



City Hall Council Chambers
1515 Sixth Street, Coachella, California
(760) 398-3502 ♦ www.coachella.org

AGENDA
OF A REGULAR MEETING
OF THE
PLANNING COMMISSION OF THE CITY OF COACHELLA

April 17, 2019
6:00 PM

1. **CALL TO ORDER:**

2. **PLEDGE OF ALLEGIANCE:**

3. **ROLL CALL:**

4. **APPROVAL OF AGENDA:**

“At this time the Commission may announce any items being pulled from the agenda or continued to another date or request the moving of an item on the agenda.”

5. **APPROVAL OF THE MINUTES:**

A. MINUTES OF THE FEBRUARY 20, 2019 PLANNING COMMISSION MEETING.

6. **WRITTEN COMMUNICATIONS:**

7. **PUBLIC COMMENTS:**

“The public may address the Commission on any item of interest to the public that is not on the agenda, but is within the subject matter jurisdiction thereof. Please limit your comments to five (5) minutes.”

8. **REPORTS AND REQUESTS:**

9. **NON-HEARING ITEMS:**

10. **PUBLIC HEARING CALENDAR (QUASI-JUDICIAL):**

- a. Review of Zoning Ordinance Amendments (ZOA 19-01) amending various sections of Title 17 (Zoning of the Coachella Municipal Code in order to amend zoning regulations regarding commercial cannabis activity facilities and retail cannabis businesses in order to expand the allowable locations and increase the number of allowable retailers, modify current zoning regulations for cannabis activity facilities, and make conforming amendments.

- b. Architectural Review (AR 19-01) to approve the Oraway Engineering Building consisting of an 825 sq. ft. office building, 7,500 sq. ft. pre-fabricated warehouse building, and two shade structures totaling 16,500 square feet for storage of construction vehicles and equipment, plus incidental outdoor storage, on a vacant, 2.89 acre lot in the M-H (Heavy Industrial) zone located at 54-101 Enterprise Way. (APN 778-102-008).
- c. Architectural Review No. 18-11 to approve the Pueblo Viejo Plaza; a request to develop a vacant .9 acre parcel with two restaurant pads and two retail/office buildings. The proposed development consists of four separate buildings to be developed in four phases totaling 6,900 square feet. (APN 778-102-008)
- d. Tower Energy / Ravella Modified Project consisting of the following applications:

Conditional Use Permit 268 (Modification No. 1) to allow off-street parking in the RM-PD Overlay zone for the proposed modifications to the prior-approved commercial component of the Project; and,

Architectural Review No. 16-05 (Modification No. 1) to allow a new 40,919 square foot, two-story medical office/clinic in the CN-PD zone for Borrego Health; and,

Addendum to Mitigated Negative Declaration and Mitigation Monitoring Program pursuant to CEQA Guidelines for Environmental Assessment No. 16-02 for the Tower/Ravella Modified Project.

11. **INFORMATIONAL:**

12. **ADJOURNMENT:**

ⁱ Any writing or documents pertaining to an **open session** item provided to a majority of the City Council less than 72 hours prior to the meeting, shall be made available for public inspection at the front counter of City Hall located at 1515 Sixth Street, Coachella, CA during normal business hours.

THIS MEETING IS ACCESSIBLE TO PERSONS WITH DISABILITIES

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STAFF REPORT
4/17/2019

TO: Planning Commission

FROM: Juan Carrillo, Associate Planner

SUBJECT: Architectural Review (AR 19-01) to approve the Oraway Engineering Building consisting of an 825 sq. ft. office building, 7,500 sq. ft. pre-fabricated warehouse building, and two shade structures totaling 16,500 square feet for storage of construction vehicles and equipment, plus incidental outdoor storage, on a vacant, 2.89 acre lot in the M-H (Heavy Industrial) zone located at 54-101 Enterprise Way. (APN 778-102-008).

STAFF RECOMMENDATION:

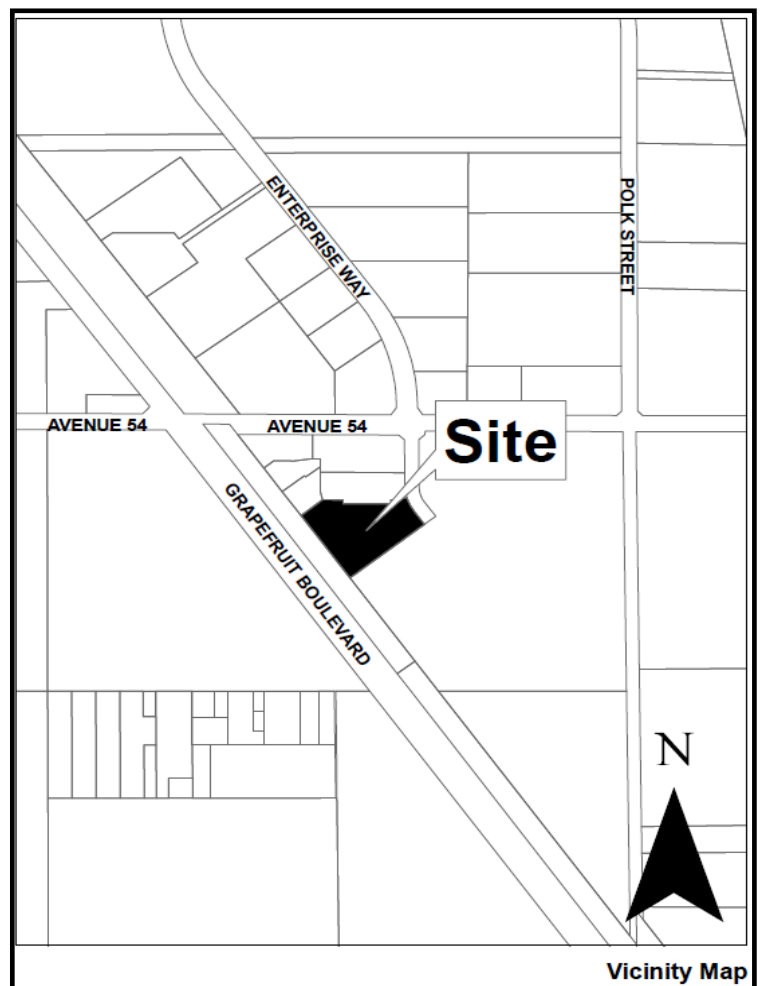
Staff recommends that the Planning Commission approve Architectural Review No. 19-01 for Oraway Engineering with the findings and conditions of approval listed in this staff report.

BACKGROUND:

The above-referenced project was previously reviewed as Pre-Application Review 18-09 by staff on November 8, 2018. Staff routed the application for outside agency comments and provided the applicant a formal response which included responses from some of the outside agencies. The applicant submitted the formal application on January 29, 2019 for the proposed development. Once the application was deemed complete staff scheduled the application for this public hearing.

Project Description:

Oraway Engineering has its headquarters in Coachella and is currently operating on City-owned land at the southeast corner of 2nd Street and Vine Avenue. Engineering and construction services such as public works, farming, retail development and other general construction services are provided locally as well as outside of the Coachella Valley. Oraway Engineering is proposing to



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construct an 825 sq. ft. office building with public parking, and a 7,500 sq. ft. pre-fabricated warehouse building, and two shade structures totaling 16,500 square feet within a gated for contractor's yard.

The proposed project includes incidental outdoor storage, on a vacant, 2.89 acre lot in the M-H (Heavy Industrial) zone located at 54-101 Enterprise Way. (APN 763-280-015). Shown below are a rendering of the proposed office building fronting onto 54-101 Enterprise Way and a view of two of the proposed storage buildings.



Environmental Setting:

The subject site is a 2.89 acre vacant parcel relatively flat. Surrounding land uses include the following:

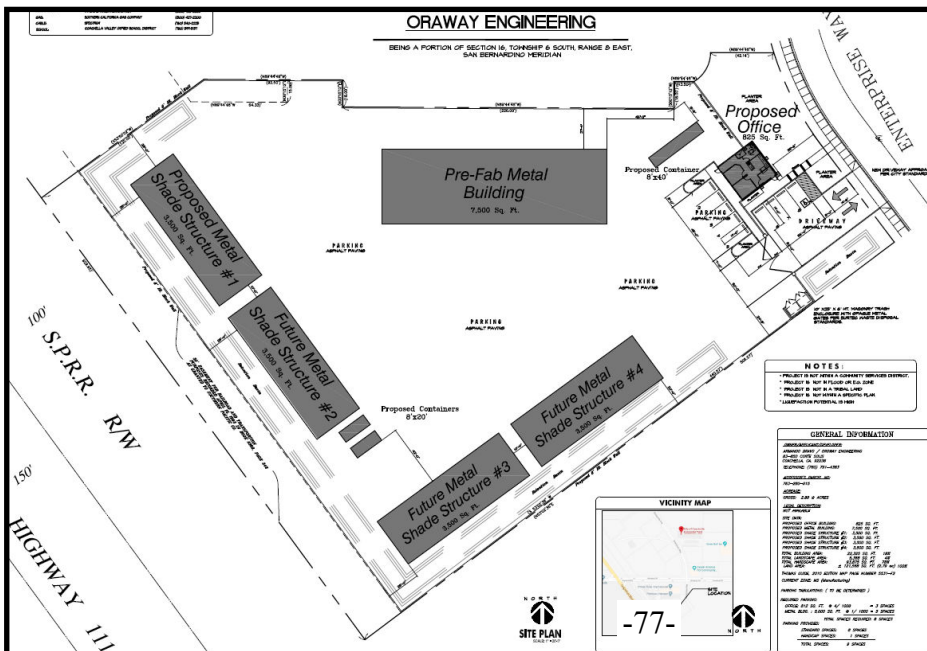
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- North: An existing industrial office building directly north of the proposed development.
- South: Vacant industrial land.
- East: Enterprise Way and vacant industrial land beyond.
- West: Union Pacific Railroad tracks and Hwy 111 beyond.

SITE PLAN REVIEW

Overview of the Oraway Engineering Project:

The proposed project site consists of a 2.89 acre vacant parcel within the Rancho Coachella Industrial Centre. The subject site is located south of Avenue 54 and west of Enterprise Way at the end of the Cul-De-Sac. The parcel consists of an irregular shape because of existing parking design on the development to the north. The Union Pacific Railroad tracks are immediately west of the proposed site. Below is an aerial view of the site showing the existing development to the north and the proposed site plan design demonstrating the irregular shape of the parcel.



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General Plan Consistency:

The 2.89 acre site is within an Industrial District as identified by the 2035 City of Coachella General Plan. The proposed project is supported by the General Plan because the land use designation accommodates a range of light and heavy commercial and industrial uses that provide employment and generate more noise, light, odor, or truck traffic that would be appropriate in the urban employment district. Furthermore, Urban Form Guidelines call for significant outdoor operation and higher for uses requiring only small amounts of parking. (Industrial District, Land Use Community Character 04-42)

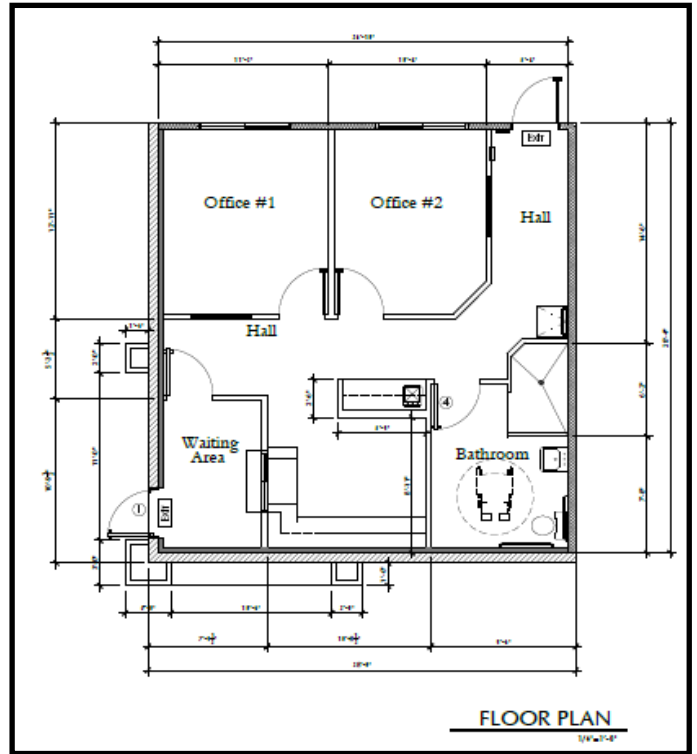
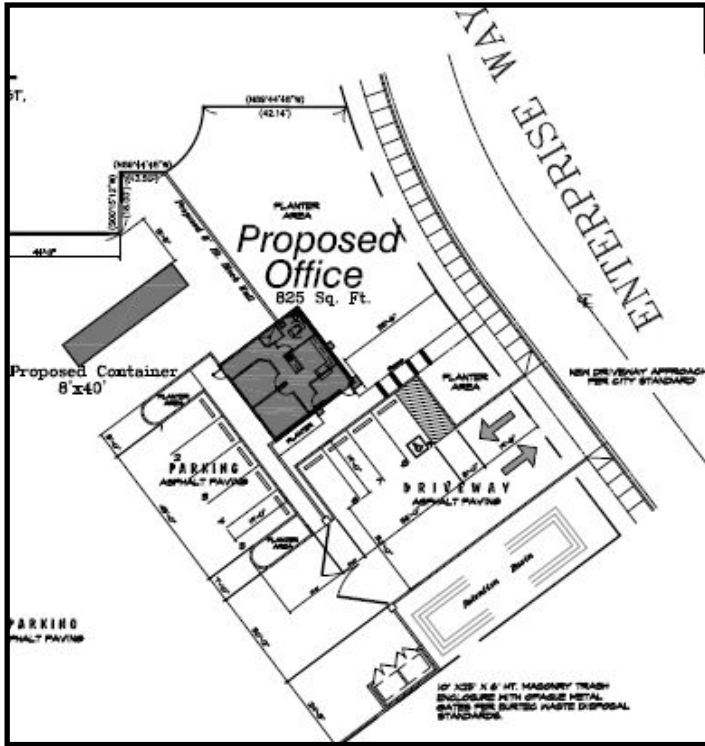
Consistency with the Zoning Ordinance:

Section 17.30.020(39)(a and b) in the M-S (Manufacturing Service) allow for the proposed use by Oraway Engineering. The proposed Oraway Engineering development meets all of the requirements for a storage yard as allowed in the M-H (Heavy Industrial) zoning designation as stated in Section 17.32.020 Permitted uses(A)(1) which references Section 17.30.020 as stated above. Additionally, the office building will provide required off-street parking in the front portion of the site. And the storage buildings provide parking stalls for contractor equipment and trucks.

Circulation and Infrastructure

Proposed access to the site is from Enterprise way almost at the end of the Cul-De-Sac. Four parking spaces are provided for clients visiting the office. Five additional parking spaces are provided for employees inside the proposed storage yard. A gate is provided for security purposes and for operational purposes. The proposed office consists of 825 square feet, the entrance to the proposed project, the proposed floor plan and a rendering looking to the building from the client parking is provided below:

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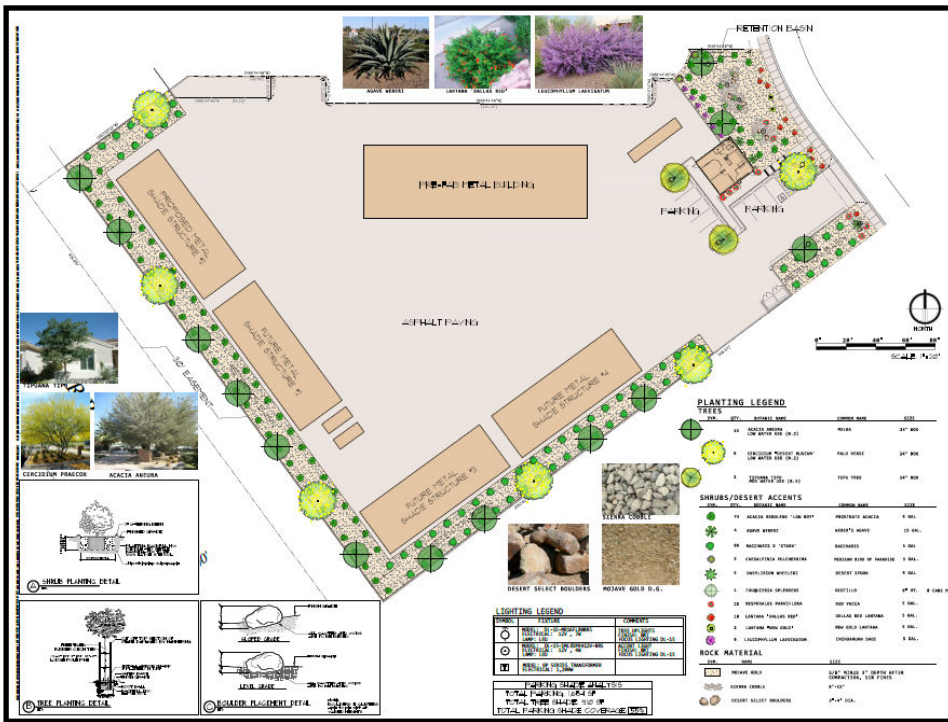
Proposed office building

Infrastructure:

Water and sewer lines are available at the project site without significant line extensions. Sidewalk, curb-and-gutter, and half-street improvements are part of the required infrastructure to serve the proposed project. Internal circulation has been reviewed by the Riverside County Fire Department and the project has been conditioned to obtain approval from Riverside County Fire Department.

Proposed landscaping:

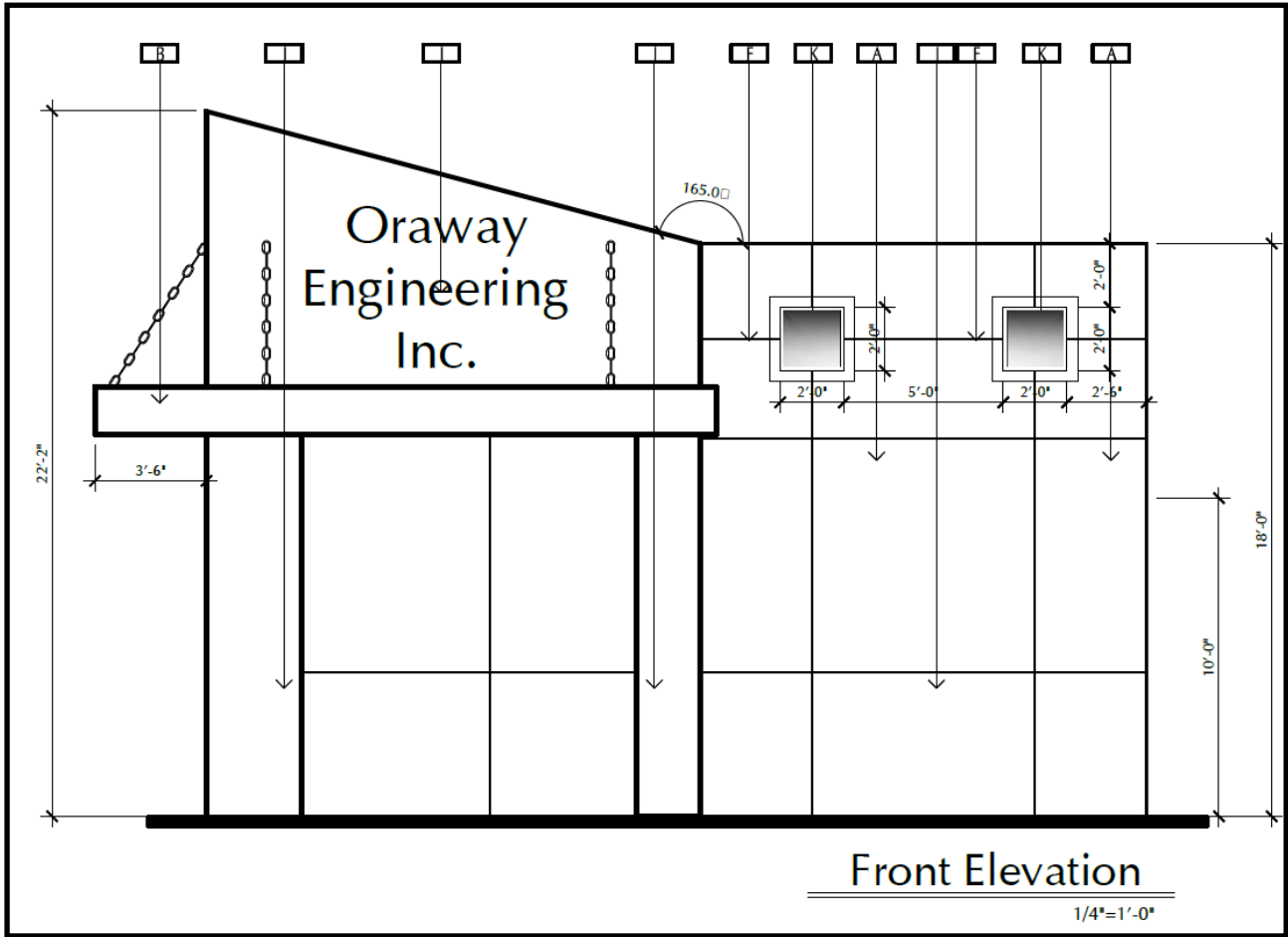
The perimeter planting, and parking lot plantings will exceed the City's parking lot landscaping regulations. A conceptual landscaping plan for the entire project is illustrated below. Final landscaping plans will be submitted and approved prior to the issuance of building permits for development within the project. Planting material includes Acassia Redolems, Agave, Lantana, and other planting material as shown below.



SHRUBS/DESERT ACCENTS		
SYM.	QTY.	BOTANIC NAME
(Green circle)	73	ACACIA REDOLENS 'LOW BOY'
(Green star)	4	AGAVE WEBERI
(Green circle)	66	BACCHARIS X 'STARN'
(Purple star)	2	CAESALPINIA PULCHERRIMA
(Green star)	5	DASYLIRION WHEELERI
(Green circle)	1	FOQUIERIA SPLENDENS
(Red star)	15	HESPERALOE PARVIFLORA
(Red star)	10	LANTANA 'DALLAS RED'
(Green square)	2	LANTANA 'NEW GOLD'
(Purple star)	6	LEUCOPHYLLUM LAEVIQATUM

ROCK MATERIAL	
SYM.	NAME
(Yellow square)	MOJAVE GOLD
(Grey square)	SIERRA COBBLE
(Brown circle)	DESERT SELECT BOULDERS

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SECTIONS KEYNOTES	
← [A]	Exterior Plaster 3 Coat - Stucco - Sand Finish o/ Lath and Plaster La Habra Stucco #ER4226
← [B]	3 Ply Class 'A' Built-up Roofing Over Plywood Sheathing
← [C]	Corrosion Resistant Weep Screed 24 Ga. Min.
← [D]	Concrete Footing Per Structural Plans
← [E]	2x6 Stud Wall @ 16" O.C. w/ R-19 Insulation
← [F]	2x4 Stud Wall @ 16" O.C.
← [G]	Acoustic Tile Hung Ceiling
← [H]	4" Thick Concrete Slab, See Structural Plans
← [I]	Manufactured Trusses @ 24" O.C.
← [J]	R-38 Insulation
← [K]	5/8" Gypsum Board
← [L]	Existing Block Wall To Remain
← [M]	Metal Canopy w/ Metal Chains



Signage:

No signage is proposed with the development of the site. Section 17.56.010(G) of the zoning code allows for one identification monument sign of twenty (20) square feet (four feet x five feet maximum) with a five feet maximum height. The applicant may opt to apply for a sign via a sign program or apply for a wall sign which can submit at a later time. The sign program will be subject to the review and approval of the Planning Commission.

ENVIRONMENTAL REVIEW:

The City of Coachella has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15332 as an infill development because the project involves development on a site under five acres where the parcel complies with General Plan policies and zoning regulations, and where the project site has no value as habitat for endangered, rare or threatened species, and where the site can be adequately served by all required utilities and public services, and the project will not result in any significant effects relating to traffic, noise, air quality, or water quality. The subject site has been previously graded and disturbed and has no suitable habitat for endangered species. There are existing utilities and public services available to serve the site. As proposed, the project will comply with General Plan policies and zoning code regulations and the project does not result in any significant traffic, air quality, or water quality impacts. As such, no additional environmental review is required.

ALTERNATIVES:

1. Approve Architectural Review No. 19-01 with the findings and conditions contained in the staff report.
2. Approve Architectural Review No. 19-01 with modified conditions.
3. Continue Architectural Review No. 19-01 and provide staff direction.
4. Make findings and Deny Architectural Review No. 19-01.

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RECOMMENDED ALTERNATIVE(S):

Staff recommends alternative #1 or #2.

FINDINGS FOR ARCHITECTURAL REVIEW NO. 19-01:

1. The proposed project is consistent with the goals, objectives, policies, and implementation measures of the newly adopted Coachella General Plan 2035. The site has an Industrial District land use designation that accommodates for a range of light and heavy commercial and industrial businesses that provide employment and generate more noise, light, odors or truck traffic. The proposed use on the site is in keeping with the policies of the Industrial Center land use classification and the project is internally consistent with other General Plan policies for this type of development. Furthermore, the project is consistent with the policies of the Land Use and Community Character's Sub-Area #7 policies which pursue the transformation over time into an employment district that contains a diversity of job-producing uses such as the one proposed.
2. The proposed project is in compliance with the applicable land use regulations and development standards of the City's Zoning Code. The site plan proposes to develop a vacant 2.89 acre parcel into a contractor's yard, including, contractor's storage yards and building materials use. Section 17.30.020(39)(a and b) of the Municipal Code allows the use of outdoor storage yards in the M-H (Heavy Industrial) zoning designation as stated in Section 17.32.020 Permitted uses(A)(1) which references Section 17.30.020 as stated above.
3. Development of the land and application of architectural guidelines and development standards shall be considered on the basis of the suitability of the site for a particular use or development intended, and the total development, including the prescribed development standards, shall be so arranged as to avoid traffic congestion, ensure the protection of public health, safety and general welfare, prevent adverse effects on neighboring property and shall be in accord with all elements of the general plan. The proposed project site is within the Industrial Center land use designation of the City's general plan. The proposed uses will be compatible with existing adjacent uses that include other industrial uses within the immediate vicinity.
4. The proposed project will be compatible with neighboring properties with respect to land development patterns and application of architectural treatments. The plans submitted for this project propose a storage yards, including contractors storage yards and building materials use with amenities for the future residents, commercial, and industrial community.
5. The City of Coachella has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15332 as an infill development because the project involves development on a site under five acres where the parcel complies with General Plan policies and zoning regulations, and

where the project site has no value as habitat for endangered, rare or threatened species, and where the site can be adequately served by all required utilities and public services, and the project will not result in any significant effects relating to traffic, noise, air quality, or water quality. The subject site has been previously graded and disturbed and has no suitable habitat for endangered species. There are existing utilities and public services available to serve the site. As proposed, the project will comply with General Plan policies and zoning code regulations and the project does not result in any significant traffic, air quality, or water quality impacts. As such, no additional environmental review is required.

CONDITIONS OF APPROVAL FOR ARCHITECTURAL REVIEW NO. 19-01:

1. Architectural Review No. 19-01 is approved for one year from the effective date unless an extension of time is requested by the applicant and granted by the Planning Commission. A building permit and diligent pursuit of construction shall vest the project entitlements.
3. The proposed site plan, floor plans, elevations, and landscape plans as presented may be modified by these Conditions of Approval.
4. Wall signage and a monument sign, if proposed shall be submitted as a separate sign permit and it shall be approved prior to installation.
5. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
6. If applicant is planning to build a wall, separate permits shall be required for wall construction. The maximum height of the proposed wall is at 8 feet high and it is only applicable to the storage area of the proposed project.
6. The retention basin fronting onto Enterprise way shall include wrought iron fencing if warranted by the engineering department.
7. The applicant shall repair the pavement on Enterprise Way to the satisfaction of the City Engineer from the centerline of the street at the entire street frontage of the proposed project.

Engineering:

Grading and Drainage

12. A preliminary geological and soils engineering investigation shall be conducted by a registered soils engineer, and a report submitted for review with the precise grading plan and shall include pavement recommendations. The report recommendations shall be

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incorporated into the precise grading plan design prior to plan approval. The soils engineer and/or the engineering geologist shall certify to the adequacy of the grading plan.

13. A precise grading/improvement plan, prepared by a California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. A final soils report, compaction report and rough grading certificate shall be submitted and approved prior to issuance of any building permits.
14. A Drainage Report, prepared by California Registered Civil Engineer, shall be submitted for review and approval by the City Engineer prior to issuance of any permits. The report shall contain a Hydrology Map showing on-site and off-site tributary drainage areas and shall be prepared in accordance with the requirements of the Riverside County Flood Control District. Adequate provisions shall be made to accept and conduct the existing tributary drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties. If the design of the project includes a retention basin, it shall be sized to contain the runoff resulting from a 10-year storm event and the runoff from a 100-year storm event shall be contained within basin with shallow ponding (3.5' max.). The basin shall be designed to evacuate a 10-year storm event within 72 hours. The size of the retention basin(s) shall be determined by the hydrology report and be approved by the City Engineer. Retention basin shall be provided with a minimum of 2.00 feet sandy soil if determined to contain silt or clay materials. Maximum allowable percolation rate for design shall be 10 gal./s.f./day unless otherwise approved by the City Engineer. A percolation test for this site is required to be submitted. A combination drywell vertical drain field shall be constructed at all points where runoff enters the retention basin. Drywell & vertical drain field design shall be based on soils borings made at the proposed drywell locations after the retention basins have been rough graded. Minimum depth shall be 45-feet. A log that includes sieve analysis for each strata of the borings shall be submitted to the City Engineer for confirmation of depth of the vertical drain fields. Underground retention under the proposed parking area will be considered as an alternative to surface retention subject to the approval of the City Engineer.
15. Site access improvements shall be in conformance with the requirements of Title 24 of the California Administrative Code. This shall include access ramps for off-site and on-site streets as required.
16. Applicant shall obtain approval of site access and circulation from Fire Marshall.
17. Applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.

Street Improvements

18. Street improvement plans prepared by a California Registered Civil Engineer shall be submitted for engineering plan check prior to issuance of encroachment permits. All street improvements including street lights shall be designed and constructed in conformance with City Standards and Specifications. Street flow line grade shall have a minimum slope of 0.35 %.

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19. Applicant shall construct all off-site and on-site improvements including, curb, gutter, sidewalk, street trees, perimeter walls, perimeter landscaping and irrigation, storm drain, and any other incidental works necessary to complete the improvements. Existing driveways shall conform to City of Coachella standards for commercial driveways with a minimum width of 24.00 feet and curbed radius entrances as per City Standard.
20. Applicant shall obtain an encroachment permit for any improvements constructed within public right-of-way including alleys.
21. Applicant shall repair street asphalt, curb/gutter and damaged sidewalk fronting the property.

Sewer and Water Improvements

22. Sewer & Water Improvement Plans prepared by a California Registered Civil Engineer shall be submitted for engineering plan check and City Engineer approval.
23. Sewer and Water service is available. Applicant shall plot location of existing service mains on the grading plan.

General

24. Prior to issuance of any encroachment permits by the City of Coachella, the applicant shall resolve CVWD issues related to existing tile drains or irrigation mains located within the project boundary or along the streets adjacent to the property. If necessary tile drains and irrigation lines shall be relocated and easement documents prepared for the new location of any such lines. Plans for the tile drain or irrigation relocation shall be submitted to CVWD for approval and a copy of the plans shall be submitted to the City for evaluation regarding possible conflict with City facilities. The applicant shall submit to the City approved copies of any such relocation plans.
25. The developer shall submit a Fugitive Dust Control and Erosion Control plan in accordance with Guidelines set forth by CMC and SCAQMD to maintain wind and drainage erosion and dust control for all areas disturbed by grading. Exact method(s) of such control shall be subject to review and approval by the City Engineer. No sediment is to leave the site. Additional securities, in bond form, in amount of \$2,000.00 per acre of gross area, and a one-time cash deposit of \$2,000.00 are required to insure compliance with this requirement. No work may be started on or off site unless the PM-10 plan has been approved, the original plans, and executed dust control agreement, are filed in the engineering department at the City of Coachella.
26. The applicant shall pay all necessary plan check, permit and inspection fees. Fees will be determined when plans are submitted to the City Engineering Department for plan check.

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27. Applicant shall comply with the valley wide NPDES permit requirements including but not limited to submittal of a Preliminary WQMP for plan review accompanied by a \$3,000 plan check deposit and a Final WQMP for final approval including executed maintenance agreement. All unused plan check fees will be refunded to the applicant upon approval of the Final WQMP.

Completion

28. "As-built" plans shall be submitted to and approved by the City Engineer. Prior to acceptance of the improvements by the City, such plans, once approved, shall be given to the city on compact disk in AutoCad format. All off-site and on-site improvements shall be completed to the satisfaction of the City Engineer prior to acceptance of improvements for maintenance by the City.

Development Services – Landscaping:

29. Final landscaping and irrigation plans shall be submitted to the Development Services Department for review and approval. Said plans shall conform to the landscaping plan submitted as part of the subject Architectural Review, and as conditioned herein.
30. Prior to the issuance of building permits, the applicant shall submit detailed landscaping and irrigation plans for review and approval by the City's Engineering Department and Development Services Department.
31. Landscaping and irrigation shall be provided in accordance with Section 17.54.010(J) of the Municipal Code and in accordance with the State Model Water Efficient Landscape Ordinance (AB 1881). Water budget calculations, including the Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use (ETWU) shall be provided as part of the landscaping and irrigation plan.
32. The landscape plan shall provide for a minimum 5-gallon groundcover plants, 5-gallon shrubs, and 24-inch box trees. The plants and trees shall be irrigated with an automatic and durable drip irrigation system.
33. Landscape areas shall be dressed with a minimum ½ inch layer of compacted and/or glue-bonded decomposed granite that cannot be wind driven. A weed barrier underlayment shall be placed under the decomposed granite.
34. Plant materials selected shall be represented by symbols that show the plants at 75% of their mature size.
35. The applicant shall obtain written clearance from the County Agricultural Commissioner's Office regarding the type of landscaping to be planted. The clearance letter shall be included as a note on the landscape plans. The applicant shall utilize only plants that were listed on the landscape plan submitted to the Commissioner's office.

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Any substitutions must be approved by both the Commissioner's office as well as the City's Development Services Department.

36. Six-inch concrete bands shall be installed as mow strip borders for planting areas where separating turf areas or synthetic turf areas from pavement parking.
37. All landscape planter beds in interior parking areas shall be not less than five (5) feet in width and bordered by a concrete curb not less than six (6) inches nor more than eight (8) inches in height adjacent to the parking surface.
38. All non-landscaped and undeveloped areas of the site shall be kept free of weeds and debris and shall be treated with a dust-preventative groundcoating.

Development Services – Project Design:

39. Prior to the issuance of building permits, all exterior architectural features and treatments shall be consistent with the submitted Architectural Review No. 19-01 the projects construction plans and elevations, and subject to review and approval.
40. All exposed metal flashing, downspouts, or utility cabinets shall be painted to match the building color prior to final inspection.
41. Trash enclosures installed for the project shall be architecturally compatible with the building and include storage areas for recycling containers. The enclosure shall be constructed to Burrtec Waste Management Standards and be consistent with the Design Guidelines. Both Burrtec Waste Management and the City Engineer shall approve the location of the trash enclosure.
42. All roof mounted mechanical equipment, except solar panels, shall be view obscured by a parapet wall greater in height than the equipment installed. Ground mounted mechanical equipment shall be view obscured by landscaping or enclosure.
43. Outdoor storage areas shall be obscured from public view and specifically shall not be visible from any public roads.

Imperial Irrigation District:

53. IID holds easement rights for the CI 92 kV transmission line and distribution underbuilt running along the project's northern property boundary. Any construction or operation on IID property or within its existing and proposed right-of-way or easements will require an encroachment permit, including but not limited to: surface improvements such as proposed new streets, driveways, parking lots, landscape; and all water, sewer, storm water, or any other above ground or underground utilities (e.g. power lines).

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54. Any and all mitigation necessary as a result of the construction, relocation and/or upgrade of IID facilities is the responsibility of the project proponent.
55. Before raising any cranes, forklifts or other aerial equipment, applicant should check for overhead wires. Non-qualified electrical workers and those operating boom type lifting or hoisting equipment must maintain appropriate clearances from distribution lines and transmission lines per California Code of Regulations Title 8, Electrical Safety Orders, and the IID Developer Energy Planning Guide.
56. If ground excavation is required, even for seemingly benign applications such as anchoring a tent, please contact Underground Service Alert. This service is free of charge provided USA is given at least two working days' notice. You may call toll free at 811 Underground Service Alert.

Environmental Compliance:

57. Submit water and sewer plans for approval from Utilities Department. The project is required to connect to City public sewer and water system.
58. The project will require a Water Quality Management Plan (WQMP) - >5 acres.
59. The proposed facility will be required to submit detailed plumbing and mechanical plans.
60. The applicant shall install an above ground "Double Check Detector Assembly" DCDA for fire system to protect water supply from contamination or pollution.
61. The applicant shall install separate 4G-AMI metering system for each building, and install separate 4G-AMI metering system for the irrigation system.
62. Backflow devices; will require Reduced Pressure Principle Device (RP) within 12 inches of water service installed to protect water supply from contamination or pollution.
63. The project shall implement the State's drought mandate, which prohibits irrigation with potable water outside newly constructed homes, and buildings that is not delivered by drip or micro-spray systems.

Fees:

64. Prior to the issuance of a building permit, the applicant shall pay all Development Fees to the City; including outside agency fees such as sewer water and utilities. Copies of receipts shall be provided to the Development Services Department prior to permit issuance.
65. The applicant shall be responsible for paying all applicable development and processing (plan check, inspection, etc.) fees associated with this project.

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66. The applicant shall pay all required water connection fees.
67. The applicant shall be required to pay any applicable Multiple Species Habitat Conservation (MSHCP) fees for industrial development prior to issuance of building permits.
68. The applicant shall comply with the City's Art in Public Places Ordinance. If the applicant elects to pay in-lieu art fees, then the fees shall be deposited into the Public Arts Fund at an amount of One-half (1/2) of one percent (1%) for new commercial and industrial construction.
69. The project is subject to payment of all industrial development impact fees whether or not explicitly stated in other conditions of approval or the environmental mitigation measures for the subject project.

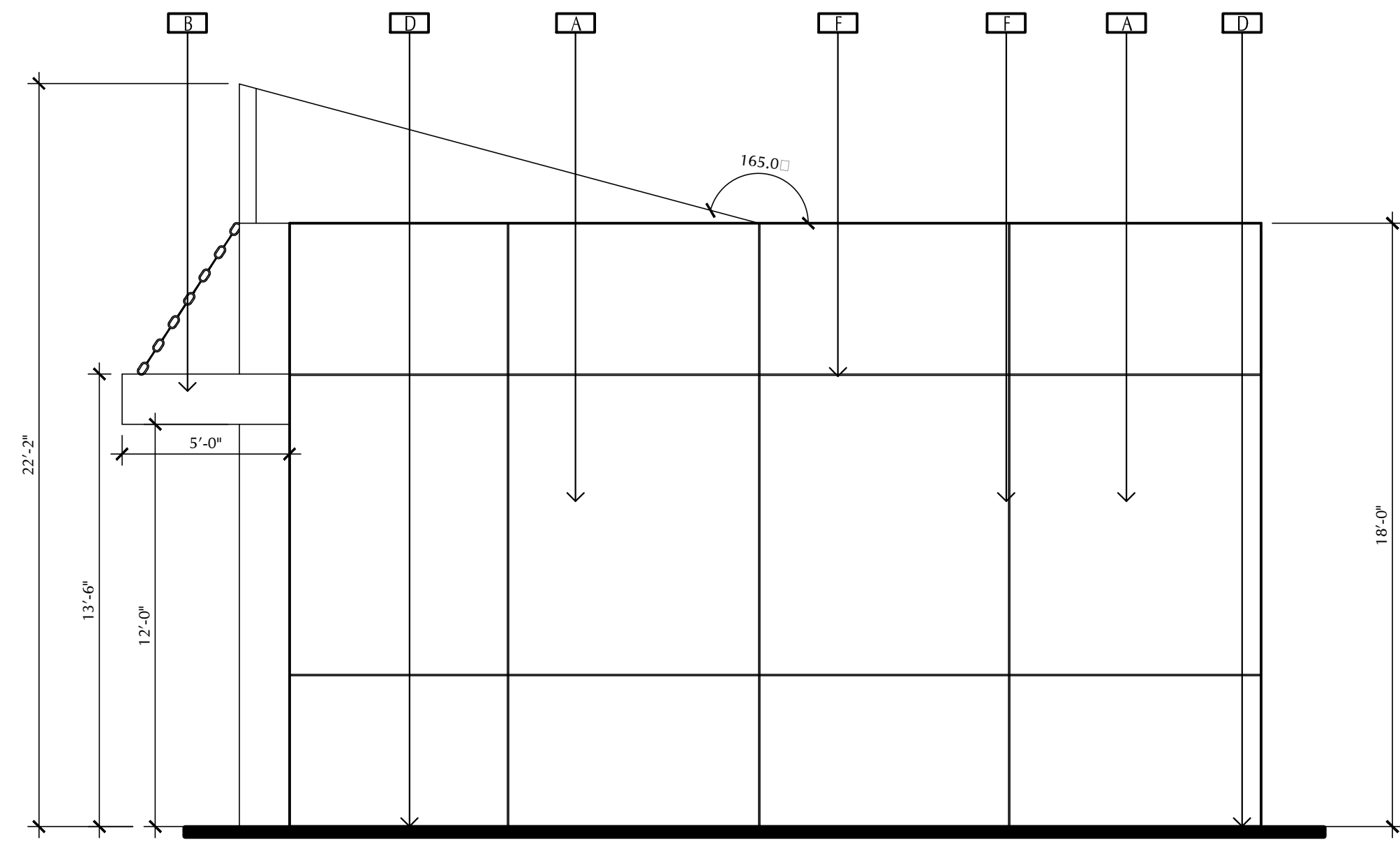
Coachella Valley Unified School District

70. The Coachella Valley Unified School District is authorized by the State Legislature to levy a developer fee on commercial/industrial development. The Applicant or successor in interest shall pay fees in effect at the time of building permit issuance. The fees collected will be used to assist in the housing of students within the Coachella Valley Unified School District.

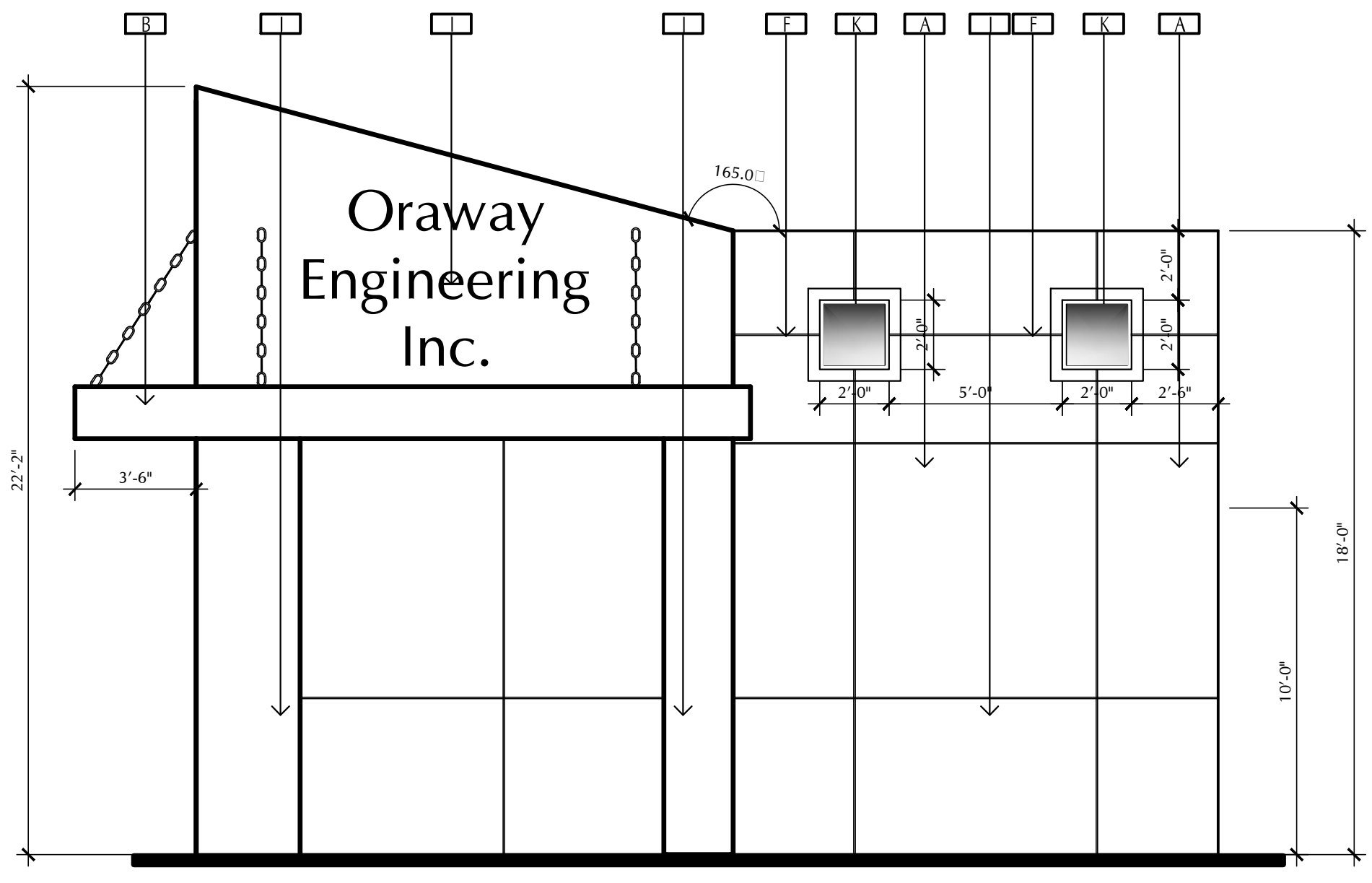
Miscellaneous:

71. Installation of sidewalks along all public roads may be satisfied by an improvement agreement subject to review and approval by the City Engineer.
72. Final design plans for proposed landscaping and fencing along the project street frontages shall be presented as an administrative item before the Planning Commission for final review and approval.
73. A minimum of two points of access shall be provided during all phases of construction to the satisfaction of the Riverside County Fire Marshal's office.

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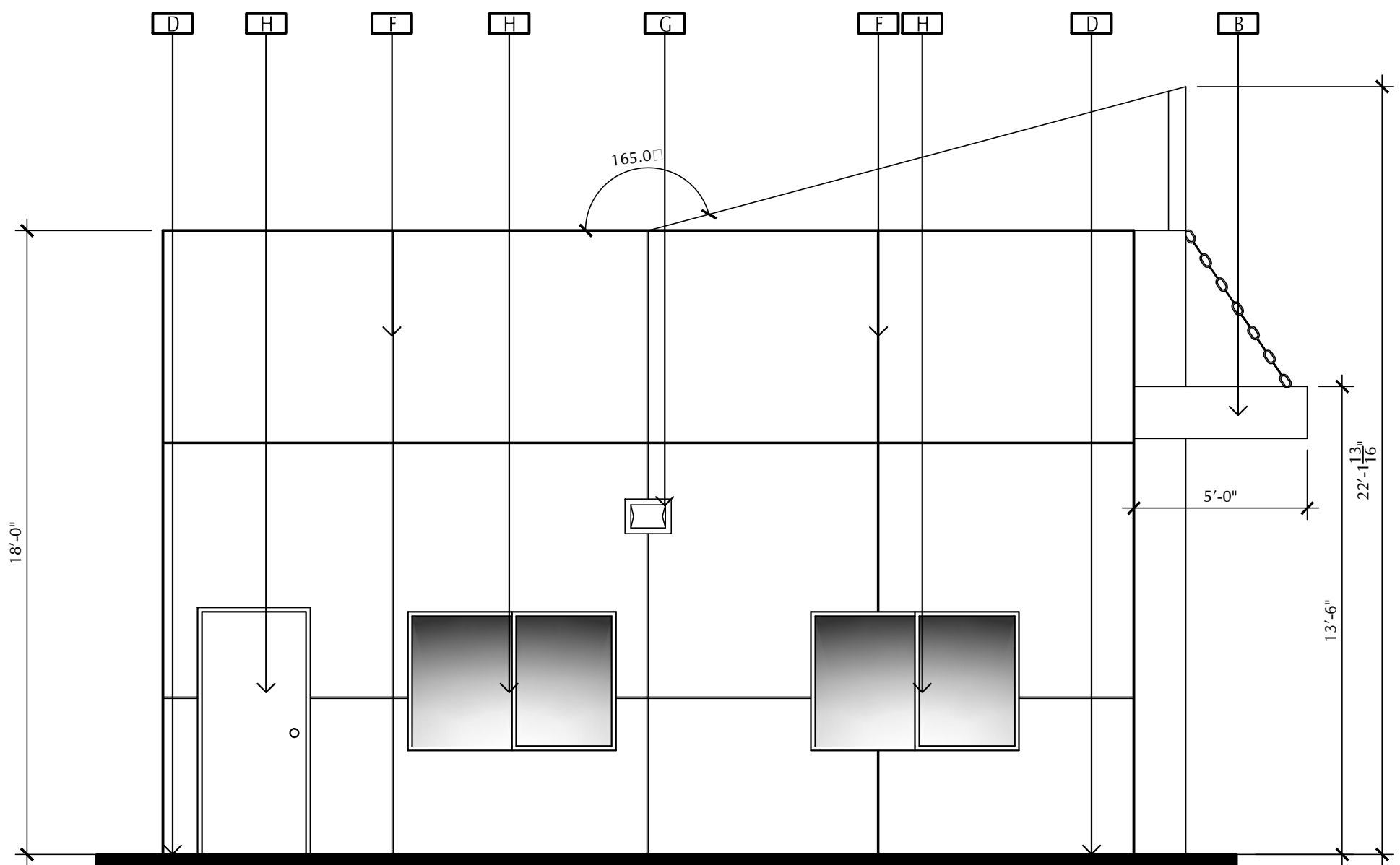


Right Elevation
1/4"=1'-0"

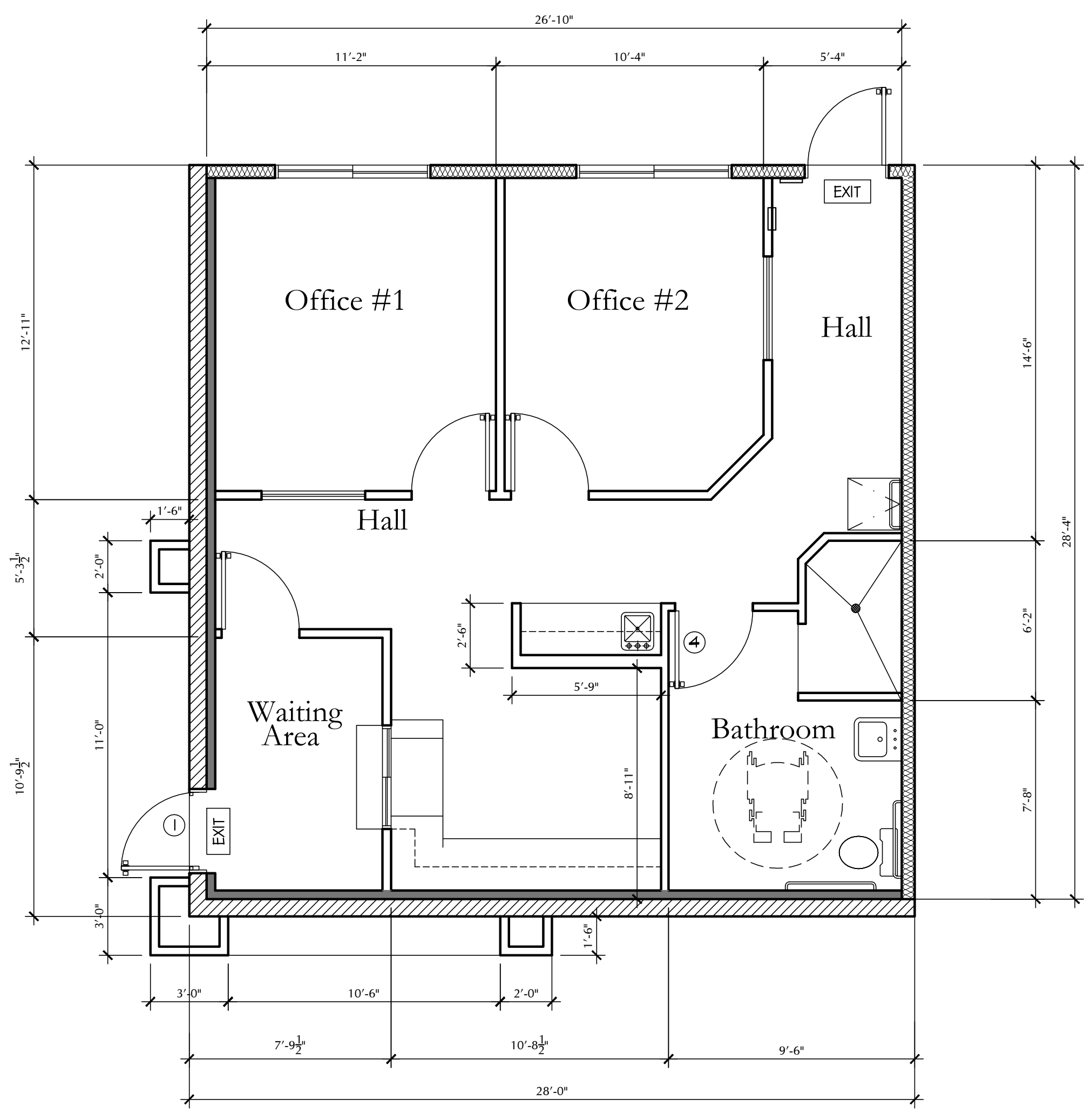


Front Elevation
1/4"=1'-0"

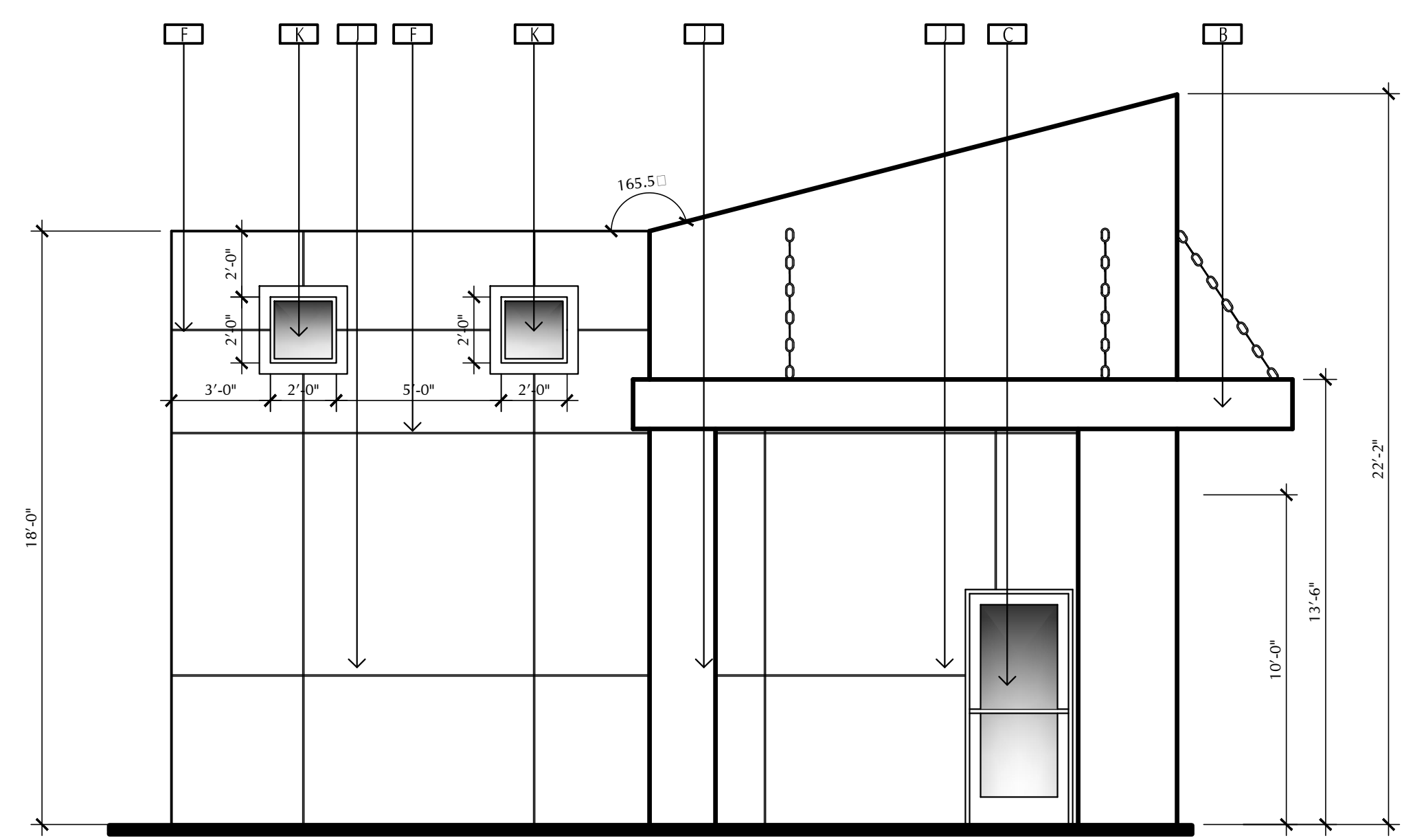
SECTIONS KEYNOTES	
← A	Exterior Plaster 3 Coat - Stucco - Sand Finish of Lath and Plaster La Habra Stucco #ER4226
← B	3 Ply Class "A" Built-up Roofing Over Plywood Sheathing
← C	Corrosion Resistant Weep Screenshot 24 Ga. Min.
← D	Concrete Footing Per Structural Plans
← E	2x6 Stud Wall @ 16" O.C. w/ R-19 Insulation
← F	2x4 Stud Wall @ 16" O.C.
← G	Acoustic Tile Hung Ceiling
← H	4" Thick Concrete Slab, See Structural Plans
← I	Manufactured Trusses @ 24" O.C.
← J	R-38 Insulation
← K	5/8" Gypsum Board
← L	Existing Block Wall To Remain
← M	Metal Canopy w/ Metal Chains



Back Elevation
1/4"=1'-0"



FLOOR PLAN
1/4"=1'-0"



Left Elevation
1/4"=1'-0"

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A PROPOSED INDUSTRIAL SHOP FOR:
ORWAY ENGINEERING
COACHELLA, CA.

REVISIONS	BY

SHEET TITLE:

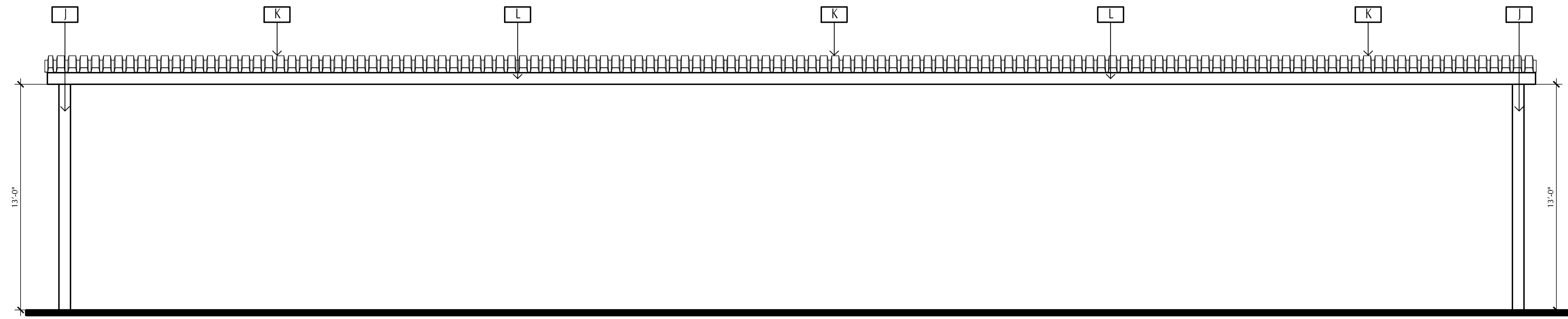
OFFICE BLDG.

DRAWN: GLA
CHECKED: GLA
DATE: SEPTEMBER 2018
SCALE: AS NOTED
JOB NO.: C-0823-2K18

SHEET

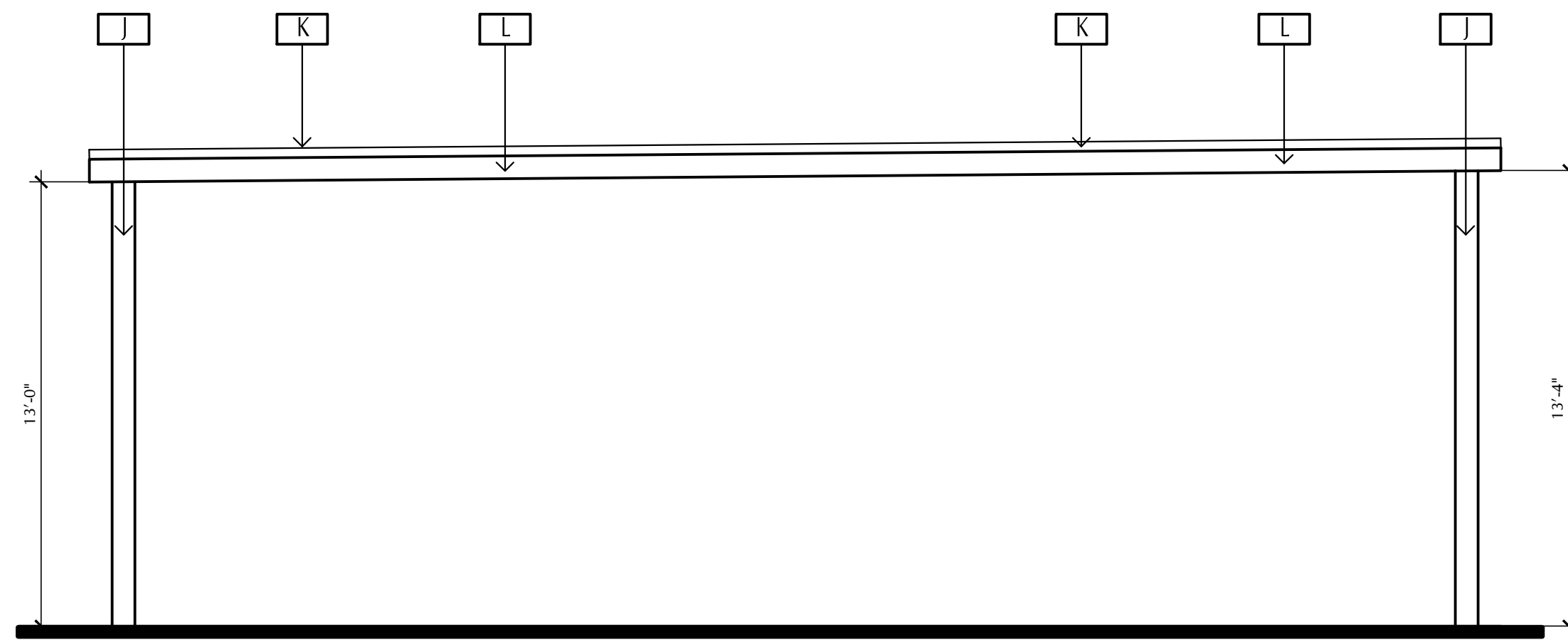
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SHADE STRUCTURE #1
Front Elevation

1/4"=1'-0"



SHADE STRUCTURE #1
Side Elevation

1/4"=1'-0"

ELEVATION KEYNOTES	
← [A]	Exterior Plaster 3 Coat - Stucco - Sand Finish o/ Lath and Plaster La Habra Stucco #ER4226
← [B]	Metal Fascia Overhang w/supporting Metal Rods
← [C]	Aluminum Store Front Door w/ Temp. Low 'E' Glass
← [D]	Corrosion Resistant Weep Scribed 24 Ga. Min.
← [E]	Aluminum Store Window w/ Dual Glass
← [F]	1" Aluminum Plaster Reglet
← [G]	Motion Light Fixture
← [H]	Hollow Metal Door - See Schedule
← [I]	Signage (Under Separate Permit)
← [J]	Steel Post (see structural plans)
← [K]	VERCO DECKING, INC.: Type N-24 Roof Deck Panels Primer Painted or Galvanized
← [L]	Steel Beam (see structural plans)



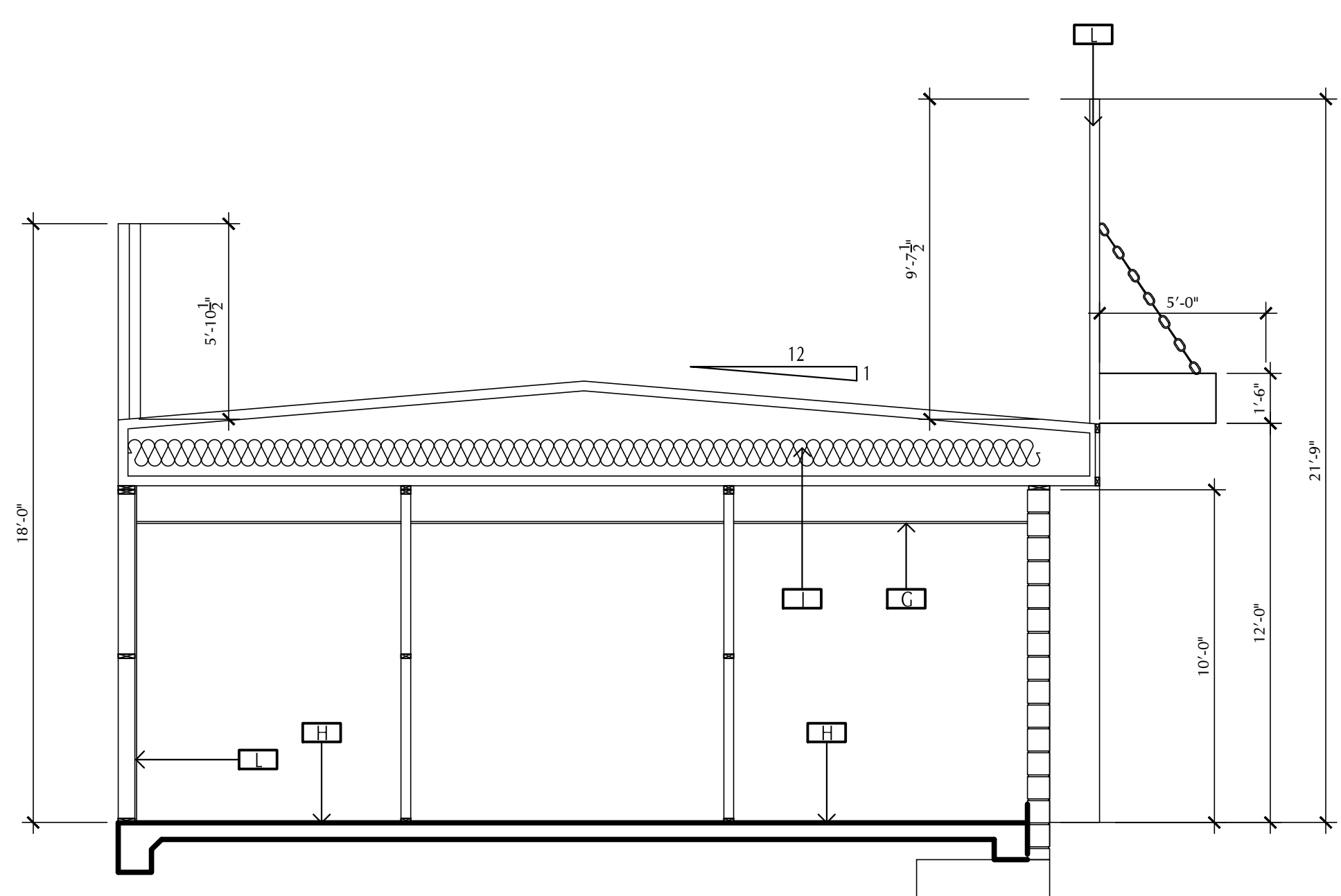
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 GABRIEL LUJAN
 PRINCIPAL DESIGNER
 77530 ENFIELD LN. BLDG. 1, STE. 101
 PALM DESERT, CA 92211
 CELL: (760) 578-8845 FAX: (760) 674-8100
 EMAIL: glujan@globeengineering.com

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COACHELLA, CA.

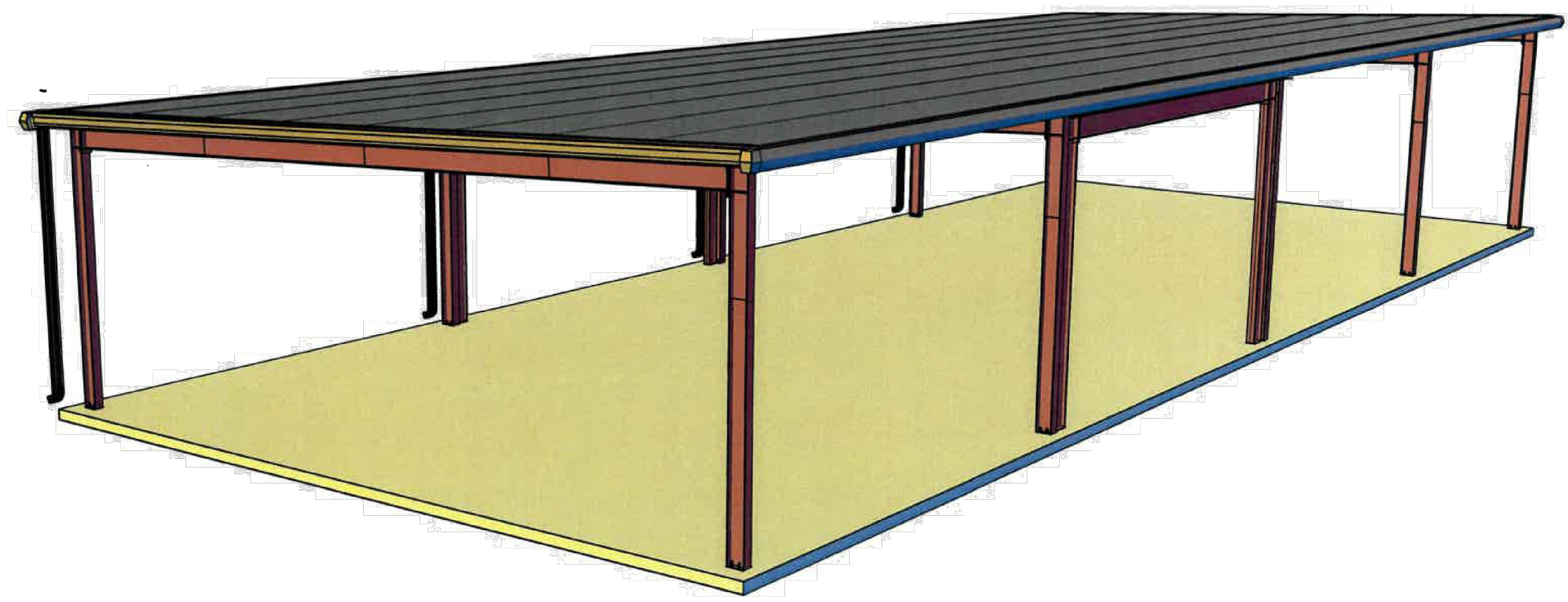
REVISIONS	BY

SHEET TITLE:
 SHADE STRUCTURE #1
 DRAWN BY: GLJ
 CHECKED BY: GLJ
 DATE: SEPTEMBER 2018
 SCALE: AS SHOWN
 JOB NO: C-0823-
 SHEET NO: 10.01



Office Bldg.
Section A

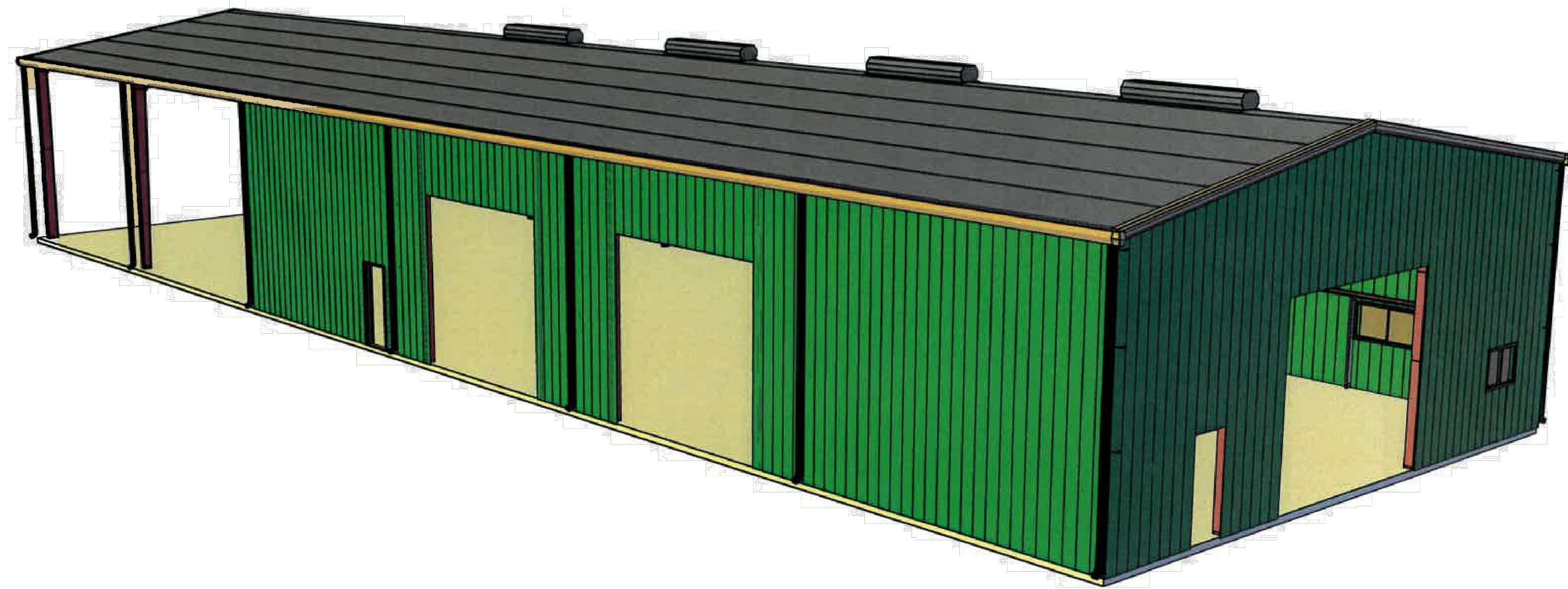
1/4"=1'-0"



SHADE STRUCTURE #2



PROPOSED METAL BUILDING



PROPOSED METAL BUILDING



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ITEM 10.b.

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COACHELLA, CA.

REVISIONS	BY

SHEET TITLE:

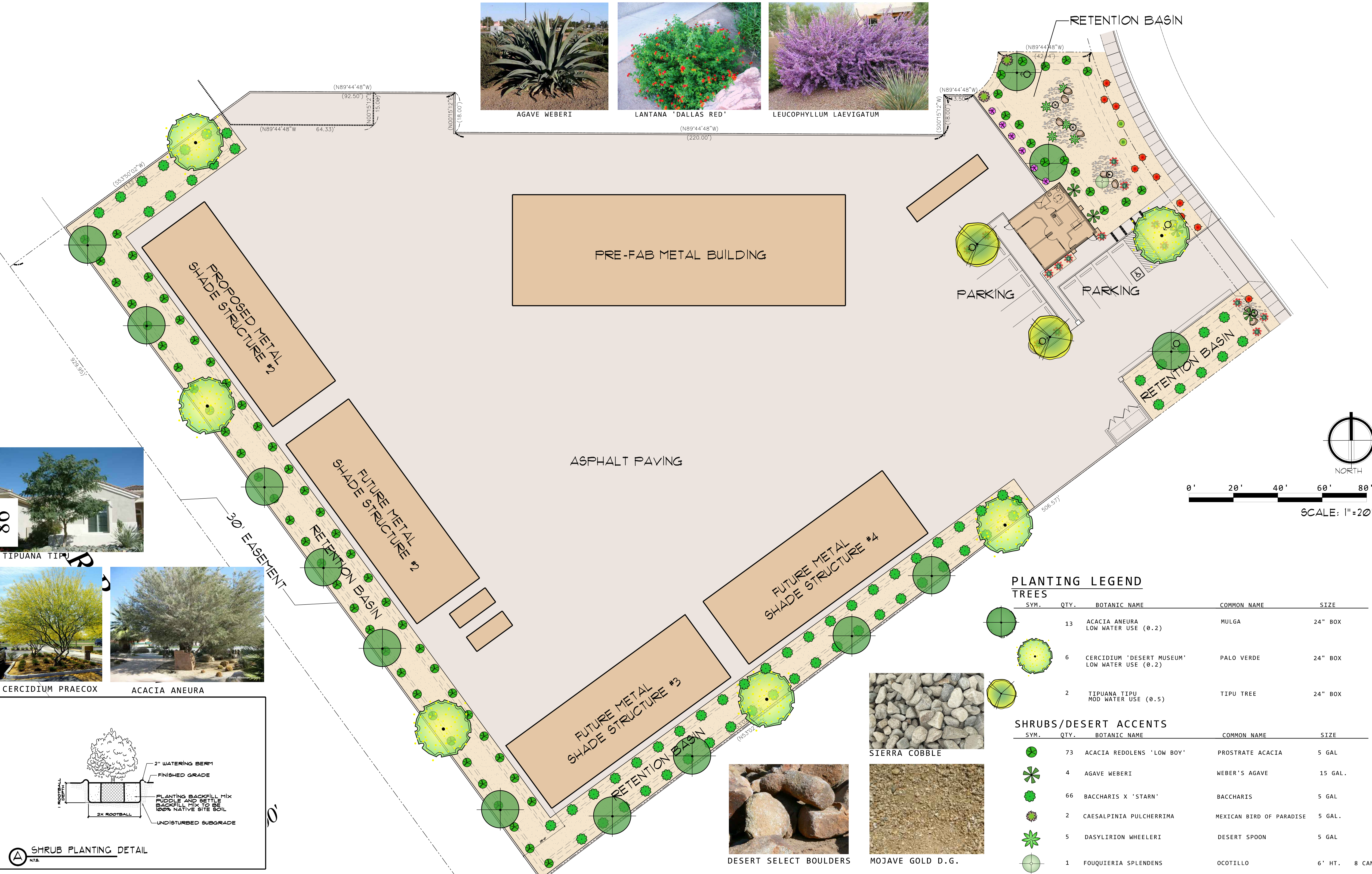
METAL BLDG.
3D RENDERING

DRAWN
G.L.A.
CHECKED
G.L.A.
DATE
SEPTEMBER 2018
SCALE
AS NOTED
JOB NO.
C-0823-2K18

SHEET

P4

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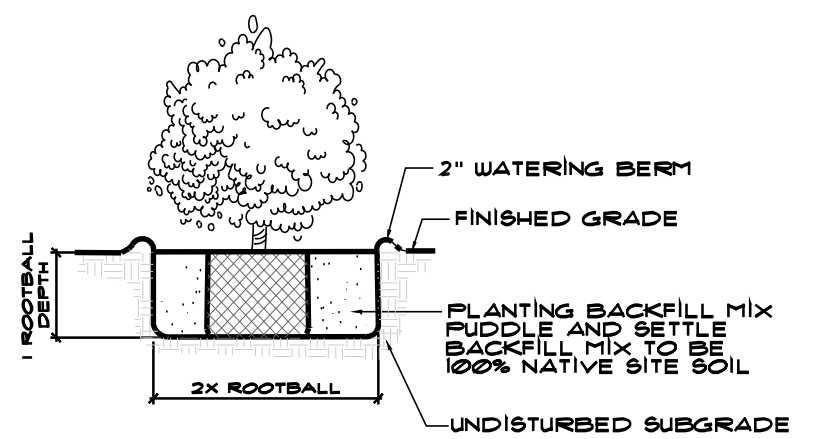
AGAVE WEBERI
 LANTANA 'DALLAS RED'
 LEUCOPHYLLUM LAEVIGATUM



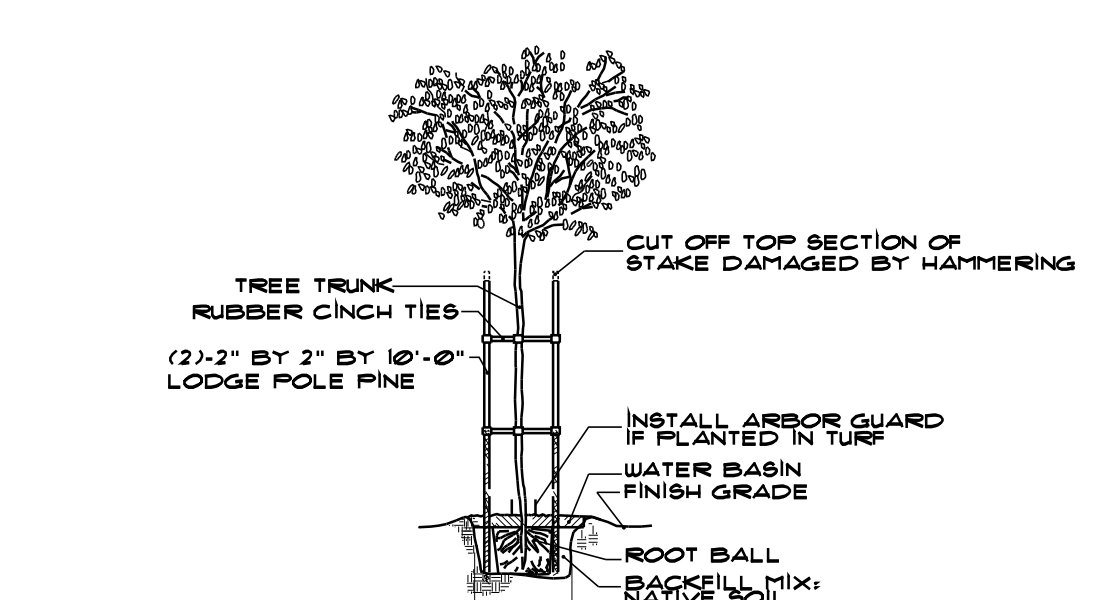
TIPUANA TIPU



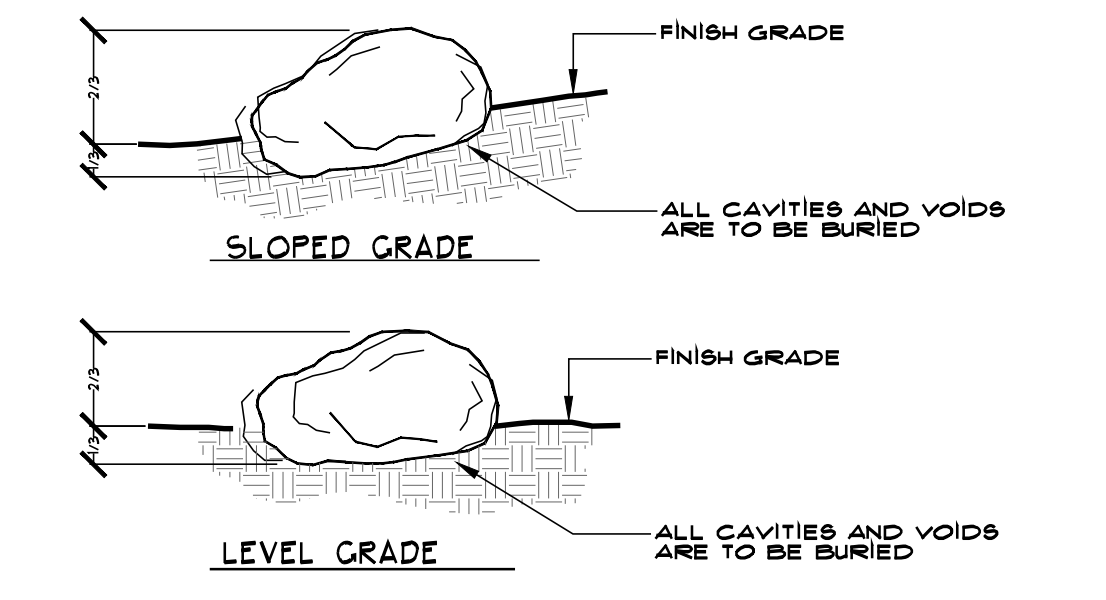
CERCIDIUM PRAECOX ACACIA ANEURA



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



BOULDER PLACEMENT DETAIL

LIGHTING LEGEND

SYMBOL	FIXTURE	COMMENTS
⊕	MODEL: DL-15-MR16FL80BRS ELECTRICAL: 12V, 7W LAMP: LED	TREE UPLIGHTS FINISH: BRT FOCUS LIGHTING DL-15
⊙	MODEL: DL-15-SMLEDPR412V-BRS ELECTRICAL: 12V, 4W LAMP: LED	ACCENT LIGHT FINISH: BRT FOCUS LIGHTING DL-15
T	MODEL: HP SERIES TRANSFORMER ELECTRICAL: 1,200W	

PARKING SHADE ANALYSIS

TOTAL PARKING:	1,654 SF
TOTAL TREE SHADE:	910 SF
TOTAL PARKING SHADE COVERAGE:	55%

PLANTING LEGEND

TREES

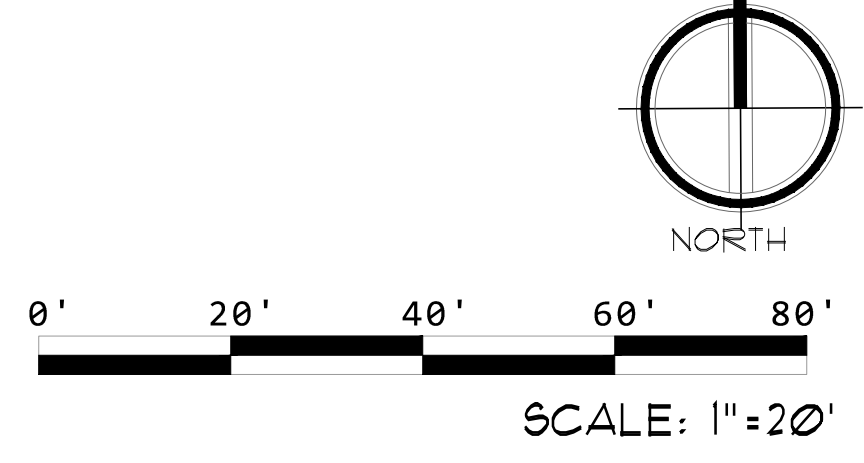
SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
⊕	13	ACACIA ANEURA LOW WATER USE (0.2)	MULGA	24" BOX
⊙	6	CERCIDIUM 'DESERT MUSEUM' LOW WATER USE (0.2)	PALO VERDE	24" BOX
⊕	2	TIPUANA TIPU MOD WATER USE (0.5)	TIPU TREE	24" BOX

SHRUBS/DESERT ACCENTS

SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
⊕	73	ACACIA REDOLENS 'LOW BOY'	PROSTRATE ACACIA	5 GAL
⊕	4	AGAVE WEBERI	WEBER'S AGAVE	15 GAL.
⊕	66	BACCHARIS X 'STARN'	BACCHARIS	5 GAL
⊕	2	CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE	5 GAL.
⊕	5	DASYLIRION WHEELERI	DESERT SPOON	5 GAL
⊕	1	FOUQUIERIA SPLENDENS	OCOTILLO	6' HT. 8 CANE MIN.
⊕	15	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
⊕	10	LANTANA 'DALLAS RED'	DALLAS RED LANTANA	5 GAL.
⊕	2	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.
⊕	6	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL.

ROCK MATERIAL

SYM.	NAME	SIZE
⊕	MOJAVE GOLD	3/8" MINUS 3" DEPTH AFTER COMPACTION, 11% FINES
⊕	SIERRA COBBLE	8"-12"
⊕	DESERT SELECT BOULDERS	3'-4' DIA.



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COACHELLA, CA.

REVISIONS

NO.	DESCRIPTION	DATE	BY



SHEET TITLE:

PRELIMINARY LANDSCAPE PLAN

DRAWN: I.R.O.
 CHECKED: I.R.O.
 DATE: JANUARY 2019
 SCALE: 1"=20'
 JOB NO.: 496

SHEET



Printed On: 01/25/19

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SHEET TITLE:

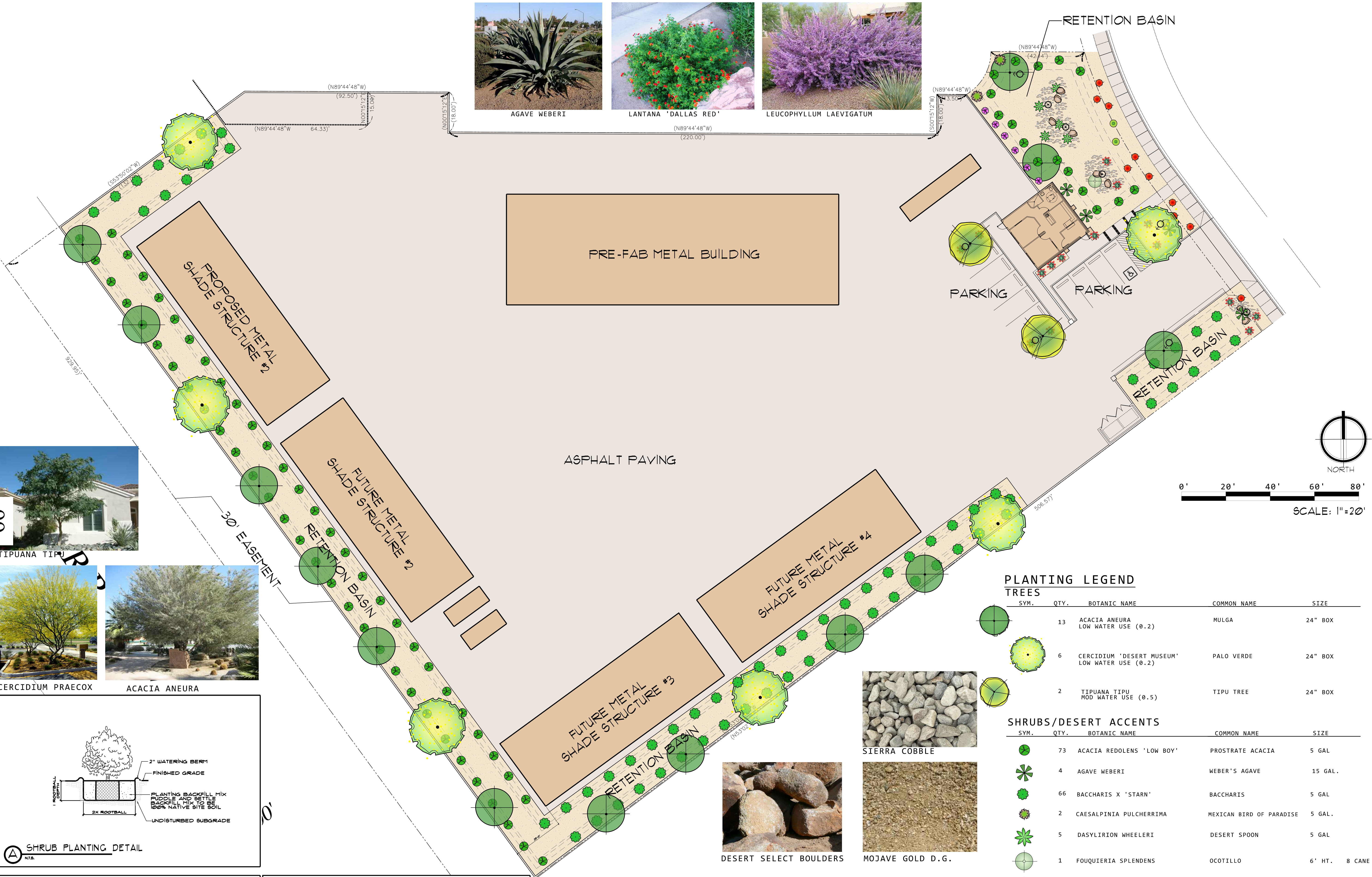
PRELIM LANDSCAPE

DRAWN: I.R.O.
 CHECKED: I.R.O.
 DATE: JANUARY 11-2018
 SCALE: 1"=20'
 JOB NO: 496

SHEET

ITEM 10.6.1

Printed On: 01/25/19



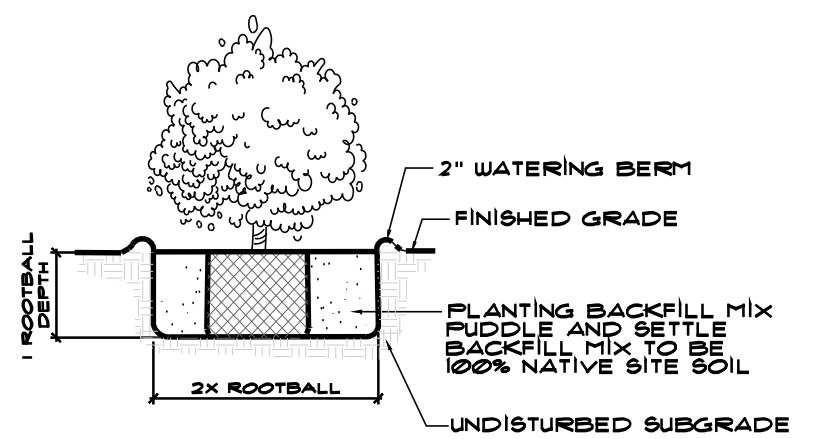
AGAVE WEBERI
 LANTANA 'DALLAS RED'
 LEUCOPHYLLUM LAEVIGATUM



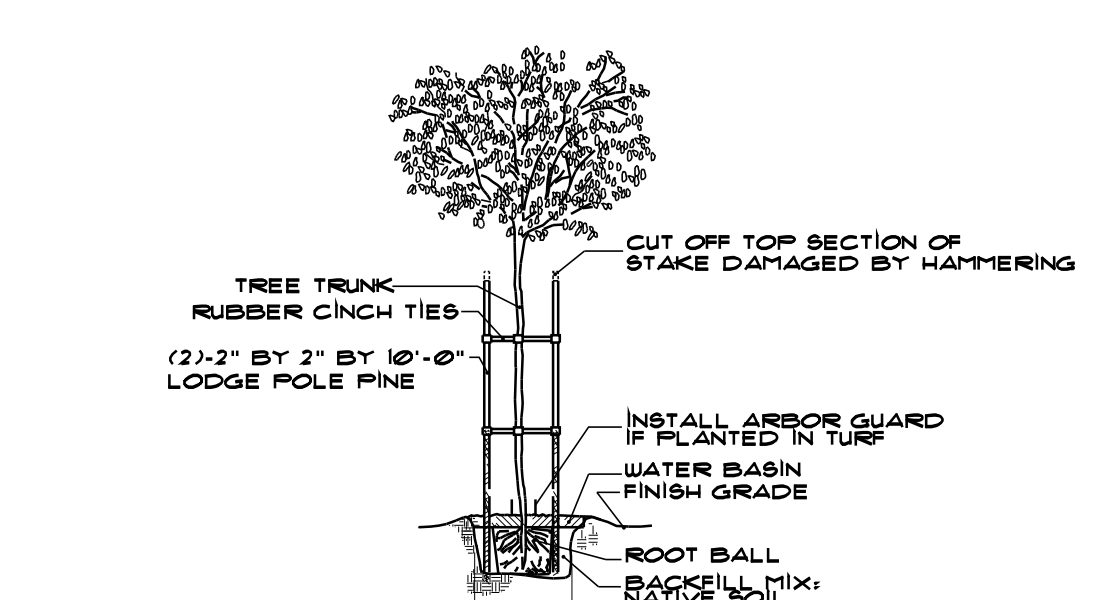
TIPUANA TIPU



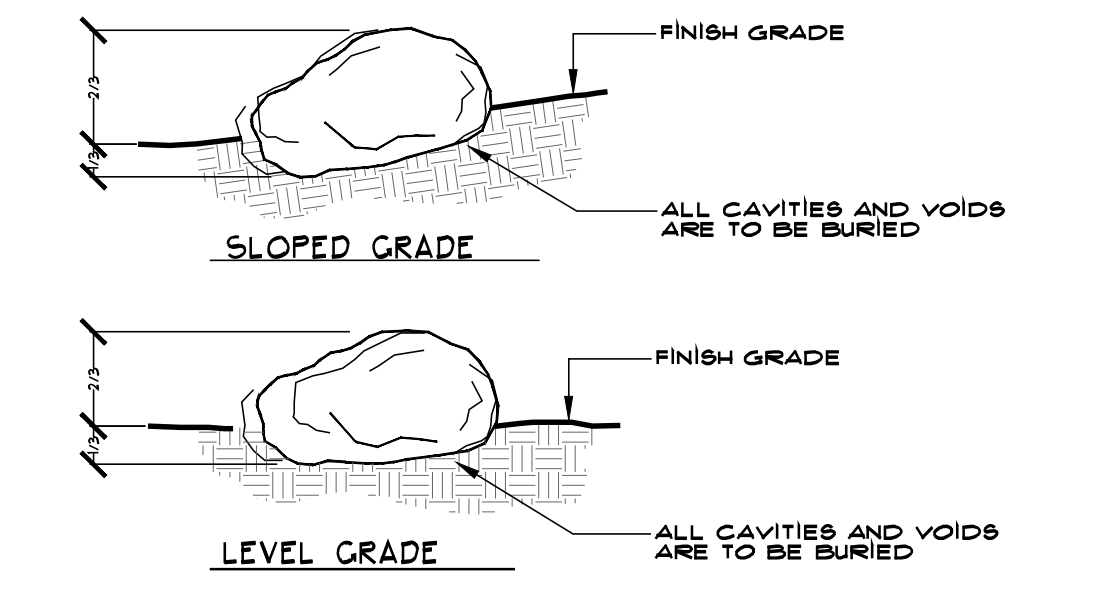
CERCIDIUM PRAECOX ACACIA ANEURA



A SHRUB PLANTING DETAIL



B TREE PLANTING DETAIL



C BOULDER PLACEMENT DETAIL

NOTE: BOULDERS IN CLUSTERS ARE TO BE SET AT VARIOUS HEIGHTS

PLANTING LEGEND

TREES				
SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
	13	ACACIA ANEURA LOW WATER USE (0.2)	MULGA	24" BOX
	6	CERCIDIUM 'DESERT MUSEUM' LOW WATER USE (0.2)	PALO VERDE	24" BOX
	2	TIPUANA TIPU MOD WATER USE (0.5)	TIPU TREE	24" BOX

SHRUBS/DESERT ACCENTS

SYM.	QTY.	BOTANIC NAME	COMMON NAME	SIZE
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	2	CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE	5 GAL.
	5	DASYLIRION WHEELERI	DESERT SPOON	5 GAL.
	1	FOUQUIERIA SPLENDENS	OCOTILLO	6' HT. 8 CANE MIN.
	15	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.
	10	LANTANA 'DALLAS RED'	DALLAS RED LANTANA	5 GAL.
	2	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.
	6	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUAN SAGE	5 GAL.

ROCK MATERIAL

SYM.	NAME	SIZE
	MOJAVE GOLD	3/8" MINUS 3" DEPTH AFTER COMPACTION, 11% FINES
	SIERRA COBBLE	8"-12"
	DESERT SELECT BOULDERS	3'-4' DIA.

LIGHTING LEGEND

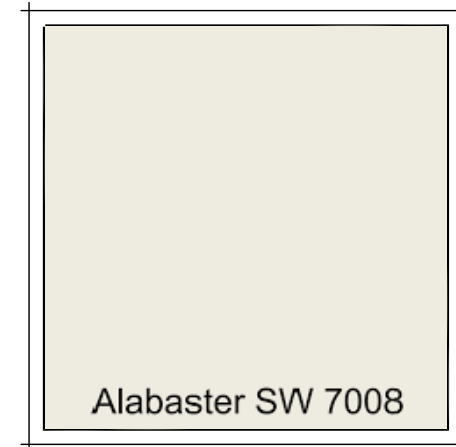
SYMBOL	FIXTURE	COMMENTS
	MODEL: DL-15-MR16FL80BRS ELECTRICAL: 12V, 7W LAMP: LED	TREE UPLIGHTS FINISH: BRT FOCUS LIGHTING DL-15
	MODEL: DL-15-SMLEDPR412V-BRS ELECTRICAL: 12V, 4W LAMP: LED	ACCENT LIGHT FINISH: BRT FOCUS LIGHTING DL-15
	MODEL: HP SERIES TRANSFORMER ELECTRICAL: 1,200W	

PARKING SHADE ANALYSIS
 TOTAL PARKING: 1,654 SF
 TOTAL TREE SHADE: 910 SF
 TOTAL PARKING SHADE COVERAGE: 55%

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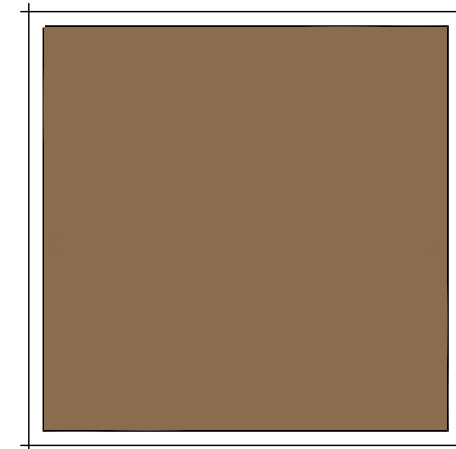


SAMPLE EXHIBIT BOARD



Alabaster SW 7008

SHERWIN - WILLIAMS
SW 7008
Alabaster - "Main Color"



SHERWIN - WILLIAMS
SW 6110
Steady Brown - "Accent Color"

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**A PROPOSED INDUSTRIAL SHOP FOR:
 OROWAY ENGINEERING
 COACHELLA, CA.**

REVISIONS	BY

SHEET TITLE

PRESENT 3D RENDITION

DRAWING CHECKED BY DATE
 G.L. / G.L. / 2019
 SEPT 2019
 AS NOTED
 JOB NO. C-082

SHEET

ITEM 10.b.