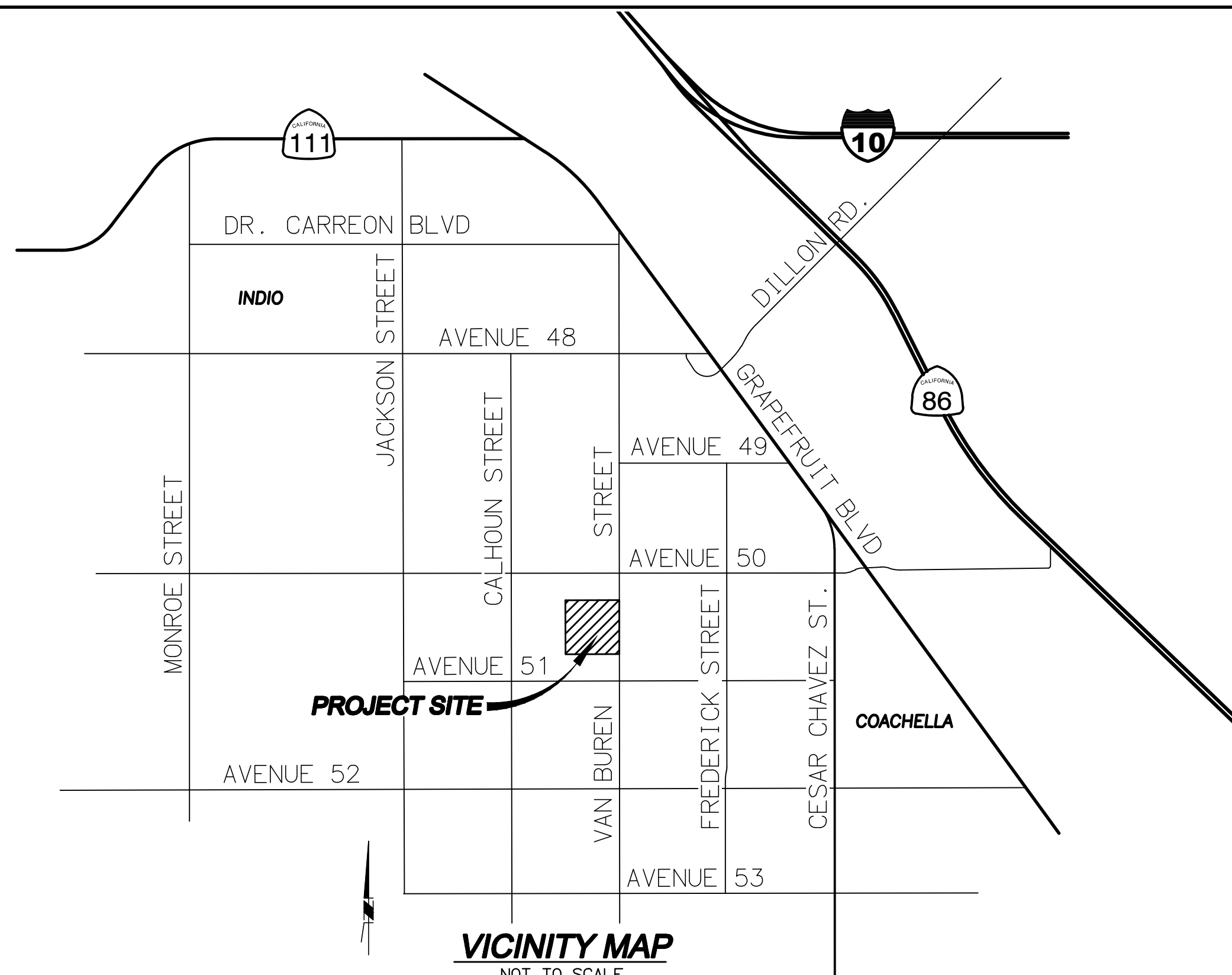


TENTATIVE TRACT NO. 38557

LOCATED WITHIN THE EAST HALF OF SECTION 1, T. 6 S., R. 5 E., S.B.M



VICINITY MAP
NOT TO SCALE

APPLICANT

PULTE GROUP, INC.
27401 LOS ALTOS, SUITE 400
MISSION VIEJO, CA 92691
CONTACT: DAVID DEWEGELI
PHONE: (760)578-9334

OWNER

NIGOSIAN FAMILY FARMS, INC.
PO BOX 276, COACHELLA, CA 92236
CONTACT: NICK NIGOSIAN

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
75-410 GERALD FORD DR., SUITE 100
PALM DESERT, CA 92211
PHONE: (760)346-7481

LEGAL DESCRIPTION

LOTS 2 & 3 OF MAP OF SECTION 1, MB 004/063

A PORTION OF THE EAST HALF OF THE EAST HALF OF SECTION 1, TOWNSHIP 6 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO BASELINE AND MERIDIAN.

TOPOGRAPHY

INLAND AERIAL SURVEYS, INC.
7117 ARLINGTON AVE., SUITE A
RIVERSIDE, CA 92503
PHONE: (951)687-4252
DATE FLOWN: JULY 01, 2022

FLOOD ZONE

THIS SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED "ZONE X" AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06065C2262H DATED MARCH 5, 2018.

ASSESSOR'S PARCEL NUMBER

779-280-002 & 779-320-001

ZONING

EXISTING ZONING - SINGLE FAMILY RESIDENTIAL (R-S)
MULTI-FAMILY RESIDENTIAL (R-M)

PROPOSED ZONING - GENERAL NEIGHBORHOOD, PUD

SCHOOL DISTRICT

COACHELLA VALLEY UNIFIED SCHOOL DISTRICT
87-225 OHARF STREET
THERMAL, CA 92274
PHONE: (760)399-5137

SITE DATA

PROJECT SITE - 39.35 GROSS ACRES; 26.58 NET ACRES
PROPOSED LOT AREA, (LOTS 1-204) - 1,157,900 SF (26.58 AC)
PROPOSED PUBLIC STREETS "A" THRU "I" - 410,992 SF (9.43 AC)
PROPOSED PUBLIC STREET (VAN BUREN) - 66,420 SF (1.53 AC)
PROPOSED OPEN SPACE LOTS "A" THRU "E" - 115,366 SF (2.65 AC)
PROPOSED WELL SITE, LOT "F" - 10,000 SF (0.23 AC)

UTILITY PURVEYORS

WATER
COACHELLA WATER AUTHORITY
1515 SIXTH STREET
COACHELLA, CA 92236
PHONE: (760)501-8100

SEWER
COACHELLA SANITARY DISTRICT
1515 SIXTH STREET
COACHELLA, CA 92236
PHONE: (760)501-8100

GAS
SOUTHERN CALIFORNIA GAS COMPANY
45-123 TOWNE AVENUE
INDIO, CA 92201
PHONE: (800)427-2200

ELECTRIC
IMPERIAL IRRIGATION DISTRICT
81-600 AVENUE 58
LA QUINTA, CA 92253
PHONE: (760)335-3640

TELEPHONE
FRONTIER COMMUNICATIONS
9 SOUTH 4TH STREET
REDLANDS, CA 92373
PHONE: (877)462-6640

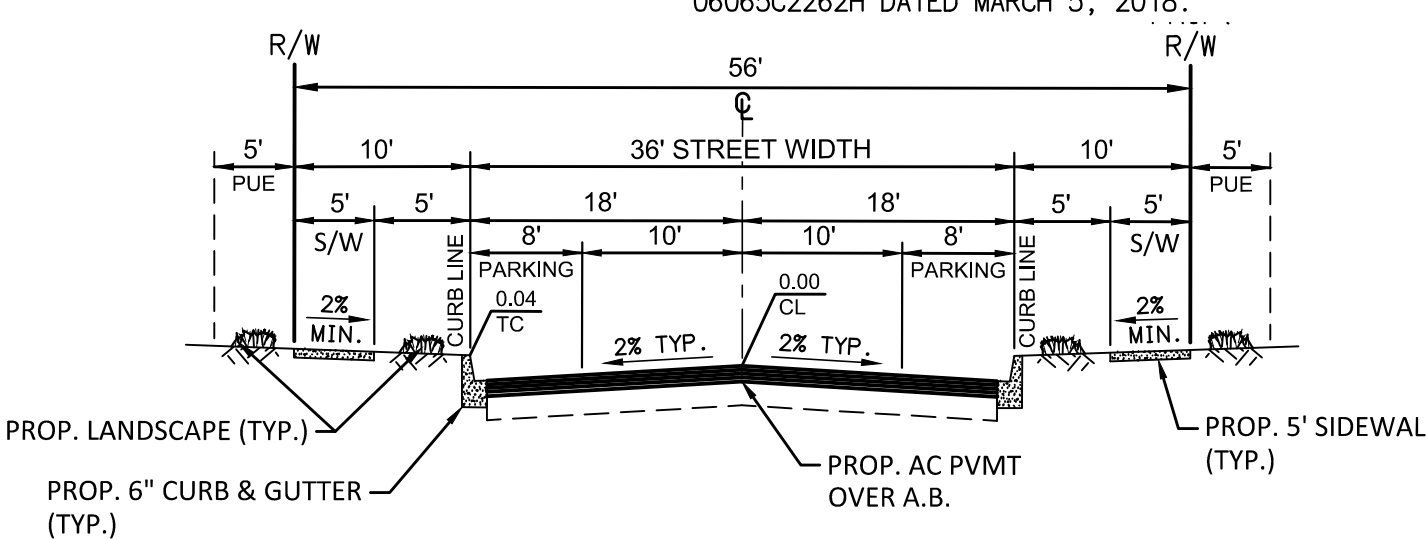
CABLE
SPECTRUM
41-725 COOK AVENUE
PALM DESERT, CA 92211
PHONE: (760)674-9656

LEGEND

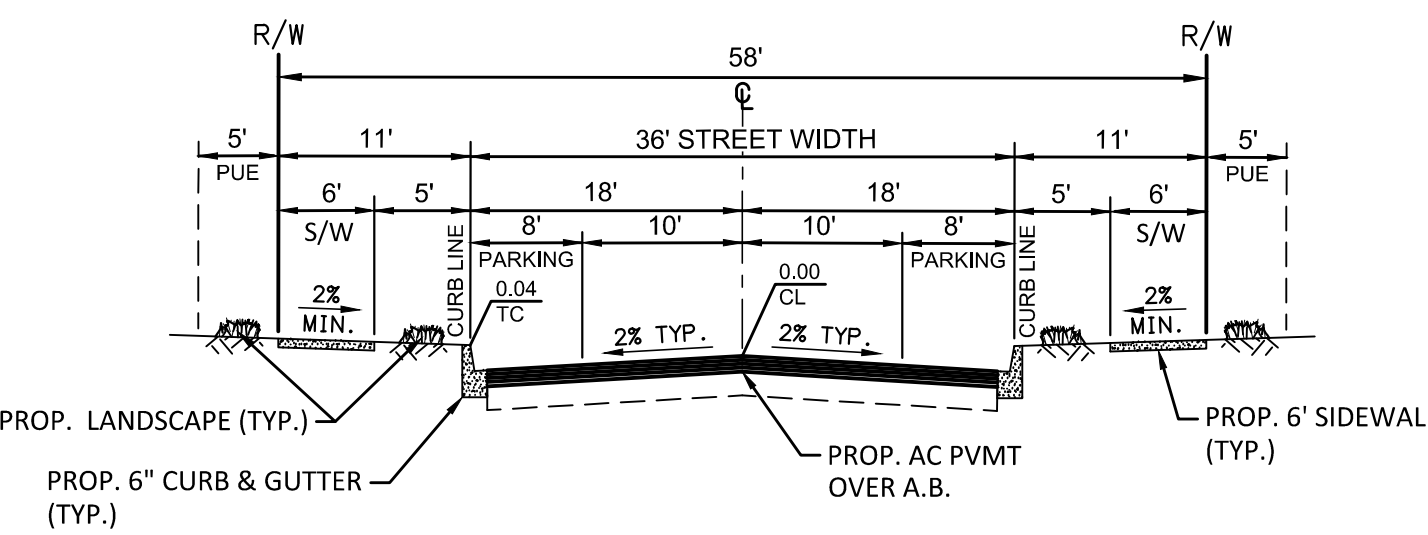
- PROPOSED PROJECT BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED CENTERLINE
- PROPOSED PROPERTY LINE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING CIVID IRRIGATION LINE

ABBREVIATIONS

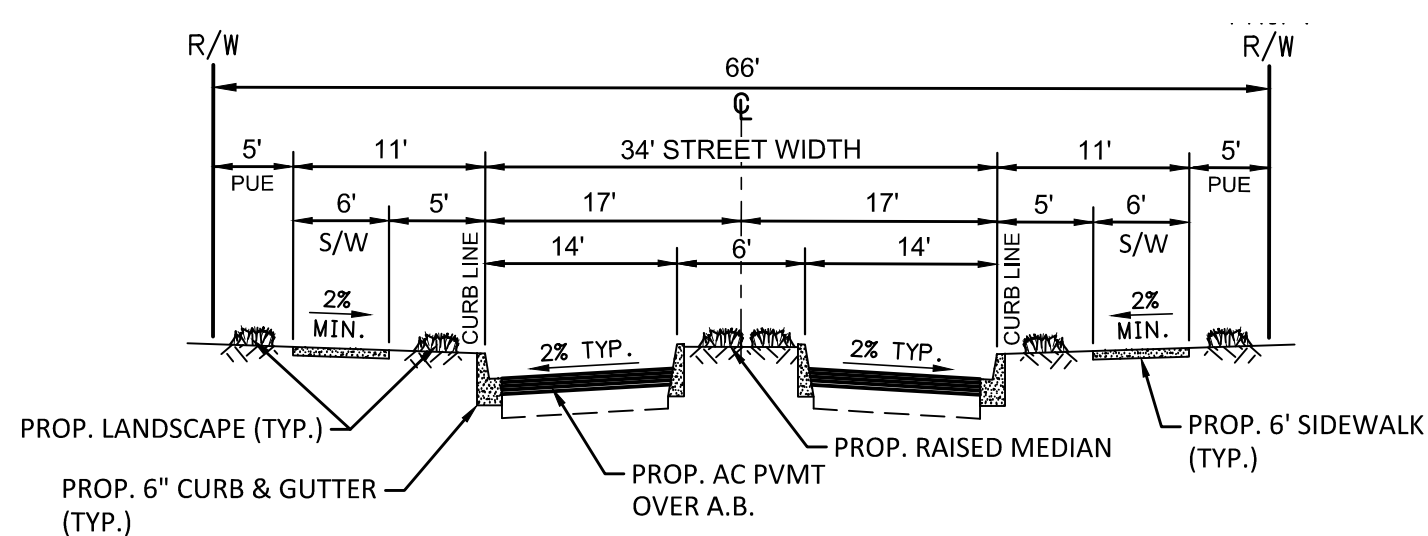
- | | | | |
|---------|---------------------------|------|-------------------------|
| A.B. | AGGREGATE BASE | PUE | PUBLIC UTILITY EASEMENT |
| AC | ACRE | PVMT | PAVEMENT |
| AC PVMT | ASPHALT CONCRETE PAVEMENT | R | RADIUS |
| AG | AGGREGATE | R/W | RIGHT OF WAY |
| C/L | CENTERLINE | S/W | SIDEWALK |
| EX | EXISTING | SF | SQUARE FOOTAGE |
| MH | MANHOLE | TYP. | TYPICAL |
| PROP. | PROPOSED | | |



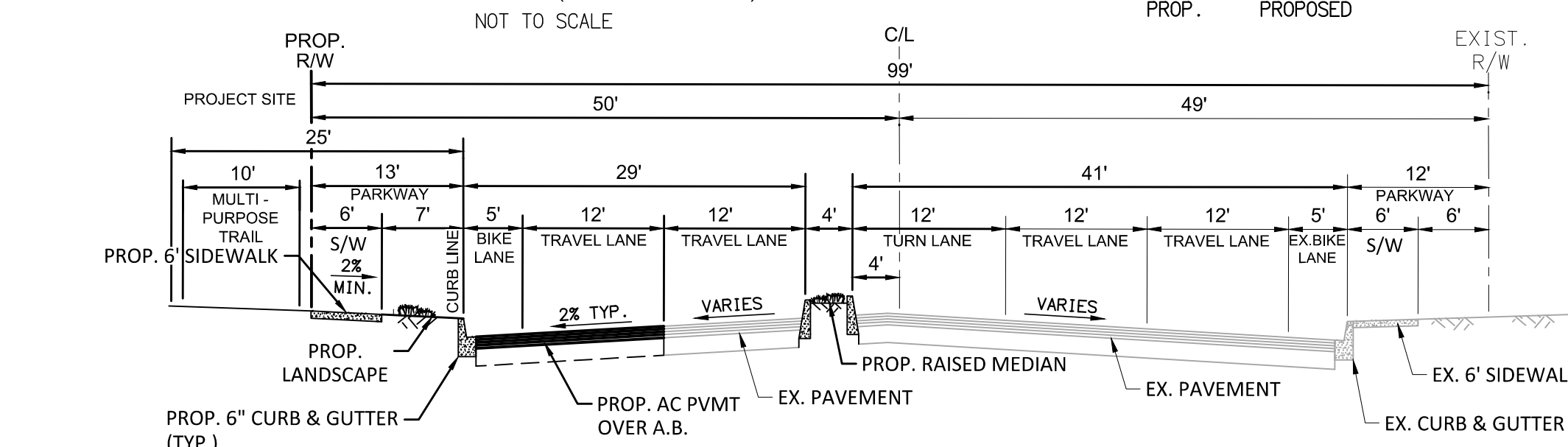
RESIDENTIAL STREET "C" - "I"
TYPICAL SECTION (PUBLIC STREET)
NOT TO SCALE



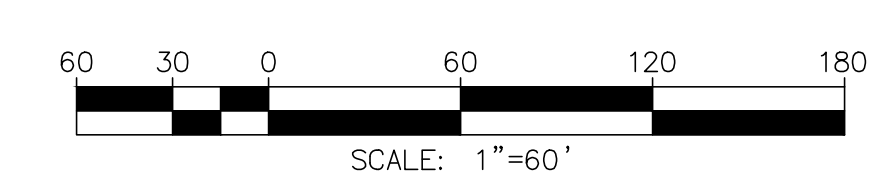
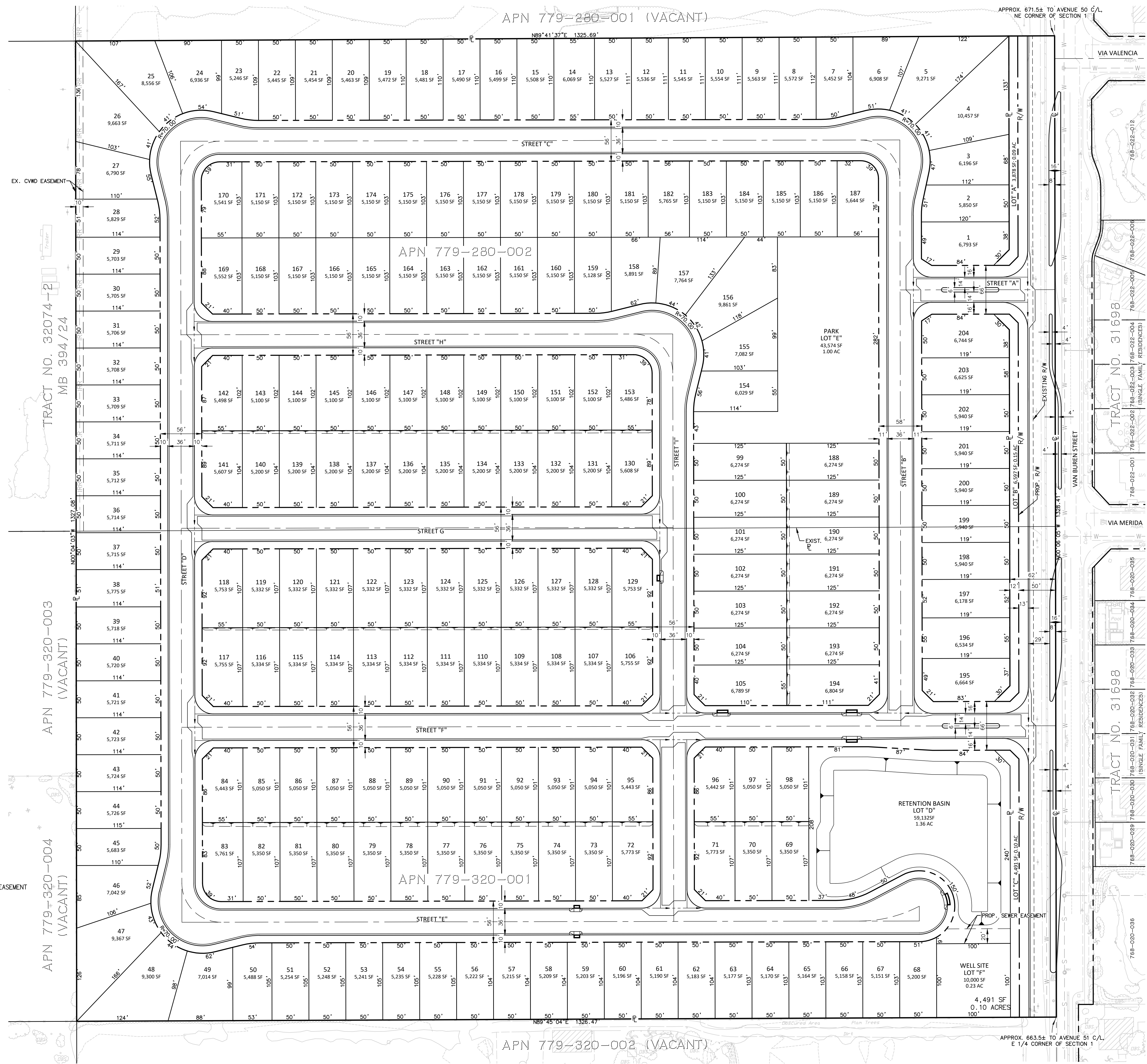
RESIDENTIAL STREET "B"
TYPICAL SECTION (PUBLIC STREET)
NOT TO SCALE



ENTRY WAY "A" & "F"
TYPICAL SECTION (PUBLIC STREET)
NOT TO SCALE



VAN BUREN STREET
TYPICAL SECTION (PUBLIC STREET)
NOT TO SCALE



DATE:
2023.08.16

SEVILLA II

Coachella, California

APN: 779-280-002 & 779-320-001

APPLICANT:

PULTE GROUP, INC.
27-401 LOS ALTOS, SUITE 400
MISSION VIEJO, CA 92691
CONTACT: DAVID DEWEGELI; (760) 578-9334

OWNER OF RECORD:

NIGOSIAN FAMILY FARMS, INC.
PO BOX 276
COACHELLA, CA 92236
CONTACT: NICK NIGOSIAN

PLANNER:

MICHAEL BAKER INTERNATIONAL
9755 CLAIREMONT MESA BLVD, SUITE 100
SAN DIEGO, CA 92124-1333
CONTACT: STEVE WRAGG; (858) 614-5059

ENGINEER:

MICHAEL BAKER INTERNATIONAL
75-410 GERALD FORD DRIVE, SUITE 100
PALM DESERT, CA 92211
CONTACT: JACOB ZEPEDA; (760) 776-6139

ARCHITECT:

PULTE GROUP, INC.
27-401 LOS ALTOS, SUITE 400
MISSION VIEJO, CA 92691
CONTACT: DUSTIN MOYER

LANDSCAPE ARCHITECT:

MSA CONSULTING, INC.
34200 BOB HOPE DRIVE
RANCHO MIRAGE, CA 92270
CONTACT: TOM MILLER (760) 320-9811

DRAWING NO:

C1.0