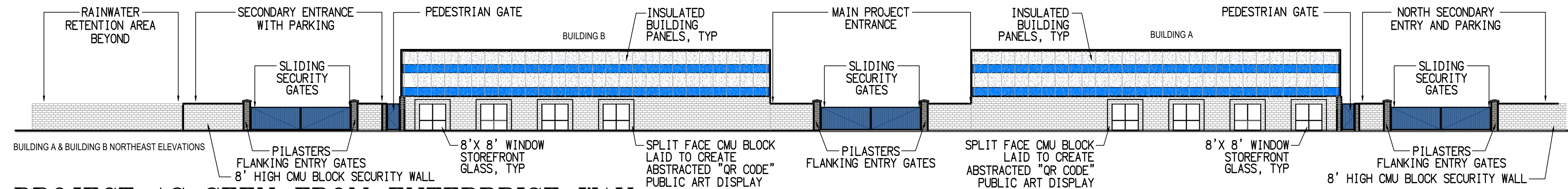


JJWR HOLDINGS – MANUFACTURING & RV STORAGE PROJECT

PARCEL 3 & 4 ENTERPRISE WAY, COACHELLA, CA 92236

Attachment 4

SE 1/4 SECTION 9, T6S, R8E, SBM



PROJECT AS SEEN FROM ENTERPRISE WAY

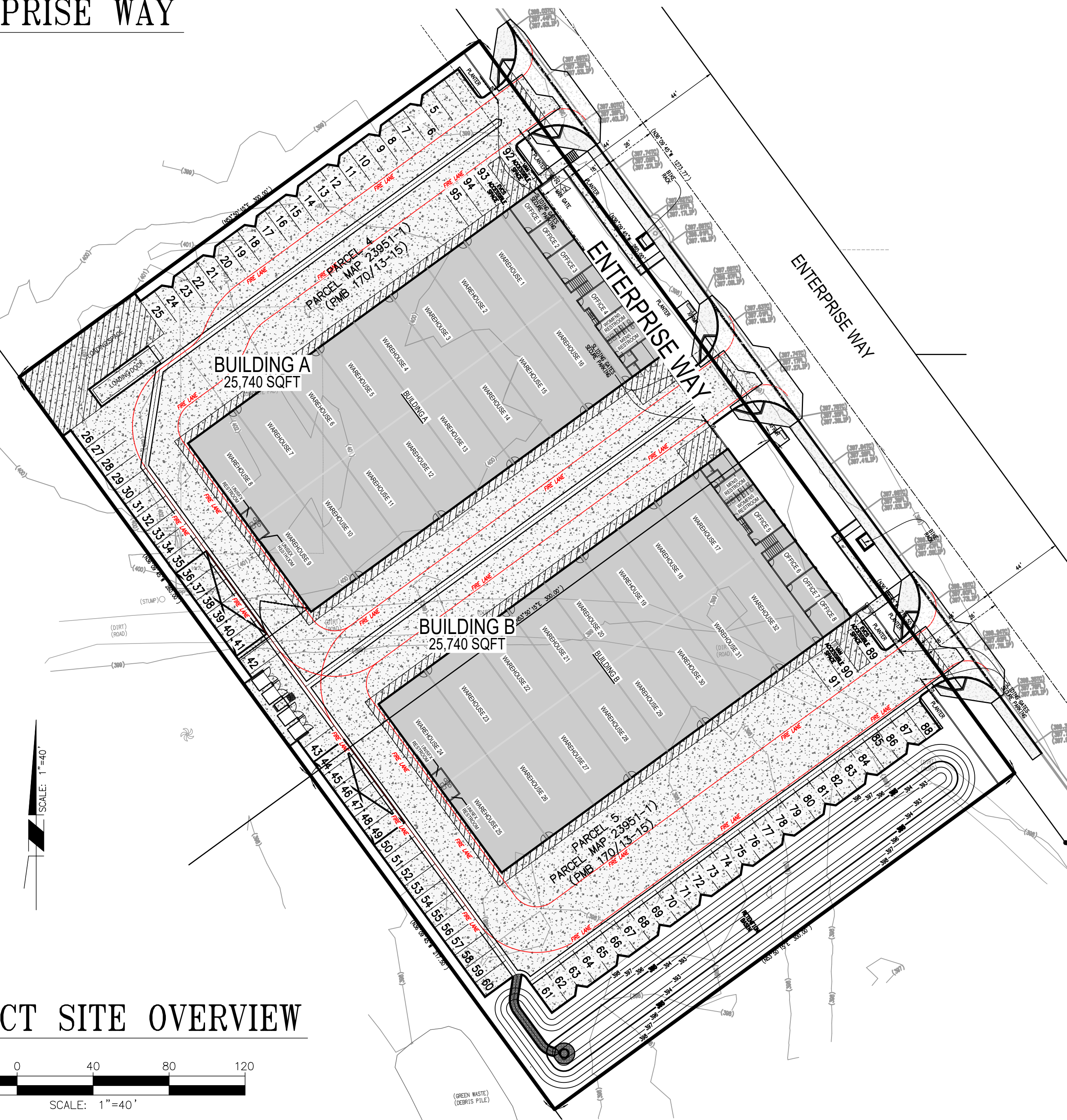
SCALE - 1" = 15'-0"

PROJECT DESCRIPTION

1. THE PROJECT CONSISTS OF (2) 25,740 SQ FT BUILDINGS WITH A TOTAL OF UP TO (16) AIR-SPACE CONDOMINIUM MANUFACTURING/WAREHOUSE/STORAGE UNITS AND (4) OFFICE AIR-SPACE CONDOMINIUMS EACH FOR A TOTAL OF (40) UNITS. EACH BUILDING WILL HAVE AN ACCESSIBLE SHARED UNISEX RESTROOM ACCESSED FROM THE SOUTHWESTERN FIRE LANE FOR USE BY PROJECT OWNERS AND GUESTS.
2. BOTH BUILDING "A" AND BUILDING "B" ARE NEW BUILDINGS. EACH BUILDING WILL HAVE AN ELECTRICAL ROOM AND FIRE RISER CLOSET AND WILL HAVE A MAXIMUM HEIGHT OF 24'-0".
3. EXTERIOR WALLS SHALL BE CORRUGATED STEEL ON THE INTERIOR OF THE PROJECT AND A COMBINATION OF INSULATED DECORATIVE PANELS AND INTEGRAL CMU BLOCK WITH A RECESSED FLAT METAL ROOF SYSTEM SCREENED BEHIND PARAPET WALLS. EXTERIOR WALLS FACING ENTERPRISE WAY WILL BE FINISHED IN A 3 COLOR COMBINATION, WITH THE THIRD COLOR SPECIFIED AS AN ACCENT ON MINOR TRIM ELEMENTS. (SEE ELEVATIONS, SHEET 4).
4. OFFICE UNITS WILL BE DELIVERED CONDITIONED AND FINISHED. MANUFACTURING/WAREHOUSE/STORAGE UNITS WILL BE DELIVERED UNFINISHED AND UNCONDITIONED.
5. ALL MANUFACTURING/WAREHOUSE/STORAGE UNITS WILL BE DELIVERED AS UNCONDITIONED SHELL AND WILL HAVE TWO (2) ROOF MOUNTED PLINTHS INTENDED FOR FUTURE ROOF MOUNTED MECHANICAL EQUIPMENT. ALTHOUGH ALL UNITS WILL BE PRE-WIRED FOR AIR CONDITIONING AND/OR HEATING, SUCH IMPROVEMENTS WILL BE AT THE DIRECTION OF THE INDIVIDUAL OWNERS OF EACH UNIT AND SUBJECT TO CITY APPROVAL OF TENANT IMPROVEMENT PLANS AND PERMITS. OFFICE UNITS WILL BE DELIVERED AS CONDITIONED SHELLS SUBJECT TO CITY APPROVAL OF FUTURE TENANT IMPROVEMENTS.
6. ADDITIONAL PERMITS SUBMITTED AS A PART OF THIS CONSTRUCTION DOCUMENT SET WILL INCLUDE: TRASH ENCLOSURE, 8' HIGH PERIMETER WALLS, ENTRY GATES AND PILASTERS, AND ENTRY MONUMENT SIGNAGE.
7. THE PROPOSED PROJECT IS INTENDED TO PROVIDE FLEXIBILITY OF USE. THE DEVELOPER WILL INITIALLY USE THE NORTH BUILDING TO RELOCATE THEIR EXISTING MANUFACTURING BUSINESS TO. THE SOUTH BUILDING WOULD BE USED FOR FUTURE EXPANSION OF THEIR BUSINESS, OR COULD BE LEASED TO A TENANT ENGAGED IN MANUFACTURING OR SIMILAR ACTIVITIES, OR COULD BE USED FOR REVENUE GENERATING RV AND BOAT STORAGE. ALL OF THESE USES ARE PERMITTED OR CONDITIONALLY PERMITTED WITHIN THE ZONE, AND ARE ALL VERY APPROPRIATE USES FOR THE MANUFACTURING ZONE. THE PROPOSED MANUFACTURING/WAREHOUSE/STORAGE TYPE USE IS COMMONLY MARKETED AS 'INDUSTRIAL FLEX' PROPERTY. 'INDUSTRIAL FLEX' IS PRESENTLY ONE OF THE MOST IN-DEMAND COMMERCIAL PROPERTY TYPES IN THE COACHELLA VALLEY AND DEVELOPED PROPERTIES ARE IN VERY LIMITED SUPPLY. FURTHER, THE PROPOSED PARCEL MAP AND CONDOMINIUM OVERLAY CREATE THE OPPORTUNITY FOR FINANCE AND PURCHASE OF ALL OR JUST PART OF A BUILDING, AND POTENTIALLY OFFER THE OPPORTUNITY FOR OWNERSHIP OF SMALL WAREHOUSE SPACES TO SMALLER BUSINESSES AND DISADVANTAGED ENTITIES THAT LACK THE CAPITAL REQUIRED TO PURCHASE A LARGER BUILDING OR TO DEVELOP AN INDUSTRIAL/WAREHOUSE BUILDING FROM THE GROUND UP.
8. THE PROPOSED PROJECT CONSISTS OF TWO BUILDINGS THAT WILL BE OF TYPE VB CONSTRUCTION, WITH AN OCCUPANCY CLASSIFICATION OF B FOR THE OFFICES AND S-1 FOR THE WAREHOUSE AREAS. THE BUILDINGS WILL BE SPRINKLERED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT.

MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT

BUILDING A (CONDOMINIUMS)			BUILDING B (CONDOMINIUMS)		
TYPE	NO. OCCUPANCY	SQFT	TYPE	NO. OCCUPANCY	SQFT
WAREHOUSE 1	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 17	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 2	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 18	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 3	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 19	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 4	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 20	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 5	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 21	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 6	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 22	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 7	S1	= 1,650/500 SQFT = 3.25	WAREHOUSE 23	S1	= 1,650/500 SQFT = 3.25
WAREHOUSE 8	S1	= 1,650/500 SQFT = 3.15	WAREHOUSE 24	S1	= 1,650/500 SQFT = 3.15
WAREHOUSE 9	S1	= 1,650/500 SQFT = 3.15	WAREHOUSE 25	S1	= 1,650/500 SQFT = 3.15
WAREHOUSE 10	S1	= 1,650/500 SQFT = 3.25	WAREHOUSE 26	S1	= 1,650/500 SQFT = 3.25
WAREHOUSE 11	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 27	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 12	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 28	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 13	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 29	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 14	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 30	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 15	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 31	S1	= 1,320/500 SQFT = 2.75
WAREHOUSE 16	S1	= 1,320/500 SQFT = 2.75	WAREHOUSE 32	S1	= 1,320/500 SQFT = 2.75
OFFICE 1	B	= 280/150 SQFT = 2.25	OFFICE 5	B	= 250/150 SQFT = 2.45
OFFICE 2	B	= 280/150 SQFT = 2.25	OFFICE 6	B	= 280/150 SQFT = 2.25
OFFICE 3	B	= 280/150 SQFT = 2.25	OFFICE 7	B	= 280/150 SQFT = 2.25
OFFICE 4	B	= 250/150 SQFT = 2.45	OFFICE 8	B	= 280/150 SQFT = 2.25
TOTAL = 55.00			TOTAL = 55.00		



PROJECT SITE OVERVIEW

SCALE - 1" = 40'

GENERAL PLAN DESIGNATION:
INDUSTRIAL DISTRICT

ZONING:
ZONE M-H, HEAVY INDUSTRIAL

PROJECT AREA CALCULATIONS
TOTAL SITE AREA: 143,250 SQ. FT. (APPROX. 3.29± ACRES)

BUILDING A FOOTPRINT:	25,080 SQFT.
BUILDING B FOOTPRINT:	25,080 SQFT.
TOTAL PROPOSED BUILT AREA:	50,160 SQFT.
NEW ONSITE HARDSCAPE AREA:	69,460 SQFT.
TOTAL ONSITE NON-PERVIOUS AREA:	119,620 SQFT.
LANDSCAPED AREA:	23,630 SQFT. (16.5% OF TOTAL AREA)
PROPOSED ONSITE RETENTION:	(10,010 SQFT.)

OFF SITE HARDSCAPE IMPROVEMENTS: 270 LF OF NEW CURB AND GUTTER, 5' WIDE CURB ADJACENT PUBLIC SIDEWALK ALONG PROJECT FRONTAGE ON ENTERPRISE WAY (2,255 SQFT.), 3 NEW DRIVEWAY APRONS AT PROJECT ENTRANCES (INCL. 6 NEW SIDEWALK CURB RAMPS AND 1,380 SQFT. OF ENHANCED PAVING IN DRIVEWAYS), ADA ACCESSIBLE WALKS FROM SIDEWALK 195 SQFT. (INCL. 2 CONCRETE PADS FOR BIKE RACKS), AND 50 LF OF 6" HIGH X 12" WIDE POURED IN PLACE CONCRETE STEPS.

PROPOSED PERMEABLE LANDSCAPED AREA IN RIGHT-OF-WAY: 3,340 SQFT.

PARKING REQUIREMENTS
(BASED ON CITY OF COACHELLA ORDINANCE 17.54.010 (C)(2) - PARKING REQUIREMENTS)

TOTAL BUILDING SF - 50,160SF
FIRST 20,000 SF - 1SPACE/400SF = (50 SPACES)
REMAINING 30,160 SF - 1SPACE/1000SF = (31 SPACES)
TOTAL REQUIRED = (81 SPACES)
TOTAL PROVIDED = (95 SPACES)

- (1) SPACE TO BE DESIGNATED EVCS ADA VAN ACCESSIBLE (SEE TABLE 11-208.2),
- (1) SPACE TO DESIGNATED RESERVED FOR EVCS (SEE TABLE 11B-222.3.2.11).
- (1) SPACE RESERVED FOR CARPOOL VEHICLE (SEE CGC TABLE 5.106.5.2).
- (1) SPACE RESERVED FOR CLEAN AIR VEHICLE (SEE CGC TABLE 5.106.5.2).

SECURED BICYCLE PARKING REQUIRED = 5% OF TOTAL VEHICLE PARKING PROVIDED = 4.35 (5) SEE CGC 5.710.6.2.2.

- 1 SPACE ADA VAN ACCESSIBLE
- 1 SPACE RESERVED FOR VAN ACCESSIBLE (EVCS READY)
- 1 SPACE RESERVED FOR CLEAN AIR VEHICLE (EVCS READY)
- 69 SPACES GENERAL PARKING
- 5 SPACES REQUIRED FOR SECURE BICYCLE PARKING SPACE

SUMMARY OF ON SITE PARKING PROVIDED

GENERAL PARKING	89
ADA VAN SPACE	2
ACCESSIBLE EVCS SPACE (FUTURE)	2
CLEAN AIR VEHICLE SPACE	2
TOTAL	95
SECURED BICYCLE PARKING	6

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MARK	BY	DATE	REVISIONS	APPR.	DATE
	ENGINEER			CITY	

JJWR HOLDINGS, LLC
440 SANTA LUCIA DRIVE
HEMET, CA 92543
C/O JASON WILLIAMS

PH# 760-250-4450
EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL:

NOEL OWBLEY, R.C.E. 39027 DATE: EXP. 12-31-2021

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION:

ANDREW B. SIMMONS, R.C.E. NO. 12266 DATE: EXP. 08-30-2022

APPROVED BY:

J. LUIS LOPEZ, PLANNING DIRECTOR DATE:

EGAN CIVIL, INC.

PO BOX 5282, LA QUINTA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 12-15-2021

BENCHMARK: NGS B 1326 (PID DX3448) DATUM NAVD88 + 500.00' ELEVATION: 393.85 (TRUE ELEVATION = -106.15)

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STAMPING: "B 1326 1978"

LOCATION: 1.00 MILES NORTHWEST ALONG STATE HIGHWAY 111 FROM THE JUNCTION OF AIRPORT BOULEVARD IN THERMAL, AT A COACHELLA VALLEY WATER DISTRICT PUMP, 71.2 FT. SOUTHWEST OF THE HIGHWAY CENTERLINE, 37.1 FT. SOUTHWEST OF THE CENTER OF A DIRT ROAD, 1.4 FT. NORTH OF A 6 FT. TALL CHAIN LINK FENCE AROUND THE PUMP. THE MARK IS ABOVE LEVEL WITH THE HIGHWAY.

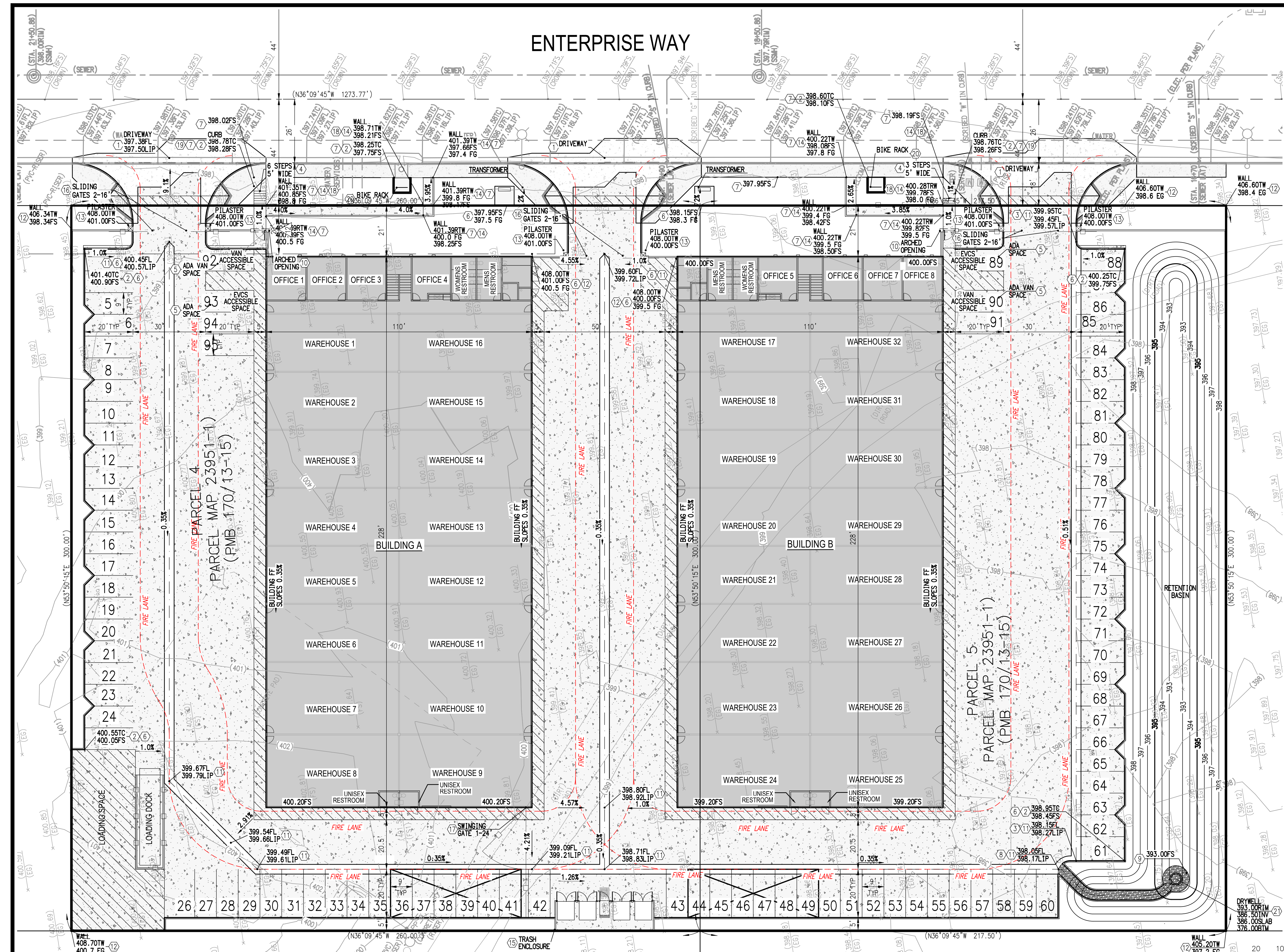
IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE

JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
PARCEL 3 AND 4 ENTERPRISE WAY
COACHELLA, CA 92236
IN THE SE 1/4 OF SECTION 9, T6S, R8E, SBM

COVER SHEET

FOR: JJWR HOLDINGS, LLC ECI.W.D. 20200527 CITY FILE NO.

SHEET NO. **1** OF 10 SHEETS



- CONSTRUCTION NOTES**
- CONSTRUCT NEW DRIVEWAY WITH SPANDREL AND CURB RAMPS PER CITY OF COACHELLA STD DETAIL. ALLOW FOR 80 SF TRUCATED DOMES *SEE NOTE BELOW REGARDING WORK IN CITY R.O.W. 3 EA
 - CONSTRUCT CONCRETE CURB (6" HIGH, NO GUTTER), PER CITY OF COACHELLA STANDARD DETAIL 695 LF
 - CONSTRUCT 6" CONCRETE CURB AND GUTTER, PER CITY OF COACHELLA STANDARD DETAIL 60 LF
 - CONSTRUCT POURED IN PLACE CONCRETE STEP, 6" HIGH X 12" DEEP X 5' WIDE, PER CITY OF COACHELLA STANDARD DETAIL 45 LF
 - PAINT STRIPING AND INSTALL SIGNAGE FOR ACCESSIBLE PARKING SPACES PER DETAIL 10 ON SHEET 3. 1 LS
 - CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE PAVING OVER 4" CLASS II AGG BASE (PER GEOTECH REPORT REC.) 64,840 SF
 - CONSTRUCT 4" THICK PORTLAND CEMENT CONCRETE PAVING OVER 90% COMPACTED NATIVE (PER GEOTECH REPORT REC.) 5,775 SF
 - INSTALL 3" TO 6" GROUTED RIP RAP WITH 6" HIGH CURB FROM TOP OF SLOPE TO BOTTOM OF RETENTION BASIN 200 SF
 - INSTALL 3" TO 6" UNGROUTED RIP RAP AROUND DRY WELL IN BOTTOM OF RETENTION BASIN 95 SF
 - CONSTRUCT 8' X 8' X 16" CMU ARCHED OPENING WITH 4" WIDE X 6.67' HIGH TUBE STEEL LOCKING MAN GATE. 2 EA
 - CONSTRUCT 4" WIDE 8" DEEP CONCRETE RIBBON GUTTER 1,120 LF
 - CONSTRUCT 8" HIGH CMU BLOCK PERIMETER SECURITY WALL. (PER SEPARATE PERMIT, PER CITY STANDARD DETAIL) 1,240 LF
 - CONSTRUCT 9" HIGH X 2" WIDE CMU PILASTER WITH PRECAST CONCRETE CAP PER DETAIL 5, SHEET 3. 6 EA
 - CONSTRUCT 6" TO 30" HIGH CMU BLOCK GARDEN RETAINING WALL 245 LF
 - CONSTRUCT 6" HIGH X 41" WIDE X 12" DEEP CMU BLOCK TRASH ENCLOSURE WITH TUBE STEEL GATES PER DETAIL 6, SHEET 3. 1 LS
 - INSTALL SET OF 2-7" HIGH X 16" WIDE MOTORIZED SLIDING TUBE STEEL SECURITY GATES PER DETAIL 5 ON SHEET 3. ** 3 EA
 - INSTALL 7" HIGH X 24" WIDE MANUAL LOCKING SWING GATE WITH KNOX BOX HARDWARE. ** 1 EA
 - INSTALL 42" HIGH TUBE STEEL GUARDRAIL MOUNTED ON TOP OF GARDEN WALL, PER DETAIL 2 SHEET 3. ** 100 LF
 - INSTALL 36" HIGH TUBE STEEL HANDRAIL MOUNTED ON TOP OF CONCRETE CURB. ** 26 LF
 - INSTALL 33" HIGH TUBE STEEL BIKE RACK MOUNTED ON TOP OF CONCRETE PAD, PER DETAIL 3 SHEET 3. ** 2 EA
 - INSTALL DRYWELL PER DETAIL SHEET X 1 EA
 - WATER VALVE -- EA
 - INSTALL 1" PVC DOMESTIC WATER SERVICE LINE (WITH MIN. 36" COVER) XX LF
 - INSTALL 6" PVC FIRE SERVICE LINE (WITH MIN. 36" COVER) XX LF
 - TAP AND INSTALL 4" DETECTOR CHECK 1 EA
 - INSTALL PIV/FDC 1 EA
 - INSTALL 3/4" DOMESTIC WATER METER WITH BACKFLOW PREVENTION 1 EA
 - INSTALL LANDSCAPE WATER METER WITH BACKFLOW PREVENTION 1 EA
 - INSTALL 4" SCHEDULE 40 ABS SANITARY SEWER LINE XXX LF
 - TAP AND INSTALL CONNECTION TO SEWER MAIN 1 LS
 - INSTALL 6" SANITARY SEWER CLEANOUT 3 EA
 - CONSTRUCT 6" CONCRETE CURB AND GUTTER, PER CITY OF COACHELLA STANDARD DETAIL ALONG ENTERPRISE WAY FRONTAGE* XXX LF
 - INSTALL 4" AC PAVEMENT OVER 6" CLASS II AGG BASE* XXX SF
- * NO WORK SHALL COMMENCE WITHIN THE COUNTY MAINTAINED RIGHT OF WAY WITHOUT SEPARATE ENCROACHMENT PERMIT BY THE TRANSPORTATION DEPARTMENT (ORD. 499). APPLY FOR A RCTD ENCROACHMENT PERMIT WITH THE APPROVED PLANS FOR THE WORK IN THE ROAD RIGHT OF WAY.
- ** CONTRACTOR TO PROVIDE SHOP DRAWING FOR THIS ITEM TO THE ENGINEER AND OWNER FOR REVIEW APPROVAL.
- NOTE: THE QUANTITIES ABOVE ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR PERFORMING MATERIAL TAKE-OFFS.

SITE AND PRELIMINARY GRADING PLAN
SCALE - 1" = 20'-0"

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MARK	BY	DATE	REVISIONS	APPR.	DATE

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440 SANTA LUCIA DRIVE
HEMET, CA 92543
C/O JASON WILLIAMS

PH# 760-250-4450
EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL

NOEL OWLSLEY R.C.E. 39027 DATE: EXP. 12-31-2021

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION:

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J. LUIS LOPEZ, PLANNING DIRECTOR DATE:



EGAN CIVIL, INC.

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PREPARED UNDER THE DIRECT SUPERVISION OF:

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IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE

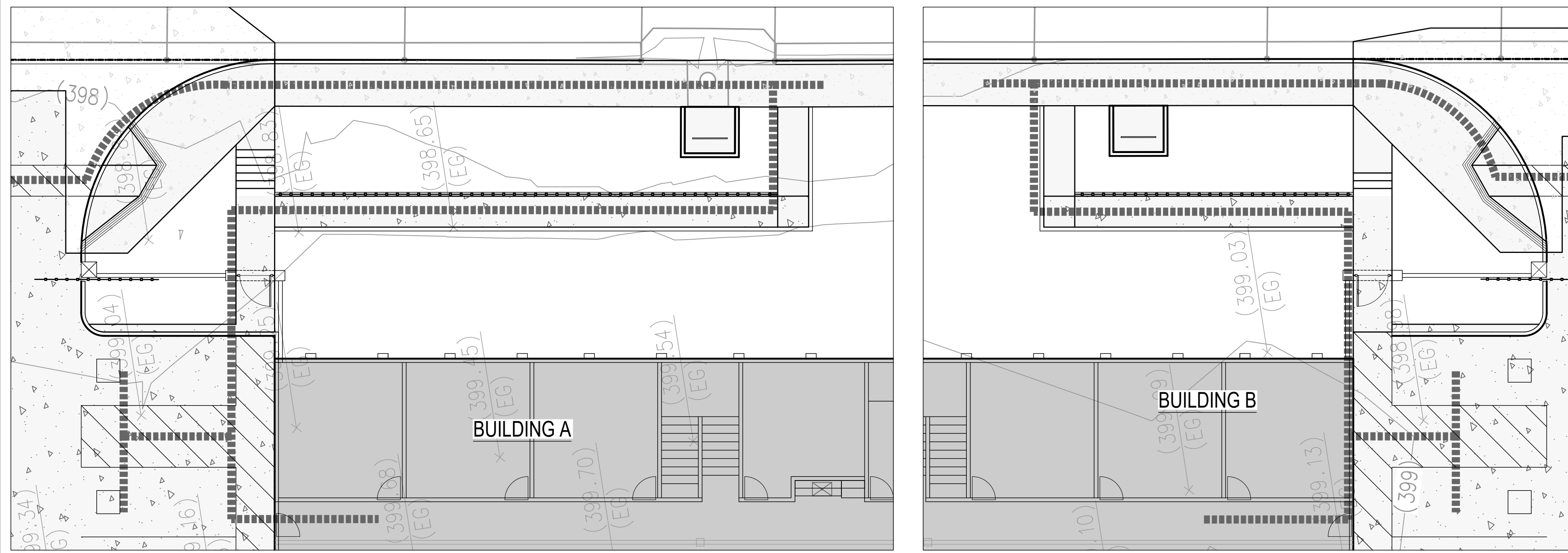
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SITE PLAN

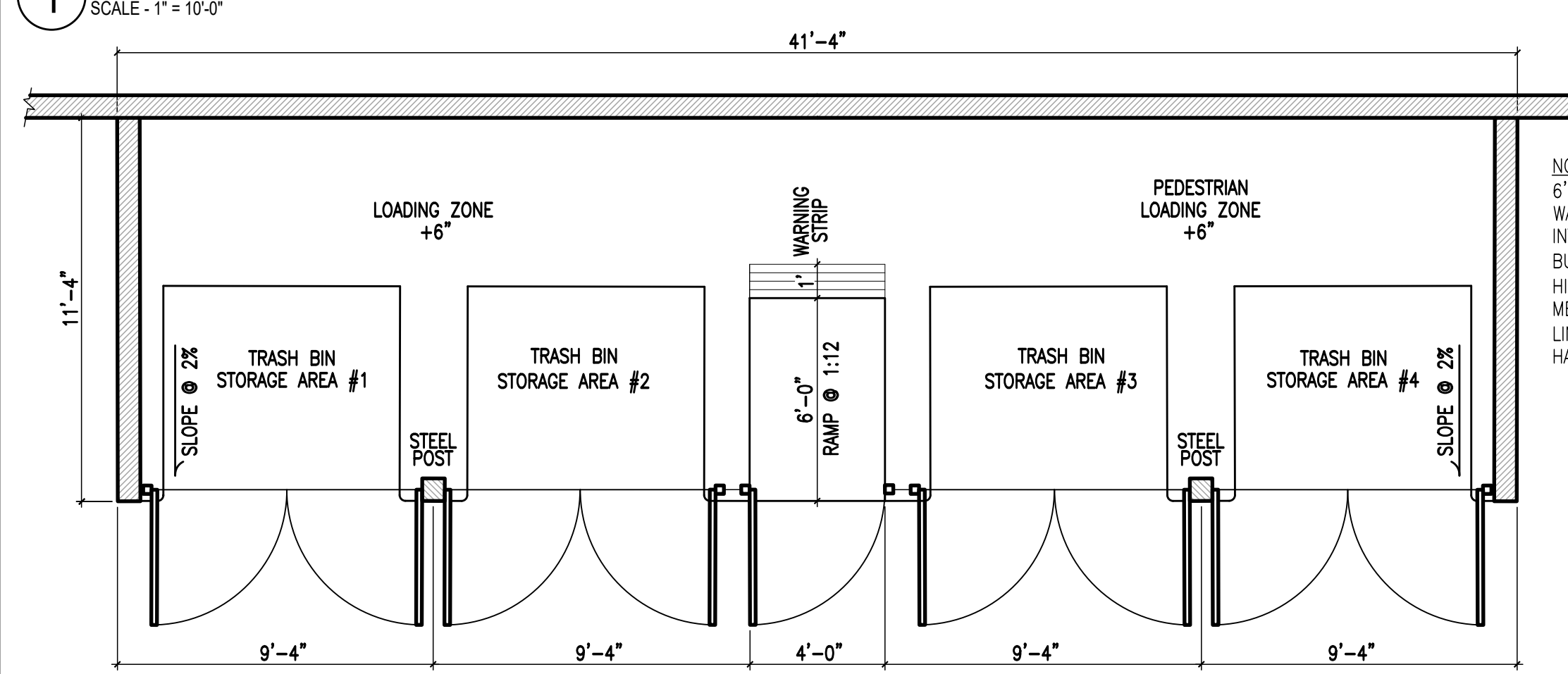
FOR: JJWR HOLDINGS, LLC ECIWO: 20200527 CITY FILE NO.

SHEET NO. **2** OF 10 SHEETS

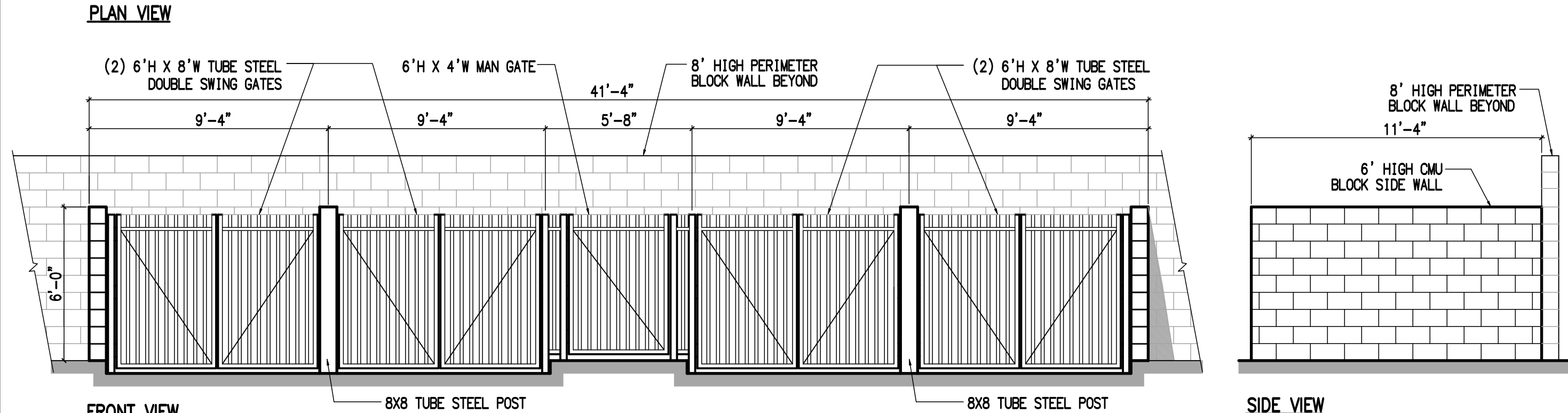
PLOT DATE: MARCH 17, 2022



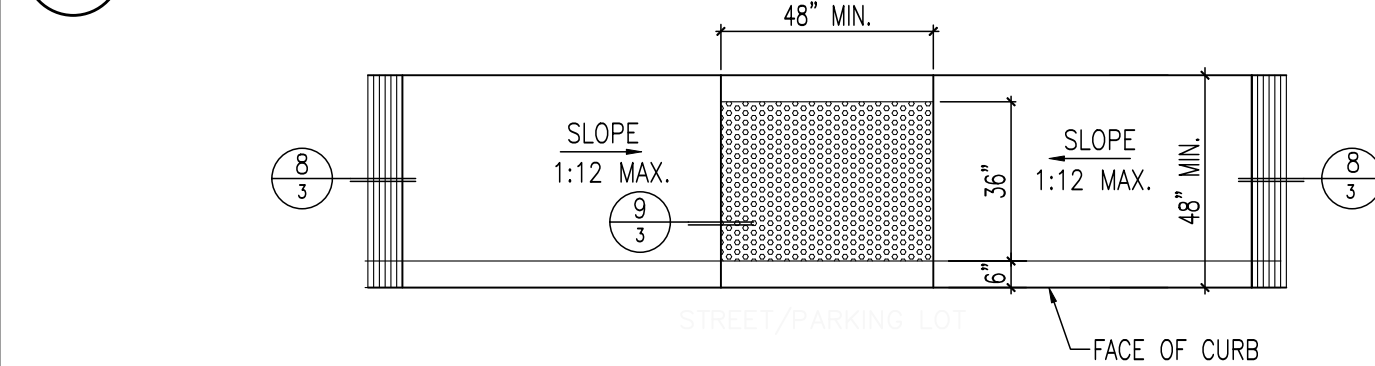
1 ACCESSIBLE PATH OF TRAVEL FROM ADA PARKING SPACES AND PUBLIC SIDEWALK
SCALE - 1" = 10'-0"



NOTE: TRASH ENCLOSURE WALLS WILL VARY FROM 6' TO 8' MAX. HEIGHT ABOVE EXISTING GRADE. WALLS TO BE CONSTRUCTED OF UNPAINTED INTEGRAL COLOR PRECISION GRAY BLOCK TO MATCH BUILDINGS. TRASH AREA SECURED BY LOCKING 6' HIGH X 16' WIDE TUBE STEEL DOUBLE SWING METAL GATES. PERIMETER WALL ALONG PROPERTY LINE WILL BE 8' HIGH. ALL MASONRY WALLS WILL HAVE AN ANTI GRAFFITI COATING.



6 TRASH ENCLOSURE
SCALE - 1/4" = 1'-0"



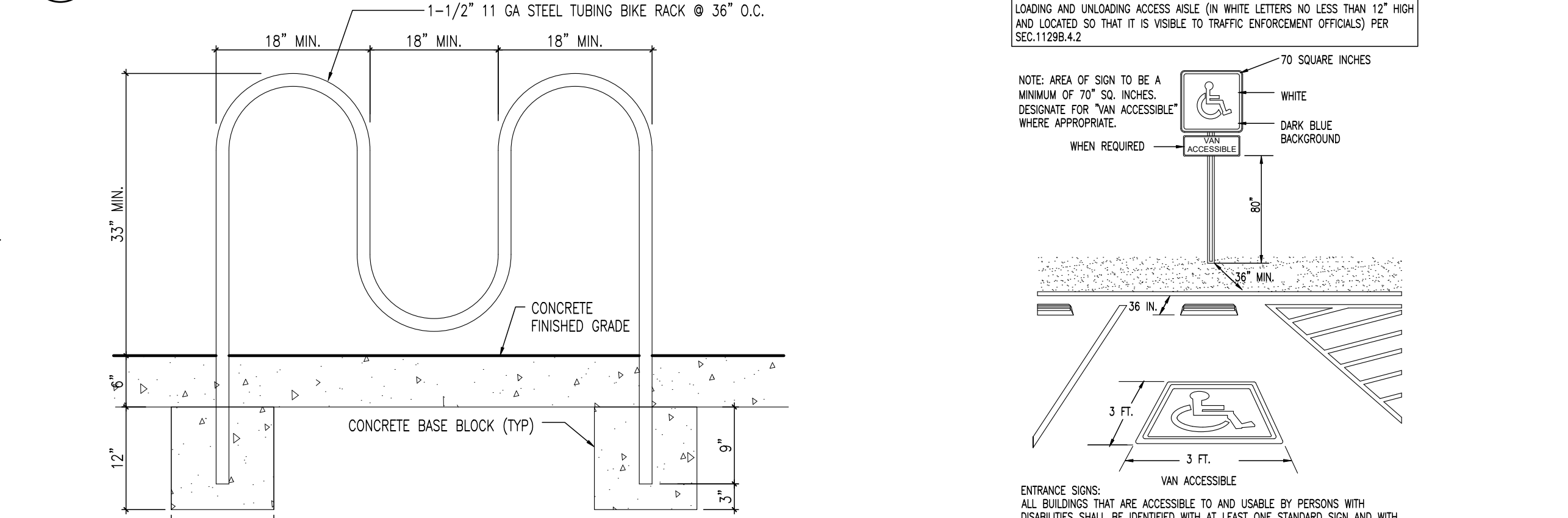
7 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

8 GROOVING DETAIL
NOT TO SCALE

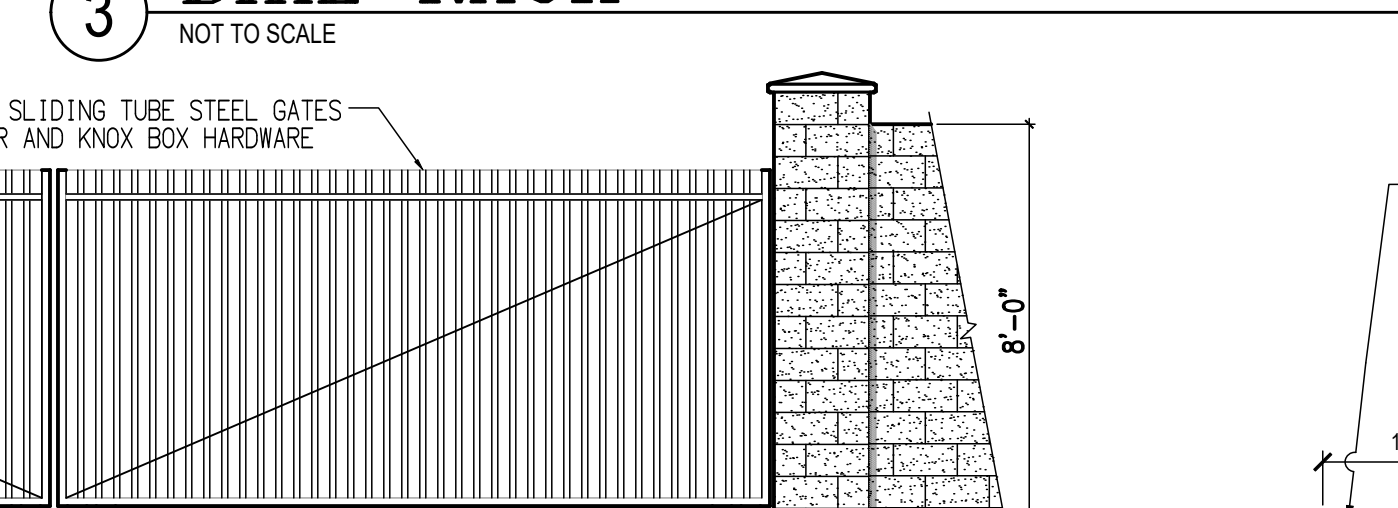
9 TRUCATED DOMES
NOT TO SCALE

10 ACCESSIBLE SIGNAGE AND PARKING SYMBOL
NOT TO SCALE

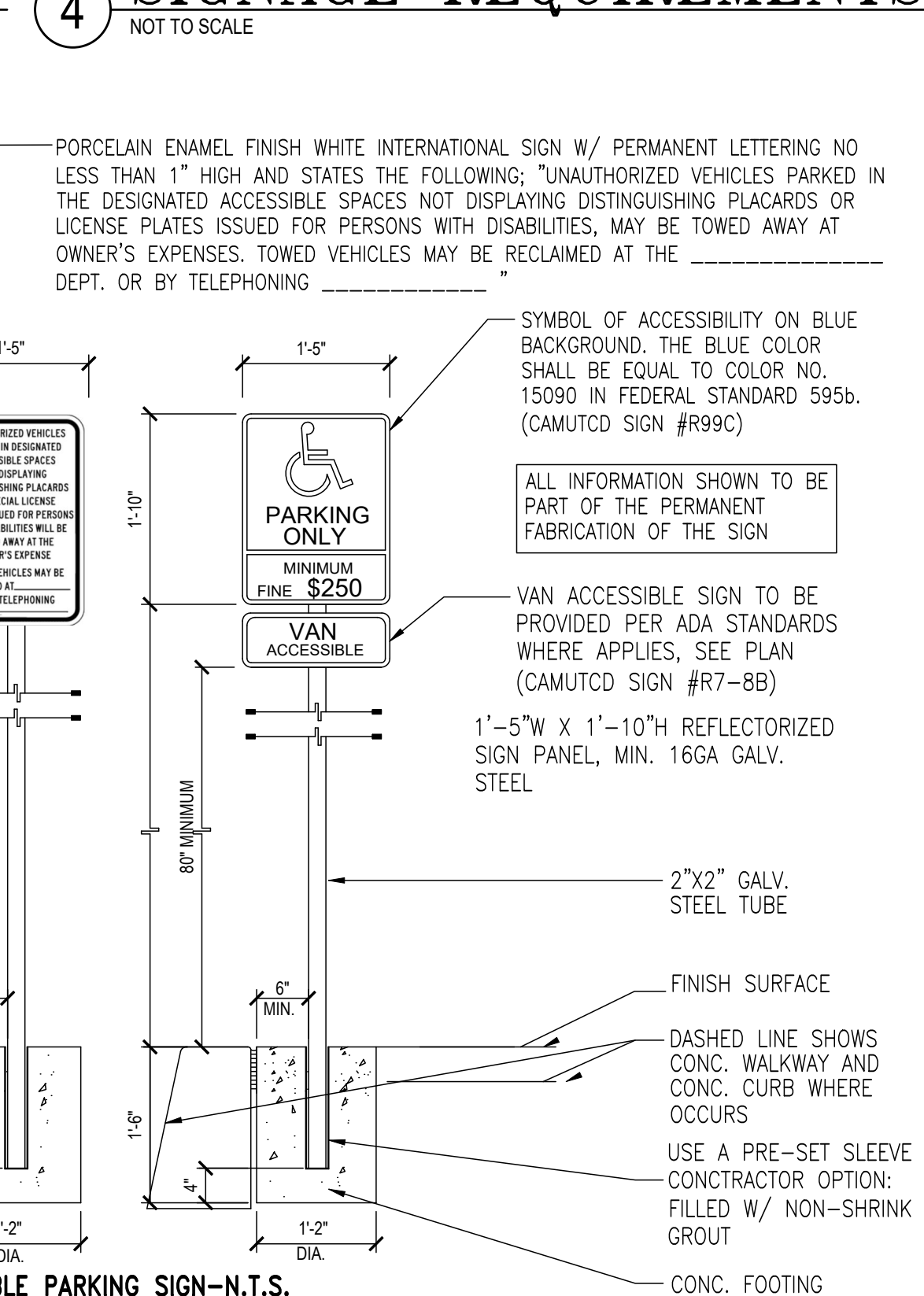
2 GARDEN RETAINING WALL WITH TUBE STEEL GUARDRAIL
NOT TO SCALE



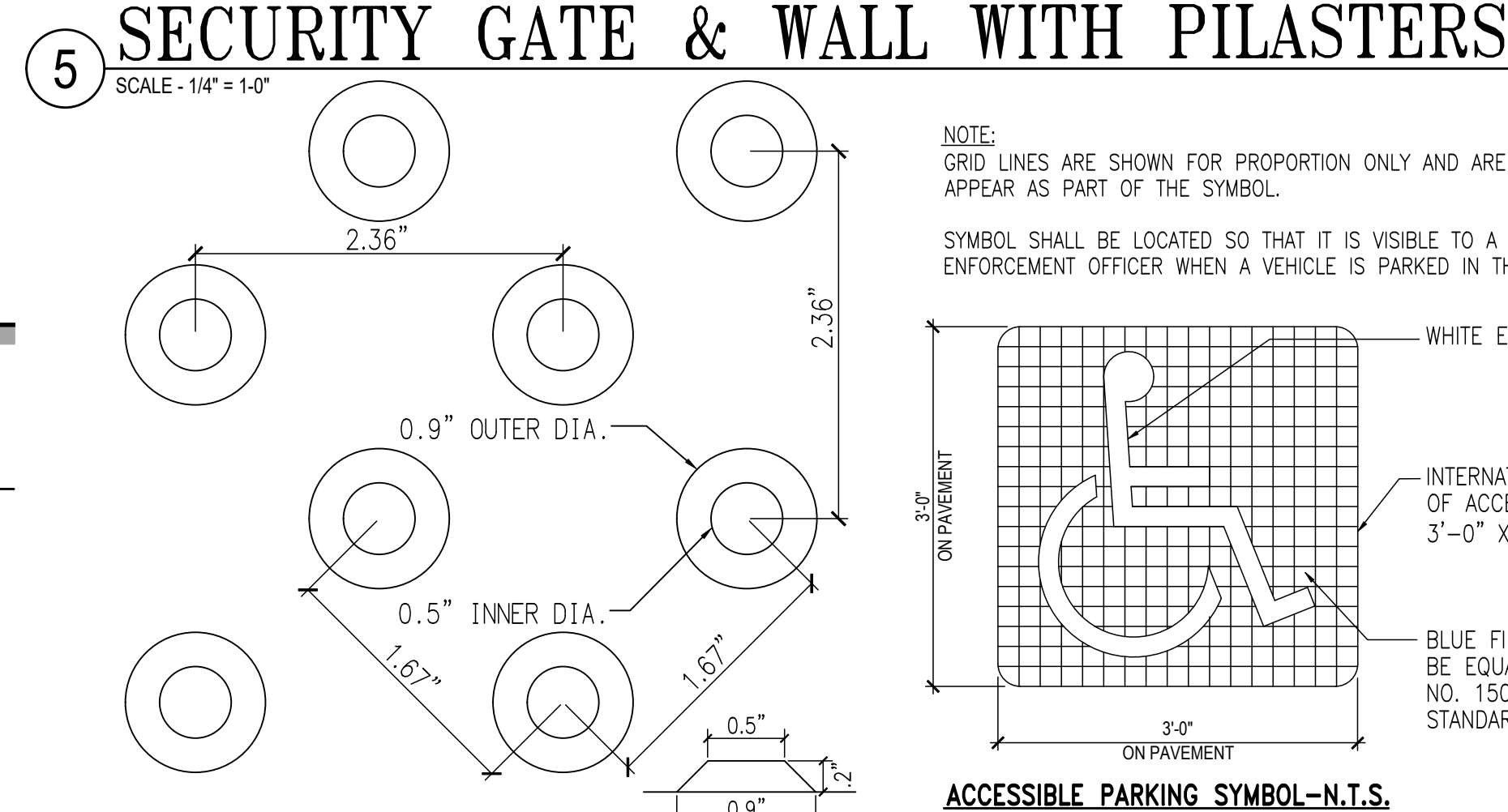
3 BIKE RACK
NOT TO SCALE



4 SIGNAGE REQUIREMENTS
NOT TO SCALE



5 SECURITY GATE & WALL WITH PILASTERS
SCALE - 1/4" = 1'-0"



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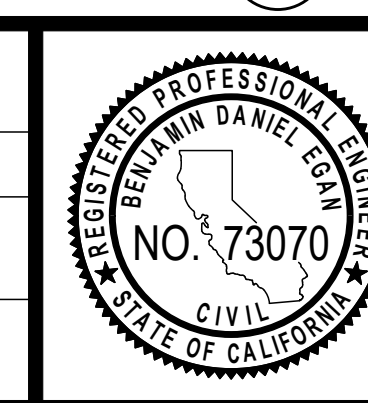
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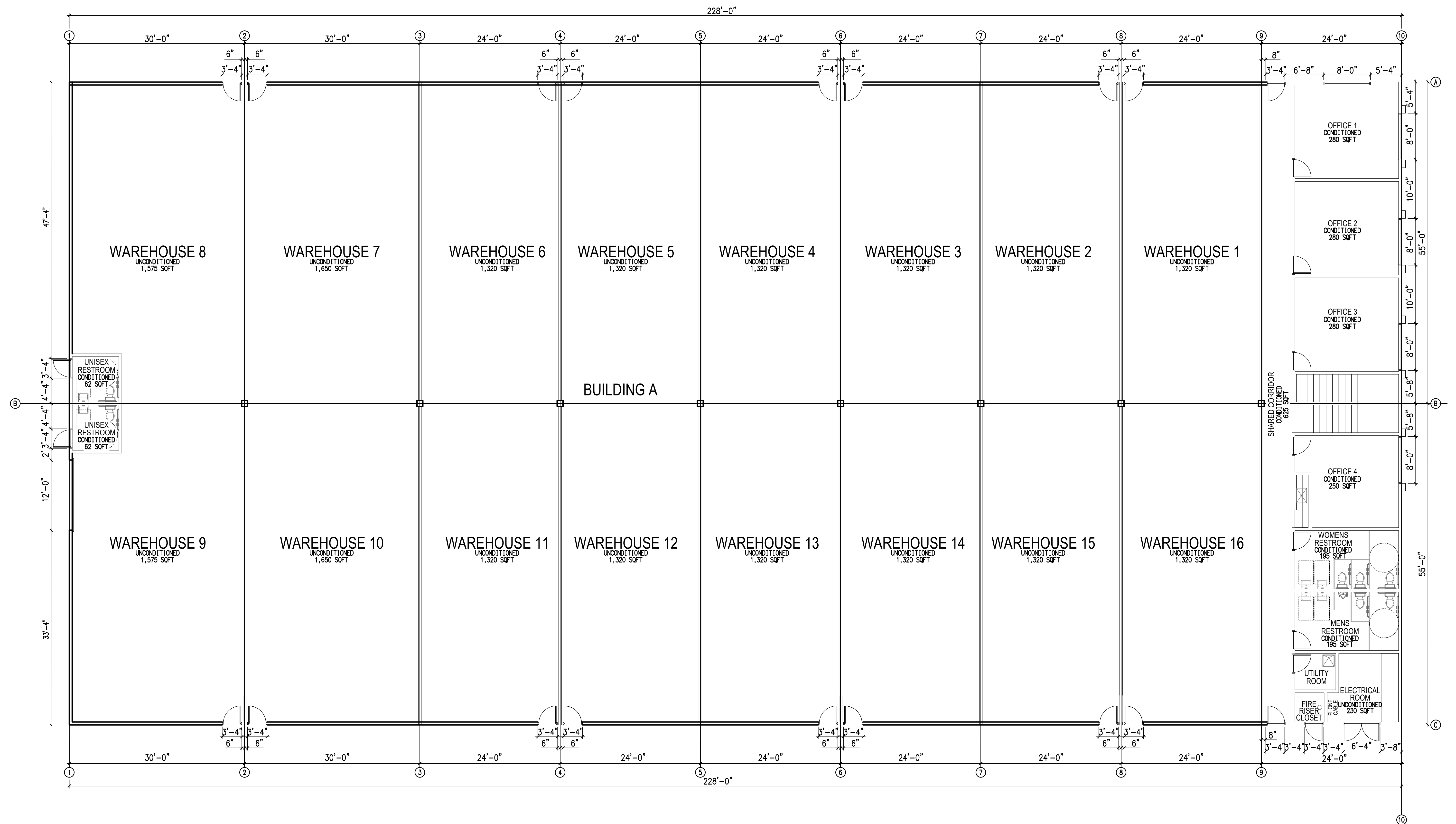
IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M

SITE DETAILS

FOR: JJWR HOLDINGS, LLC EQ.W.O. 20200527 CITY FILE NO.

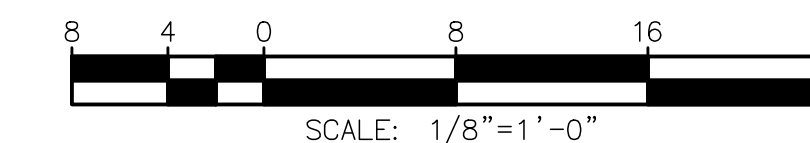
SHEET NO. 3 OF 10 SHEETS

PLOT DATE: MARCH 17, 2022



BUILDING A FLOOR PLAN

SCALE - 1/8" = 1'-0"



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MARK	BY	DATE	REVISIONS	APPR.	DATE
	ENGINEER			CITY	

JJWR HOLDINGS, LLC
 440 SANTA LUCIA DRIVE
 HEMET, CA 92543
 C/O JASON WILLIAMS
 PH# 760-250-4450
 EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL:

NOEL OWBLEY, R.C.E. 39827 DATE: EXP. 12-31-2021

CITY OF COACHELLA

APPROVED FOR CONSTRUCTION:

ANDREW B. SIMMONS, R.C.E. NO. 12268 DATE: EXP. 06-30-2022

J. LUIS LOPEZ, PLANNING DIRECTOR DATE: 12-15-2021



EGAN CIVIL, INC.

PO BOX 5282, LA QUINIA, CA 92248-5282
 (760) 404-7663 WWW.EGANCIVIL.COM

PREPARED UNDER THE DIRECT SUPERVISION OF:

BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 12-15-2021

BENCHMARK: NGS B 1326 (PID DX3448) DATUM NAVD88 + 500.00'
 ELEVATION: 393.85 (TRUE ELEVATION = -106.15')

DESCRIPTION: BRASS DISK FASTENED TO METAL ROD WITH BASE PLATE INTO GROUND.

STAMPING: "B 1326 1978"

LOCATION: 1.00 MILES NORTHWEST ALONG STATE HIGHWAY 111 FROM THE JUNCTION OF AIRPORT BOULEVARD IN THERMAL, AT A COACHELLA VALLEY WATER DISTRICT PUMP, 71.2 FT. SOUTHWEST OF THE HIGHWAY CENTERLINE, 37.1 FT. SOUTHWEST OF THE CENTER OF A DIRT ROAD, 1.4 FT. NORTH OF A 6 FT. TALL CHAIN LINK FENCE AROUND THE PUMP. THE MARK IS ABOVE LEVEL WITH THE HIGHWAY.

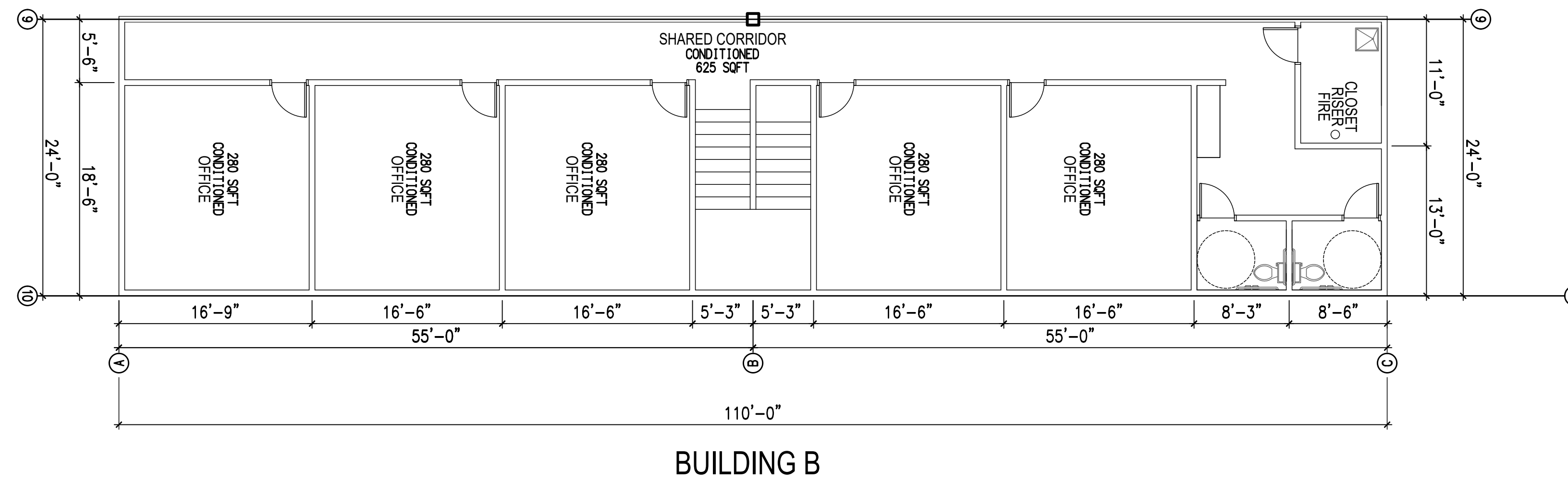
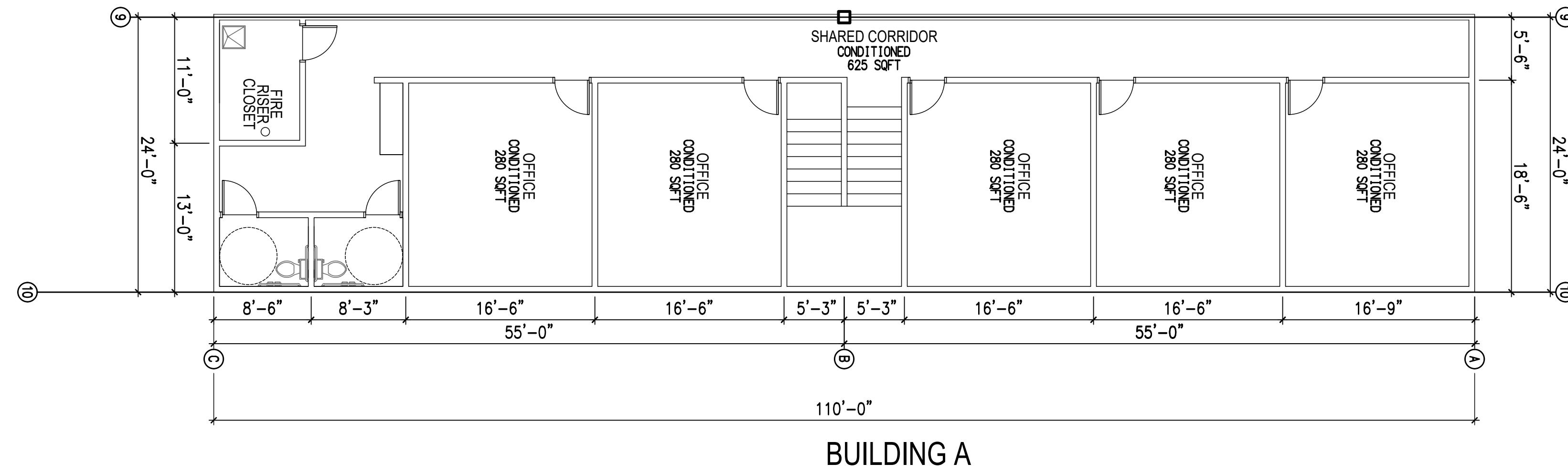
IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE

JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
 PARCEL 3 AND 4 ENTERPRISE WAY
 COACHELLA, CA 92236
 IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M

BUILDING A FLOOR PLAN

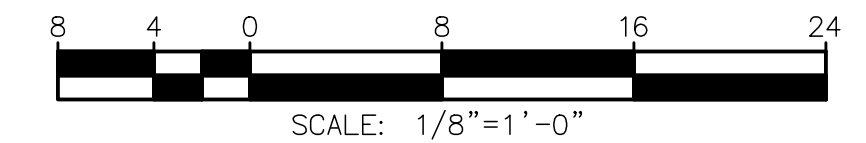
FOR: JJWR HOLDINGS, LLC ECI.W.D. 20200527 CITY FILE NO.

SHEET NO. **4** OF 10 SHEETS



SECOND FLOOR PLAN

SCALE - 1/8" = 1'-0"



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MARK	BY	DATE	ENGINEER	REVISIONS	APPR.	DATE	CITY

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 440 SANTA LUCIA DRIVE
 HEMET, CA 92543
 C/O JASON WILLIAMS
 PH# 760-250-4450
 EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL:
 NOEL OWBLEY, R.C.E. 39827 DATE: 12-31-2021
CITY OF COACHELLA
 APPROVED FOR CONSTRUCTION:
 ANDREW B. SIMMONS, R.C.E. NO. 72668 DATE: 06-30-2022
 APPROVED BY:
 J. LUIS LOPEZ, PLANNING DIRECTOR DATE:



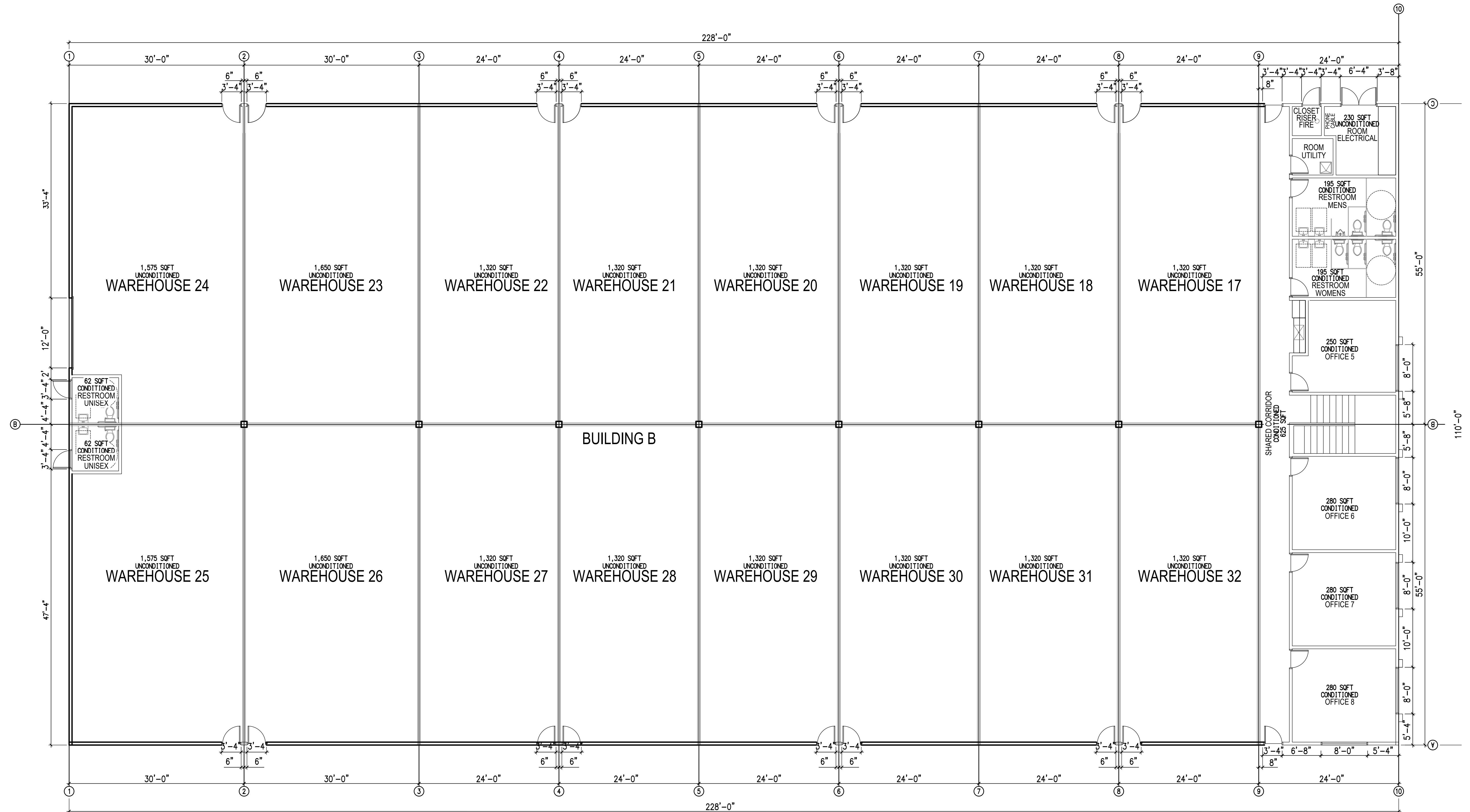
EGAN CIVIL, INC.
 PO BOX 5282, LA QUINTA, CA 92248-5282
 (760) 404-7663 WWW.EGANCIVIL.COM
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 12-15-2021

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IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE
JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
 PARCEL 3 AND 4 ENTERPRISE WAY
 COACHELLA, CA 92236
 IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M
SECOND FLOOR PLAN
 FOR: JJWR HOLDINGS, LLC ECI.W.O. 20200527 CITY FILE NO.
 SHEET NO. **5A** OF 10 SHEETS

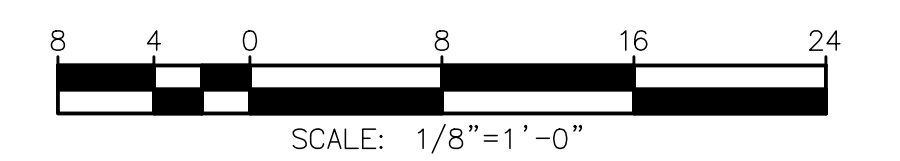
NOTE: DRAWING SCALES APPLY WHEN PLOTTED ON 24X36 PAPER

PLOT DATE: MARCH 17, 2022



BUILDING B FLOOR PLAN

SCALE - 1/8" = 1'-0"



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 HEMET, CA 92543
 C/O JASON WILLIAMS
 PH# 760-250-4450
 EMAIL: jjwrholdingsllc@gmail.com

BUILDING B

RECOMMENDED FOR APPROVAL:
 NOEL OWBLEY, R.C.E. 39827 DATE: EXP. 12-31-2021
CITY OF COACHELLA
 APPROVED FOR CONSTRUCTION:
 ANDREW B. SIMMONS, R.C.E. NO. 12268 DATE: EXP. 06-30-2022
 APPROVED BY:
 J. LUIS LOPEZ, PLANNING DIRECTOR DATE:

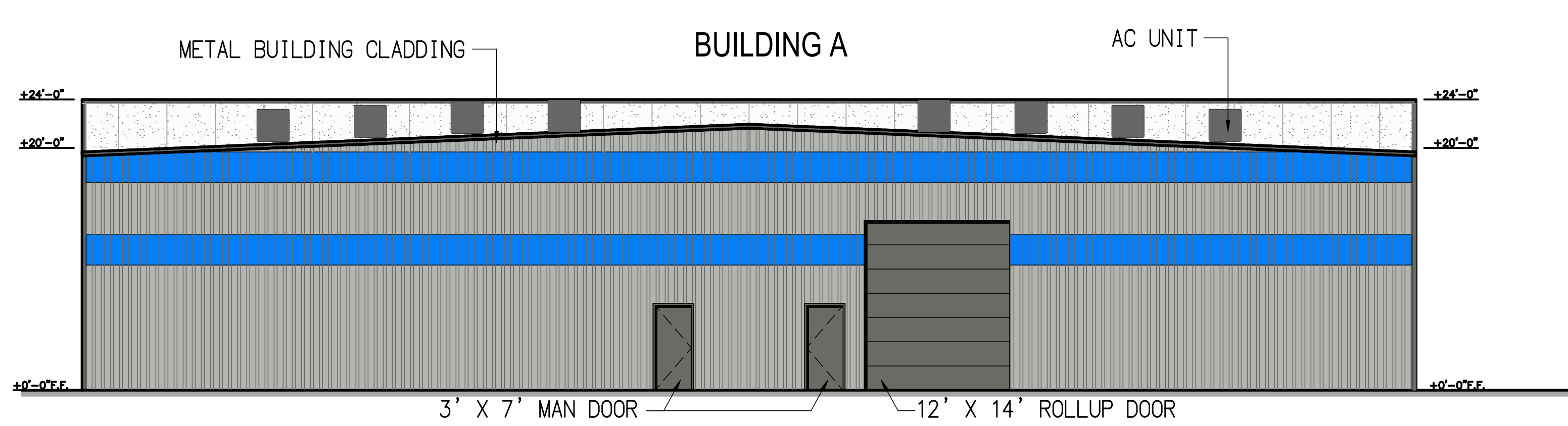


EGAN CIVIL, INC.
 PO BOX 5282, LA QUINTA, CA 92248-5282
 (760) 404-7663 WWW.EGANCIVIL.COM
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 BENJAMIN DANIEL EGAN, R.C.E. 73070 DATE: 12-15-2021

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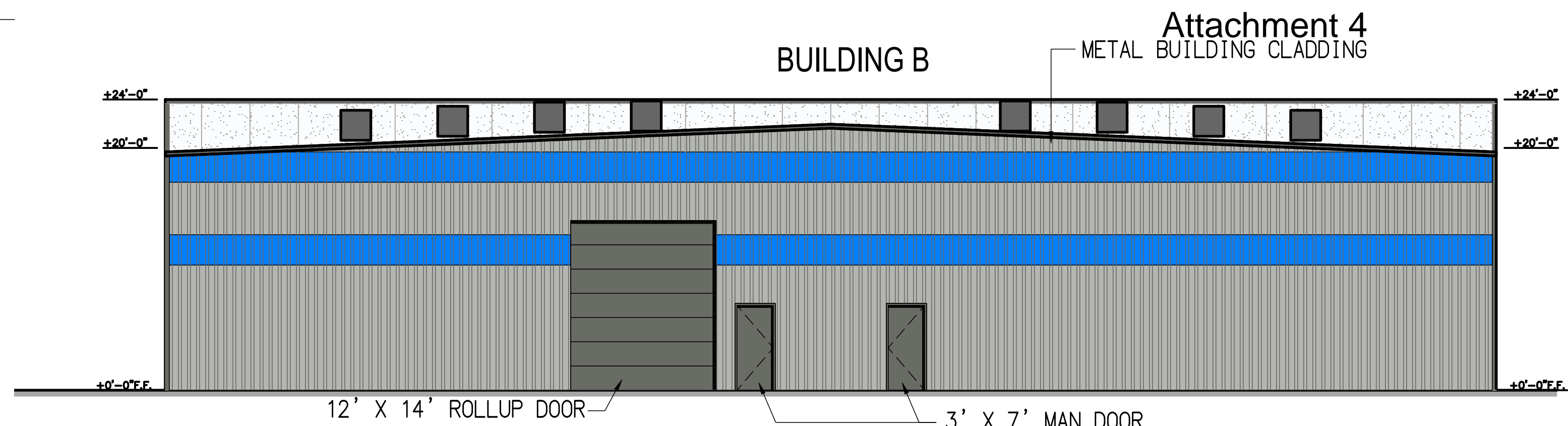
IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE
JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
 PARCEL 3 AND 4 ENTERPRISE WAY
 COACHELLA, CA 92236
BUILDING B FLOOR PLAN
 FOR: JJWR HOLDINGS, LLC ECI.W.D. 20200527 CITY FILE NO.
 SHEET NO. **5** OF 10 SHEETS

PLOT DATE: MARCH 17, 2022



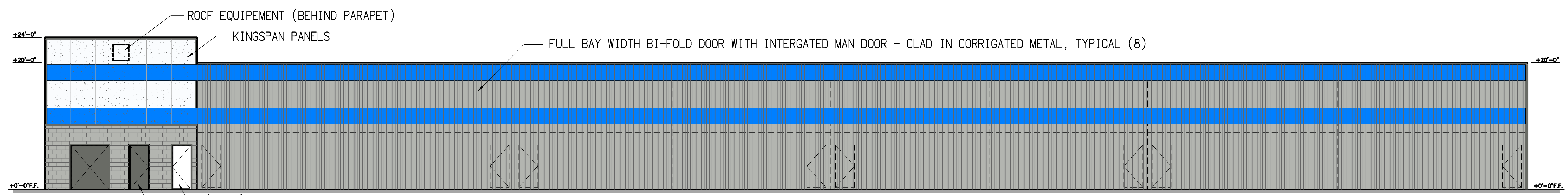
BUILDING A SOUTHWEST ELEVATION (LOOKING TOWARD ENTERPRISE WAY)

SCALE - 1/8" = 1'-0"



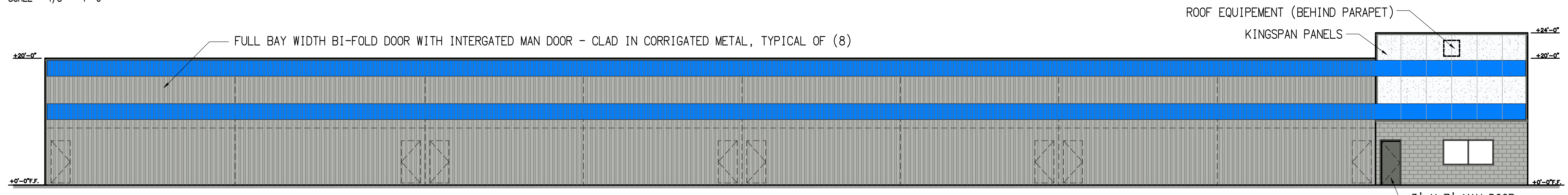
BUILDING B SOUTHWEST ELEVATION (LOOKING TOWARD ENTERPRISE WAY)

SCALE - 1/8" = 1'-0"



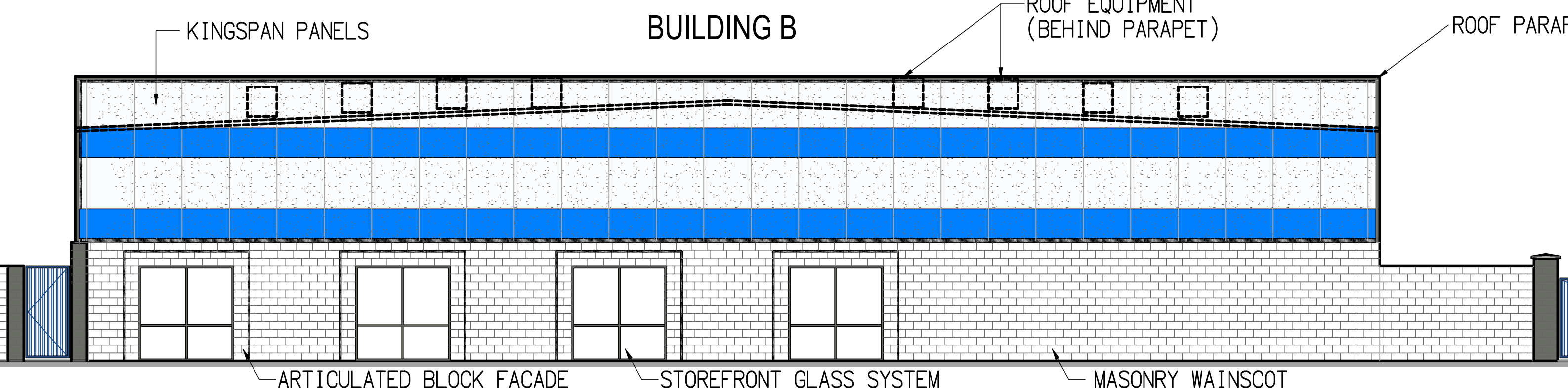
BUILDING A SOUTHEAST & BUILDING B NORTHWEST ELEVATIONS

SCALE - 1/8" = 1'-0"



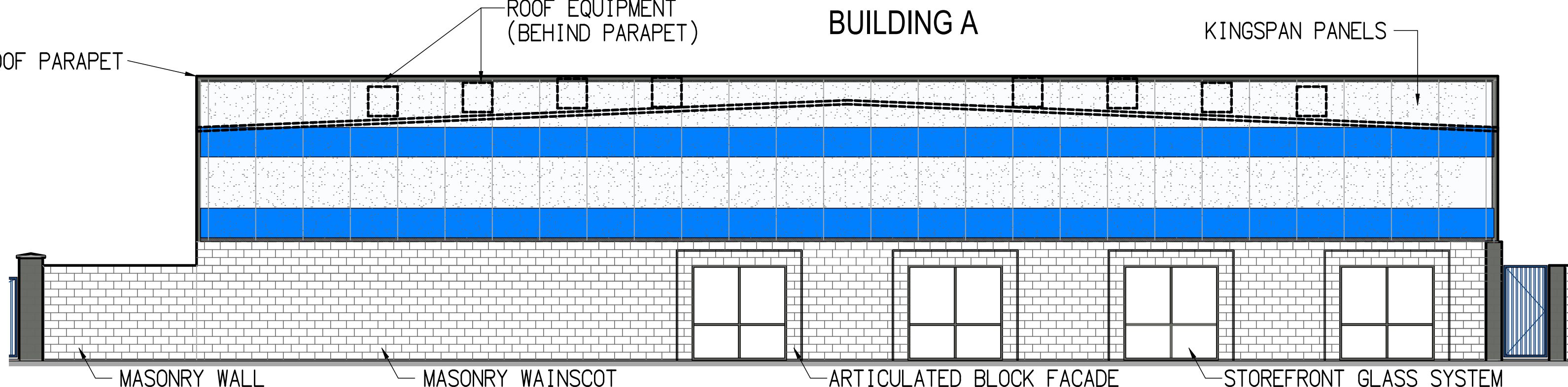
BUILDING A NORTHWEST & BUILDING B SOUTHEAST ELEVATIONS

SCALE - 1/8" = 1'-0"



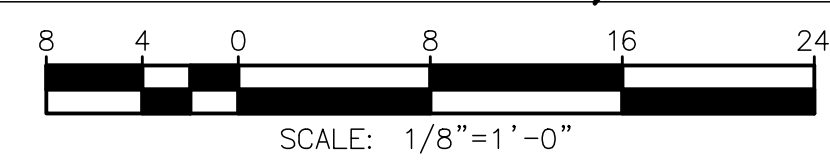
BUILDING B NORTHEAST ELEVATION (LOOKING FROM ENTERPRISE WAY)

SCALE - 1/8" = 1'-0"



BUILDING A NORTHEAST ELEVATION (LOOKING FROM ENTERPRISE WAY)

SCALE - 1/8" = 1'-0"



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	ENGINEER				CITY

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 440 SANTA LUCIA DRIVE
 HEMET, CA 92543
 C/O JASON WILLIAMS
 PH# 760-250-4450
 EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL	DATE
NOEL OWBLEY, R.C.E. 39827	EXP. 12-31-2021
CITY OF COACHELLA	
APPROVED FOR CONSTRUCTION:	DATE
ANDREW B. SIMMONS, R.C.E. NO. 12268	EXP. 06-30-2022
APPROVED BY:	DATE
J. LUIS LOPEZ, PLANNING DIRECTOR	



EGAN CIVIL, INC.

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PREPARED UNDER THE DIRECT SUPERVISION OF:

BENJAMIN DANIEL EGAN, R.C.E. 73070

DATE: 12-15-2021

BENCHMARK: NGS B 1326 (PID DX3448) DATUM NAVD88 + 500.00'
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IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE

JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT

PARCEL 3 AND 4 ENTERPRISE WAY
 COACHELLA, CA 92236

IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M

BUILDING ELEVATIONS

FOR: JJWR HOLDINGS, LLC

ECLW.D. 20200527

CITY FILE NO.

SHEET NO. **6** OF 10 SHEETS

NOTE: DRAWING SCALES APPLY WHEN PLOTTED ON 24X36 PAPER

PLOT DATE: MARCH 17, 2022

ENTERPRISE WAY

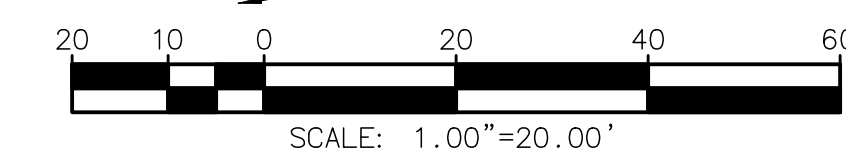
PLANT MATERIAL LEGEND

TREES					
SYM. NAME	SIZE	COMMENTS	QUANTITY	WATER USAGE	
Lagerstroemia hybrid 'Muskogee' Crape Myrtle	24" Box	Multi-trunk	8	M. 5	
Prosopis chilensis Chilean Mesquite	24" Box	Standard	21	M. 5	
PALMS					
SYM. NAME	SIZE	COMMENTS	QUANTITY	WATER USAGE	
Chamaerops humilis Mediterranean Fan Palm	24" Box	Multi Low Branch	12	M. 5	
Trachycarpus fortunei Windmill Palm	24" Box	8'-10' BT	4	M. 5	
Washingtonia hybrid robusta Mexican Fan Palm	14"-20" BTH	Skinned	16	M. 5	
SHRUBS					
SYM. NAME	SIZE	QUANTITY	WATER USAGE		
Acacia redolens 'Desert Carpet' Desert Carpet Acacia	1 gal.	45	L. 2		
Bougainvillea 'Oh La La' Oh La La Bougainvillea	5 gal.	25	M. 5		
Caesalpinia pulcherrima Red Bird of Paradise	5 gal.	75	M. 5		
Lantana x. 'New Gold' New Gold Lantana	1 gal.	120	M. 5		
Lantana montevidensis Trailing Lantana	1 gal.	95	M. 5		
Leucophyllum langmaniae 'Rio Bravo' Texas Ranger	5 gal.	25	L. 2		
Leucophyllum x. 'Heavenly Cloud' Heavenly Cloud Sage	5 gal.	40	L. 2		
Senna nemophylla Green Senna	5 gal.	100	L. 2		
Thevetia peruviana Japanese Yellow Oleander	15 gal.	20	M. 5		
VINES AND ACCENTS					
SYM. NAME	SIZE	QUANTITY	WATER USAGE		
Bougainvillea 'Barbara Karst' Barbara Karst Bougainvillea (South & West Exposures)	5 gal.	15	M. 5		
Dasyliiron wheeleri Desert Spoon	5 gal.	40	L. 2		
Hesperaloe parviflora Red Yucca	5 gal.	205	L. 2		
INERT MATERIALS					
SYM.	DESCRIPTION				
[Symbol]	UNLESS OTHERWISE NOTED, ALL PLANTING AREAS TO RECEIVE 'DESERT GOLD' SAND WITH A MAXIMUM PARTICLE SIZE OF ONE EIGHTH INCH TO A DEPTH OF 3". AVAILABLE FROM SOUTHWEST BOULDER AND STONE (760)342-5522				
[Symbol]	DECORATIVE COBBLE: SANTA FE SMOOTH COBBLE 1"-2". AVAILABLE FROM SOUTHWEST BOULDER AND STONE(760)342-5522				
[Symbol]	BOULDERS: "DESERT GOLD". AVAILABLE FROM SOUTHWEST BOULDER AND STONE(760)342-5522				



LANDSCAPE PLAN

SCALE - 1" = 20'-0"



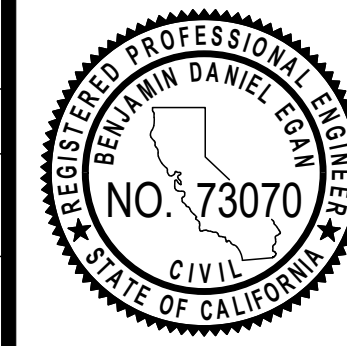
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DATE: EXP. 12-31-2021
CITY OF COACHELLA
APPROVED FOR CONSTRUCTION:
ANDREW B. SIMMONS, R.C.E. NO. 12266
DATE: EXP. 06-30-2022
APPROVED BY:
J. LUIS LOPEZ, PLANNING DIRECTOR

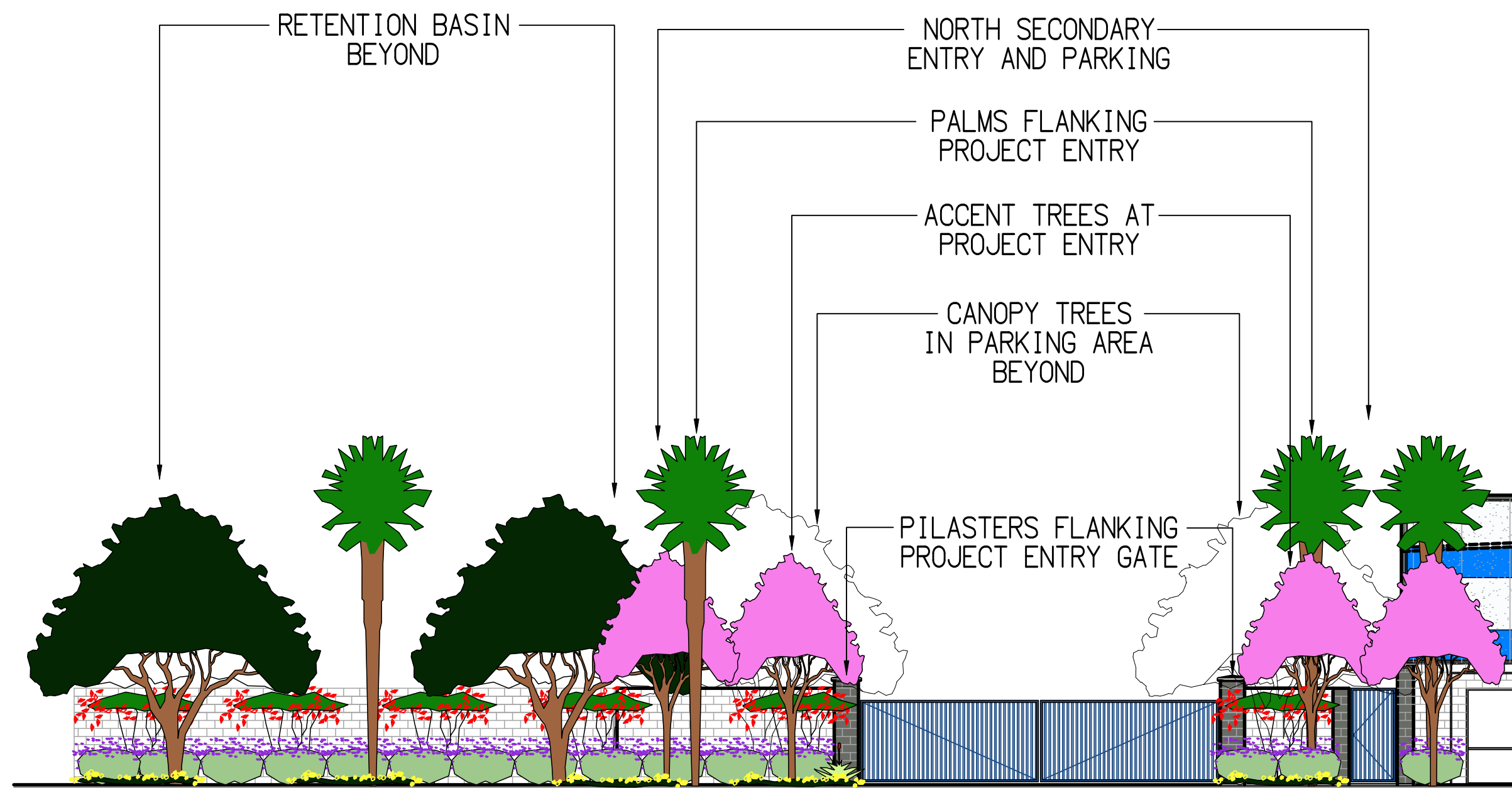


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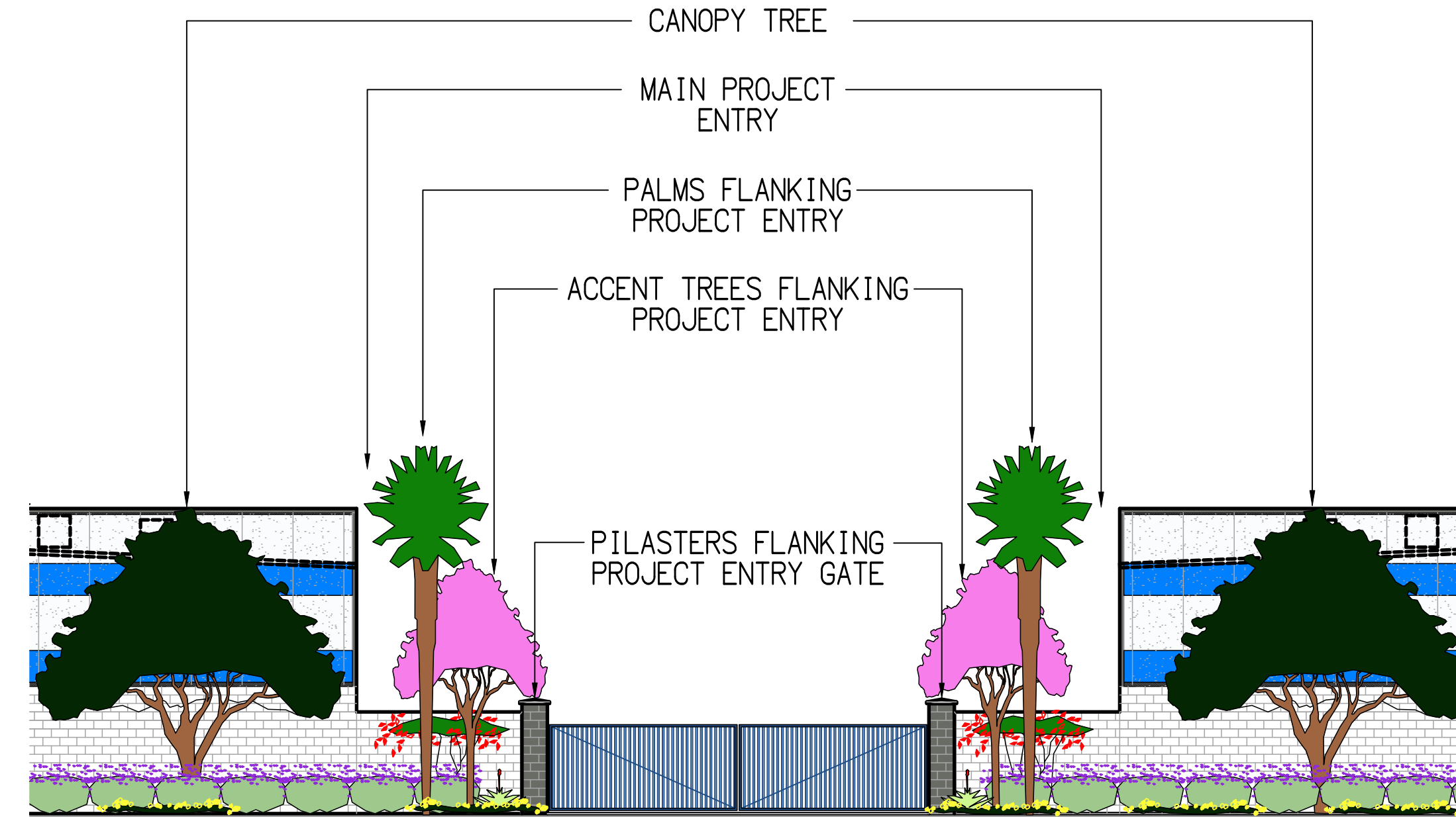
IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE
JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
PARCEL 3 AND 4 ENTERPRISE WAY
COACHELLA, CA 92236
IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M
PRELIMINARY LANDSCAPE PLAN
FOR: JJWR HOLDINGS, LLC
EQUIV. NO. 20200527
CITY FILE NO.

SHEET NO. 7 OF 10 SHEETS



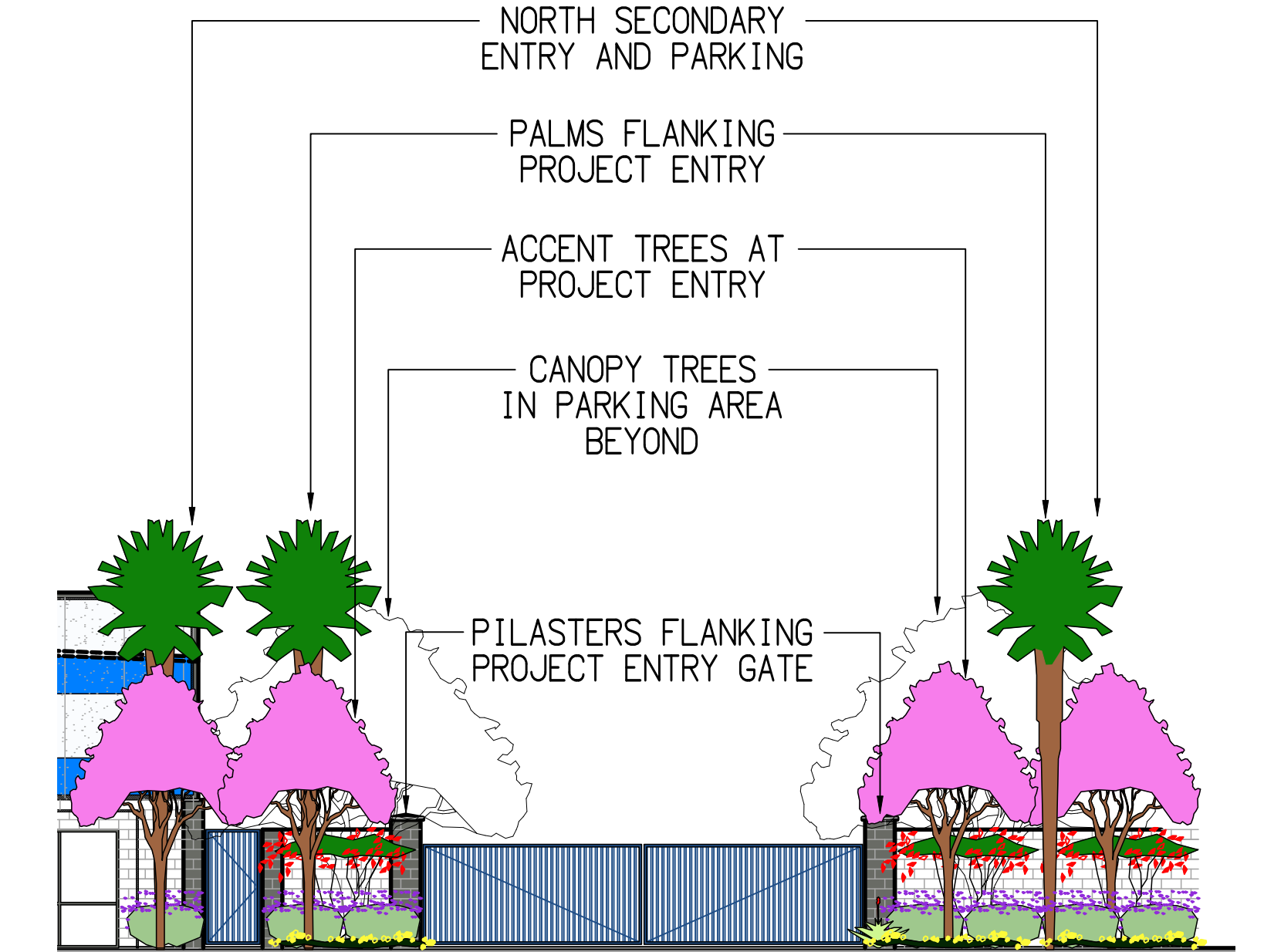
SOUTH ENTRANCE

SCALE - 1" = 10'-0"



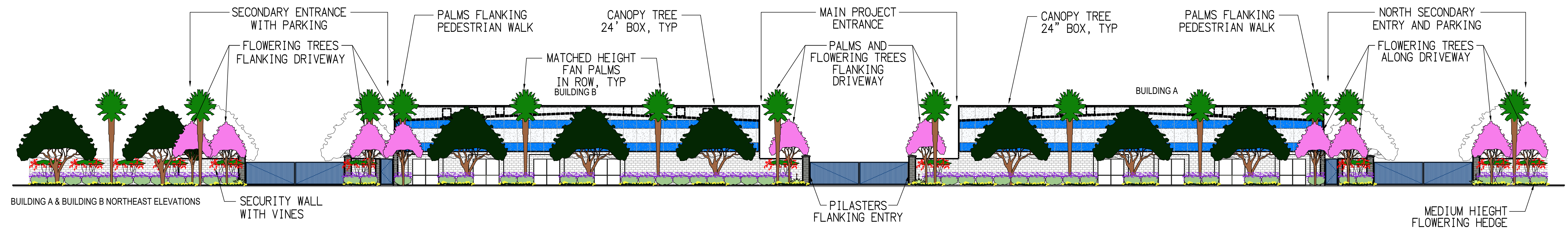
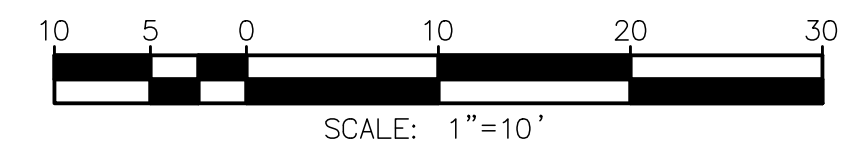
ENTERPRISE WAY MAIN ENTRANCE

SCALE - 1" = 10'-0"



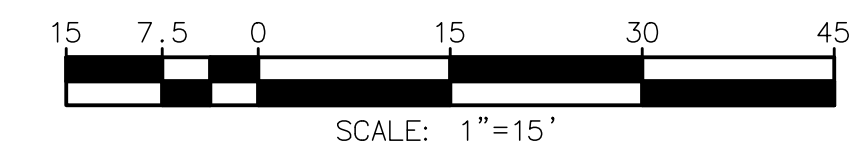
NORTH ENTRANCE

SCALE - 1" = 10'-0"



ENTERPRISE WAY STREETScape

SCALE - 1" = 15'-0"



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APPROVED BY:
J. LUIS LOPEZ - PLANNING DIRECTOR DATE:



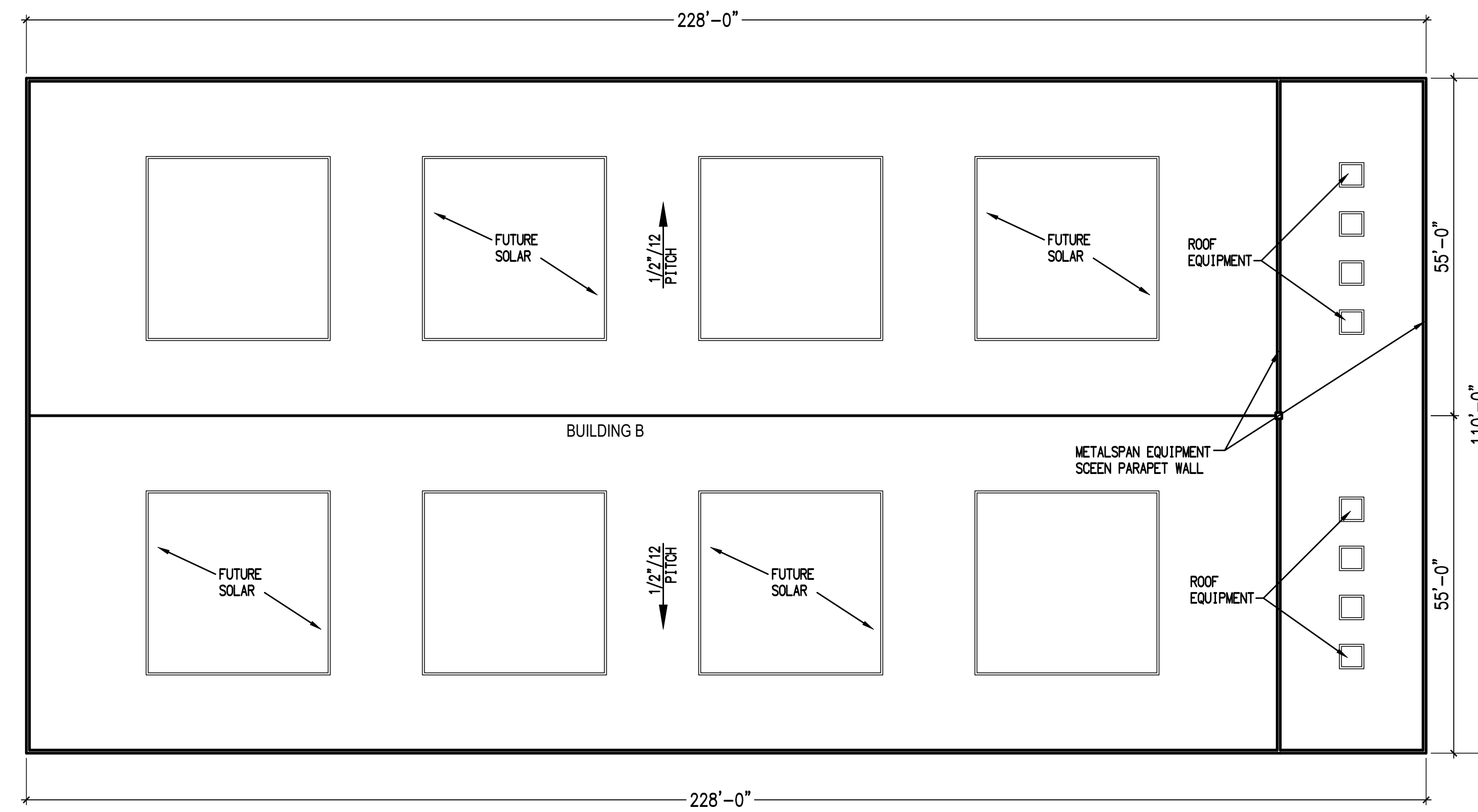
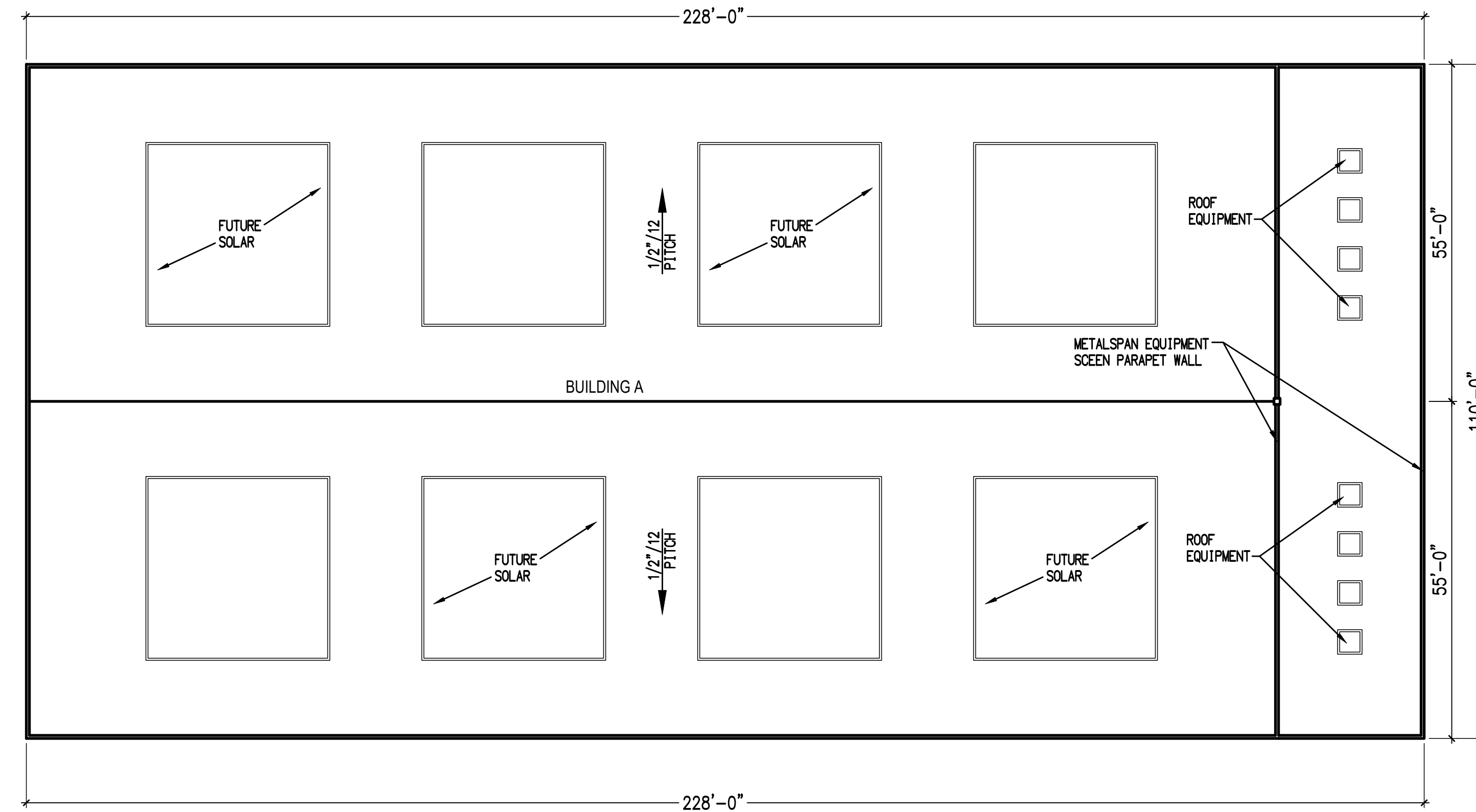
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FOR: JJWR HOLDINGS, LLC ECI.W.D. 20200527 CITY FILE NO.

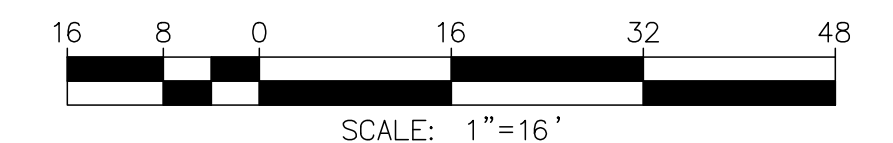
SHEET NO. **8** OF 10 SHEETS

PLOT DATE: MARCH 17, 2022



ROOF PLAN

SCALE - 1/16" = 1'-0"



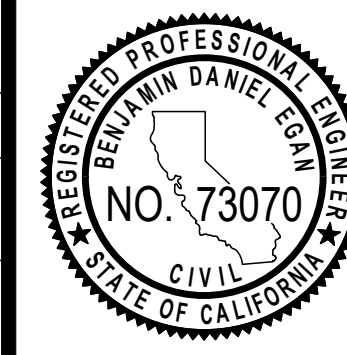
NOTE: WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.
THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE CITY.



MARK	BY	DATE	ENGINEER	REVISIONS	APPR.	DATE	CITY

JJWR HOLDINGS, LLC
440 SANTA LUCIA DRIVE
HEMET, CA 92543
C/O JASON WILLIAMS
PH# 760-250-4450
EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL:
NOEL OWBLEY, R.C.E. 39827
DATE: 12-31-2021
CITY OF COACHELLA
APPROVED FOR CONSTRUCTION:
ANDREW B. SIMMONS, R.C.E. NO. 12868
DATE: 06-30-2022
APPROVED BY:
J. LUIS LOPEZ, PLANNING DIRECTOR

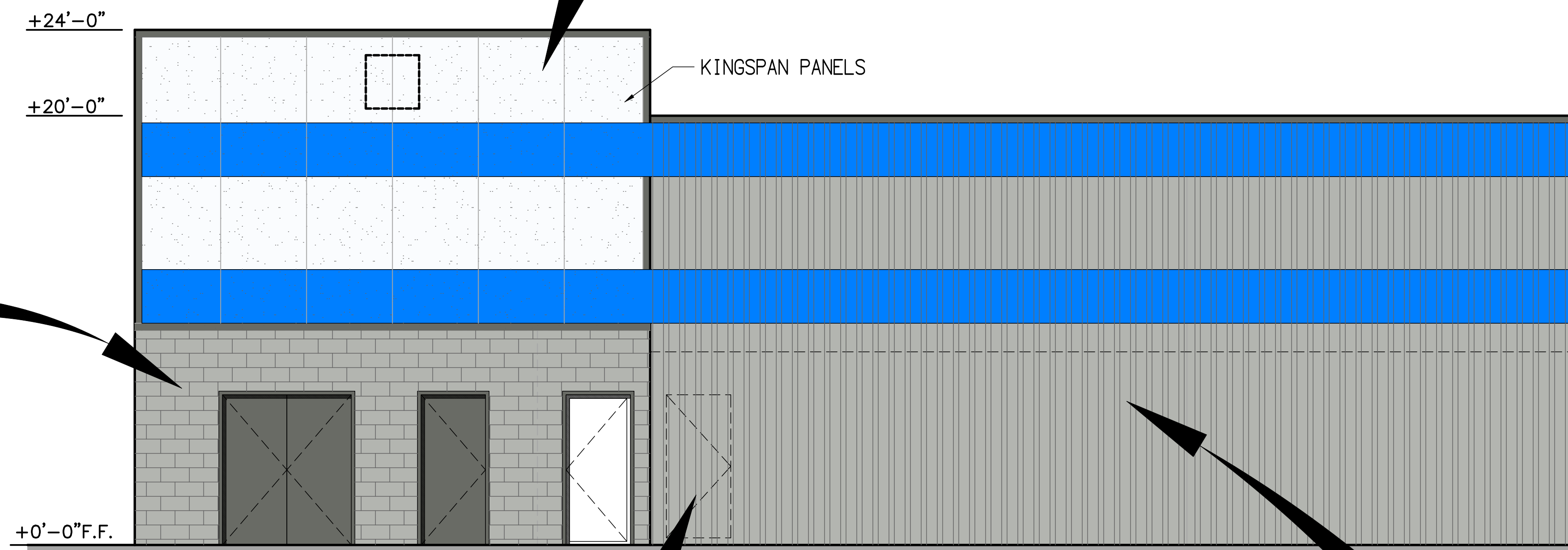
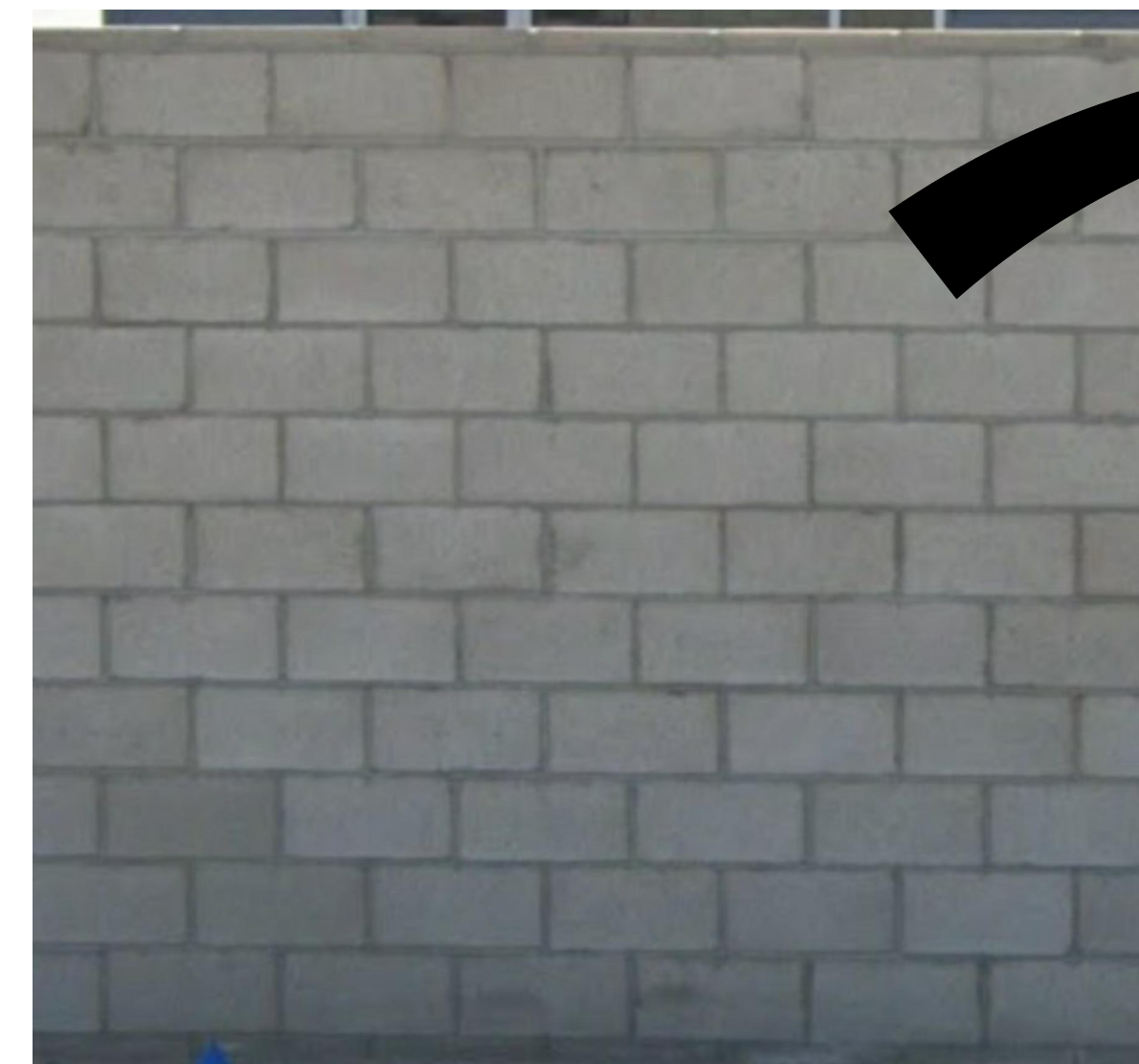


EGAN CIVIL, INC.
PO BOX 5282, LA QUINTA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM
PREPARED UNDER THE DIRECT SUPERVISION OF:
BENJAMIN DANIEL EGAN, R.C.E. 73070
DATE: 12-15-2021

BENCHMARK: NGS B 1326 (PID DX3448) DATUM NAVD88 + 500.00'
ELEVATION: 393.85 (TRUE ELEVATION = -106.15)
DESCRIPTION: BRASS DISK FASTENED TO METAL ROOF WITH BASE PLATE INTO GROUND
STAMPING: "B 1326 1978"
LOCATION: 1.00 MILES NORTHWEST ALONG STATE HIGHWAY 111 FROM THE JUNCTION OF AIRPORT BOULEVARD IN THERMAL, AT A COACHELLA VALLEY WATER DISTRICT PUMP, 71.2 FT. SOUTHWEST OF THE HIGHWAY CENTERLINE, 37.1 FT. SOUTHWEST OF THE CENTER OF A DIRT ROAD, 1.4 FT. NORTH OF A 6 FT. TALL CHAIN LINK FENCE AROUND THE PUMP. THE MARK IS ABOVE LEVEL WITH THE HIGHWAY.

IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE
JJWR HOLDINGS MANUFACTURING
& RV STORAGE PROJECT
PARCEL 3 AND 4 ENTERPRISE WAY
COACHELLA, CA 92236
IN THE SE 1/4 OF SECTION 9, T6S, R8E, S8M
ROOF PLAN
FOR: JJWR HOLDINGS, LLC
EQUIV. NO.: 20200527
CITY FILE NO.:

SHEET NO. **9**
OF 10 SHEETS



NOTE: WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISIONS TO THE PLANS FOR APPROVAL BY THE CITY.



MARK	BY	DATE	ENGINEER	REVISIONS	APPR.	DATE	CITY

JJWR HOLDINGS, LLC
 440 SANTA LUCIA DRIVE
 HEMET, CA 92543
 C/O JASON WILLIAMS
 PH# 760-250-4450
 EMAIL: jjwrholdingsllc@gmail.com

RECOMMENDED FOR APPROVAL
 NOEL OWBLEY, R.C.E. 39827 DATE: EXP. 12-31-2021
 CITY OF COACHELLA
 APPROVED FOR CONSTRUCTION:
 ANDREW B. SIMMONS, R.C.E. NO. 12868 DATE: EXP. 06-30-2022
 APPROVED BY:
 J. LUIS LOPEZ, PLANNING DIRECTOR DATE:



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IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE
JJWR HOLDINGS MANUFACTURING & RV STORAGE PROJECT
 PARCEL 3 AND 4 ENTERPRISE WAY
 COACHELLA, CA 92236
MATERIAL BOARD
 FOR: JJWR HOLDINGS, LLC ECIW.O. 20200527 CITY FILE NO.
 SHEET NO. **10** OF 10 SHEETS