



Introduction - Project Team

- **David Potter, Director of Development:**
David manages the project from financial applications and funding to final construction and occupancy.
- **Colleen Edwards, Sr. Dev. Executive**
Colleen is working with the project at the critical stages of entitlement, financing and construction. She has the lead on community outreach efforts on behalf of the project.
- **Diego Aguilar, Const. Project Manager :**
Diego will oversee all aspects of the project pre-construction services, site construction and punch-out through to building occupancy..
- **Alex Earl, Project Manager:**
Alex manages the entire project from financial applications and funding through final construction, lease up and permanent financing. He is the key contact for the day-to-day issues and questions.
- **David Davis, Development Manager**
Dave works with the development and construction teams to process entitlements, meet regulatory requirements and obtain all final building permits.



Company Overview

- Chelsea has developed over 12,000 affordable apartments across 130 communities in California, Arizona, and New Mexico
- Headquartered in San Diego with Construction, Asset Management, and Community Investment affiliates totaling 100+ employees
- Chelsea is a long-term owner and operator; this ensures continuous management, maintenance, and compliance with State and local regulations



Architect: McKinley Associates

- Mark Longstaff, Principal
 - 30 years of industry experience
 - Expert in multi family design
- McKinley Associates is an architecture firm with background in residential, commercial and institutional projects.
 - Over 200 projects to date
 - 20 Affordable Housing Projects with over 1,600 units
 - 9 Icon Awards
 - 7 Gold Nugget Awards

“At the core of our success lies the ability to create award winning residential design in both single and multi-family applications. We offer a variety of plans that blend form and function to crease one-of-a-kind neighborhoods.”



Schedule Deadlines

- Building permit ready letter & loan closing deadline: 5/26/23 (6/5 statutory)
 - Governmental requirement that cannot be changed
 - Financing will be lost if project does not comply
- Building/Grading Permits Issued – target date 6/23/23
 - Need construction funds from closing to pay for permits
 - Construction mobilization and grading anticipated to take 4 weeks
- Construction June 2023 – December 2024
 - Lender requirement for construction completion
 - Financial penalties are charged to the project if building is delivered late

Initial Design: Too Expensive to Construct



- Deep mansard adding cost and not leaving enough space for solar
- Wood balconies not appropriate for the climate
- Extensive tower elements adding additional cost without creating floor space
- Expensive details like recessed windows, clay tile roofs, hand troweled finish stucco exteriors

WE COULD NOT AFFORD TO BUILD THIS DESIGN

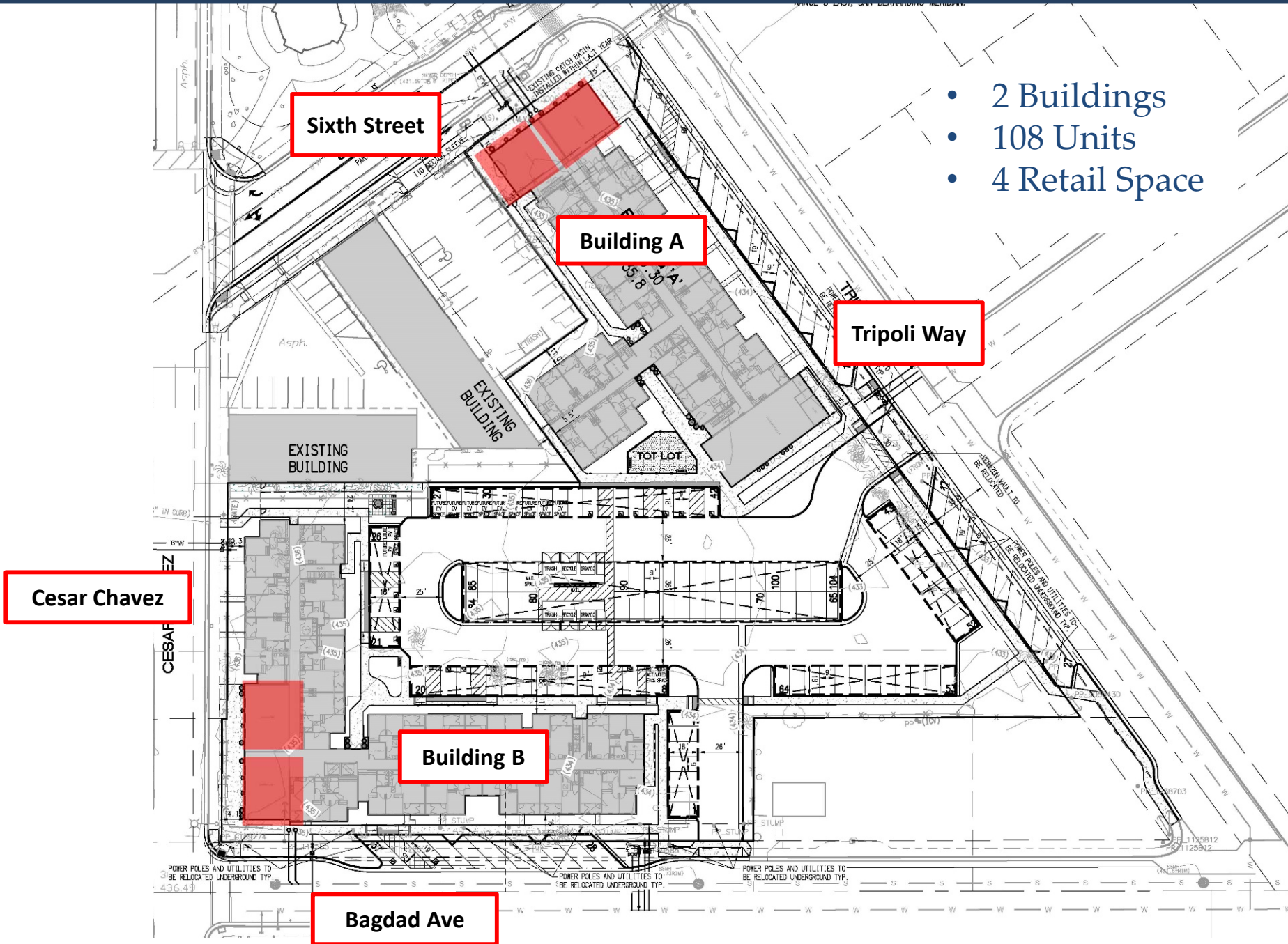
Instead we used the design as an inspiration.

- Decreased building height in Building A from 4 story to 3 story while maintaining the unit count
- Emphasized square footage for units and not for decorative elements

The conditions of approval include details from this original design that are no longer applicable.

Site Plan

- 2 Buildings
- 108 Units
- 4 Retail Space





Current Project Design – 6th Street (A)





Attachment 9
Current Project Design – Cesar Chavez (B)



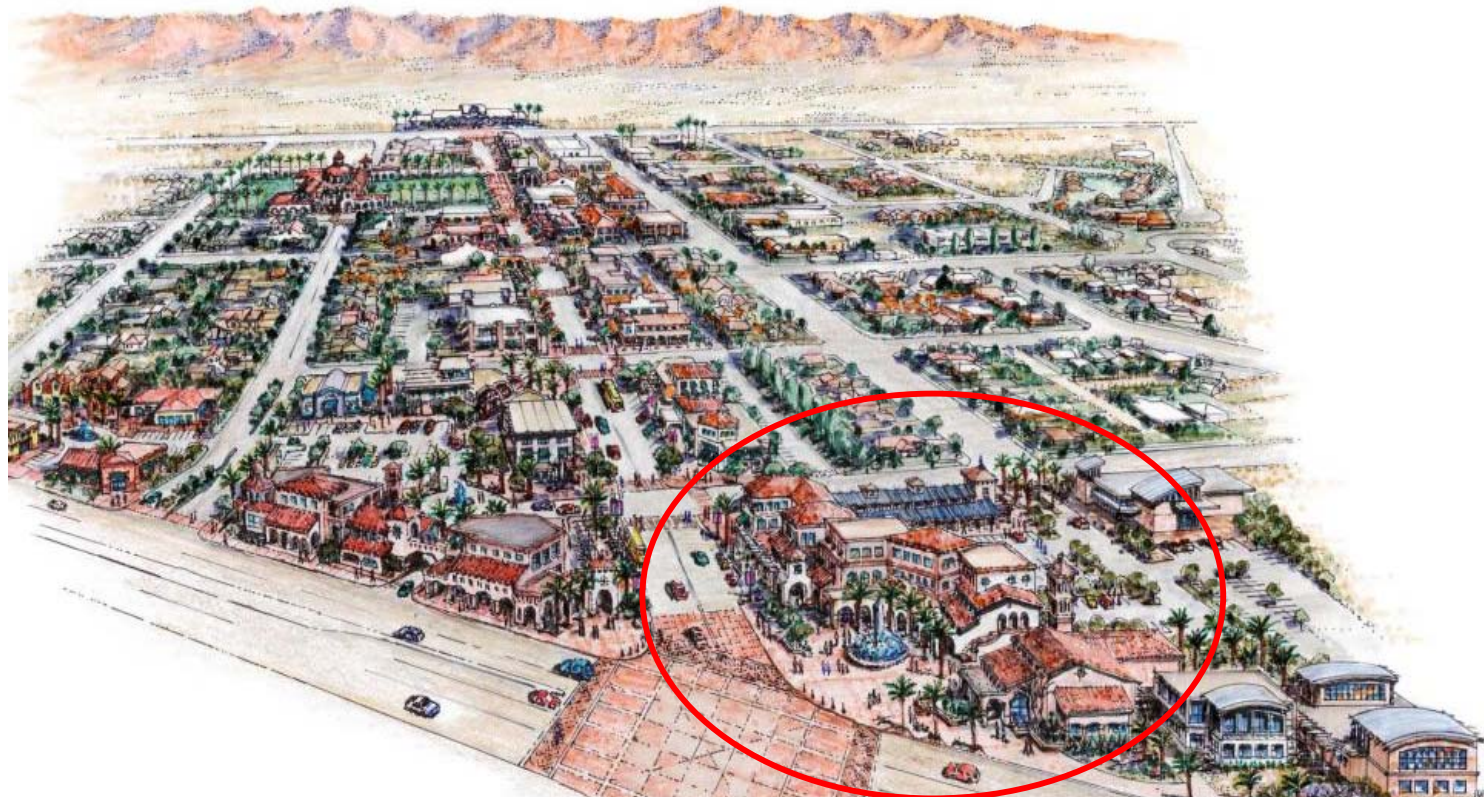
Architecture Details & Massing



Pueblo Viejo Revitalization Plan

Advances the vision of the Pueblo Viejo Revitalization Plan

- Preserve Historic Charm
- Expand Civic Center Presence
- Encourage a Vibrant Street Scene
- Provide Community Gathering Space
- Develop Strong and Successful Merchants



Upgrades Included

- Decorative wrought iron for patio gates at sidewalks
- Decorative wrought iron for gate on Cesar Chavez
- Decorative wall lighting
- Blended tile roof
- Double doors at commercial entries
- Decorative color shutters
- Rafter tail detailing at roof
- Decorative tiling
- Accent uplighting for trees
- Maintenance Agreement with City for Landscaping Maintenance
- Work with City on Art in Public Places program
- \$350,000 contribution to 9th Street including design and engineering

Issue #1: Recessed Windows

- Condition of Approval:
18a: Ensuring sufficient window recesses.
Proposed foam enhancements around window areas may be removed with sufficient windows recesses.
- Recesses are included at retail and tower elements per elevations.
- Recessing windows is an expensive detail that we cannot afford to carry out on all windows
- Based on the variety of levels in the elevation this additional detail is not needed and cannot be read for many of the windows
- Window recesses are a weaker installation that is subject to increased risk of water intrusion

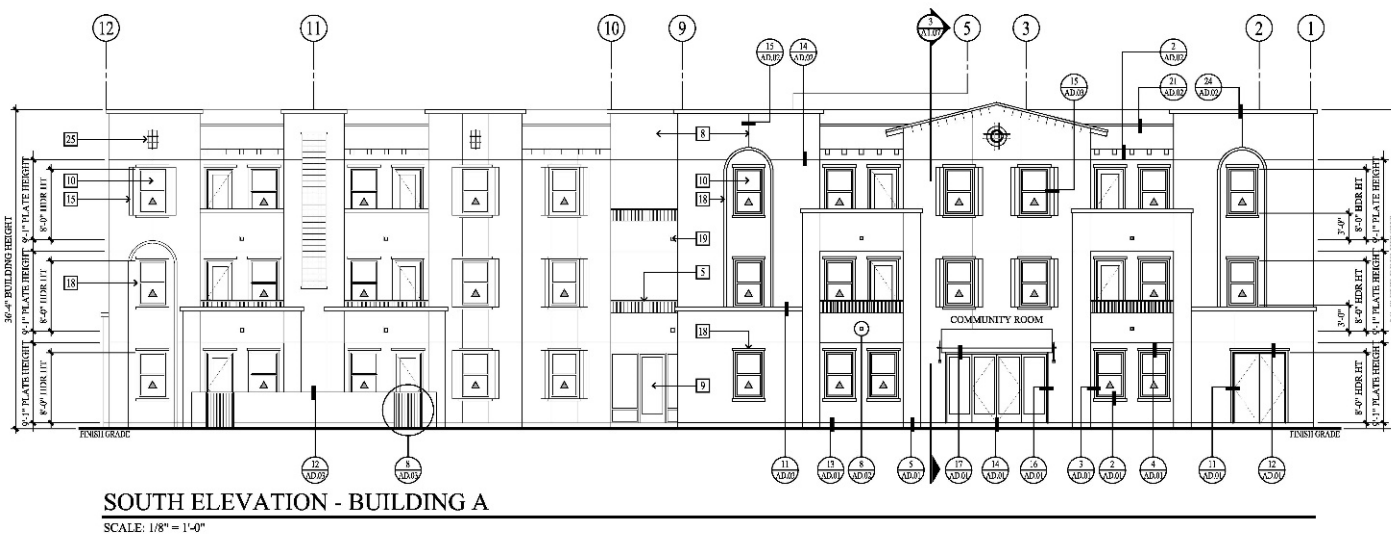


Building A – North and South



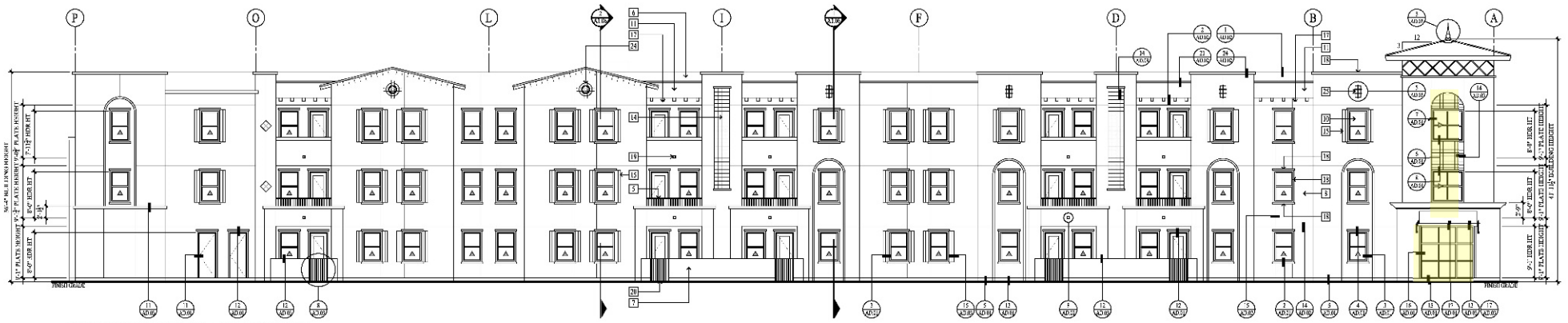
Facing 6th Street

Set Back from 6th Street



Facing Parking Lot

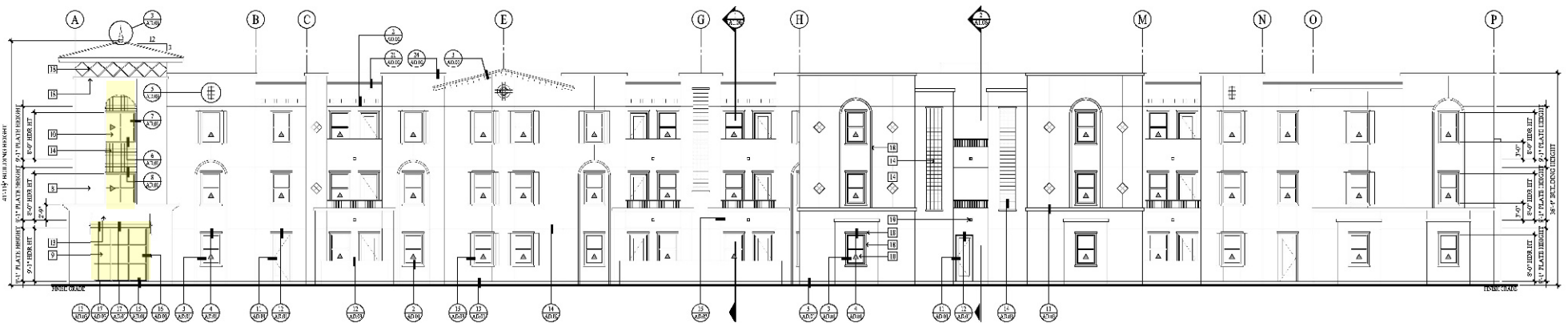
Building A – East and West



EAST ELEVATION - BUILDING A

SCALE: 1/8" = 1'-0"

Facing Tripoli

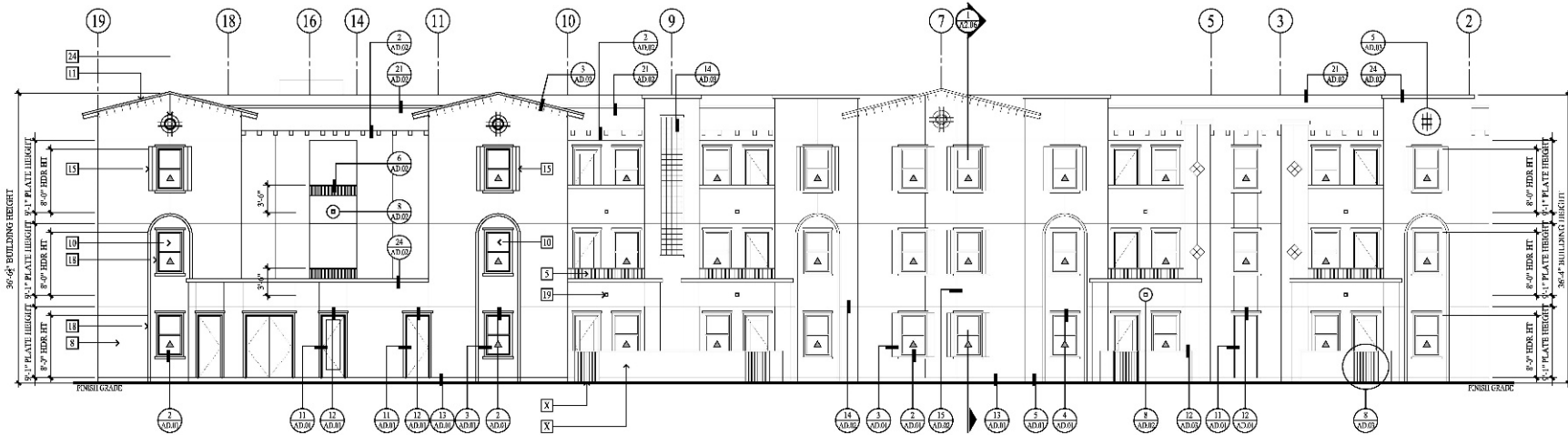


WEST ELEVATION - BUILDING A

SCALE: 1/8" = 1'-0"

Facing Parking Lot

Building B – East and West



EAST ELEVATION - BUILDING B

SCALE: 1/8" = 1'-0"

Facing Parking Lot

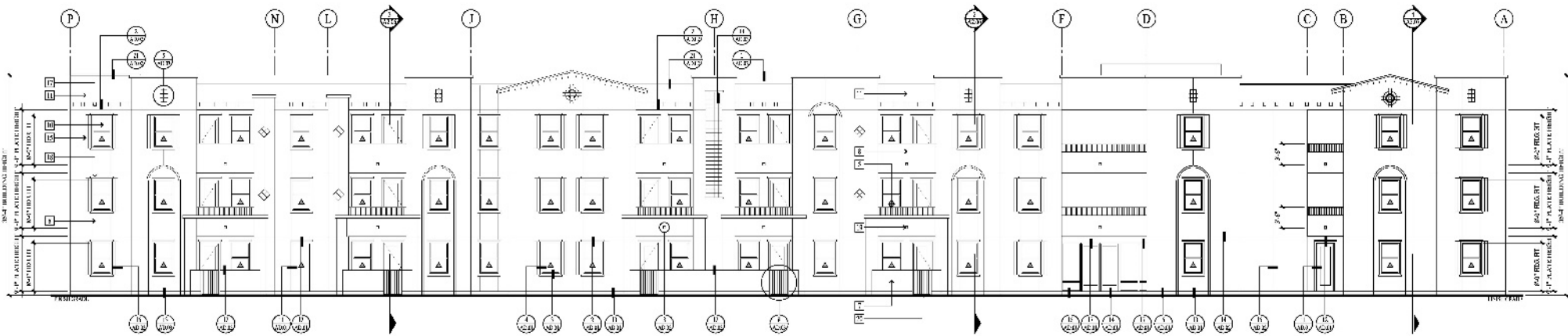


WEST ELEVATION - BUILDING B

SCALE: 1/8" = 1'-0"

Facing Cesar Chavez

Building B – North and South



NORTH ELEVATION - BUILDING B

SCALE: 1/8" = 1'-0"

Facing Parking Lot



SOUTH ELEVATION - BUILDING B

SCALE: 1/8" = 1'-0"

Facing Bagdad

Issue #2: Balcony Structure at Tower

- Condition of Approval:
18.d.iii: Include an enhanced decorative balcony structure at each tower that provides visual focal point from Cesar Chavez Street and 6th Street
- Balcony structure adds project cost
- The project architect recommends against this additional detail since the architecture already includes sufficient enhancements



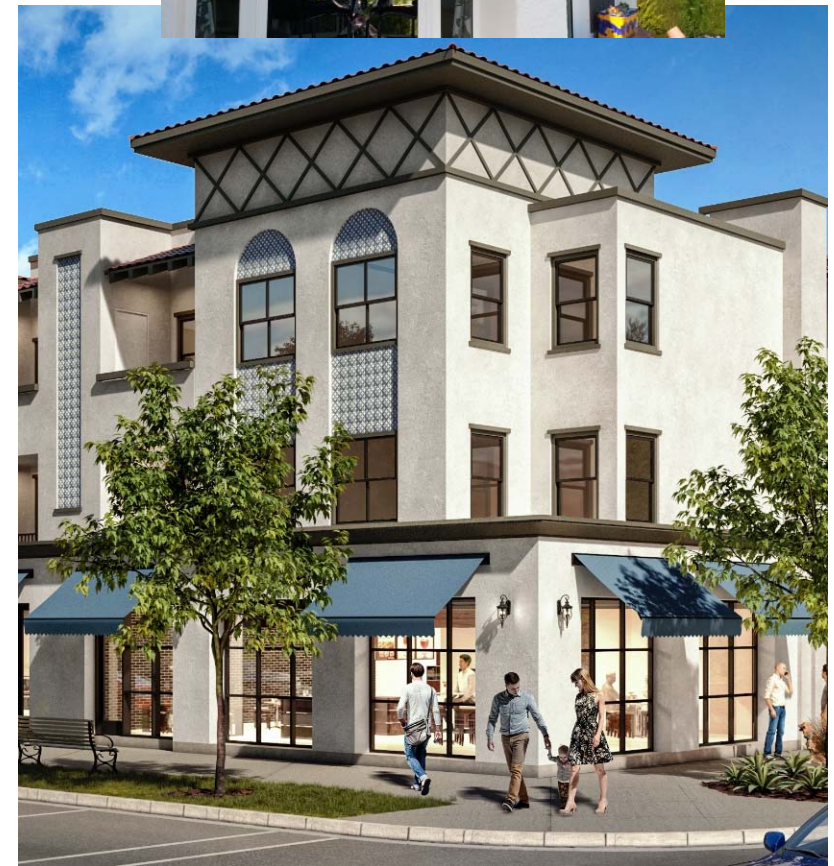
Issue #3: Color Banding

- Condition of Approval:
18.e Utilize an alternate color banding at the building base such as terracotta color
- Additional detail increases project cost. Foam detail will need to be added across project to separate stucco colors
- The project architect recommends against this additional detail since it will shorten the visual appearance building whereas the sense of height is more aesthetically pleasing



Issue #4: Curved Awnings

- Condition of Approval:
18f: Awnings shall be designed and constructed to support a catenary curve common with Spanish Colonial Revival design to also increase window visibility.
- Awnings are proposed to be straight rather than curved.
- Curved awnings add cost to the project.
- The project architect recommends straight awnings to provide a clean, streamlined appearance.
- The developer recommends against a complicated awning for durability and maintenance reasons.



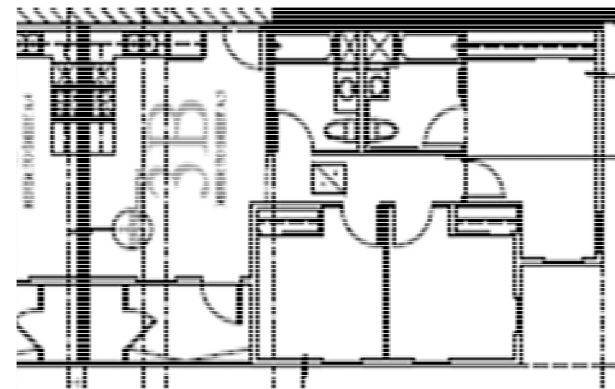
Issue #5: Additional Tower

- Condition of Approval:
18.i Utilize a similar tower feature on the north end of Building B along Cesar Chavez to original approved elevation drawing.
- Additional tower increases project cost and delays the project. Structural design would have to be recalculated.
- Tower elements call attention to the retail.
- The project architect believes this additional detail is not required



Issue #6: Tower Feature at CC & Bagdad

- Condition of Approval:
18.j: Move pronounced tower feature on Building B completely to the corner of Cesar Chavez Street and Bagdad Avenue
- The change would require consultant time and cost to make the revision.
- The design is based on the needs of the interior unit
- The architect recommends against the change since the corner aesthetics look good as designed, are more interesting and follow the function of the interior use.



Questions?

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