



# Sun Community FCU Coachella Branch

NE Corner of Cesar Chavez Street and Valley Road, Coachella, CA

March 25, 2024



# PLANS







# SITE

## Site Plan/ Sign Plan

KEY



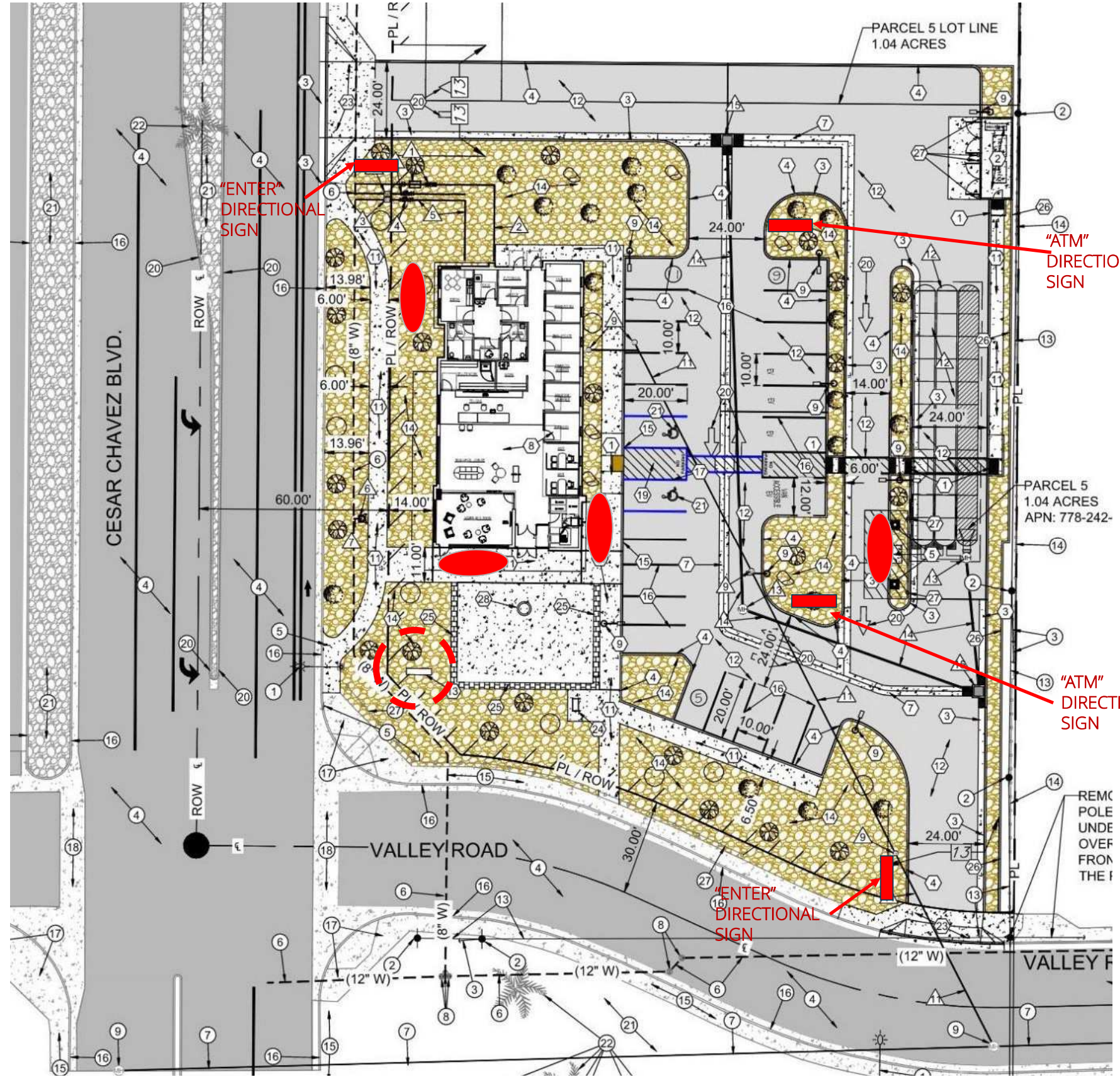
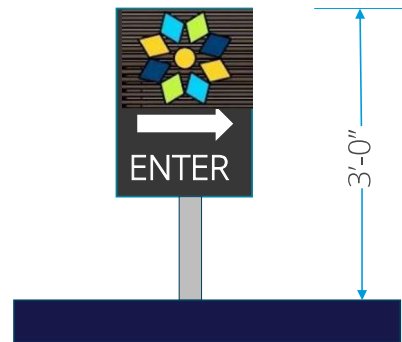
BUILDING SIGNAGE



MONUMENT SIGNAGE



DIRECTIONAL SIGNAGE



"ATM" DIRECTIONAL SIGN

"ATM" DIRECTIONAL SIGN

"ENTER" DIRECTIONAL SIGN

"ENTER" DIRECTIONAL SIGN

REMOVAL POLE UNDER OVER FROM THE F





# SITE

## Site Plan- Landscaping



Yellow Oleander - Thevetia



Flame Vine - Pyrostegia venusta



Deer Grass - Muhlenbergia rigens



Willow Acacia - Acacia salicina



Chilean Mesquite - Prosopis chilensis



Crown of Thorns - Euphorbia milii



Sticks on Fire - Euphorbia tirucalli



Moon Lagoon Eucalyptus



Pink Muhly - Muhlenbergia 'Regal Mist'



California Fan Palm - Washingtonia filifera



Desert Museum Hybrid Palo Verde



Desert Milkweed - Asclepias subulata



Fruitless Olive



Century Plant - Agave americana



Yellow Lantana - Lantana x 'New Gold'



Water Fountain



SUN COMMUNITY FCU  
VACANT LOT ON NE CORNER  
OF CESAR CHAVEZ BLVD  
COACHELLA, CA 92236

### LANDSCAPE CONCEPT

Site Plan



L-1

Scale: 1/16" = 1'-0"

Project No.: 2409

3/14/24





# SITE

## Site Plan- Landscaping

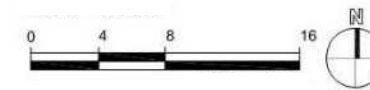






# FLOOR PLAN

4,130 SF

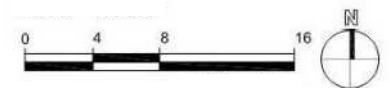
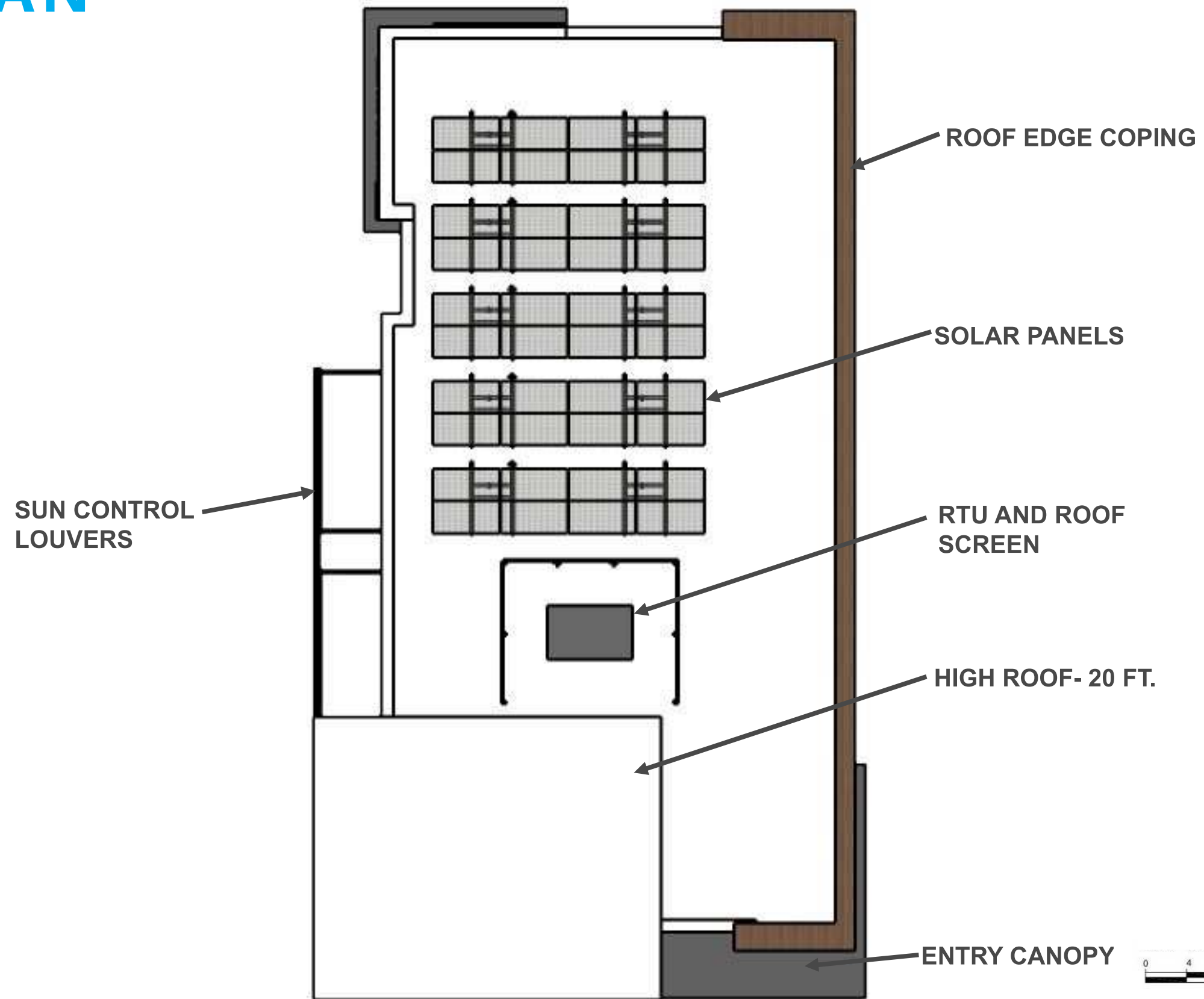






# ROOF PLAN

4,126 SF





# EXTERIOR BUILDING MATERIALS







# EXTERIOR

View looking Northwest

Sun Control Louvers



Policy 2.2 Passive Solar Design: Require new buildings to incorporate energy efficient building and site design strategies for the desert environment that include ... shading.





# EXTERIOR

View looking Northwest







# EXTERIOR

View looking Southeast







# EXTERIOR

Drive-up ATM





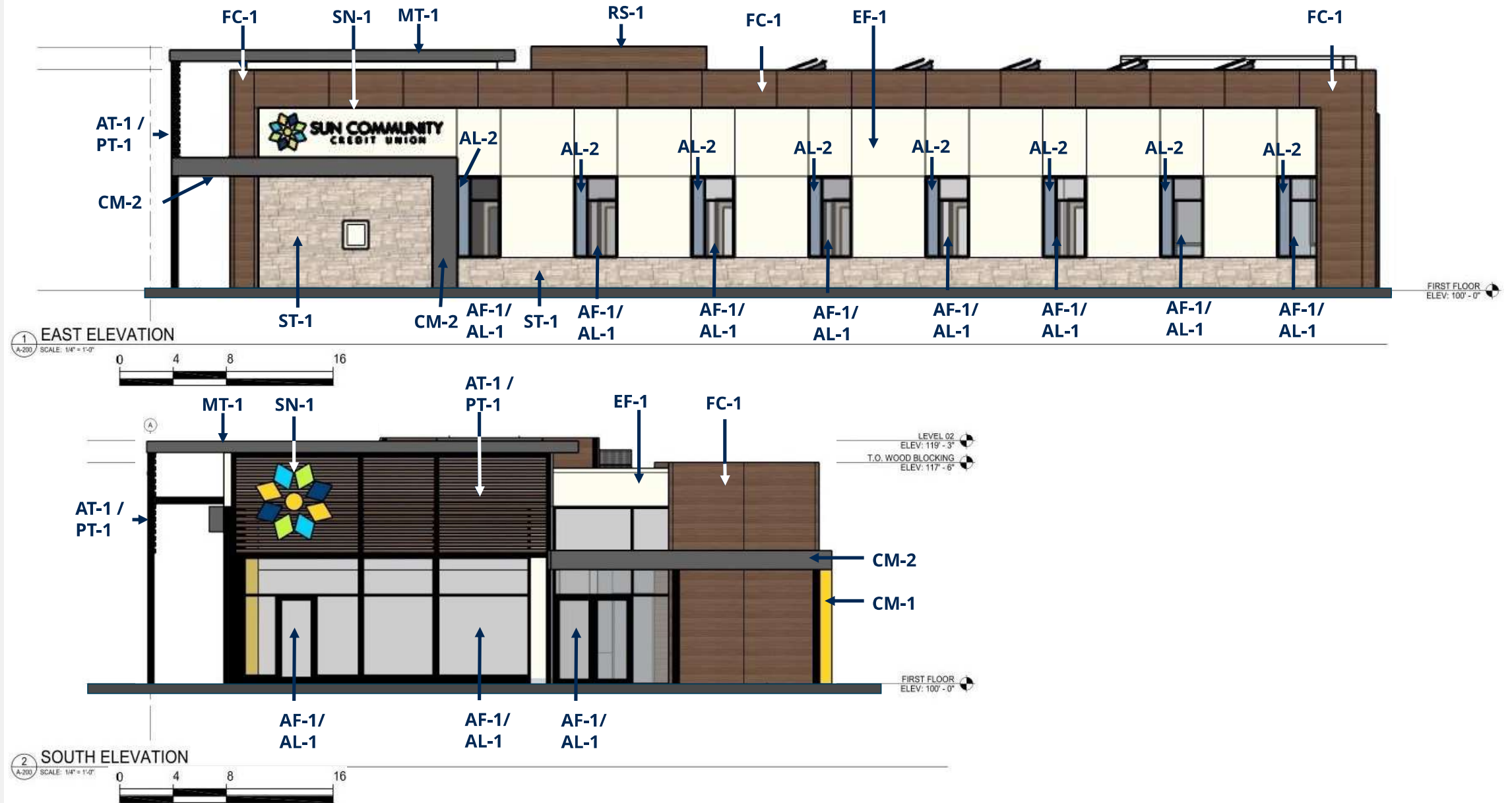


# EXTERIOR

## BLUIDING ELEVATIONS

**KEY**

- ST-1 ST-1 Thin-set Masonry Veneer - Sawtooth Ledge (Northland)
- AF-1 Aluminum Frames - Kawneer (Anodized Alum.-Charcoal)
- AL-1 Glazing - Laminated (SNX 62/27)
- EF-1 Exterior Insulation Finish System (Paint SW 9109 Natural Linen)
- PT-1 Paint Metal Trellis Frame (Paint SW 2936 Black Emerald)
- AT-1 Longboard Aluminum Trellis
- CM-1 Composite Metal Panel (Yellow)
- CM-2 Composite Metal Panel (Burnished Slate)
- FC-1 Fiber Cement Siding (Riftsawn Pecan)
- MT-1 Metal Flashing - Firestone (Dark Bronze)
- MT-2 Metal Flashing - Firestone (Stone White)
- GL1 Metal Soffit - Firestone (Dark Bronze)
- SN-1 Illuminated Channel Sign
- RS-1 Roof Screen (Aluminum Panel- Slate Grey)







# EXTERIOR

## BUILDING ELEVATIONS

**KEY**

- ST-1 ST-1 Thin-set Masonry Veneer - Sawtooth Ledge (Northland)
- AF-1 Aluminum Frames - Kawneer (Anodized Alum.-Charcoal)
- AL-1 Glazing - Laminated (SNX 62/27)
- AL-2 Glazing - Spandrel Panel
- EF-1 Exterior Insulation Finish System (Paint SW 9109 Natural Linen)
- PT-1 Paint Metal Trellis Frame (Paint SW 2936 Black Emerald)
- AT-1 Longboard Aluminum Trellis
- CM-1 Composite Metal Panel (Yellow)
- CM-2 Composite Metal Panel (Burnished Slate)
- FC-1 Fiber Cement Siding (Riftsawn Pecan)
- MT-1 Metal Flashing - Firestone (Dark Bronze)
- MT-2 Metal Flashing - Firestone (Stone White)
- GL1 Metal Soffit - Firestone (Dark Bronze)
- SN-1 Illuminated Channel Sign
- RS-1 Roof Screen (Aluminum Panel- Slate Grey)





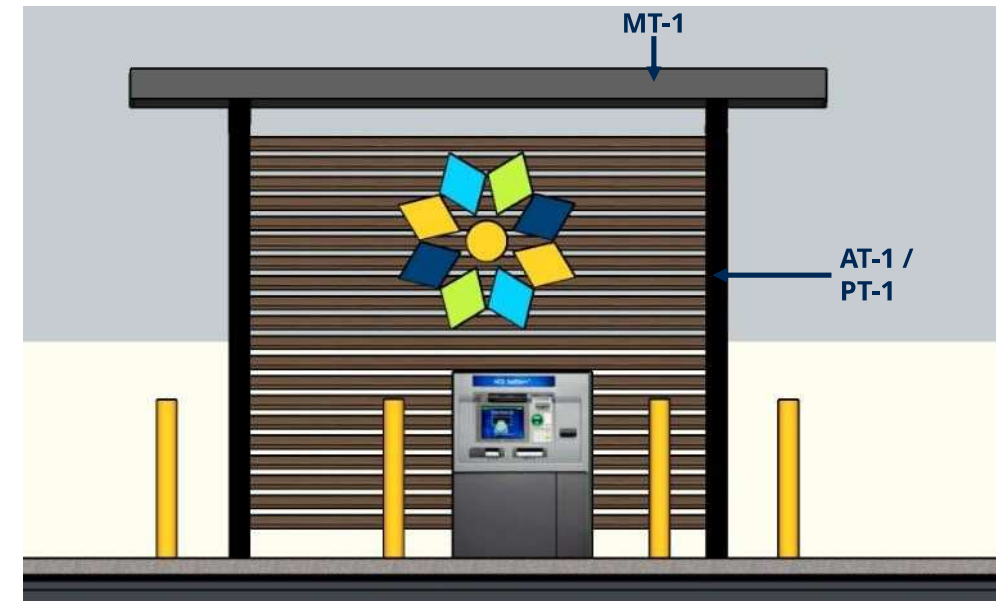
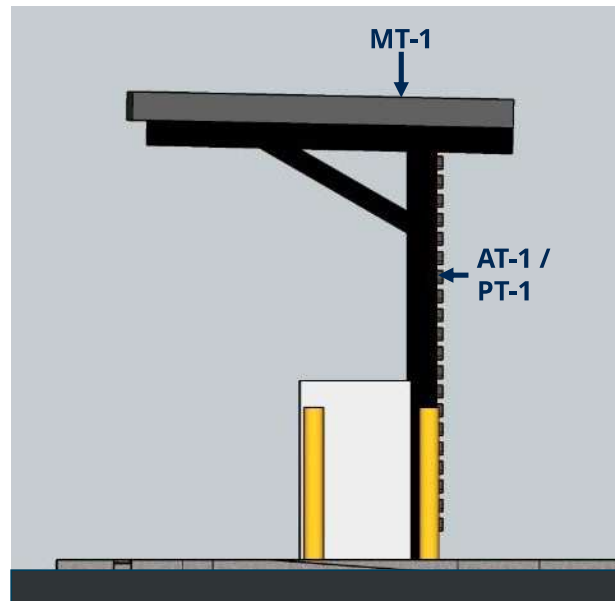


# EXTERIOR

## DRIVE-UP ATM ELEVATIONS

**KEY**

- ST-1 Thin-set Masonry Veneer – Sawtooth Ledge (Northland)
- AF-1 Aluminum Frames – Kawneer (Anodized Alum.-Charcoal)
- AL-1 Glazing – Laminated (SNX 62/27)
- EF-1 Exterior Insulation Finish System (Paint SW 9109 Natural Linen)
- PT-1 Paint Metal Trellis Frame (Paint SW 2936 Black Emerald)
- AT-1 Longboard Aluminum Trellis
- CM-1 Composite Metal Panel (Yellow)
- CM-2 Composite Metal Panel (Burnished Slate)
- FC-1 Fiber Cement Siding (Riftsawn Pecan)
- MT-1 Metal Flashing - Firestone (Dark Bronze)
- MT-2 Metal Flashing - Firestone (Stone White)
- GL1 Metal Soffit - Firestone (Dark Bronze)
- SN-1 Illuminated Channel Sign
- RS-1 Roof Screen (Aluminum Panel- Slate Grey)



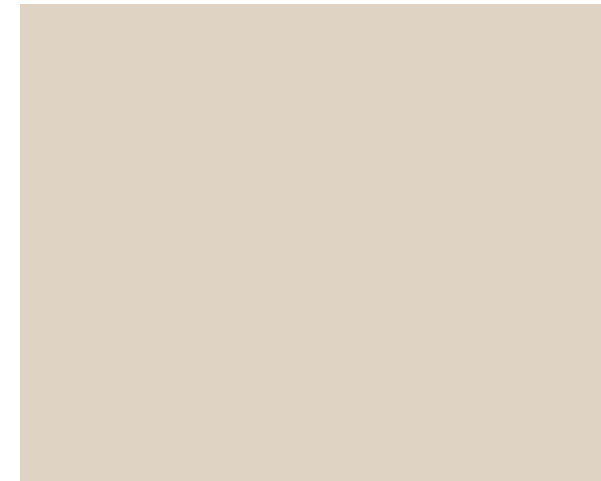


# EXTERIOR FINISHES

## MATERIALS



**(AT-1) Longboard Link & Lock - Sun Control Louvers**  
(Light National Walnut)



**(EF-1) Exterior Insulation Finish System**  
(Paint SW-9109 Natural Linen)

### Kawneer Window & Door Frames



CHARCOAL

### Trifab® VersaGlaze® 451/451T Framing System

- 2" (50.8mm) sightline
- 4-1/2" (114.3mm) depth
- High thermal performance
- Center, back, front, multi-plane glazed options
- Blast mitigation (451T), hurricane resistance
- Structural silicone glazed (SSG) options, Pre-glazed options

**(AF-1 & AL-1) Glazing and Aluminum Frame**  
(Anodized Alum.- Charcoal) & Laminated (SNX 62/27) Glazing



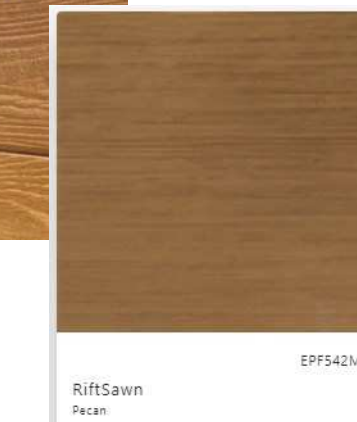
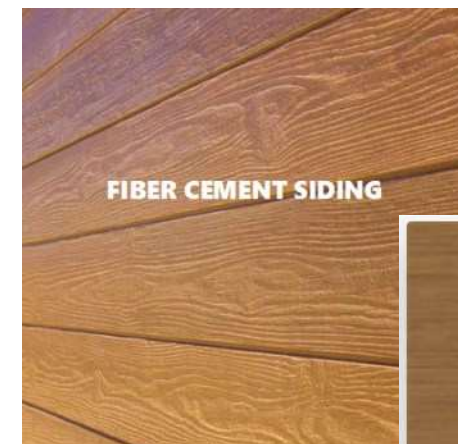
Sawtooth Ledge - Northland

**(AT-1) Thin-set Masonry Veneer –**  
(Sawtooth Ledge (Northland))

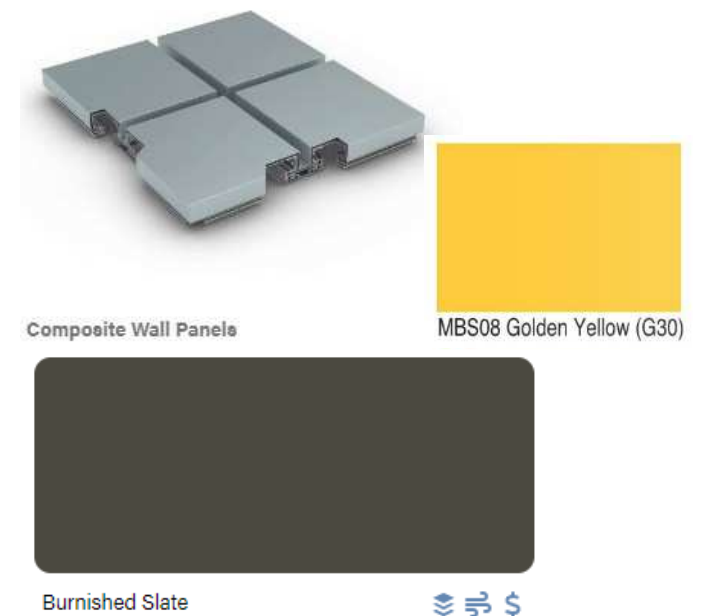


#### Profile Properties

- Size:** 3" to 6" in height and up to 20" in length. Corner returns range from 4" to 12" (nominal).  
**Thickness:** 1" (nominal).  
**Weight:** 7 to 10 lbs. per square foot.  
**Packaging:** Available in big boxes (125 sq ft Flats or 100 In ft Corners) or Dura-Paks (15 sq ft Flats or 12 In ft Corners).  
 When purchasing Sawtooth Ledge, coverage is based on installation with tightly-fitted joints.  
 (Note: Square Footage and Linear Footage quantities may vary per region)



**(FC-1) Fiber Cement Siding**  
(Riftsawn Pecan)



**(CM-1 & CM-2) Composite Metal Panel**  
CM-1 Alpollic Golden Yellow  
CM-2 BURNISHED SLATE



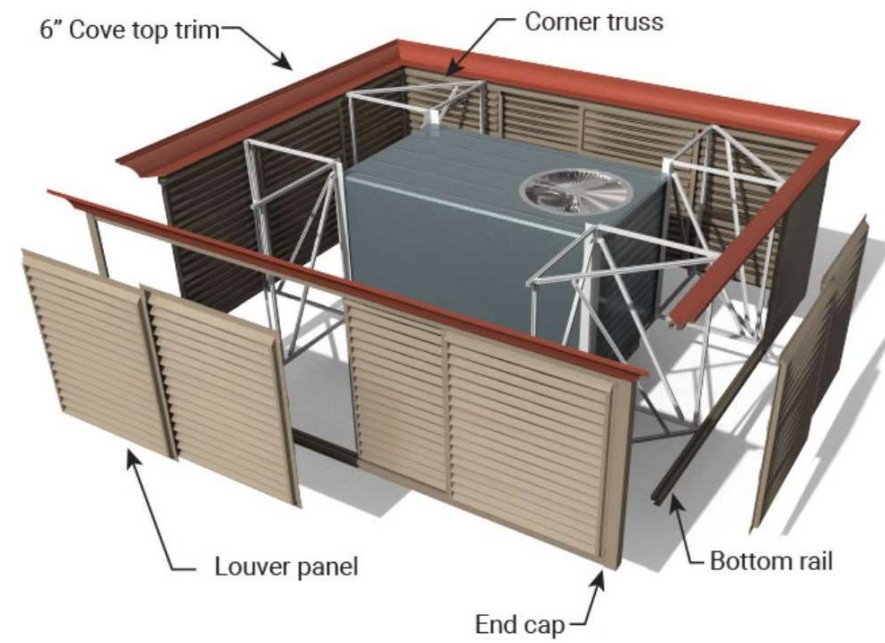
# EXTERIOR FINISHES

## MATERIALS- ROOF SCREEN

### NOTES

ROOFTOP MECHANICAL UNIT SCREENING IS REQUIRED.

- SCREEN COLOR:
- SCREEN PANEL STYLE:



### ACRYLICAP® ABS SERIES PANELS



### METAL SERIES PANELS



RS-1 Roof Screen Metal Panel

# EXTERIOR BUILDING SIGNAGE





# EXTERIOR SIGNAGE

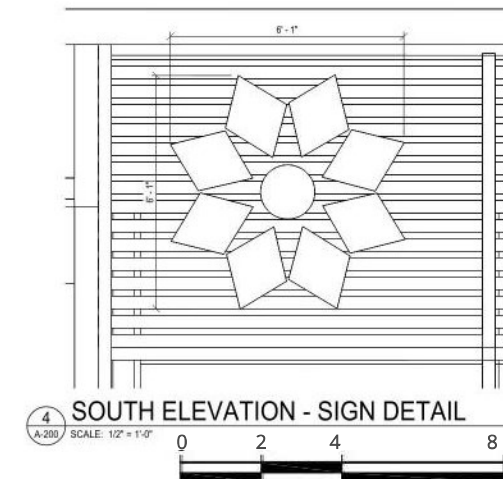
## SOUTH ELEVATION – VALLEY RD. (MAIN SIGN)

Number of Signs. Any business with less than one hundred (100) feet of building frontage shall be permitted to have only one sign larger than thirty-two (32) square feet; **this sign shall be called the main sign**. Other secondary signs may be on the **front, sides, or rear of the building** so long as no signs are closer than ten (10) feet from each other, with the exception of accessory and convenience signs identified in subsection (F)(2) of this section.

Buildings Within One Hundred (100) Feet of Right-of-Way. The maximum area of a main building sign for any business in a building located within one hundred (100) feet of the right-of-way upon which it faces shall be one and one-half square foot of sign area per lineal foot of frontage which the business has facing on a right-of-way, plaza, promenade, arcade, or parking lot (in the case of shopping centers). Except as otherwise provided in this chapter, such signs shall have a **surface area not greater than fifty (50) square feet**. No such sign shall be closer than ten (10) feet from any other sign permitted herewith. The main sign must be located on the building facing the right-of-way or parking lot from which its maximum allowable size is determined.

45' of frontage x 1.5 = 67 SF

**But only 50 SF max area allowed**



**37 sf Provided 50 sf Allowed**

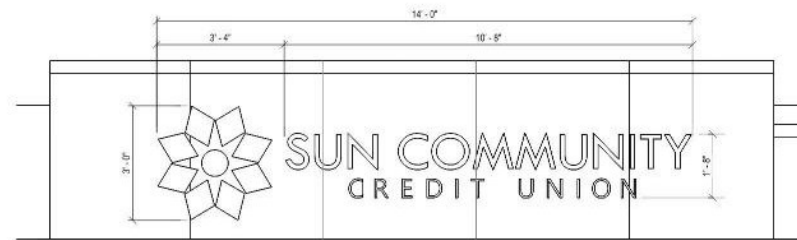


# EXTERIOR SIGNAGE

## WEST ELEVATION – CESAR CHEVEZ BLVD.

Additional Sign Area For a Single Business in a Building Having Over Fifty (50) Feet of Frontage. A single business having a lineal frontage on any right-of-way in excess of fifty (50) feet shall be entitled to in addition to subsection (F)(1)(c)(i) and (F)(1)(c)(ii) of this section, an additional one square foot of sign area for each four feet of frontage in excess of fifty (50) feet.

95' – 50' = 44'4 x 1 SF = 11 SF  
 So 50 SF max area + 11 SF = 61 SF max area allowed.



3 WEST ELEVATION - SIGN DETAIL **28 sf Provided 61 sf Allowed**  
 SCALE: 1/2" = 1'-0"



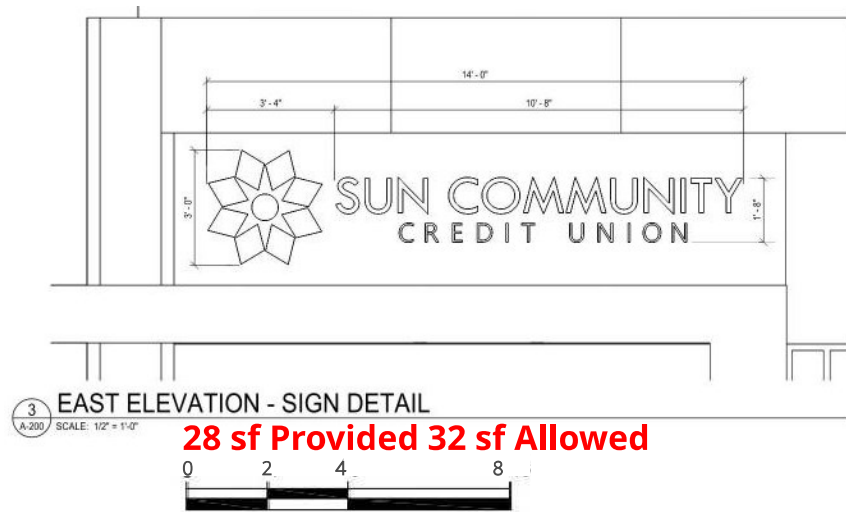
1 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



# EXTERIOR SIGNAGE

## EAST ELEVATION – PARKING LOT ENTRY

Number of Signs. Any business with less than one hundred (100) feet of building frontage shall be permitted to have only one sign larger than thirty-two (32) square feet; this sign shall be called the main sign. Other secondary signs may be on the front, sides, or rear of the building so long as no signs are closer than ten (10) feet from each other, with the exception of accessory and convenience signs identified in subsection (F)(2) of this section.



# EXTERIOR SIGNAGE

## SOUTH ELEVATION – VALLEY RD. (MONUMENT SIGN)

Identification Signs for a Building, Business, or Complex Less Than One Acre. In addition to main building signs allowed under this chapter for individual businesses, a separate sign identifying a building, business, or complex of businesses on less than two and one-half acres of land shall be allowed as part of an approved sign program. **This sign shall not exceed thirty-two (32) square feet unless no individual tenant signs are included in the sign, in which case the sign area may be based on the frontage formula. Such a sign may be a monument sign or as approved by the planning commission. Such a sign shall not extend beyond the property line, shall not exceed a maximum height of six feet for a monument sign** or twelve (12) feet for a freestanding sign, and shall be subject to architectural review and approval by the planning commission.



MONUMENT SIGN (2 SIDED)



**27 sf Provided 32 sf Allowed**  
**4'-6" Height Provided. 6'-0" Allowed**



2 SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"  
 0 4 8 16



# EXTERIOR SIGNAGE

## ALL ELEVATIONS – BUILDING TOTAL

Sign Area. Each separate business shall have a united sign area. The total sign area shall not exceed two square feet for every linear foot of building frontage ("building frontage" means the linear length of a building facing a public street, pedestrian mall, or parking lot) on any one side of the business. Frontage may be considered as any one side facing a street or parking lot. As an alternative, the total sign area shall not exceed one square foot for each linear foot of lot frontage facing one street. The sign area of the main sign and all secondary signs shall not exceed the total allowable sign area. The area of accessory and convenience signs identified in subsection (F)(2) of this section is not counted toward the total sign area.

So, 95' of bldg. frontage x 2 sf = 190 SF of total sign allowed.

**Total Sign Area = 190 SF.**

MAIN SIGN- SOUTH (VALLEY RD. FRONTAGE)= 37 sf

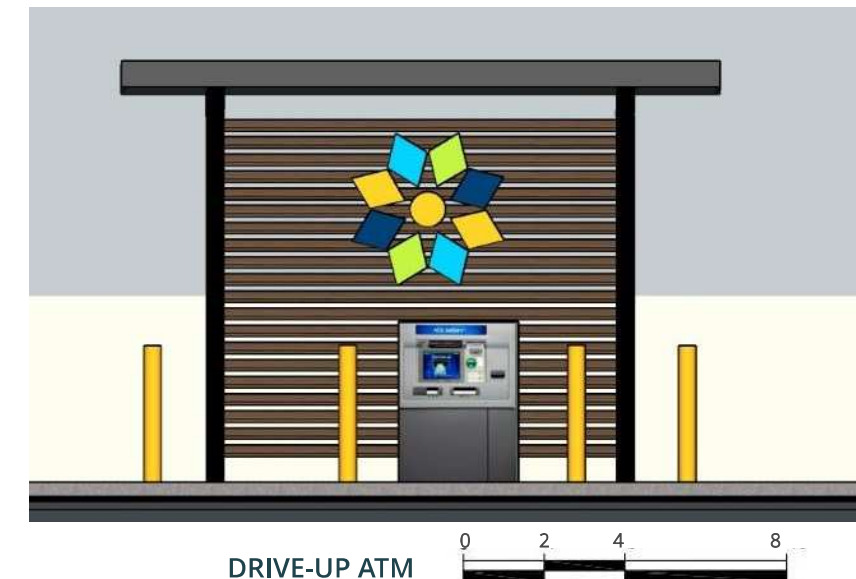
WEST ELEV. (CEZAR CHEVEZ FRONTAGE)= 28 sf

EAST ELEV. (PARKING) = 28 sf

DRIVE-UP ATM SIGN = 16 SF

MONUMENT SIGN = 27 sf

**TOTAL PROVIDED= 136 SF**



**16 sf Provided 32 sf Allowed**



# Sun Community FCU Coachella Branch Exterior Revisions

NE Corner of Cesar Chavez Street and Valley Road, Coachella, CA

June 27, 2024





# WEST ELEVATION REVISION



# EXTERIOR REVISION

View looking Northeast





# EXTERIOR REVISION

View looking East





# EXTERIOR REVISION

View looking Southeast



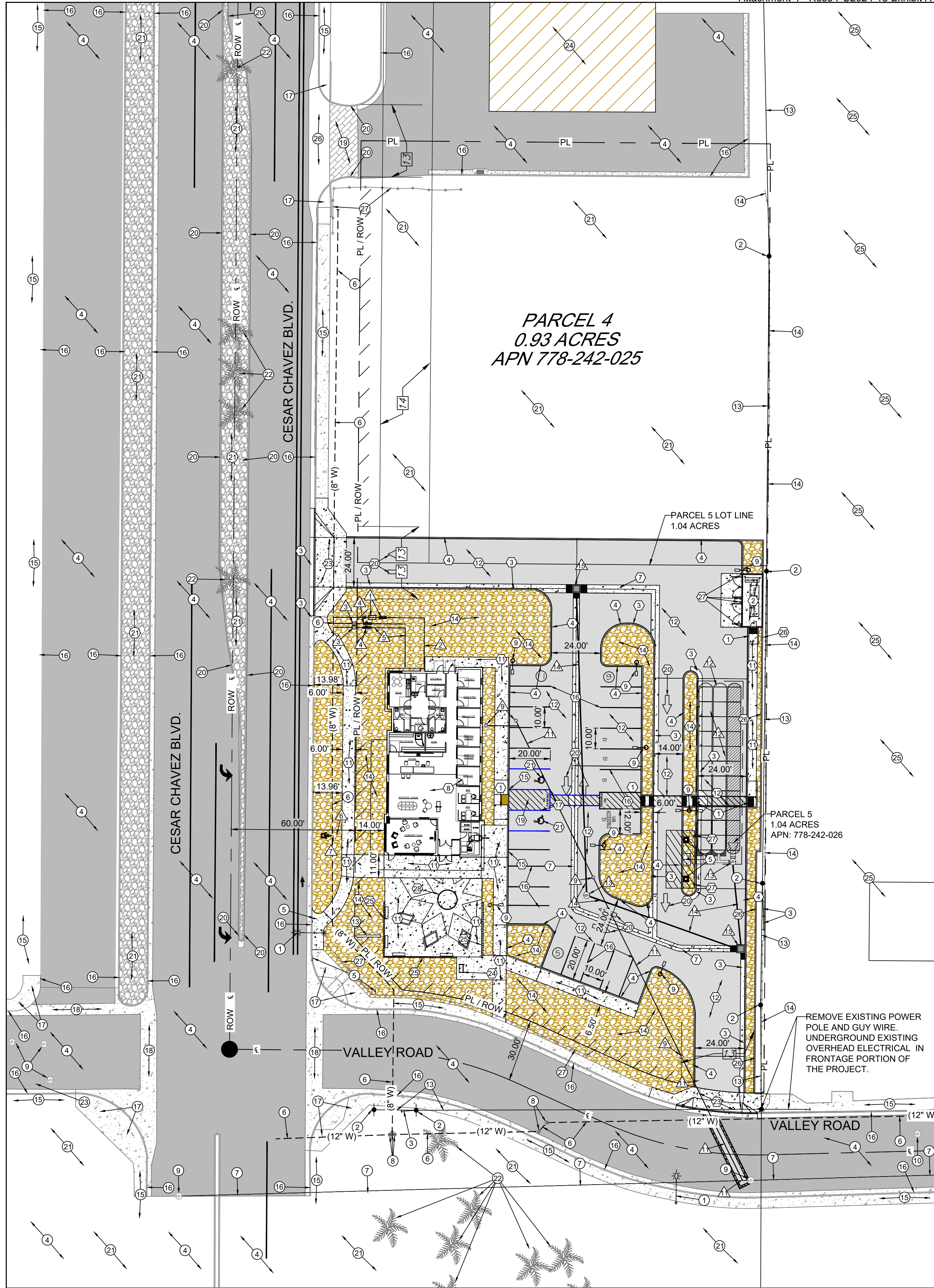


# EXTERIOR REVISION

West Elevation







- EXISTING KEYNOTES**
- 1 EXISTING LIGHT POLE TO REMAIN.
  - 2 EXISTING POWER POLE TO REMAIN.
  - 3 EXISTING GUY WIRE TO REMAIN.
  - 4 EXISTING A.C. PAVEMENT TO REMAIN.
  - 5 EXISTING TRAFFIC SIGN TO REMAIN.
  - 6 EXISTING WATER PIPELINE TO REMAIN.
  - 7 EXISTING SANITARY SEWER PIPELINE TO REMAIN.
  - 8 EXISTING WATER VALVE TO REMAIN.
  - 9 EXISTING SANITARY SEWER MANHOLE TO REMAIN.
  - 10 EXISTING STORMWATER MANHOLE TO REMAIN.
  - 11 NOT USED.
  - 12 NOT USED.
  - 13 EXISTING OVERHEAD ELECTRICAL LINE TO REMAIN.
  - 14 EXISTING FENCE TO REMAIN.
  - 15 EXISTING P.C.C. SIDEWALK TO REMAIN.
  - 16 EXISTING P.C.C. CURB AND GUTTER TO REMAIN.
  - 17 EXISTING P.C.C. CURB RAMP TO REMAIN.
  - 18 EXISTING P.C.C. RIBBON GUTTER TO REMAIN.
  - 19 EXISTING BRICK PAVEMENT TO REMAIN.
  - 20 EXISTING P.C.C. BARRIER CURB TO REMAIN.
  - 21 EXISTING NATIVE MATERIAL TO REMAIN.
  - 22 EXISTING PALM TREE TO REMAIN.
  - 23 EXISTING GAS VALVE TO REMAIN.
  - 24 EXISTING BUILDING TO REMAIN.
  - 25 EXISTING PRIVATE RESIDENCE TO REMAIN.
  - 26 EXISTING P.C.C. DRIVEWAY TO REMAIN.
  - 27 EXISTING WOOD BOLLARDS AND CHAINS TO REMAIN.

**APPLICANT:**  
 PATRICK CAREY  
 PRESIDENT/CEO  
 SUN COMMUNITY FCU  
 1068 BROADWAY  
 EL CENTRO, CA 92243

**OWNER:**  
 ROGELIO CERVANTES  
 14703 OZARK SITE WAY  
 CYPRESS, TX 77433

**SITE ADDRESS:**  
 VACANT LOT ON NE CORNER OF CESAR CHAVEZ BLVD AND VALLEY RD.  
 COACHELLA CA, 92236

**ZONING/GENERAL PLAN DESIGNATION:**  
 C-N, NEIGHBORHOOD COMMERCIAL ZONE

**APN'S :**  
 778-242-025 (± 0.93 ACRES)  
 778-242-026 (± 1.04 ACRES)

**DESCRIPTION OF USE:**  
 COMMERCIAL BANK BUILDING

**PARKING PROVIDED:**  
 REQUIREMENT:  
 1 SPACE PER 250 SQ FT GROSS FLOOR AREA.

REGULAR PARKING REQUIRED: 16 STALLS  
 REGULAR PARKING PROVIDED: 18 STALLS  
 HANDICAP PARKING: 1 PER 40 REGULAR STALL  
 HANDICAP PARKING PROVIDED: 2 STALLS  
 EV PARKING REQUIRED: 1 STALL  
 EV PARKING PROVIDED: 4 STALLS  
 BIKE RACK PROVIDED: 4 BIKE CAPACITY

**LANDSCAPE:**  
 REQUIRED: 5% PARKING AREAS (1,098.51 SF)  
 PROVIDED: 16,212.72 SF

**SUMMARY OF AREAS:**  
 BUILDING: 4,130.33 SF  
 PARKING AREA: 21,970.20 SF  
 TOTAL LANDSCAPING AREA: 16,212.72 SF  
 TRASH ENCLOSURE: 863 SF

**PROPERTY SIZE:**  
 778-242-025 (± 0.93 ACRES)  
 778-242-026 (± 1.04 ACRES)

**STORIES:**  
 ONE

REMOVE EXISTING POWER POLE AND GUY WIRE UNDERGROUND EXISTING OVERHEAD ELECTRICAL IN FRONTAGE PORTION OF THE PROJECT.

- CONSTRUCTION KEYNOTES**
- 1 PROPOSED P.C.C. ADA RAMP PER CALTRANS STANDARD PLAN A88A.
  - 2 PROPOSED TRASH ENCLOSURE PER BURRTEC REQUIREMENTS.
  - 3 PROPOSED P.C.C. CURB AND GUTTER WITH 6-INCH TALL CURB FACE PER CITY OF COACHELLA STANDARD DRAWING S-7.
  - 4 PROPOSED 6-INCH P.C.C. BARRIER CURB PER CITY OF COACHELLA STANDARD DRAWING S-10.
  - 5 PROPOSED DRIVE THRU STRUCTURE AND INTERCOM SYSTEM.
  - 6 NOT USED.
  - 7 PROPOSED 3-FOOT WIDE RIBBON GUTTER PER CITY OF COACHELLA STANDARD DRAWING S-13.
  - 8 PROPOSED BUILDING.
  - 9 PROPOSED PARKING LOT BOX LIGHT.
  - 10 NOT USED.
  - 11 PROPOSED P.C.C. SIDEWALK.
  - 12 PROPOSED A.C. PAVEMENT.
  - 13 PROPOSED BUSINESS / MONUMENT SIGN.
  - 14 PROPOSED LANDSCAPING.
  - 15 PROPOSED BLUE PAINT ON CURB PER CALTRANS STANDARD DETAIL A90B.
  - 16 PROPOSED 4-INCH WIDE WHITE STRIPING PER CALTRANS STANDARD PLAN A90A.
  - 17 PROPOSED 4-INCH WIDE BLUE STRIPING PER CALTRANS STANDARD PLAN A90A.
  - 18 PROPOSED "NO PARKING" LEGEND PER CALTRANS STANDARD PLANS A90A AND A90B.
  - 19 PROPOSED 4-INCH WIDE DIAGONAL BLUE HATCH STRIPING PER CALTRANS STANDARD DETAIL A90A. THE HATCH STRIPING SHALL NOT ENCRUCH INTO THE "NO PARKING" LEGEND.
  - 20 PROPOSED TYPE I ARROW PER CALTRANS STANDARD PLANS A24A.
  - 21 PROPOSED INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) PER CALTRANS STANDARD PLANS A24C AND A90A.
  - 22 PROPOSED WHEEL STOP.
  - 23 PROPOSED P.C.C. DRIVEWAY PER CALTRANS STANDARD PLAN A87A.
  - 24 PROPOSED 4 BIKE CAPACITY BIKE RACK.
  - 25 PROPOSED 2-FT HIGH MASONRY WALL FOR PLAZA AREA.
  - 26 PROPOSED 6-FT HIGH MASONRY WALL.
  - 27 PROPOSED BOLLARDS.
  - 28 PROPOSED STONE FOUNTAIN.

- UTILITY KEYNOTES**
- 1 PROPOSED FIRE DETECTOR CHECK ASSEMBLY PER CITY OF COACHELLA STANDARD DRAWING W-10.
  - 2 PROPOSED FIRE WATER LINE.
  - 3 PROPOSED DOMESTIC AND IRRIGATION SEPERATE WATER METERS PER CITY OF COACHELLA STANDARD DRAWING W-9.
  - 4 PROPOSED BACKFLOW PREVENTOR ASSEMBLY FOR DOMESTIC AND IRRIGATION.
  - 5 PROPOSED DOMESTIC WATER LINE.
  - 6 PROPOSED FIRE HYDRANT PER CITY OF COACHELLA STANDARD DRAWING W-4.
  - 7 PROPOSED WATER SERVICE LATERAL PER CITY OF COACHELLA STANDARD DRAWING W-4.
  - 8 PROPOSED 22.5 DEG ELBOW.
  - 9 PROPOSED SANITARY SEWER CLEANOUT.
  - 10 PROPOSED 11.25 DEG ELBOW.
  - 11 PROPOSED SANITARY SEWER GRAVITY PIPELINE.
  - 12 PROPOSED STORM TECH UNDERGROUND STORMWATER STORAGE CHAMBERS.
  - 13 PROPOSED STORMWATER MANHOLE.
  - 14 PROPOSED STORMWATER PIPELINE.
  - 15 PROPOSED 3-FOOT X 3-FOOT GRATED DRAIN INLET.

**EXCEPTIONS:**

- 13 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM LOT "A" (HARRISON STREET) AND VALLEY ROAD EXCEPT THE GENERAL EASEMENT OF TRAVEL; ALSO EXCEPTING FIVE (5) THIRTY-FIVE FOOT OPENING, HAVE BEEN DEDICATED OR RELINQUISHED ON THE MAP OF PARCEL MAP NO. 31045 ON FILE IN BOOK 205, PAGE 78-79, OF PARCEL MAPS.
- 14 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP NO. 31045 RECORDED SEPTEMBER 16, 2003 ON FILE IN BOOK 205, PAGE 78-79, OF PARCEL MAPS.

////// INDICATES RESTRICTED ACCESS PER PMB 205/78-79.  
 ● INDICATES FOUND MONUMENT

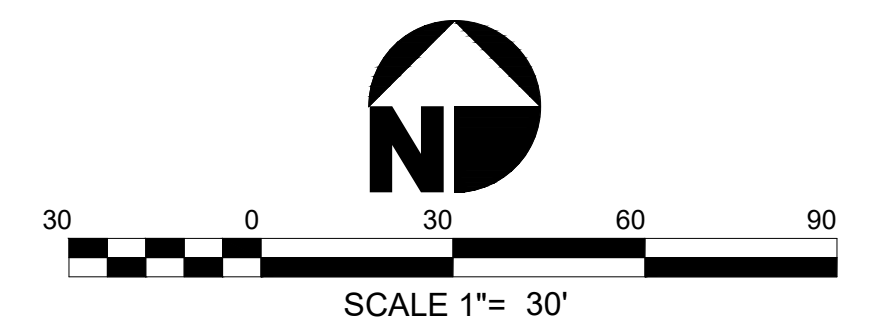
**LEGEND**

SYMBOL	DESCRIPTION
	GRAVEL MULCH
	PARKING LOT BOX LIGHTING

**NOTE:**  
 SEE LANDSCAPE ARCHITECTURAL PLANS FOR ALL PROPOSED LANDSCAPING.

**NOTE:**

1. OWNER MAY REVISE THE LANDSCAPING PLANS BY USING ANY OF THE LISTED LANDSCAPING PLANTS, BOULDERS OR BY SUBSTITUTING OTHER DESERT LANDSCAPING PLANTS WITH CACTI SPECIES. I.E. AGAVE'S, ALOE'S, ETC..
2. EXISTING WATER LINE HEADING NORTH/SOUTH ALONG HARRISON STREET IS SHOWN AS APPROXIMATE. EXISTING WATERLINE AND PROPOSED TIE-IN LOCATIONS ARE SUBJECT TO CHANGE WHEN THE EXISTING WATER LINE IS IDENTIFIED/LOCATED ACCURATELY.
3. THE EXISTING SIDEWALK ALONG CESAR CHAVEZ BLVD IS PROPOSED TO BE DEMOLISHED AND RE-LOCATED TO THE EAST OF THE EXISTING 8-INCH WATER LINE AS DEPICTED CREATING A VARIABLE WIDTH LANDSCAPED PARKWAY UP TO 14-FT IN WIDTH.



DWG FILE: C:\Users\lake\Dropbox\1330.001\_SUN COMMUNITY BANK\DESIGN SITE PLAN\_FINAL.dwg

**The Holt Group**  
 ENGINEERING • PLANNING • SURVEYING

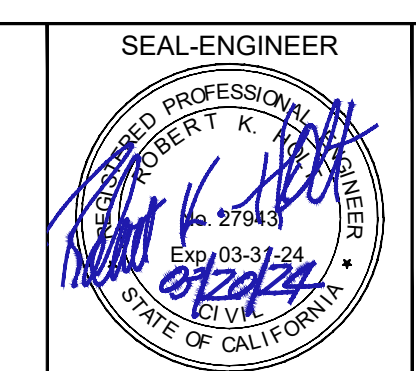
201 E. Hobsonway Blythe California 92225  
 1601 N. Imperial Ave. El Centro California 92243  
 39551 Cook St. Palm Desert California 92211

(760) 922-4658  
 (760) 337-3883  
 (760) 427-8533

NO.	REVISIONS:	APPROVED	DATE

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

DESIGN BY: JS	ELEVATIONS = NAVD88 + 500'
DRAWN BY: JS	COC BM #1025 EL = 430.368
CHECKED BY: RH	2" BRASS DISC SET IN TOP OF CURB IN THE EAST SIDE OF THE WEST TRAFFIC ISLAND LOCATED AT THE CESAR-CHAVEZ BLVD AND 52ND AVENUE INTERSECTION.
	LOCAL BENCHMARK: EL = 429.04
	CHISELED 'X' ON TOP OF CURB @ SOUTH SIDE OF FAMILY DOLLAR PARKING LOT.



PREPARED UNDER THE DIRECT SUPERVISION OF:	27943
ROBERT K. HOLT, P.E.	R.C.E. NO.
03-20-2024	03/31/2024
DATE	REG. EXP.

SUN COMMUNITY FEDERAL CREDIT UNION IN COACHELLA, CALIFORNIA		SHEET 1
SHEET CONTENT: PROPOSED SITE PLAN		OF 1 SHEETS
LOCATION: CITY OF COACHELLA	CLIENT: SUN COMMUNITY FCU	JOB NO. 1330.001





Yellow Oleander – Thevetia



Flame Vine – Pyrostegia venusta



Willow Acacia – Acacia salicina



Deer Grass – Muhlenbergia rigens



Crown of Thorns – Euphorbia milii



Chilean Mesquite – Prosopis chilensis



Sticks on Fire – Euphorbia tirucalli



Coral Fountain – Russelia equisetiformis



Moon Lagoon Eucalyptus



Whale's Tongue Agave - Agave ovatifolia



Pink Muhly – Muhlenbergia 'Regal Mist'



California Fan Palm – Washingtonia filifera



Desert Museum Hybrid Palo Verde



Desert Milkweed – Asclepias subulata



Fruitless Olive



Century Plant – Agave americana



Yellow Lantana – Lantana x 'New Gold'



Water Fountain



Mexican Beach Pebbles



Decomposed Granite "Brimstone"



Baja Cresta Cobble



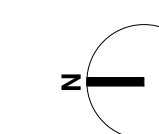
Desert Spoon – Dasyliron wheeleri



SUN COMMUNITY FCU  
VACANT LOT ON NE CORNER  
OF CESAR CHAVEZ BLVD  
COACHELLA, CA 92236

LANDSCAPE CONCEPT

Site Plan



L-1

Scale: 1/16" = 1'-0"

Project No.: 2409

3/14/24