1	15/1	7	B	8	-	1			2880	----	8
12	EXTERIOR LIGHT	500	----	1					20/1	9	A	10	40/2	1			2880	RECTIFIER	8
	SPACE	----	----							11	B	12	-	1			2880	----	8
	SPACE	----	----							13	A	14	40/2	1			2880	RECTIFIER	8
	SPACE	----	----							15	B	16	-	1			2880	----	8
	SPACE	----	----							17	A	18	40/2	1			2880	RECTIFIER	8
	SPACE	----	----							19	B	20	-	1			2880	----	8
	SPACE	----	----							21	A	22	40/2	1			2880	RECTIFIER	8
	SPACE	----	----							23	B	24	-	1			2880	----	8
		A= 18140				B= 17640													
		W/LCL A= 18265				W/LCL B= 17640													
		TOTAL VA= 35780		W/LCL= 35905		W/LCL AMPS= 150		TOTAL LCL= 500		X .25 = 125									
		HIGH PHASE VA= 18140		W/LCL= 18265		HIGH PH AMPS= 152		HIGH PHASE LCL= 500		X .25 = 125									
		TOTAL KVA= 35.78		W/LCL= 35.91															

MOUNTING		SURFACE		DOUBLE LUG		NO		VOLTS 120/240		MAIN BUS 200A		200A/2P		WIRE 3		A.I.C. 65K SERIES W/ MAIN			
WIRE SIZE	LOCATION	A	B	L	C	K	R	M	B	C	I	K	M	R	C	L	LOCATION	WIRE SIZE	
10	SURGE SUPPRESSOR	----	----					1	30/2	1	A	2	60/2	1			4320	DELTA ECA CABINET	1
10	----	----	----					1	-	3	B	4	-	1			4320	----	1
12	GFI RECEPTACLE	360	----					1	15/1	5	A	6	60/2	1			4320	DELTA ECA CABINET	1
12	GFI RECEPTACLE	360	360					1	15/1	7	B	8	-	1			4320	----	1
12	EXTERIOR LIGHT	500	----	1					20/1	9	A	10	60/2	1			4320	DELTA ECB CABINET	1
14	CHARGER (GEN)	500	----					1	20/1	11	B	12	-	1			4320	----	1
10	FIBER BOX	750	----					1	20/2	13	A	14	-	1			4320	SPACE	1
10	----	750	----					1	-	15	B	16	-	1			4320	SPACE	1
	SPACE	----	----							17	A	18	-	1			4320	SPACE	1
	SPACE	----	----							19	B	20	-	1			4320	SPACE	1
	SPACE	----	----							21	A	22	-	1			4320	SPACE	1
	SPACE	----	----							23	B	24	-	1			4320	SPACE	1
		A= 14570				B= 14570													
		W/LCL A= 14695				W/LCL B= 14570													
		TOTAL VA= 29140		W/LCL= 29265		W/LCL AMPS= 122		TOTAL LCL= 500		X .25 = 125									
		HIGH PHASE VA= 14570		W/LCL= 14695		HIGH PH AMPS= 122		HIGH PHASE LCL= 500		X .25 = 125									
		TOTAL KVA= 29.14		W/LCL= 29.27															

FUTURE CARRIER(S) PANEL SCHEDULE

SCALE NONE 3

VERIZON PANEL SCHEDULE

SCALE NONE 1

SUBMITTALS		
REV	DATE	DESCRIPTION
A	07/01/25	90% ZONING DRAWINGS
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PROJECT INFORMATION

CA-4009

49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE

**SINGLE-LINE DIAGRAM/AC
PANEL SCHEDULE**

SHEET NUMBER

E-1

NOTES:

1. IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
3. UTILITY DESIGNS AND ROUTES ARE PRELIMINARY PENDING FINAL DESIGN BY UTILITY PROVIDER.
4. THIS SITE PLAN IS NOT INTENDED TO BE A LAND SURVEY.



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SHEET TITLE

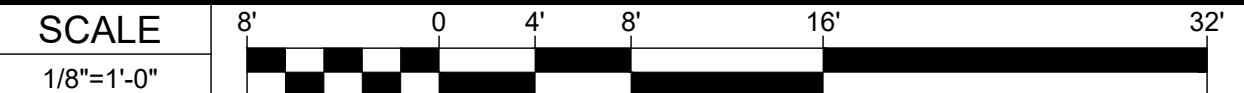
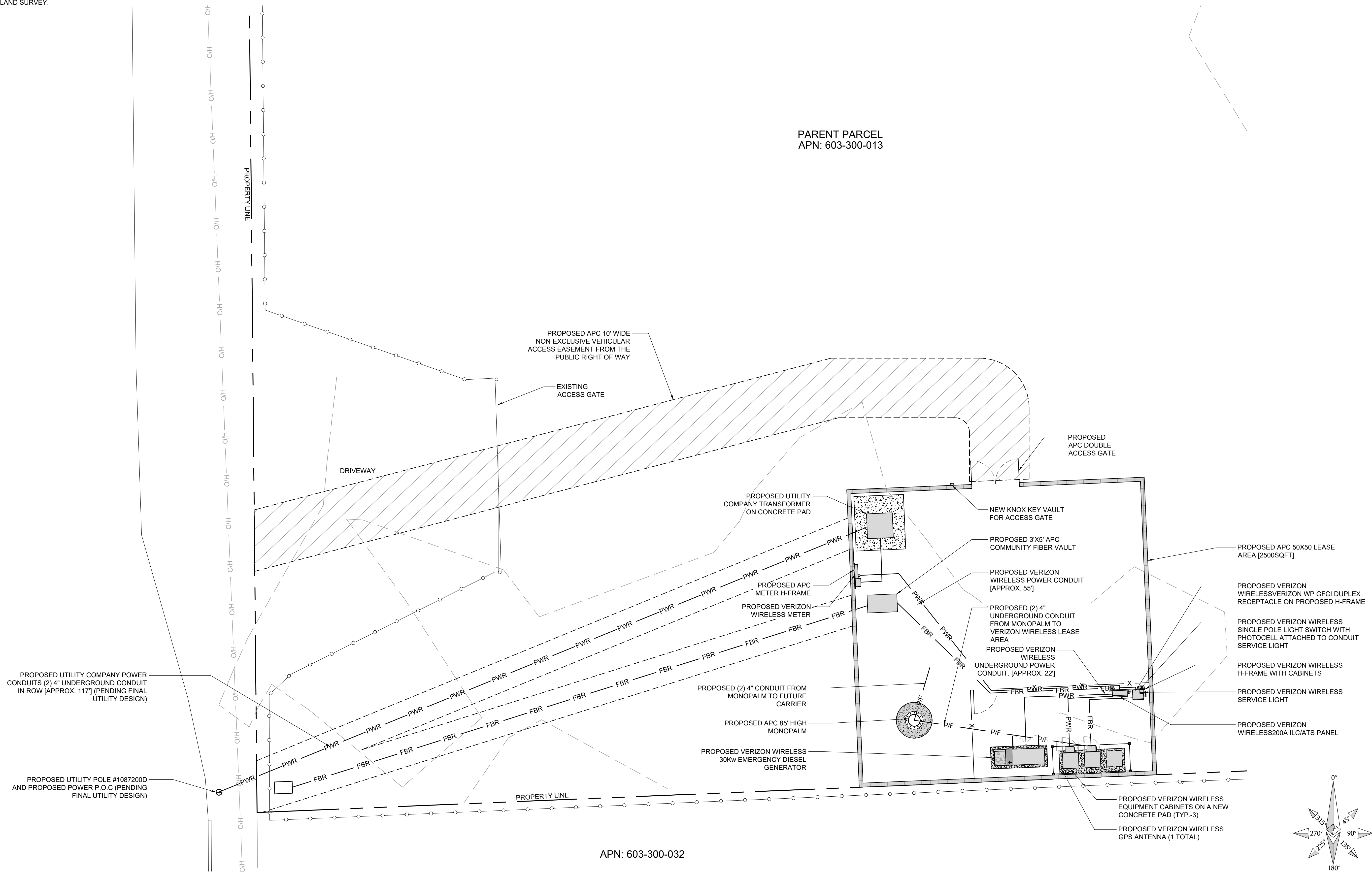
ELECTRICAL SITE PLAN

SHEET NUMBER

E-2

PARENT PARCEL
APN: 603-300-013

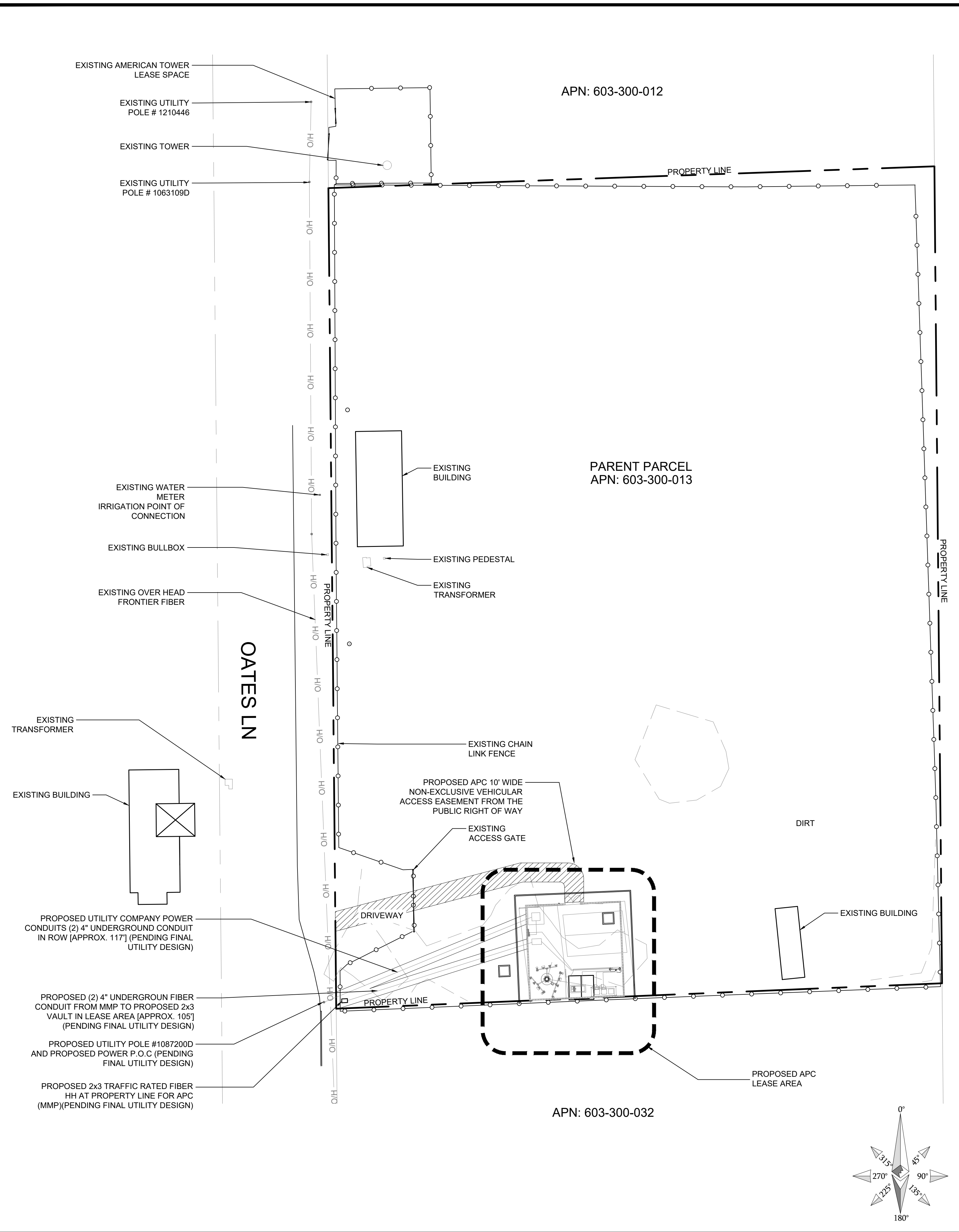
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EUKON_AT&T_90CD_MONOPALM_TEMPLATE_V2_11-18-22

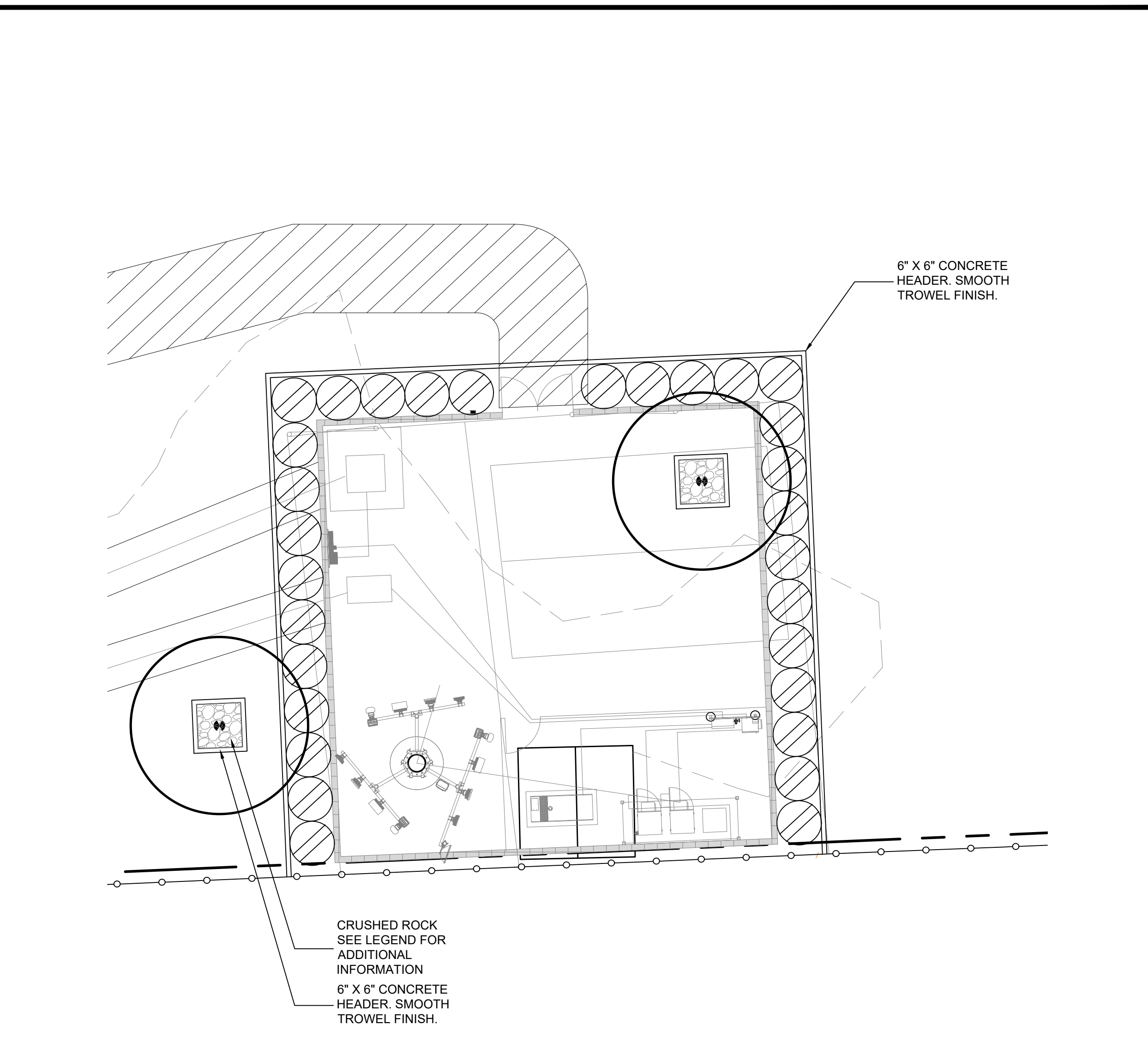
ELECTRICAL SITE PLAN

EUKON AT&T_90CD_MONOPOLE_TEMPLATE_V2_11-18-22



OVERALL SITE PLAN

SCALE 1"=30'-0" 30' 0 15' 30' 60' 120'



PRELIMINARY LANDSCAPE PLAN

PLANT LEGEND

SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WATER USE
REGION 6						
TREES						
	PHOENIX DACTYLIFERA	DATE PALM	25' B.T.H.	2	BROWN TRUNK HEIGHT	MOD
SHRUBS/GROUNDCOVERS						
	LEUCOPHYLLUM LANGMANIAE	CANYON RAIN SAGE	5 GAL.	30	5'-0" O.C.	LOW
	CRUSHED ROCK	PEWTER GREY	1"-3" DIA.	50 S.F.	MIN. 3" LAYER	

PLANTING NOTE

- CRUSHED ROCK SHALL BE PLACED AS SHOWN PER THE PLAN.
- ALL PLANTING AREAS TO RECEIVE LOW VOLUME HIGH EFFICIENCY SPRAY HEADS, BUBBLERS, OR DRIP EMITTERS AND SHALL FOLLOW CITY AND LOCAL AGENCY GUIDELINES. CALCULATIONS FOR WATER EFFICIENCY SHALL BE INCORPORATED INTO CONSTRUCTION DOCUMENT PHASE.

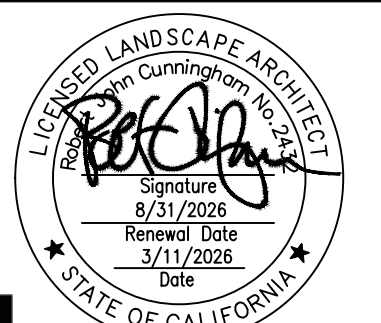
SCALE 1"=10'-0" 10' 0 5' 10' 20' 40'



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RJCLA
Landscape Architects
11 Villanueva
Laguna Hills, CA 92677
(949) 201-8074
rjcla1969@gmail.net

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

DRAWN BY:	CHECKED BY:
mdm	RJC

ZONING DRAWINGS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	12/21/25	90% ZONING DRAWINGS
B	2/6/26	100% ZONING DRAWINGS
C	3/11/26	100% ZONING REVISED

PROJECT INFORMATION
CA-4009
49640 OATES LANE,
COACHELLA, CA 92236

SHEET TITLE
PRELIMINARY LANDSCAPE PLAN

SHEET NUMBER
L-1

PROPERTY INFORMATION

- PROPERTY ADDRESS 49640 OATES LANE, COACHELLA, CA 92236
- PROPERTY OWNER JULIA MOLINAR
- ASSESSORS ID NUMBER(S) 603-300-013

BASIS OF BEARING INFORMATION

BEARING SHOWN HEREON ARE BASED UPON THE CALIFORNIA ZONE SIX STATE PLANE COORDINATE SYSTEM BASED ON THE NORTH AMERICAN DATUM OF 1983 (2011) (EPOCH 2019.25). DETERMINED BY GLOBAL POSITIONING SYSTEM EQUIPMENT ON THE SMARTNET REFERENCE NETWORK.

BENCHMARK INFORMATION

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 18' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

CIVIL ENGINEER INFORMATION

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 EMAIL ERIKWINATA@WINATAINC.COM

GEOTECHNICAL ENGINEER INFORMATION

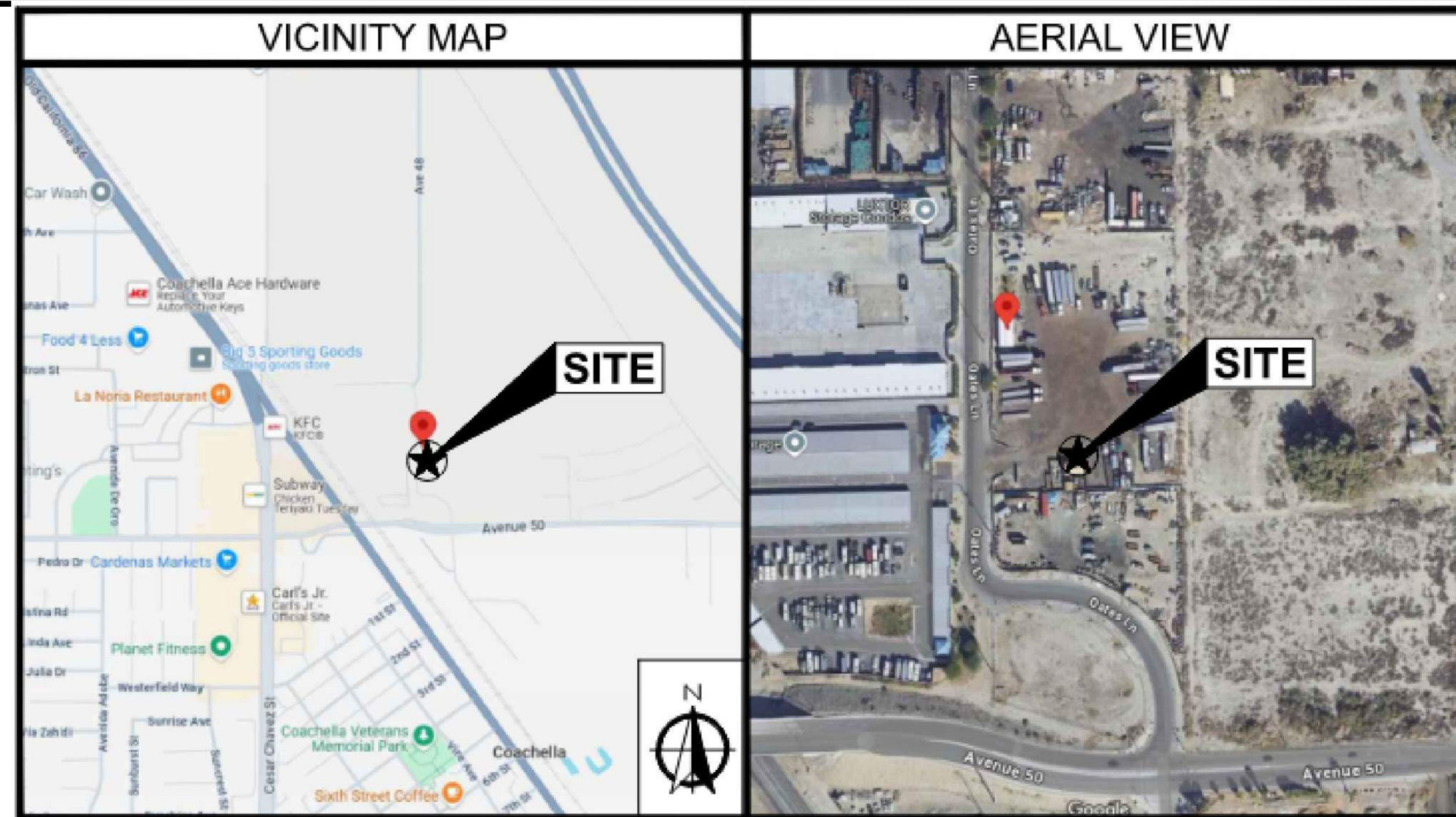
COMPANY
 CONTACT
 ADDRESS

PHONE

SOILS REPORT REFERENCE

NOTE:

EARTHWORK NUMBERS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EARTHWORK NUMBERS.



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DRAWN BY: EW
 CHECKED BY: EW

REVISIONS:

REV	DATE	DESCRIPTION
A	01/26/26	ISSUED FOR PERMITS

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PROJECT INFORMATION:

**APC TOWERS
 STARFRUIT**

CA-4009

49640 OATES LANE
 COACHELLA, CA 92236

SHEET TITLE:

**PROJECT
 INFORMATION**

SHEET NUMBER:

C-1



CITY OF COACHELLA GENERAL CONSTRUCTION NOTES

CITY OF COACHELLA GENERAL NOTES FOR GRADING PLANS

- ALL DESIGN, MATERIALS, AND CONSTRUCTION WORK SHALL CONFORM TO THE CITY OF COACHELLA STANDARD SPECIFICATIONS AND PROCEDURES AND THE CITY OF COACHELLA STANDARD DRAWINGS AND TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), MOST CURRENT EDITIONS AND THESE APPROVED PLANS.
- THE CONTRACTOR SHALL, AT NO EXPENSE TO THE CITY, PROVIDE ALL NECESSARY SAMPLES AND TESTS REQUIRED BY THE CITY TO ASSURE THAT THE QUALITY OF THE MATERIALS AND WORKMANSHIP ARE IN ACCORDANCE WITH THESE PLANS AND SAID SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND SHALL MAINTAIN ALL FACILITIES COMPLETE AND UNCOMPLETED UNTIL ACCEPTED BY THE CITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAR THE RIGHT-OF-WAY IN ACCORDANCE WITH THE PROVISIONS OF LAW AS IT AFFECTS EACH UTILITY INCLUDING IRRIGATION LINES AND APPURTENANCES AT NO COST TO THE CITY.
- THE CONTRACTOR SHALL OBTAIN AND REVIEW ALL NECESSARY STANDARDS, PLANS, AND SPECIFICATIONS IN DETAIL PRIOR TO START OF CONSTRUCTION. ALL DOCUMENTS, INCLUDING APPROVED PLANS AND REFERENCED STANDARDS SHALL BE ON-SITE AT ALL TIMES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY INSPECTOR PRIOR TO WORK IN THAT AREA.
- ALL ELEVATIONS SHOWN TO BE EXISTING FROM RECENT SURVEY OF THE ENGINEER AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- PRIOR TO BEGINNING ANY WORK, CONTRACTOR SHALL SECURE A CITY OF COACHELLA PERMIT FOR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY OF COACHELLA (760) 398-5744, 72 HOURS PRIOR TO STARTING ANY WORK. A PRE-CONSTRUCTION MEETING SHALL BE SET UP WITH THE CITY OF COACHELLA ENGINEERING DEPARTMENT AND ALL AFFECTED UTILITY COMPANIES SHALL BE PRESENT.
- CONTRACTOR SHALL CALL U.S.A., UNDERGROUND SERVICE ALERT, AT 1-800-227-2600 AND SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF CONSTRUCTION.
- OSHA SAFETY ORDERS AND OSHA CONFINED SPACE ENTRY REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES WITHOUT EXCEPTION.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE BY CITY OF COACHELLA IN ACCORDANCE WITH THE CITY OF COACHELLA STANDARD SPECIFICATIONS.
- QUANTITIES SHOWN HEREON ARE FOR ESTIMATE PURPOSES ONLY. NEITHER THE DESIGN ENGINEER NOR THE CITY OF COACHELLA GUARANTEE THE ACCURACY OR COMPLETENESS OF THE CONSTRUCTION QUANTITIES.
- CONTRACTOR SHALL CONFORM TO LABOR CODE SECTION 6705 BY SUBMITTING A DETAIL PLAN TO THE CITY ENGINEER SHOWING THE DESIGN OF SHORING, BRACING, SLOPING, OR OTHER PROVISIONS TO BE MADE FOR PROTECTION OF WORKERS FROM THE HAZARD OF CAVING GROUND DURING TRENCH EXCAVATION AND PIPE INSTALLATION THEREIN. THIS PLAN MUST BE PREPARED FOR ALL TRENCHES FIVE FEET OR MORE IN DEPTH. IF THE PLAN VARIES FROM THE SHORING SYSTEM STANDARDS ESTABLISHED BY THE CONSTRUCTION SAFETY ORDERS, TITLE 8, CALIFORNIA ADMINISTRATIVE CODE, THE PLAN SHALL BE PREPARED BY A REGISTERED ENGINEER. A COPY OF THE OSHA EXCAVATION PERMIT MUST BE SUBMITTED TO THE CITY OF COACHELLA INSPECTOR PRIOR TO EXCAVATION.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS WAS OBTAINED BY AVAILABLE RECORDS SEARCH BY THE DESIGN ENGINEER. TO THE BEST OF THE DESIGN ENGINEER'S KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. ATTENTION IS CALLED TO THE POSSIBLE EXISTENCE OF OTHER UTILITIES OR STRUCTURES NOT SHOWN, OR IN A DIFFERENT LOCATION FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLANS AND OTHER EXISTING FACILITIES OR STRUCTURES NOT SHOWN.
- APPROVAL OF THIS PLAN BY THE CITY OF COACHELLA DOES NOT CONSTITUTE A REPRESENTATION OF THE ACCURACY OF THE LOCATION OF, OR THE EXISTENCE OR NON-EXISTENCE OF, ANY UNDERGROUND UTILITY, PIPE, OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS INCLUDING, BUT NOT LIMITED TO, TRENCH SAFETY AND CONFINED SPACE ENTRY.
- SOILS REPORTS SHALL BE SUBMITTED TO THE CITY OF COACHELLA BY A QUALIFIED SOILS ENGINEER WHICH CERTIFIES THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH ON SITE EARTHWORK SPECIFICATIONS AND THE CITY OF COACHELLA STANDARD SPECIFICATIONS.
- ALL REVISIONS TO DRAWINGS SHALL BE APPROVED BY THE CITY ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING COMPLETE RECORD OF CHANGES AND SHALL MAKE SUCH RECORD AVAILABLE TO THE DESIGN ENGINEER. THE PRIVATE ENGINEER SHALL PROVIDE AS-BUILT DRAWINGS TO THE CITY OF COACHELLA FOR REVIEW AND APPROVAL PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTATION. IF ANY SURVEY MONUMENTS ARE DISTURBED OR DESTROYED, THE CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO RE-ESTABLISH AND RECORD THE MONUMENT CHANGE PER STATE LAW.
- CONTRACTOR SHALL NOT INTERRUPT OR DISTURB ANY UTILITY FACILITY WITHOUT AUTHORITY FROM THE UTILITY COMPANIES. WHERE PROTECTION IS REQUIRED TO ENSURE INTEGRITY OF UTILITY FACILITIES (INCLUDING CITY-OWNED UTILITIES), CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY PROTECTION.

- ALL CONSTRUCTION ON-SITE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF COACHELLA, TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE, CHAPTER 2 AND THE CALIFORNIA BUILDING CODE.
- ALL GRADING SHALL BE DONE IN CONFORMANCE WITH THE CALIFORNIA BUILDING CODE, APPENDIX CHAPTER 33, REGULATING THE EXCAVATION AND GRADING OF LAND AND AMENDMENTS THERETO, THE REQUIREMENTS OF THE CITY OF COACHELLA AND THE RECOMMENDATIONS OF THE SOILS REPORT, PREPARED BY _____, DATED _____.
- CARE SHALL BE TAKEN TO PROTECT ALL CONSTRUCTION STAKES. RESURVEY RESULTING FROM CARELESS OPERATION SHALL BE BACK-CHARGED TO THE CONTRACTOR.
- NO GRADING WORK SHALL BE ACCOMPLISHED WITHOUT A CITY PERMIT.
- THE ENGINEERING DEPARTMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY GRADING OPERATION, TO SCHEDULE A PRE-GRADING MEETING AT THE SITE. THE DEVELOPER/OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, CITY ENGINEER AND THE CITY INSPECTOR SHALL BE PRESENT AT THIS MEETING.
- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE ENGINEERING DEPARTMENT WHEN GRADING IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - INITIAL INSPECTION. WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR CLEARING/SHRUBING IS STARTED.
 - ROUGH GRADING. WHEN ALL ROUGH GRADING HAS BEEN COMPLETED. THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF ROUGH GRADING.
 - FINAL INSPECTION. WHEN ALL WORK, INCLUDING INSTALLATION OF PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN, PROFESSIONAL CERTIFICATIONS, AND THE REQUIRED REPORTS HAVE BEEN SUBMITTED.
- FILLS SHALL BE COMPLETED THROUGHOUT TO 90% RELATIVE COMPACTION AS DETERMINED BY ASTM STD NO. D-1557, LATEST EDITION, S LAYER METHOD AND CERTIFIED BY THE SOILS ENGINEER.
- AREAS TO BE GRADED SHALL BE PROPERLY PREPARED IN ACCORDANCE WITH THE PRELIMINARY SOILS REPORT AND APPROVED BY THE CITY ENGINEER AND THE SOILS ENGINEER PRIOR TO PLACING OF FILL.
- THE EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE CITY ENGINEER AND SOILS ENGINEER.
- THE SOILS ENGINEER SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK PERFORMED BY THE GRADING CONTRACTOR, AND EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODES WITHIN HIS PURVIEW.
- THE DESIGN CIVIL ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND THE CODES WITHIN HIS PURVIEW.
- DUST SHALL BE CONTROLLED BY WATERING AND OTHER BEST MANAGEMENT PRACTICES PER APPROVED FUGITIVE DUST CONTROL PLAN (PM-10).
- APPROVED PROTECTION MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OF PROJECT.
- PRIOR TO FINAL APPROVAL, THE DESIGN CIVIL ENGINEER SHALL CERTIFY TO THE CITY ENGINEER THAT THE SITE HAS BEEN GRADED TO THE LINE AND GRADE SHOWN ON THE APPROVED GRADING PLANS.
- THE DESIGN CIVIL ENGINEER SHALL CERTIFY THAT THE GRADES SHOWN ON THE PLANS MEET THE FEMA FLOOD INSURANCE RATE MAP REQUIREMENTS AND THE CITY OF COACHELLA FLOOD PROTECTION ORDINANCE.
- THE CONTRACTOR SHALL NOT DISTURB EXISTING SURVEY MONUMENTS OR BENCHMARKS NOTED ON THE PLANS OR DISCOVERED IN THE FIELD. REMOVAL AND REPLACEMENT SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR ONLY.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE AND THE PERMITTEE SHALL NOTIFY ALL AFFECTED UTILITIES 18 HOURS IN ADVANCE OF ANY WORK.

APPLICANT:



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ENGINEER:



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DRAWN BY: EW

CHECKED BY: EW

REVISIONS:

REV	DATE	DESCRIPTION
A	01/26/26	ISSUED FOR PERMITS

LICENSER:



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erikwinata@winatainc.com

PROJECT INFORMATION:

APC TOWERS
STARFRUIT

CA-4009

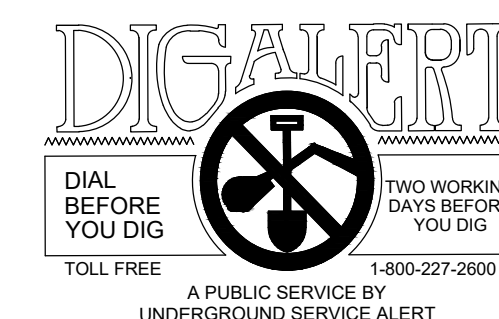
49640 OATES LANE
COACHELLA, CA 92236

SHEET TITLE:

GRADING NOTES

SHEET NUMBER:

C-2




APPLICANT:



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PROJECT INFORMATION:

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CA-4009

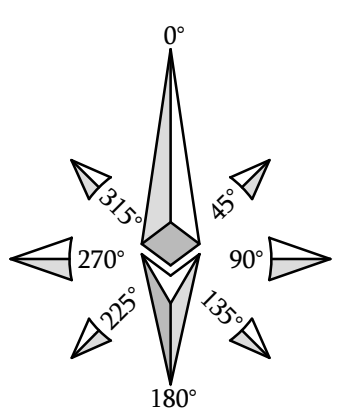
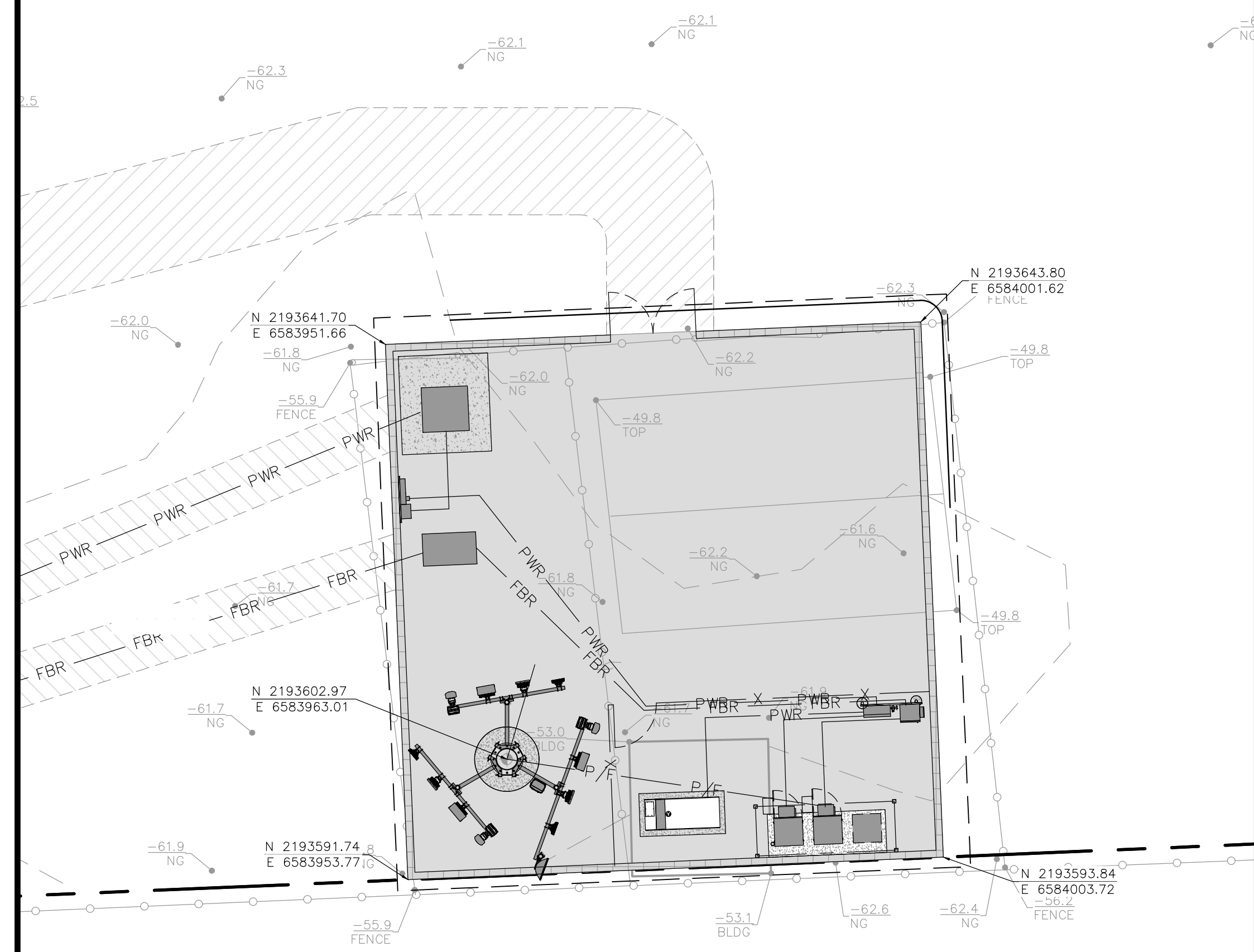
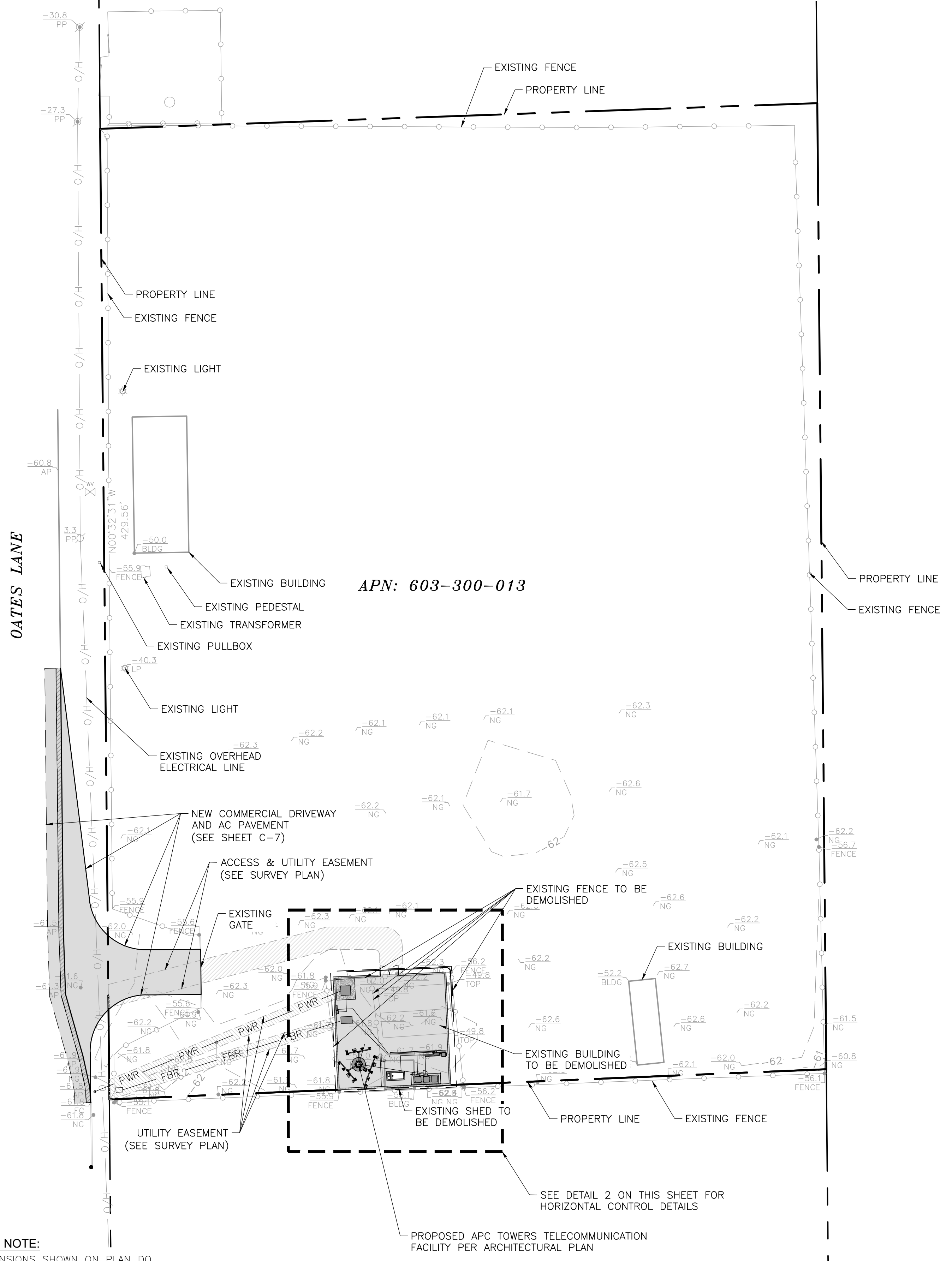
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COACHELLA, CA 92236

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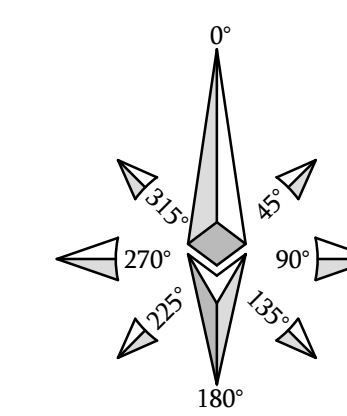
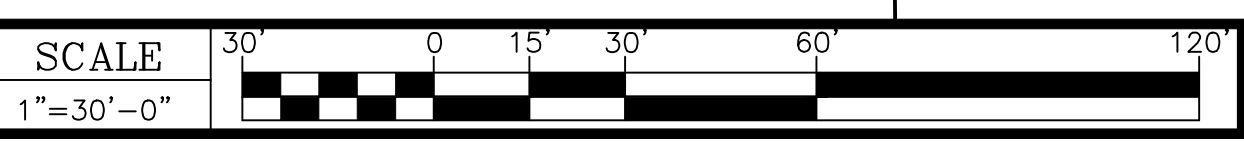
**SITE PLAN &
HORIZONTAL
CONTROL PLAN**

SHEET NUMBER:

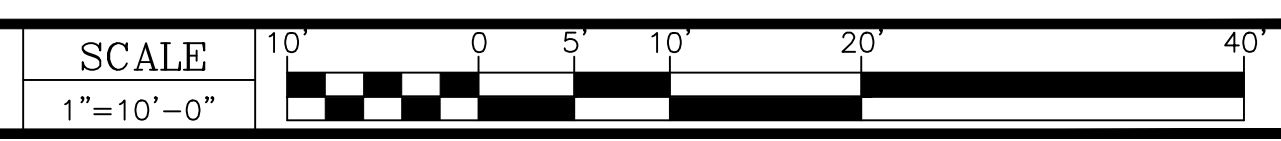
C-3



SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



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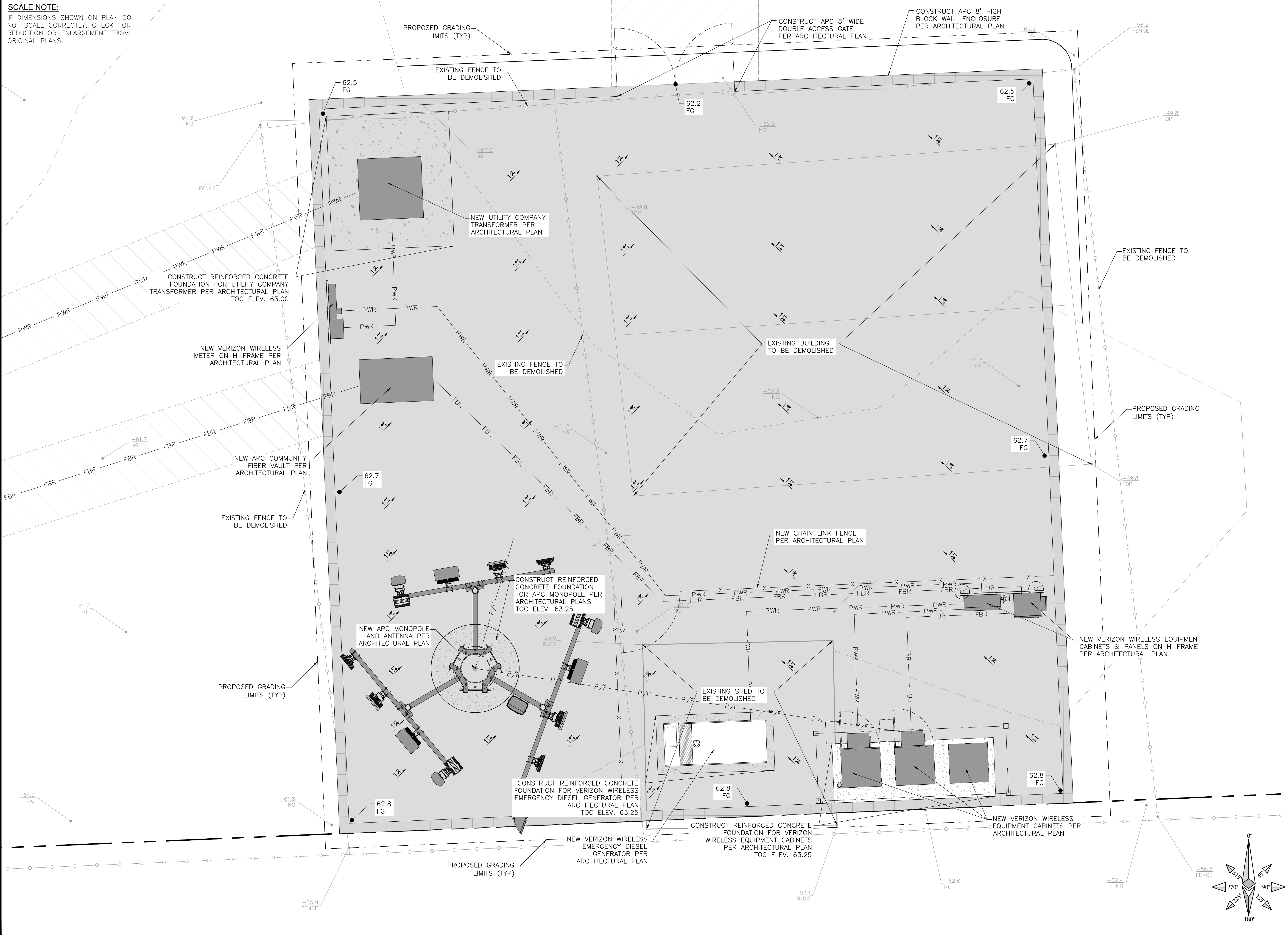


SITE PLAN

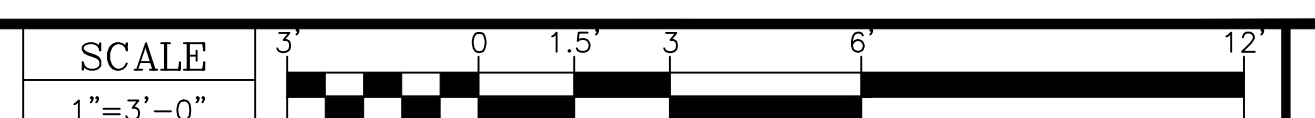
1

2

SCALE NOTE:
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



GRADING & DRAINAGE PLAN



APPLICANT:

APC Towers

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www.eukongroup.com

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CHECKED BY: EW

REVISIONS:

REV	DATE	DESCRIPTION
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PROJECT INFORMATION:

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STARFRUIT**

CA-4009

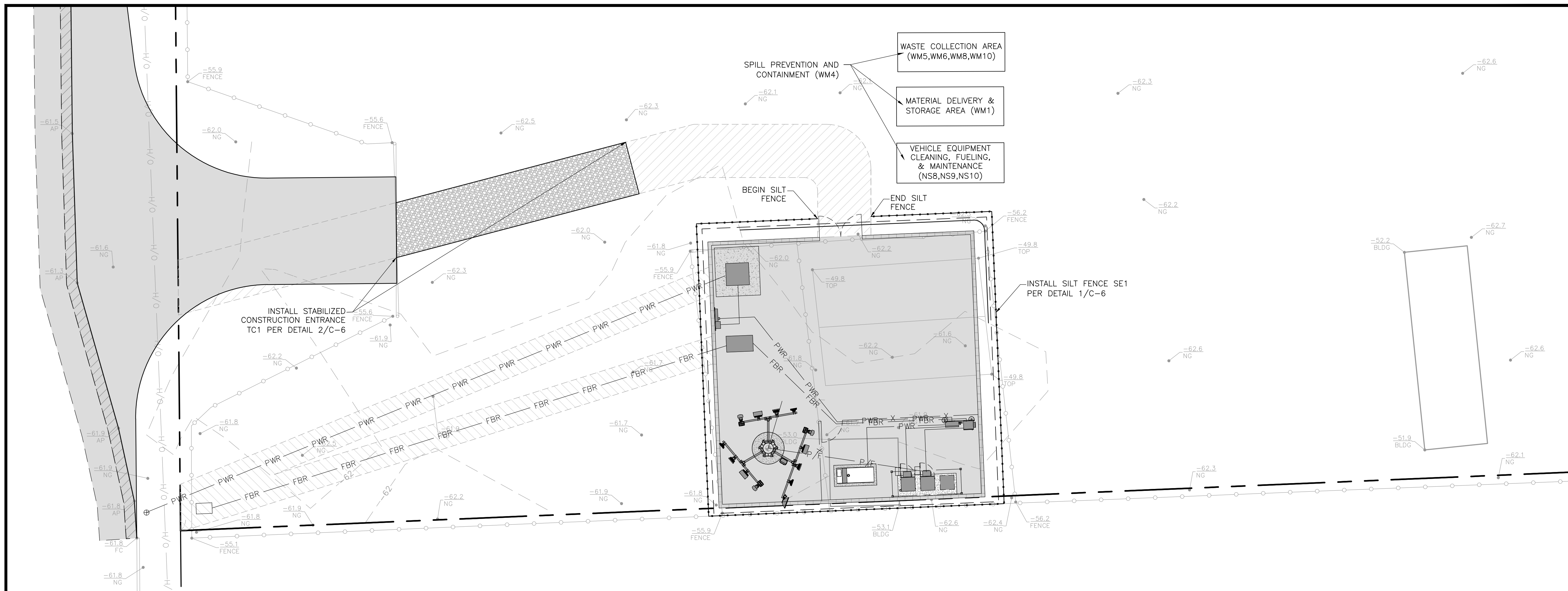
49640 OATES LANE
COACHELLA, CA 92236

SHEET TITLE:

**GRADING & DRAINAGE
PLAN**

SHEET NUMBER:

C-4



EROSION CONTROL NOTES:

1. IN CASE OF EMERGENCY, CALL _____ AT _____.
2. POLLUTION AND EROSION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMPs), MUST BE INSTALLED PRIOR TO GRADING. THESE MEASURES, INCLUDING THE PREVENTION OF SEDIMENTATION OR FLOOD DAMAGE, TO OFFSITE PROPERTY SHALL BE ADEQUATE WHETHER OR NOT AN EROSION CONTROL PERMIT IS REQUIRED.
3. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
4. EROSION CONTROL DEVICES SHALL BE FUNCTIONING AT ALL TIMES. IN CASE OF FAILURE, RAPID CONSTRUCTION OF EMERGENCY DEVICES SHALL BE IMPLEMENTED.
5. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
6. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
7. EXCESS OR WASTE CONCRETE MUST BE CONTAINED ONSITE. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
8. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO ENSURE ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY PER PLAN. PROPER PRECAUTION SHALL BE CONSIDERED WHEN 50% OR GREATER PROBABILITY OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL.
9. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

10. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
11. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
12. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
13. ALL STORM WATER CAPTURE DEVICES SHALL BE PROTECTED AT ALL TIMES.
14. EROSION AND SEDIMENT CONTROL PRACTICES SHOULD BE IN CONFORMANCE WITH THE "CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK" (WWW.CASQA.ORG).
15. DUST SHALL BE CONTROLLED BY WATERING.

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE LATEST EDITION OF THE CASQA CONSTRUCTION BMP ONLINE HANDBOOK OR CALTRANS STORMWATER QUALITY HANDBOOKS (CONSTRUCTION SITE BMP MANUAL), MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR THE BUILDING OFFICIAL)

EROSION CONTROL

- EC1 – SCHEDULING
- EC2 – PRESERVATION OF EXISTING VEGETATION
- EC3 – HYDRAULIC MULCH
- EC4 – HYDROSEEDING
- EC5 – SOIL BINDERS
- EC6 – STRAW MULCH
- EC7 – GEOTEXTILES & MATS
- EC8 – WOOD MULCHING
- EC9 – EARTH DIKES AND DRAINAGE SWALES
- EC10 – VELOCITY DISSIPATION DEVICES
- EC11 – SLOPE DRAINS
- EC12 – STREAMBANK STABILIZATION
- EC13 – RESERVED
- EC14 – COMPOST BLANKETS
- EC15 – SOIL PREPARATION/ROUGHENING
- EC16 – NON-VEGETATED STABILIZATION

TEMPORARY SEDIMENT CONTROL

- SE1 – SILT FENCE
- SE2 – SEDIMENT BASIN
- SE3 – SEDIMENT TRAP
- SE4 – CHECK DAM
- SE5 – FIBER ROLLS
- SE6 – GRAVEL BAG BERM
- SE7 – STREET SWEEPING AND VACUUMING
- SE8 – SANDBAG BARRIER
- SE9 – STRAW BALE BARRIER
- SE10 – STORM DRAIN INLET PROTECTION
- SE11 – ACTIVE TREATMENT SYSTEMS
- SE12 – TEMPORARY SILT DIKE
- SE13 – COMPOST SOCKS & BERMS
- SE14 – BIOFILTER BAGS

WIND EROSION CONTROL

- WE1 – WIND EROSION CONTROL

EQUIPMENT TRACKING CONTROL

- TC1 – STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 – STABILIZED CONSTRUCTION ROADWAY
- TC3 – ENTRANCE/OUTLET TIRE WASH

NON-STORMWATER MANAGEMENT

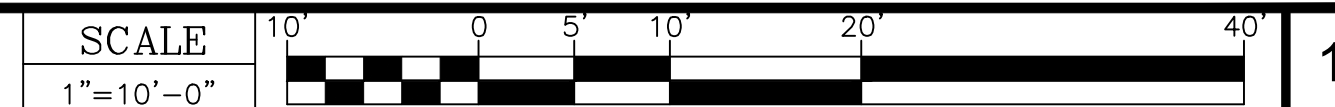
- NS1 – WATER CONSERVATION PRACTICES
- NS2 – DEWATERING OPERATIONS
- NS3 – PAVING AND GRINDING OPERATIONS
- NS4 – TEMPORARY STREAM CROSSING
- NS5 – CLEAR WATER DIVERSION
- NS6 – ILLICIT CONNECTION/DISCHARGE
- NS7 – POTABLE WATER/IRRIGATION
- NS8 – VEHICLE AND EQUIPMENT CLEANING
- NS9 – VEHICLE AND EQUIPMENT FUELING
- NS10 – VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 – PILE DRIVING OPERATIONS
- NS12 – CONCRETE CURING
- NS13 – CONCRETE FINISHING
- NS14 – MATERIAL AND EQUIPMENT USE
- NS15 – DEMOLITION ADJACENT TO WATER
- NS16 – TEMPORARY BATCH PLANTS

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 – MATERIAL DELIVERY AND STORAGE
- WM2 – MATERIAL USE
- WM3 – STOCKPILE MANAGEMENT
- WM4 – SPILL PREVENTION AND CONTROL
- WM5 – SOLID WASTE MANAGEMENT
- WM6 – HAZARDOUS WASTE MANAGEMENT
- WM7 – CONTAMINATION SOIL MANAGEMENT
- WM8 – CONCRETE WASTE MANAGEMENT
- WM9 – SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 – LIQUID WASTE MANAGEMENT

SCALE NOTE:
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EROSION CONTROL PLAN



APPLICANT:

 8601 SIX FORKS ROAD, SUITE 250
 RALEIGH, NC 27615
 WWW.APCTOWERS.COM

ENGINEER:

 65 POST, SUITE 1000
 IRVINE, CA 92618
 TEL: (949) 553-8566

DRAWN BY: EW
 CHECKED BY: EW

REVISIONS:

REV	DATE	DESCRIPTION
A	01/26/26	ISSUED FOR PERMITS

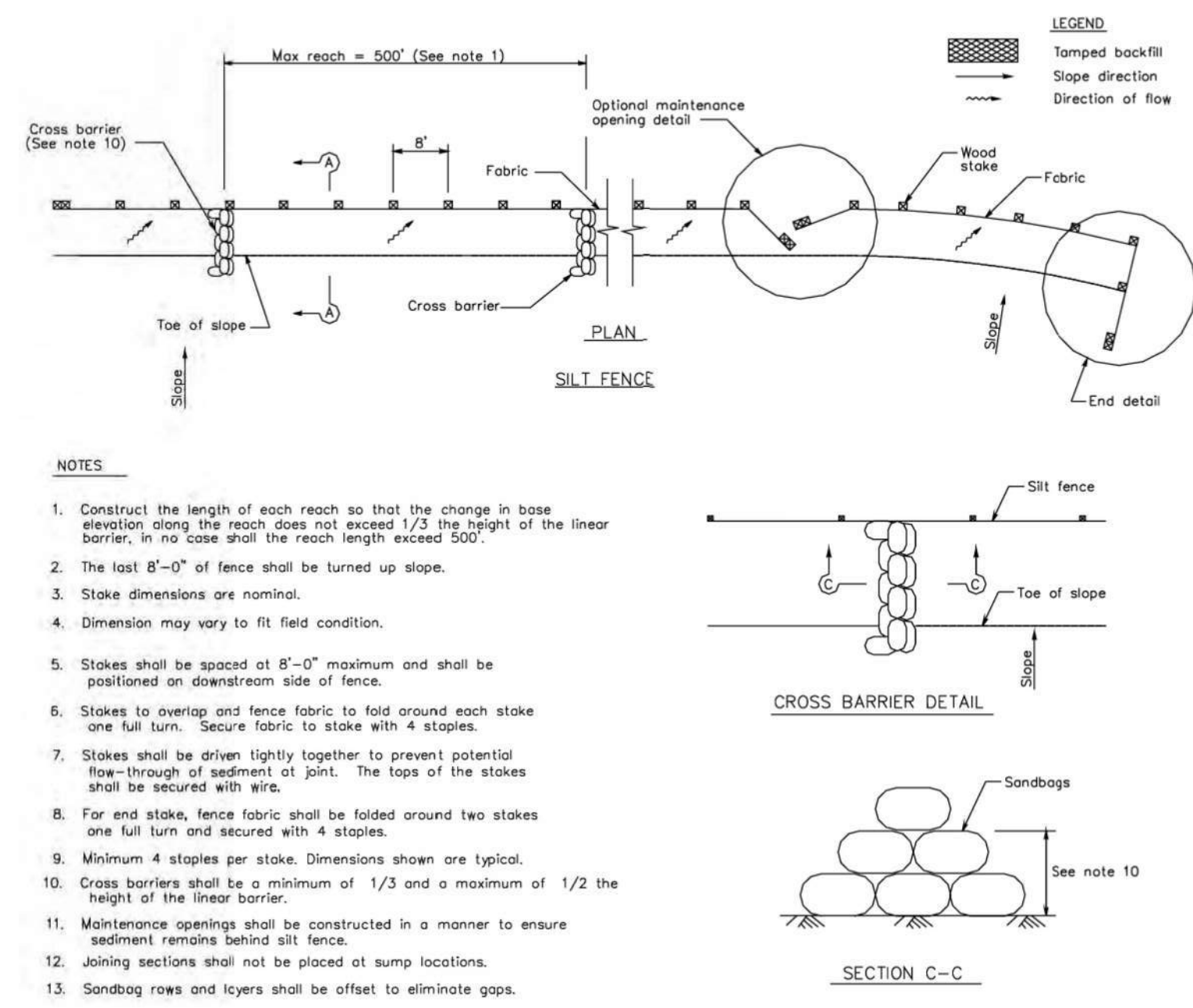
LICENSER:

 CIVIL ENGINEER
 WINATA ENGINEERING, INC.
 ERIK WINATA, P.E., LEED AP
 PO BOX 52692
 IRVINE, CA 92619-2692
 (626) 890-9649
 erikwinata@winatainc.com

PROJECT INFORMATION:
APC TOWERS STARFRUIT
 CA-4009
 49640 OATES LANE
 COACHELLA, CA 92236

SHEET TITLE:
EROSION CONTROL PLAN

SHEET NUMBER:
C-5



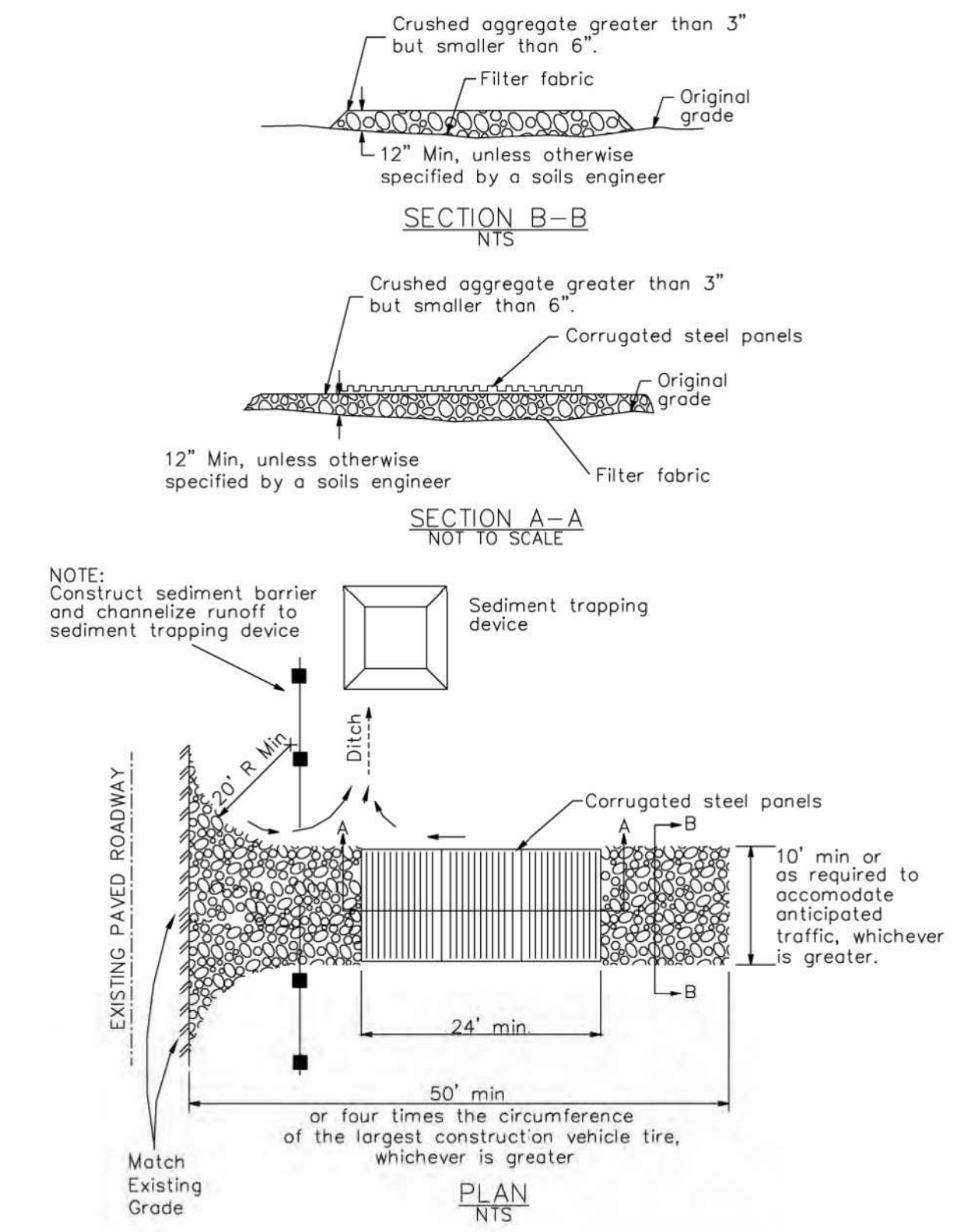
- NOTES**
- Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier, in no case shall the reach length exceed 500'.
 - The last 8'-0" of fence shall be turned up slope.
 - Stake dimensions are nominal.
 - Dimension may vary to fit field condition.
 - Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
 - Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
 - Stakes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes shall be secured with wire.
 - For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
 - Minimum 4 staples per stake. Dimensions shown are typical.
 - Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
 - Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
 - Joining sections shall not be placed at sump locations.
 - Sandbag rows and layers shall be offset to eliminate gaps.

SILT FENCE DETAIL

NO SCALE

1 STABILIZED CONSTRUCTION ENTRANCE DETAIL

NO SCALE



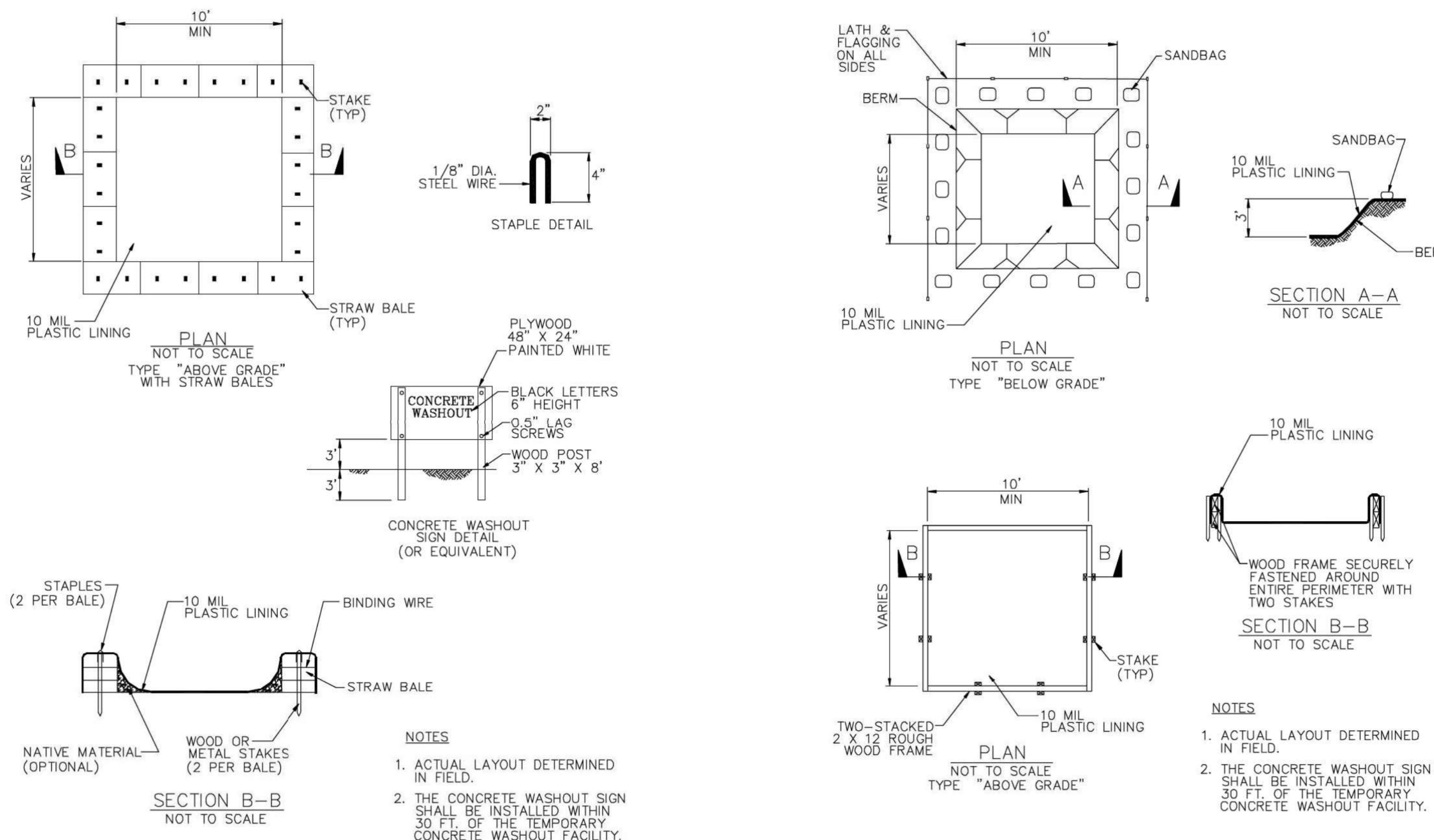
CONCRETE WASHOUT DETAIL

NO SCALE

3

NO SCALE

4



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APC TOWERS STARFRUIT

CA-4009

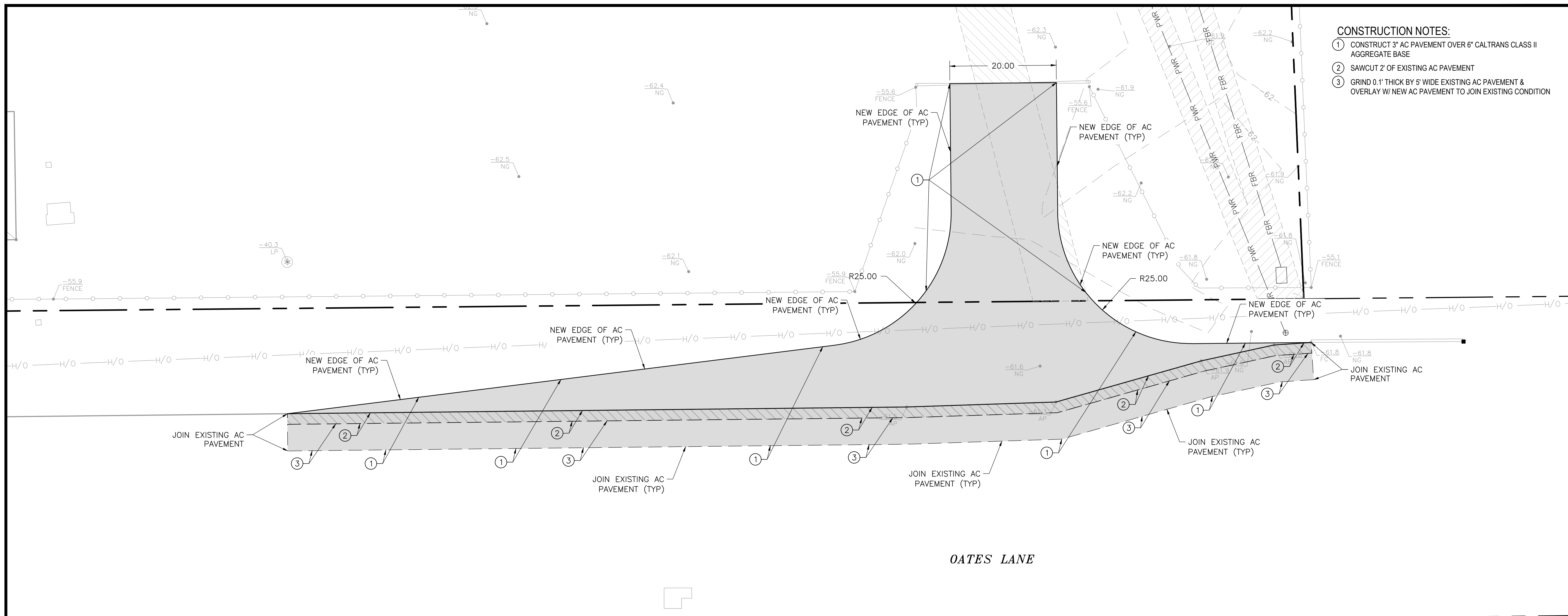
49640 OATES LANE
 COACHELLA, CA 92236

SHEET TITLE:

EROSION CONTROL DETAILS

SHEET NUMBER:

C-6

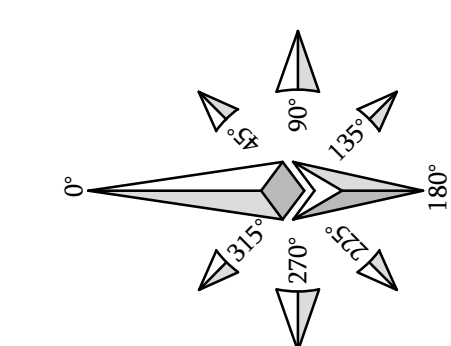


CONSTRUCTION NOTES:
 ① CONSTRUCT 3" AC PAVEMENT OVER 6" CALTRANS CLASS II AGGREGATE BASE
 ② SAWCUT 2" OF EXISTING AC PAVEMENT
 ③ GRIND 0.1" THICK BY 5' WIDE EXISTING AC PAVEMENT & OVERLAY W/ NEW AC PAVEMENT TO JOIN EXISTING CONDITION

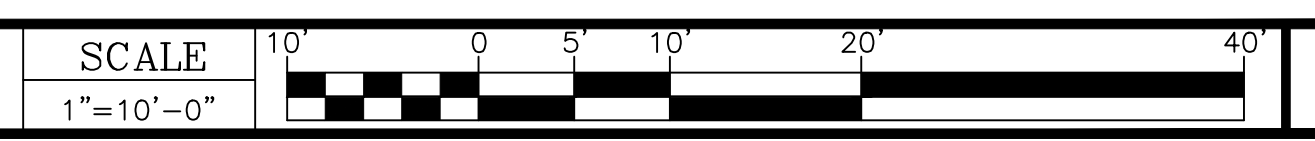
OATES LANE

CITY OF COACHELLA GENERAL NOTES FOR STREET IMPROVEMENT PLANS

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING OF THE PROPOSED WORK AREA AND RELOCATION COSTS OF ALL EXISTING UTILITIES. ALL UNDERGROUND FACILITIES WITH LATERALS SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION, INCLUDING, BUT NOT LIMITED TO SEWER, WATER, ELECTRIC, GAS, DRAINAGE, TELEPHONE, CABLE TV, ETC.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTY OWNERS FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS FROM ANY AND ALL WORK IN CONJUNCTION WITH CONSTRUCTION OF THESE IMPROVEMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO ON-SITE, OFF-SITE, AND ADJACENT UTILITIES, FACILITIES, AND PROPERTY AND SHALL CARRY SUFFICIENT INSURANCE TO PROTECT THE CITY AND THE ADJACENT PROPERTY.
4. DEPTH OF BASE MATERIALS AND A.C. PAVING SHALL BE DETERMINED BY THE R-VALUE METHOD, DESIGNATED AS TEST NO. 301-F OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, HIGHWAY DESIGN MANUAL.
5. STREET PAVING SHALL BE INSTALLED IN TWO (2) LIFTS: TOP COURSE 1" THICK (MINIMUM) 1/2" A.C. PG-70-10 (D1) AND BOTTOM COURSE 2" THICK (MINIMUM), 3/4" A.C. PG-70-10 (C2).
6. WHEEL CHAIR RAMPS SHALL BE CONSTRUCTED AT ALL CURB RETURNS IN CONFORMANCE WITH CITY STANDARD DRAWING S-26 AND ADA REQUIREMENTS.
7. THE CONTRACTOR SHALL INSTALL STREET NAME AND STOP SIGNS CONFORMING TO THE CITY STANDARD DRAWING S-27.
8. ALL MANHOLE COVERS AND WATER VALVE COVERS SHALL BE ADJUSTED TO GRADE AFTER THE STREETS HAVE BEEN FINAL PAVED PER CITY STDS.
9. ALL PRIVATE STREETS AND DRIVEWAYS SHALL BE CONSTRUCTED TO THE STRUCTURAL SECTION DETERMINED BY THE CITY ENGINEER.
10. TRIM (SAWCUT) EDGE OF EXISTING PAVEMENT WHERE NEW PAVING JOINS EXISTING TO FORM A CLEAN, SMOOTH STRAIGHT LINE.
11. THE CONTRACTOR SHALL NOTIFY THE CITY OF COACHELLA ENGINEERING DEPARTMENT, 619-398-5744, 72 HOURS PRIOR TO STARTING ANY STREET WORK.
12. ALL WORKS SHALL CONFORM WITH THE CITY OF COACHELLA IMPROVEMENT STANDARDS AND SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK) LATEST EDITION AND THESE PLANS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND SHALL MAINTAIN ALL FACILITIES COMPLETE AND INCOMPLETE UNTIL ACCEPTED BY THE CITY.



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SITE PLAN

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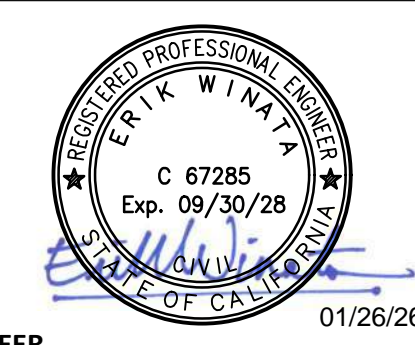
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CA-4009

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 COACHELLA, CA 92236

SHEET TITLE:

STREET
 IMPROVEMENT PLAN

SHEET NUMBER:

C-7