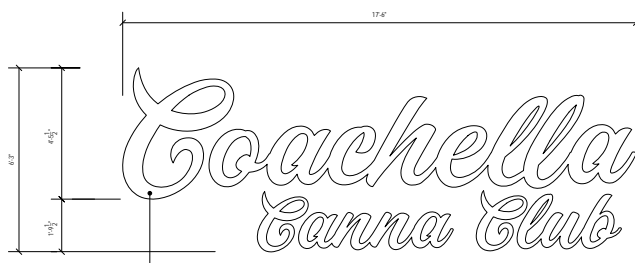


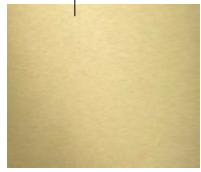
2 SIGNAGE NORTH ELEVATION  
1/8" = 1'-0"



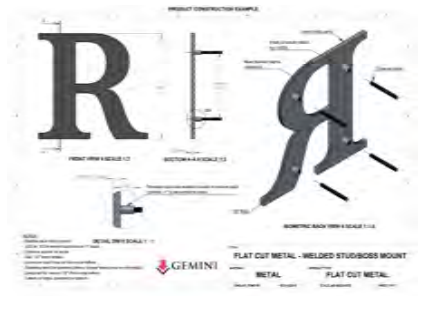
8 PARAPET SIGN OVER ENTRY  
1/2" = 1'-0"



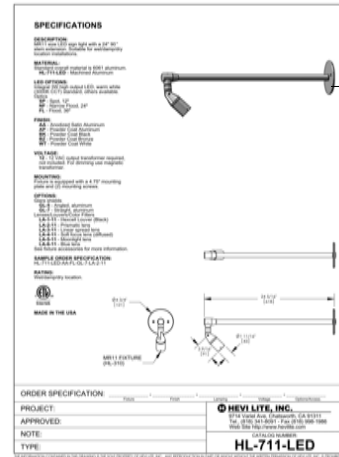
4 EXTERIOR SIGN  
1/2" = 1'-0"



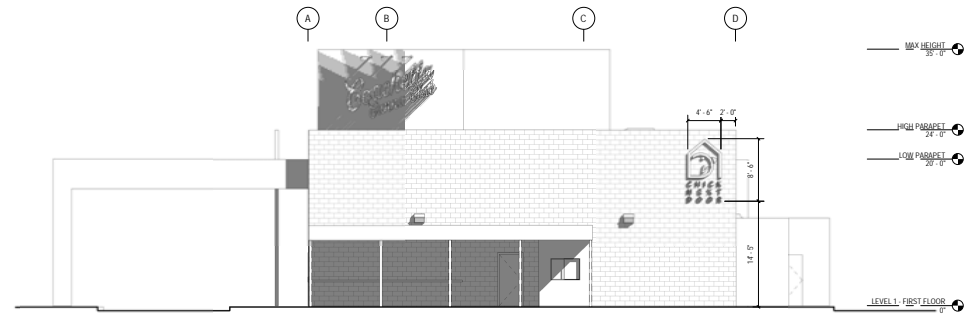
7 BRASS FINISH  
3/4" = 1'-0"



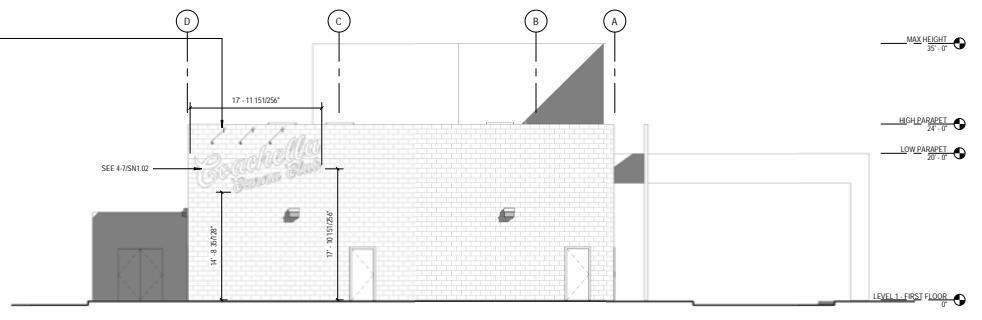
5 EXTERIOR STUD MOUNTED LETTERS  
1/2" = 1'-0"  
FOR REFERENCE ONLY



6 EXTERIOR STEM LED STEM LIGHT  
1/2" = 1'-0"

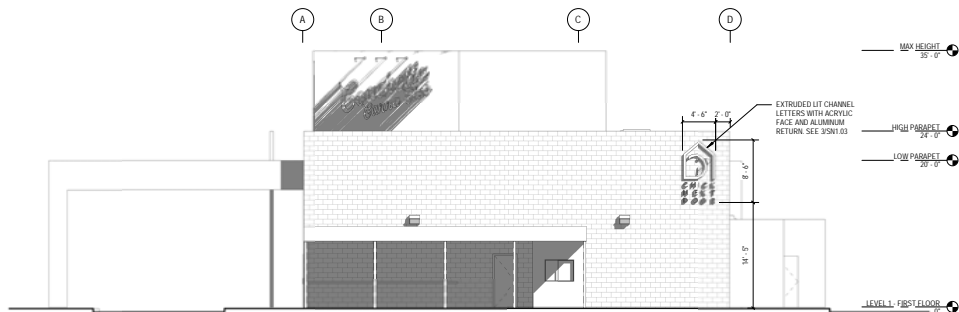


3 SIGNAGE WEST ELEVATION  
1/8" = 1'-0"



1 SIGNAGE EAST ELEVATION  
1/8" = 1'-0"

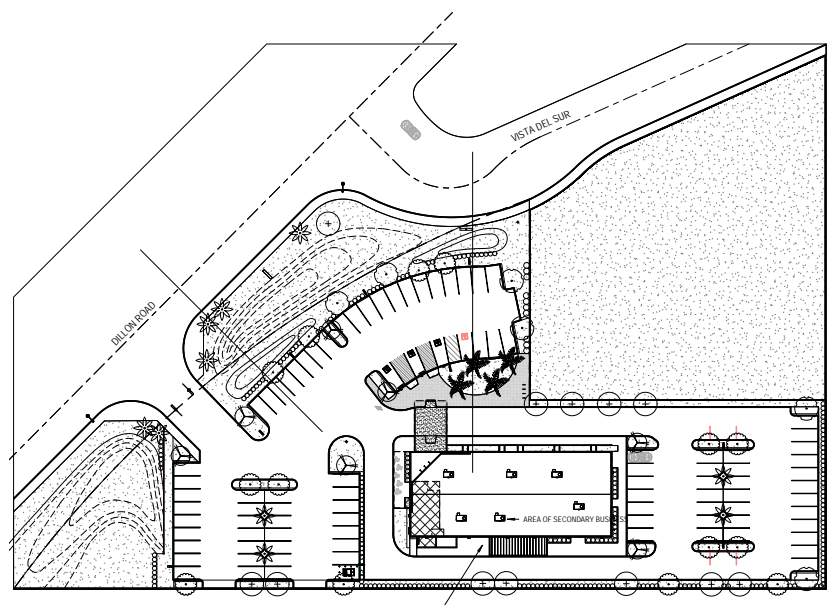
# COACHELLA CAN LLC - SECONDARY BUSINESS SIGNAGE



1 SIGNAGE WEST ELEV - SECONDARY BUSINESS  
1/8" = 1'-0"



5 RESTAURANT SIGN WEST ELEVATION  
1/8" = 1'-0"



2 SIGNAGE SITE PLAN - SECONDARY BUSINESS  
1" = 40'-0"



3 SIGNAGE EX - SECONDARY BUSINESS  
3/8" = 1'-0"



4 LOGO - SECONDARY BUSINESS  
6" = 1'-0"

**PROJECT DATA:**

SCOPE OF WORK:  
ADD (N) SIGNAGE AT WEST ELEVATION FOR SECONDARY BUSINESS

ADDRESS: 46156 DILLON ROAD, COACHELLA, CA 92236

APN: 600 102 024

LOT AREA: 82,729 SF / 1.9 ACRE

BUILDING AREA: 8,045 SF GROSS

SECONDARY BUSINESS AREA: 1,200 SF

(I) ZONING: C-G

(J) ZONING: C-G/RC

(K) OCCUPANCY: A-3

(N) OCCUPANCY: F-1 (KITCHEN)

FLOOR AREA: EXISTING: 8,045 SF (GROSS)  
PROPOSED: 8,045 SF (GROSS)

CONSTRUCTION TYPE: TYPE V-B

FIRE PROTECTION: SPRINKLERED; SEE DEFERRED SUBMITTALS BELOW.

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

46156 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
**SIGNAGE -  
SECONDARY  
BUSINESS**

PLANS AT SCALE UNLESS INDICATED AT DIFFERENT SCALE  
FURNISHING THE SCALES AND/OR DIMENSIONS AT SCALE

PROJECT NUMBER: 1908

DATE: 12/18/2019

DRAWN BY: Author

**SN 1.03**





**FINISH LEGEND:**

- CONCRETE
- EPOXY
- FABRIC/UPHOLSTERY
- GLASS
- METAL
- PAINT
- STONE/SOLID SURFACE
- TILE
- WOOD
- WALL COVERING

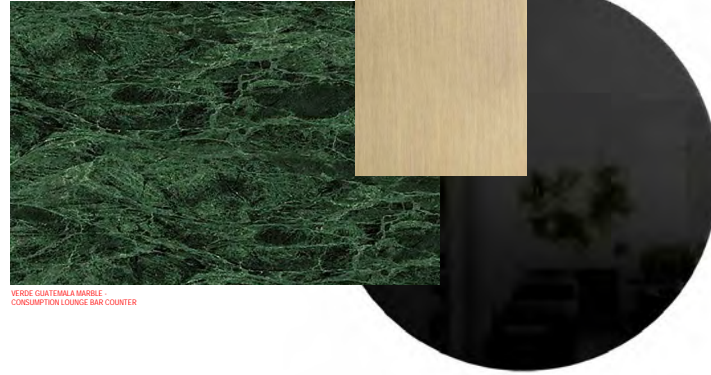
**SHEET NOTES:**

1. SEE SHEETS A010 FOR MATERIAL SAMPLES.
2. SEE SHEETS A011, A012 AND A013 FOR COLOR RENDERED VIEWS.
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

BRUSHED BRASS SIGNAGE AND TRIM - ENTRY / CONSUMPTION LOUNGE / PORTE COCHERE CEILING



BLACK MIRROR ACCENT WALL - CONSUMPTION LOUNGE BAR



BLACK STAINED PLYWOOD PANELING - CONSUMPTION LOUNGE / VIP CONSUMPTION LOUNGE CEILING



CUSTOM GRAPHIC WALLPAPER - EPOXY FLOORING AND CABINETS AT ENTRY TO MATCH

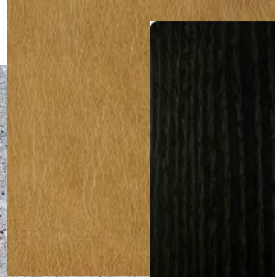


VEINDE QUATAMA MARBLE - CONSUMPTION LOUNGE BAR COUNTER



EBONIZED ASH - STOOLS AND SIDE TABLES

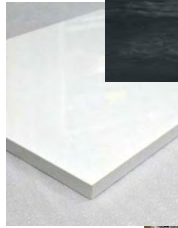
DISTRESSED CAMEL FAUX LEATHER UPHOLSTERY - CHAIR & STOOLS



PERBED GREEN FAUX LEATHER UPHOLSTERY - BANQUETTE



SOLID SURFACE DISPLACE CASE - CAESERSTONE - BLACK TAMPAL



SEMGLOSS WHITE LACQUER CABINETS

BLACK SHEER CURTAIN



POLISHED AND SEALED CONCRETE STRUCTURAL SLAB



P-5 SHERWIN WILLIAMS TRICORN BLACK (SW 6256)



P-4 SHERWIN WILLIAMS PURE WHITE (SW 7000)



P-3 SHERWIN WILLIAMS RIPE OLIVE (SW 6299)



P-2 SHERWIN WILLIAMS CAVERN CLAY (SW 7701)



P-1 SHERWIN WILLIAMS TOUCH OF SAND (SW 9085)

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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**SHEET TITLE:**  
MATERIAL BOARD

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: Author



FINISH LEGEND:

C.X	CONCRETE
E.X	EPOXY
F.X	FABRIC/UPHOLSTERY
G.X	GLASS
M.X	METAL
P.X	PAINT
ST.X	STONE/SOLID SURFACE
T.X	TILE
W.X	WOOD
WC.X	WALL COVERING



VIEW TO ENTRY / RESTAURANT SEATING FROM DRIVE



VIEW TO ENTRY FROM PARKING



VIEW TO BUILDING FROM DRIVEWAY

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:20)  
ELEVATIONS AT SCALE NOTED WHEN PRINTED AT 24"X36" (1:20)

PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: Author



VIEW OF NORTH FACADE FROM EAST PARKING



VIEW OF SOUTH AND EAST FACADES FROM SOUTH DRIVE



VIEW TO WEST FACADE / RESTAURANT SEATING FROM PARKING LOT

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

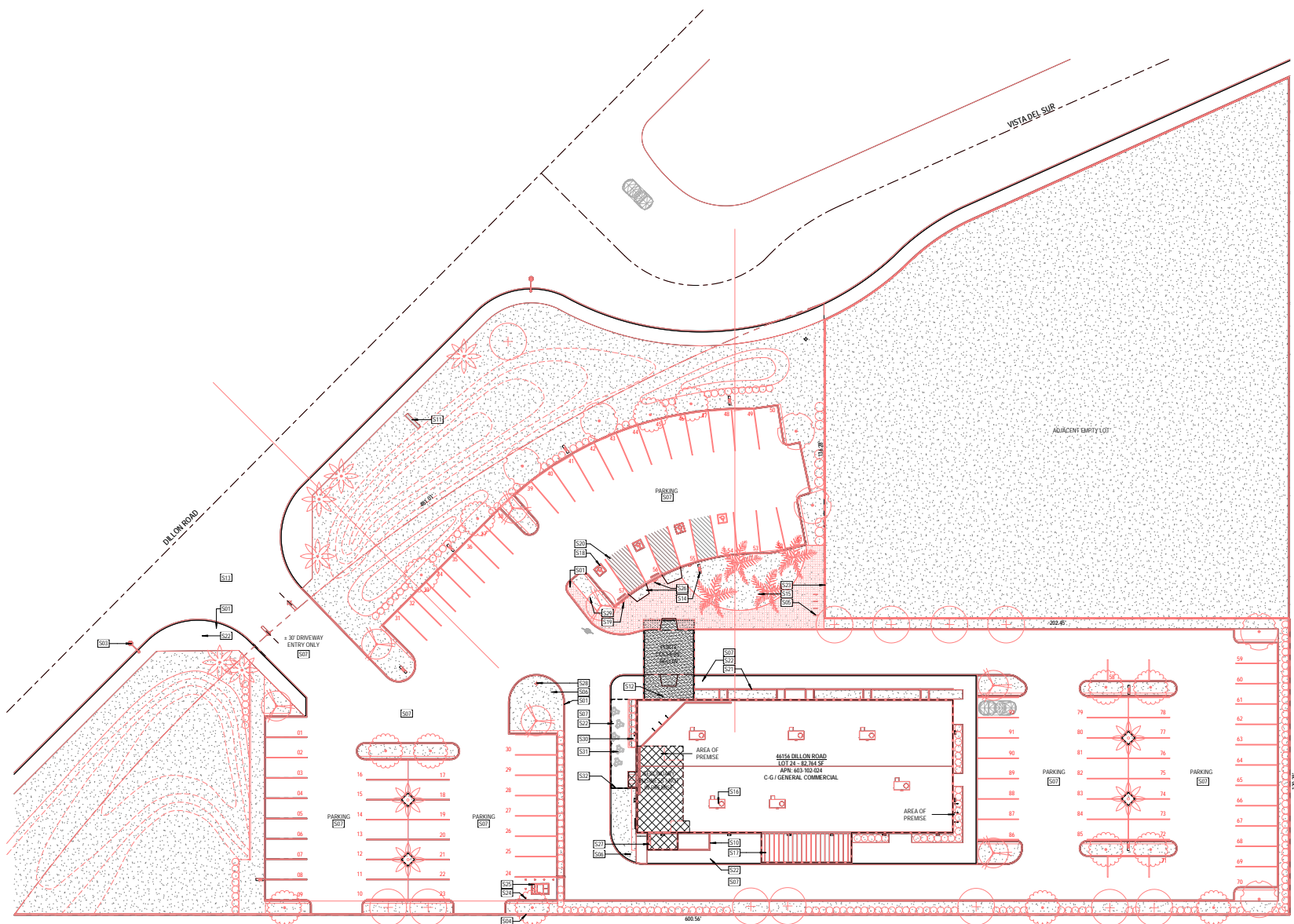
4154 DILLON ROAD,  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
3D VIEWS EXTERIOR

PLANS AT SCALE NOTED WHEN PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: 



- KEYNOTE LEGEND - SITE PLAN**
- S01 (E) CURB
  - S02 (N) CURB CUT, ADD TRUNCATED DOMES WHERE REQ'D.
  - S03 (E) STREET LIGHT, TYP.
  - S04 (E) 4" OF HIGH MASONRY SITE WALL WITH CHARLINK FENCE ABOVE
  - S05 (N) BIKE PARKING STALLS
  - S06 (N) PLANTER W/ DROUGHT TOLERANT / NATIVE PLANTINGS, S.I.D.
  - S07 (E) PARKING ASPHALT PARKING LOT
  - S08 (E) STANDARD PARKING SPACES WITH STRIPING
  - S10 (E) 4" OF MASONRY TRASH ENCLOSURE WITH METAL GATES
  - S11 (E) MONUMENT BUILDING SIGNAGE
  - S12 (N) BUILDING ENTRANCE
  - S13 (E) PROPERTY ENTRY AND EXIT
  - S14 (E) SITE LIGHTING, TYP.
  - S15 (E) CONCRETE HARDSCAPE
  - S16 (E) ROOSTOP/MECHANICAL UNIT
  - S17 (E) TRELIS/MASONRY PATIO ENCLOSURE
  - S18 (E) ACCESSIBLE PARKING DESIGNATION
  - S19 (E) ACCESSIBLE PARKING SIGNAGE
  - S20 (E) ACCESSIBLE PARKING PATH STRIPING
  - S21 (E) BUILDING SCREEN WALL
  - S22 (E) SHERBARK
  - S23 (E) FENCE
  - S24 (E) CONCRETE BOLLARDS AND PAD
  - S25 (E) TRANSFORMER
  - S26 (E) WHEELSTOP
  - S27 (E) UTILITY METERS
  - S28 (N) FIRE HYDRANT
  - S29 (E) FOUNTAIN
  - S30 (N) COUNTERTOP
  - S31 (N) FURNITURE
  - S32 (N) FABRIC AWNING W/ MISTERS

- SHEET NOTES:**
1. SEE LANDSCAPE DRAWINGS FOR PLANTINGS AND TOPOGRAPHY.
  2. OUTDOOR PARKING AREA LIGHTING SHALL COMPLY WITH SECTION 17.6A.220 P.M.C.
  3. HOURS OF OPERATION ARE TO BE LISTED AS 7AM TO 10PM DAILY.
  4. MAXIMUM AVERAGE ILLUMINATION AT GROUND LEVEL SHALL NOT EXCEED THREE (3) FOOT CANDLES WHEN THE PARKING IS LOCATED WITHIN A NONRESIDENTIAL ZONING DISTRICT, PER 17.6A.200 P.M.C.
  5. OUTDOOR PARKING AREA LIGHTING SHALL NOT EXCEED 18' IN HEIGHT, UNLESS SPECIFICALLY APPROVED BY THE DESIGN COMMISSION OR OTHER APPLICABLE REVIEW AUTHORITY, AND EXCEPT WHEN LOCATED WITHIN CITY PARKS.

- LEGEND**
- PROPERTY LINE
  - SET BACK
  - X-X-X-X-X-X-X-X-X-X- CHANLINK FENCE
  - [Hatched Box] ACCESSIBILITY STRIPING
  - [Dotted Box] TRUNCATED DOMES

**studio ren**  
ARCHITECTURE

1802 N LOS ROBLES AVENUE  
PASADENA, CA 91104  
P: 323.481.8107  
E: info@studioren.com  
www.studioren.com

PROJECT:  
**COACHELLA CAN LLC - APPLICATION**

4154 DILLON ROAD,  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

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**SHEET TITLE**

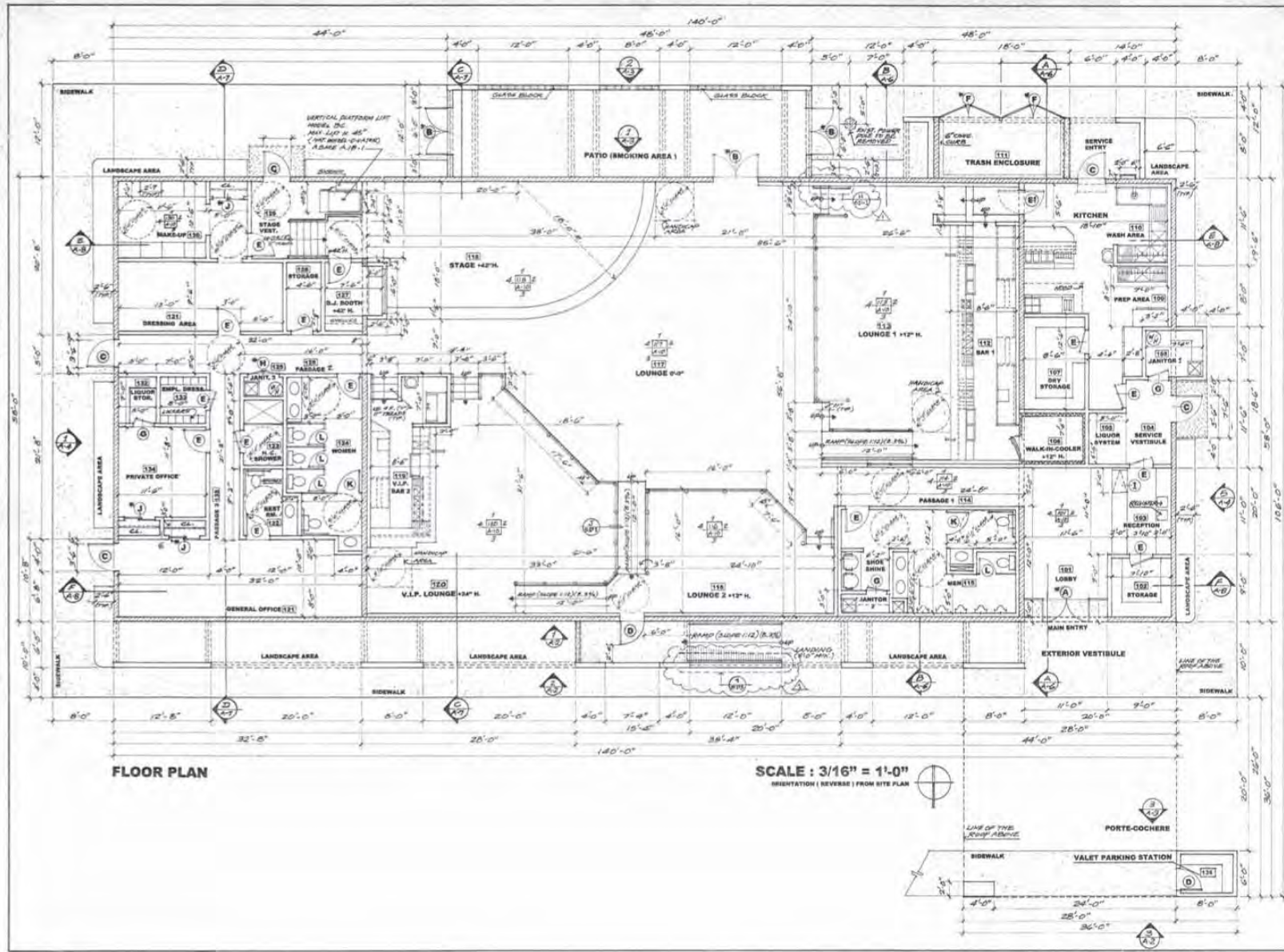
**SITE PLAN**

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36" (1:1200)  
PARKING SIGNAGE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:  
PROJECT NUMBER: 1908  
DATE: 12/18/2019  
DRAWN BY: BMC

**A1.01**

**1 SITE PLAN**  
12-2019





FLOOR PLAN

SCALE : 3/16" = 1'-0"  
ORIENTATION ( REVERSE ) FROM SITE PLAN

A.M.C.E.  
CONSULTING ENGINEERS  
REGISTERED PROFESSIONAL  
ARCHITECTS/ENGINEERS  
MECHANICAL/ELECTRICAL/PLUMBING  
H. O'CAJIZ & ASSOC.  
ARCHITECTS



REVISIONS:

#	DESCRIPTION	DATE
1	FOR COMMENTS	2-28-20

ALL TOTAL DIMENSIONS AND SPECIFICATIONS SHOWN HEREIN ARE THE PROPERTY OF H. O'CAJIZ & ASSOCIATES. THESE DIMENSIONS, SPECIFICATIONS AND NOTES ARE TO BE USED IN CONNECTION WITH THE DRAWINGS AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF H. O'CAJIZ & ASSOCIATES. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY A REVISION SHEET AND SHALL BE APPROVED BY H. O'CAJIZ & ASSOCIATES. ANY REVISIONS TO THESE DRAWINGS SHALL BE MADE BY A REVISION SHEET AND SHALL BE APPROVED BY H. O'CAJIZ & ASSOCIATES.

**SEVENTH HEAVEN GENTLEMEN'S CLUB**  
AP #2 603-012-024 DILLON RD COACHELLA CA 92236  
OWNERS: ROBERT FOSTER / MORGOS S. ACER TEL: (657) 904 9377

DATE: 02-28-2021  
SCALE: 3/16" = 1'-0"  
DRAWN: H.O.C.  
JOB: 20-001  
SHEET 1  
OF 12 SHEETS  
A-1

PROJECT:  
COACHELLA CAN LLC -  
APPLICATION

4155 DILLON ROAD,  
COACHELLA, CA 92236

NO. ISSUE/REVISION DATE

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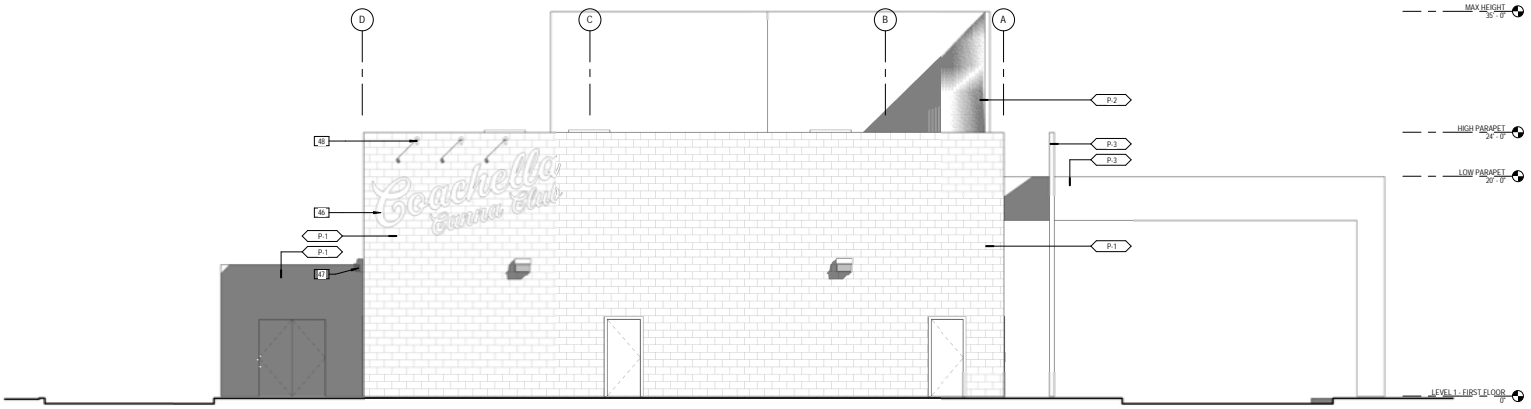
SHEET TITLE:  
EXISTING FLOOR PLAN

PLANS AT SCALE NOTED WERE PRINTED AT 24"X36"  
DATE: 12/18/2019  
DRAWN BY: Author

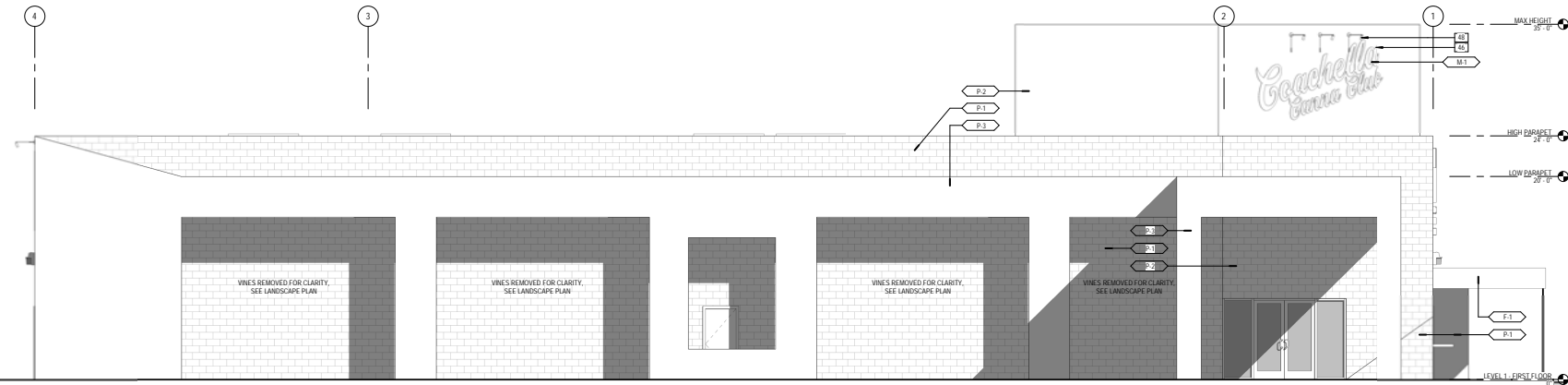


KEYNOTE LEGEND - FLOOR PLAN

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 34" HIGH MAX.
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX.
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
- 07 (N) CASEWORK, STORAGE CABINET
- 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 09 (N) TELEVISION W/ WALL BRACKET
- 10 (N) REFRIGERATOR
- 11 (N) WIRE SHELVING
- 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 13 QUEUE FOR CUSTOMER SHOWROOM OVER-CLOW
- 14 QUEUE FOR CUSTOMER PURCHASES
- 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 16 (E) EMERGENCY EXIT DOOR
- 17 (N) STOREFRONT WINDOW
- 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 19 FIREPROOF CASH SALES
- 20 SECURE RECORD STORAGE
- 21 (N) IMPACT RESISTANT SECURITY GLAZING
- 22 SECURE CANNAS/PRODUCT WASTE RECEPTACLES
- 24 (E) DOOR - LOADING AND UNLOADING OF COLLUMBS
- 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 3/4" X 6" CHAIR-LINK CAGE
- 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 27 (N) RAISED FLOOR - WHERE RECD
- 28 (N) RAMP OR STAIR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
- 29 (N) GUARDRAIL @ 42" AFF
- 31 SERVER
- 32 (N) COUNTERTOP 3/4" AFF, TYP.
- 33 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 34 CASEWORK, CONSUMPTION BAR
- 35 CASEWORK, CONSUMPTION DISPLAY
- 36 (E) KITCHEN OR BAR EQUIPMENT
- 37 (E) TRUSS
- 38 (N) LIGHT FIXTURE
- 39 (N) WALL
- 41 (N) STAINED PLYWOOD SOFFIT
- 42 (N) MIRROR/WALL AND SOFFIT W/ BRASS BATTENS
- 43 (N) SHEER FABRIC CURTAIN
- 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 45 (N) SELF-ILLUMINATED SIGN
- 46 (N) PLATE METAL SIGNAGE/CONCEALED STUDS
- 47 (E) WALL PACK LIGHTS
- 48 (N) POST MOUNTED SIGN LIGHTS



2 EAST ELEVATION  
3/16" = 1'-0"



1 NORTH ELEVATION  
3/16" = 1'-0"

FINISH LEGEND:

- C.X CONCRETE
- E.X EPOXY
- F.X FABRIC/UPHOLSTERY
- G.X GLASS
- M.X METAL
- P.X PAINT
- S.T.X STONE/SOLID SURFACE
- T.X TILE
- W.X WOOD
- WC.X WALL COVERING

SHEET NOTES:

1. SEE SHEETS A01-10 FOR MATERIAL SAMPLES
2. SEE SHEETS A01-11, A01-12 AND A01-13 FOR COLOR RENDERED VIEWS
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE

PROJECT:  
COACHELLA CANALS LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92236

NO.	ISSUE/REVISION	DATE

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SHEET TITLE:  
**BUILDING ELEVATIONS**

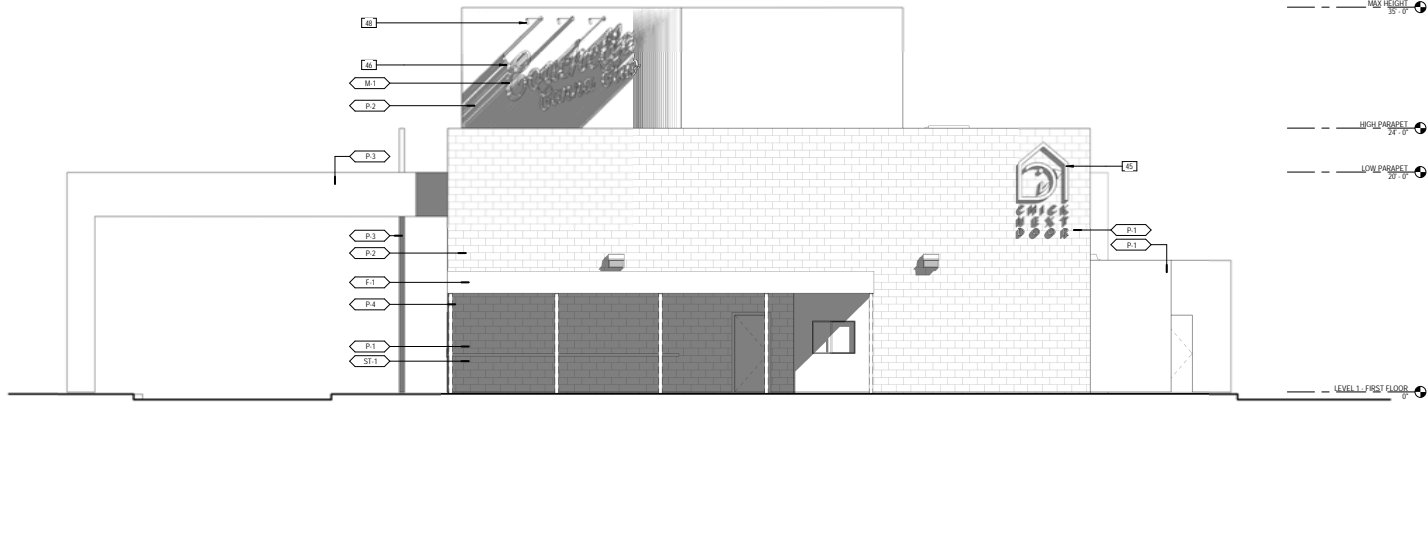


PLANT SCALE NOTED WHEN PRINTED AT 24" X 36"  
DATE: 12/18/2019  
DRAWN BY: Author

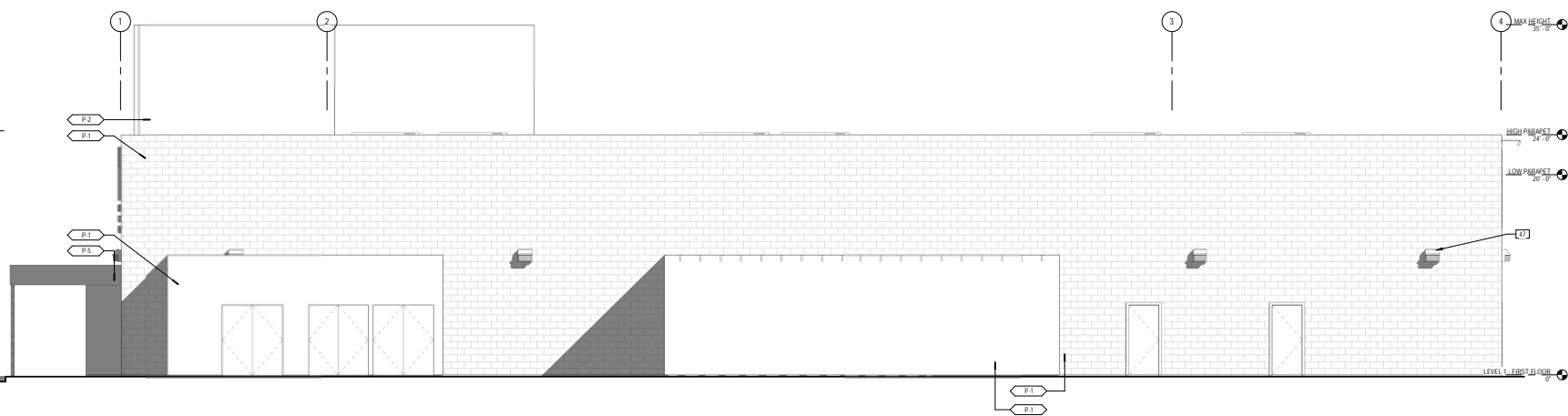
**A3.01**



- KEYNOTE LEGEND - FLOOR PLAN
- 01 (N) RECEPTION DESK
  - 02 (N) FURNITURE
  - 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3'4" HIGH MAX
  - 04 (N) CASEWORK, COUNTER @ 3'4" HIGH MAX
  - 05 (N) CASEWORK, POINT OF SALE STATION
  - 06 (N) CASEWORK, WALL DISPLAY W/ IMPACT RESISTANT GLAZING
  - 07 (N) CASEWORK, STORAGE CABINET
  - 08 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILINGS
  - 09 (N) TELEVISION W/ WALL BRACKET
  - 10 (N) REFRIGERATOR
  - 11 (N) WIRE SHELVING
  - 12 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
  - 13 QUEUE FOR CUSTOMER PURCHASES OVERFLOW
  - 14 QUEUE FOR CUSTOMER PURCHASES
  - 15 (E) STOREFRONT W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
  - 16 (E) EMERGENCY EXIT DOOR
  - 17 (N) STOREFRONT WINDOW
  - 18 (N) PASS THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
  - 19 FIREPROOF CASH SAFES
  - 20 SECURE RECORDS STORAGE
  - 21 (N) IMPACT RESISTANT SECURITY GLAZING
  - 22 SECURE CANNABIS PRODUCT WASTE RECEIPT RAILS
  - 24 (E) DOOR - LOADING AND UNLOADING OF DELIVERIES
  - 25 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 2 1/2" X 12" CHAIN LINK CAGE
  - 26 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
  - 27 (N) RAISED FLOOR, W/ WIRE RECO
  - 28 (N) RAMP OR STAR W/ RAILS @ 36" AFF, BOTH SIDES, TYP.
  - 29 (N) GUARDRAIL @ 42" AFF
  - 31 SERVER
  - 32 (N) COUNTERTOP 3/4" AFF, TYP.
  - 33 (N) FLUORESCENT FIXTURE OR ACCESSORY, TYP PER ROOM
  - 34 CASEWORK, CONSUMPTION BAR
  - 35 CASEWORK, CONSUMPTION DISPLAY
  - 36 (E) KITCHEN OR BAR EQUIPMENT
  - 37 (E) TRUSS
  - 38 (N) LIGHT FIXTURE
  - 39 (N) WALL
  - 41 (N) STAINED PLYWOOD SOFFIT
  - 42 (N) UNBORDERED WALL AND SOFFIT W/ BRASS BATTENS
  - 43 (N) SHERY FABRIC CURTAIN
  - 44 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
  - 45 (N) SELF ILLUMINATED SIGN
  - 46 (N) PLATE METAL SIGNAGE/ CONCEALED STUDS
  - 47 (E) WALL PACK LIGHTS
  - 48 (N) POST MOUNTED SIGN LIGHTS



2 WEST ELEVATION  
316' - 1 1/8"



1 SOUTH ELEVATION  
316' - 1 1/8"

- FINISH LEGEND:
- C.X CONCRETE
  - E.X EPOXY
  - F.X FABRIC/UPHOLSTERY
  - G.X GLASS
  - M.X METAL
  - P.X PAINT
  - ST.X STONE/SOLID SURFACE
  - T.X TILE
  - W.X WOOD
  - WC.X WALL COVERING

**SHEET NOTES:**  
1. SEE SHEETS A0-10 FOR MATERIAL SAMPLES.  
2. SEE SHEETS A0-11, A0-12 & A0-13 FOR COLOR RENDERED VIEWS.  
3. SEE SIGNAGE PACKAGE FOR ADDITIONAL INFORMATION ON DIMENSIONS, MATERIALITY AND CONSTRUCTION OF SIGNAGE.

PROJECT:  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD,  
COACHELLA, CA 92336

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
**BUILDING ELEVATIONS**

PLANS AT SCALE NOTED WERE PRINTED AT 24" X 36" (1:12)  
DATE: 12/18/2019  
DRAWN BY:

PROJECT NUMBER: 1908  
12/18/2019  
DRAWN BY:

**A3.02**

**KEYNOTES:**

- 01 (N) RECEPTION DESK
- 02 (N) FURNITURE
- 03 (N) CASEWORK, DISPLAY W/ IMPACT RESISTANT GLAZING @ 3" HIGH MAX
- 04 (N) CASEWORK, COUNTER @ 34" HIGH MAX
- 05 (N) CASEWORK, POINT OF SALE STATION
- 06 (N) CASEWORK, STORAGE CABINET
- 07 (N) EXPANDED STEEL REINFORCEMENT IN WALLS AND CEILING
- 08 (N) TELEVISION W/ WALL BRACKET
- 09 (N) REFRIGERATOR
- 10 (N) WIRE SHELVING
- 11 (N) PASS THROUGH WINDOW W/ COILING OVERHEAD SECURITY GATE
- 12 (N) QUEUE FOR CUSTOMER SHOWROOM OVERCROW
- 13 (E) STONE/RTW W/ ENTRY DOOR - CUSTOMER ENTRY AND EXIT
- 14 (E) EMERGENCY EXIT DOOR
- 15 (N) STOREFRONT WINDOW
- 16 (N) PASS-THROUGH WINDOW W/ IMPACT RESISTANT SECURITY GLAZING
- 17 (N) FIREPROOF CASH SALES
- 18 (N) SECURE RECORD STORAGE
- 19 (N) IMPACT RESISTANT SECURITY GLAZING
- 20 (N) SECURE CANNABIS PRODUCT WASTE RECEPTACLES
- 21 (E) DOOR, LOADING AND UNLOADING OF DELIVERIES
- 22 (N) ADMINISTRATIVE HOLD AREA, WIRE SHELVING W/ 7" DIA OF CHAIN LINK CAGE
- 23 (N) DIGITAL SECURITY CAMERA SECURITY SYSTEM
- 24 (N) RASLED FLOOR WHERE RECD
- 25 (N) RAMP OR STAIR W/ RAILS @36" AFF, BOTH SIDES, TYP
- 26 (N) GUARDRAIL @ 42" AFF
- 27 (N) SERVER
- 28 (N) COUNTERTOP 34" AFF, TYP
- 29 (N) PLUMBING FIXTURE OR ACCESSORY, TYP PER ROOM
- 30 (N) CASEWORK, CONSUMPTION BAR
- 31 (N) CASEWORK, CONSUMPTION DISPLAY
- 32 (N) KITCHEN OR BAR EQUIPMENT
- 33 (E) TRUSS
- 34 (N) LIGHT FIXTURE
- 35 (N) WALL
- 36 (N) STAINED PLYWOOD SOFFIT
- 37 (N) MIRROR WALL AND SOFFIT W/ BRASS BATTENS
- 38 (N) SHEER FABRIC CURTAIN
- 39 (E) ROOFTOP MECHANICAL UNIT TO REMAIN
- 40 (N) SELF-ILLUMINATED SIGN
- 41 (N) IN-PLATE METAL SIGNAGE/ CONCEALED STUDS
- 42 (E) WALL BACK LIGHTS
- 43 (N) POST MOUNTED SIGN LIGHTS
- 501 (E) CLUBE
- 502 (N) CLUBE CUT, ADD TRUNCATED DOMES WHERE RECD
- 503 (E) STREET LIGHT, TYP
- 504 (E) 12" HIGH MASONRY SITE WALL WITH CHAIN LINK FENCE ABOVE
- 505 (N) BIKE PARKING STALLS
- 506 (N) IN-PLATE W/ DRUG/TOLERANT/ NATIVE PLANTINGS, S.L.D.
- 507 (E) PARKING ASPHALT PARKING LOT
- 508 (E) STAMPS/PARKING SPACES WITH STRIPING
- 510 (E) 12" MASONRY TRASH ENCLOSURE WITH METAL GATES
- 511 (E) MONUMENT BUILDING SIGNAGE
- 512 (E) BUILDING ENTRANCE
- 513 (E) PROPERTY ENTRY AND EXIT
- 514 (E) SITE LIGHTING, TYP
- 515 (E) CONCRETE HARDSCAPE
- 516 (E) ROOFTOP MECHANICAL UNIT
- 517 (E) TRILUMES/MASONRY PATIO ENCLOSURE
- 518 (E) ACCESSIBLE PARKING DESIGNATION
- 519 (E) ACCESSIBLE PARKING SIGNAGE
- 520 (E) ACCESSIBLE PARKING/PATH STRIPING
- 521 (E) BUILDING SCREEN/WALL
- 522 (E) SIDEWALK
- 523 (E) FENCE
- 524 (E) CONCRETE BOLLARDS AND PAD
- 525 (E) TRANSFORMER
- 526 (E) WHEELSTOP
- 527 (E) UTILITY METERS
- 528 (N) FIRE HYDRANT
- 529 (E) FOUNTAIN
- 530 (N) COUNTERTOP
- 531 (N) FURNITURE
- 532 (N) FABRIC AWNING W/ MESTERS

**PROJECT:**  
COACHELLA CAN LLC - APPLICATION

4154 DILLON ROAD  
COACHELLA, CA 92316

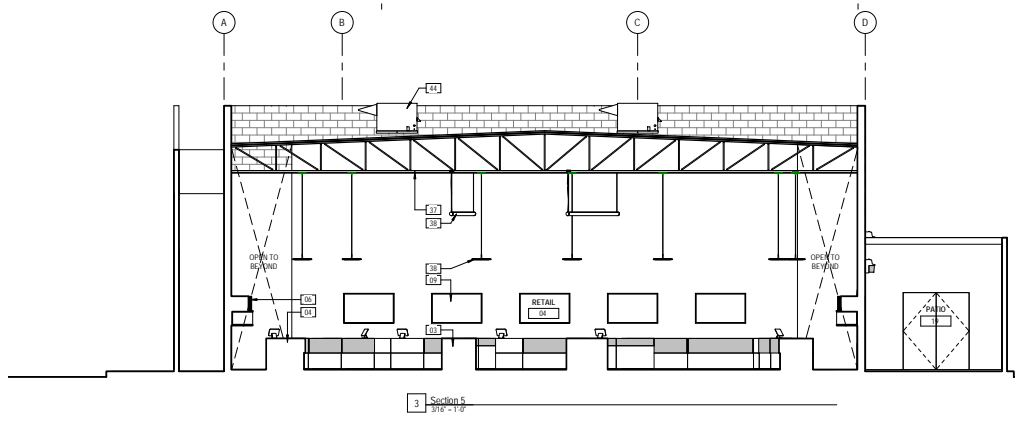
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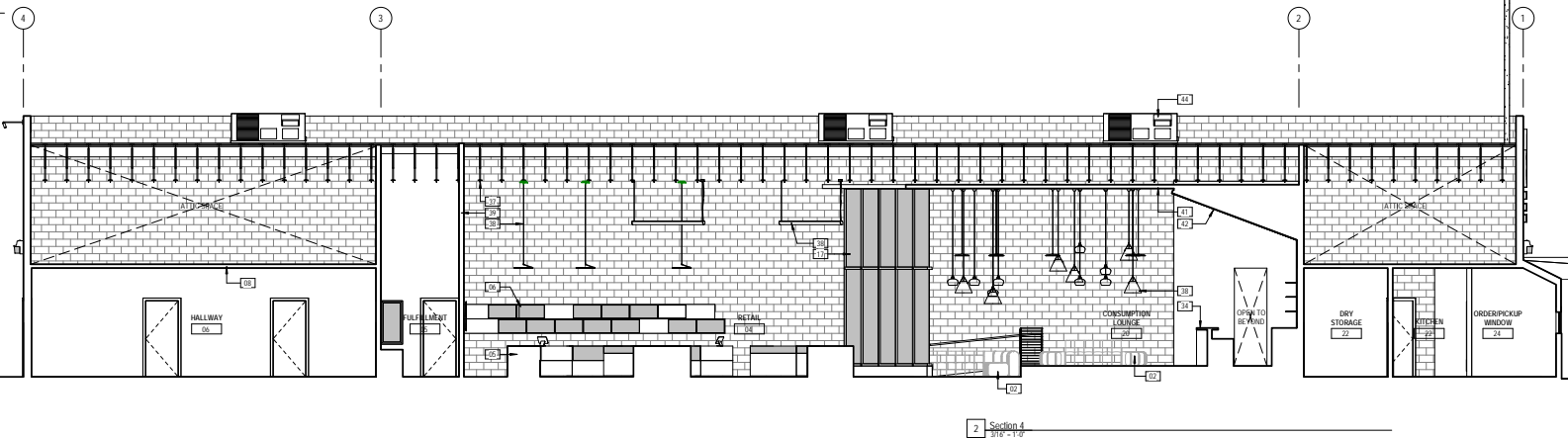
**BUILDING SECTIONS**

PLANS AT SCALE NOTED WERE PRINTED AT 1/8"=1'-0"  
DATE: 12/18/2019  
DRAWN BY: Aduan

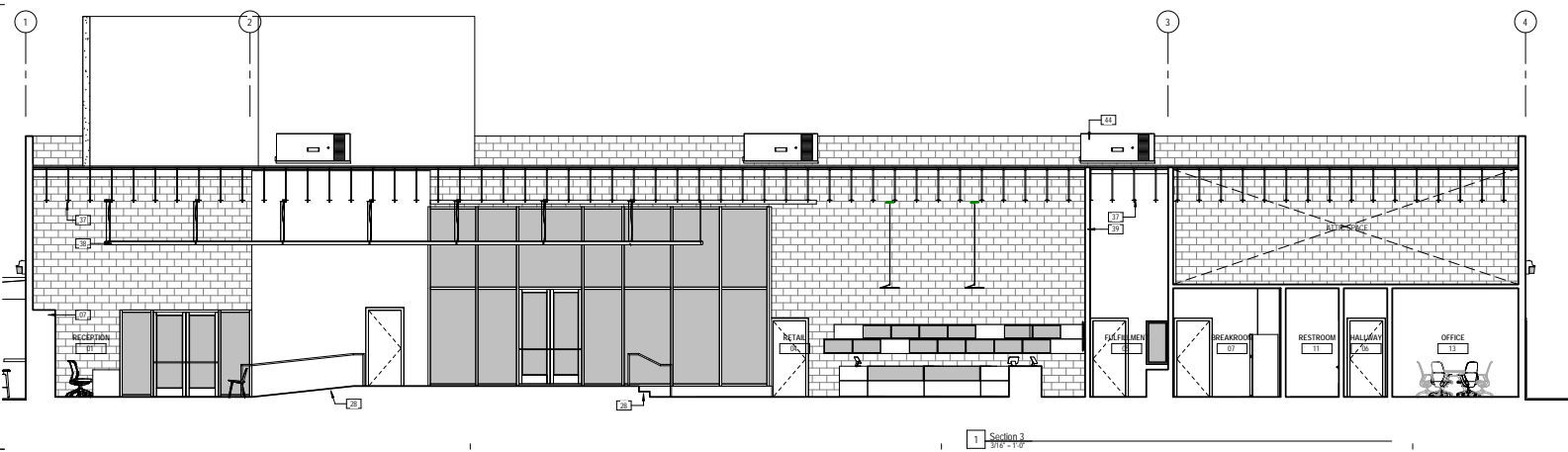
**SHEET TITLE:**  
A4.01



3 Section 5  
3/16'-1'-0"



2 Section 4  
3/16'-1'-0"



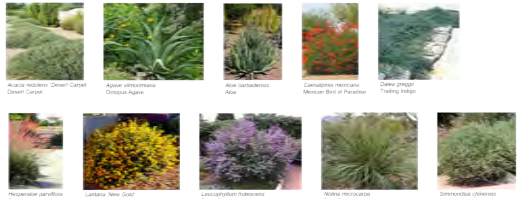
1 Section 3  
3/16'-1'-0"

PROPOSED TREES



Bottle Tree  
Goldenrain Tree  
Date Palm  
African Sumac  
Mexican Fan Palm

PROPOSED SHRUBS & GROUNDCOVER



Alamo Redwoods  
Alamo Redwoods  
Alamo Redwoods  
California Redwoods  
Dwarf Yucca  
Mexican Fan Palm  
New Gold Lantana  
Purple Mangle  
Bear Grass  
Mexican Fan Palm



**PROPOSED TREE LEGEND**

SYMBOL	QUANTITY	SIZE	BOTANICAL NAME	COMMON NAME
	2	24" BOX	BRACHYCHTON POPULNEUS	BOTTLE TREE
	4	15 GAL		
	3	24" BOX	KOELREUTERIA PANDULATA	GOLDENRAIN TREE
	4	15 GAL		
	4	24" BOX	PHOENIX DACTYLIS FRONS	DATE PALM
			MALE SPECIMEN ONLY	
	6	24" BOX	Rhus LANCEA	AFRICAN SUMAC
	8	15 GAL		
	4	15 GAL	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM

**CITY OF COACHELLA LANDSCAPE GUIDELINE REQUIREMENTS**

1 TREE PER 30' LINEAR FEET OF BUILDING  
360' LINEAR FEET = 12 TREES RECD

1 TREE PER 3 PARKING STALLS  
\$1 TOTAL PARKING STALLS = 30 TREES RECD

TOTAL TREES RECD = 42

TOTAL PROPOSED TREES = 46

TOTAL EXISTING TREES TO REMAIN = 11

PROPOSED + EXISTING TREES = 46

25% OF RECD TREES TO BE 24" BOX = 11  
PROPOSED 24" BOX TREES = 10

15% MINIMUM OF NET LOT AREA TO BE LANDSCAPED  
LOT AREA = 42,194 SQ. FT.  
15% = 6,329 SQ. FT.

PROPOSED LANDSCAPED AREA = 11,266 SQ. FT.



PROJECT  
COACHELLA CANNABIS  
CO. - CONSUMPTION  
LOUNGE

40156 DILLON ROAD  
COACHELLA, CA 92226

NO. ISSUED/REVISION DATE

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SHEET TITLE  
CONCEPTUAL  
LANDSCAPE PLAN

NAME OF CLIENT ARCHITECTURE FIRM OR PROJECT  
STUDIO REN ARCHITECTURE

PROJECT NUMBER 1888

DATE 12/19/2019

DRAWN BY MRC

1 CONCEPTUAL LANDSCAPE PLAN  
1" = 20'

L1.01





PROJECT:  
COACHELLA CANNABIS  
CO. - CONSUMPTION  
LOUNGE

48156 DILLON ROAD,  
COACHELLA, CA 92226

NO. ISSUE/REVISION DATE

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SHEET TITLE:  
CONCEPTUAL  
LANDSCAPE  
SECTIONS

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PROJECT NUMBER: 1338  
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L3.01

