



## STAFF REPORT 7/3/2024

**TO:** Planning Commission Chair and Commissioners

**FROM:** Anahi Fernandez, Management Analyst

**SUBJECT:** Roots Cafe Conditional Use Permit No. 374, Architectural Review No. 23-16, a proposal to establish a 1,854 square foot retail cannabis business within an existing commercial building located at 45-800 Dillon Road, APN 696-550-008; Applicant: Greg Klibanov.

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### **STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission adopt Resolution No. PC2024-15 adopting Conditional Use Permit (CUP) No. 374 and Architectural Review (AR) No. 23-16 pursuant to the findings and conditions attached to this staff report.

### **BACKGROUND:**

The project is proposed on a 1.27-acre site located east of Dillon Road and south of Vista Del Norte as shown on the aerial photograph. The address of the project site is 45-800 Dillon Road. The site contains an existing building that was previously used as a convenience store and fuel station. The building has been vacant since 2008. A wireless telecommunication facility is also located on the property, and in 2023, an electronic billboard was approved on the site. The billboard has been issued a permit and is pending construction.



### **Discussion/Analysis:**

The applicant, Greg Klibanov has submitted a request for to allow a 1,854 square foot storefront retail cannabis dispensary known as The Cake House. The proposed dispensary is compliant with the Coachella Municipal Code (CMC) Chapter 17.84 Retail Cannabis Business Definitions as follows: "Storefront retailer" means a business that has a storefront open to the

public where cannabis or cannabis products are offered for retail sale to consumers, where delivery may or may not be included as part of the business's operation.

The photographs below were taken June 2024. The first photograph was taken from Vista Del Norte and shows the north side of the existing building. As shown on the photograph, the site contains an existing abandoned building and canopy.



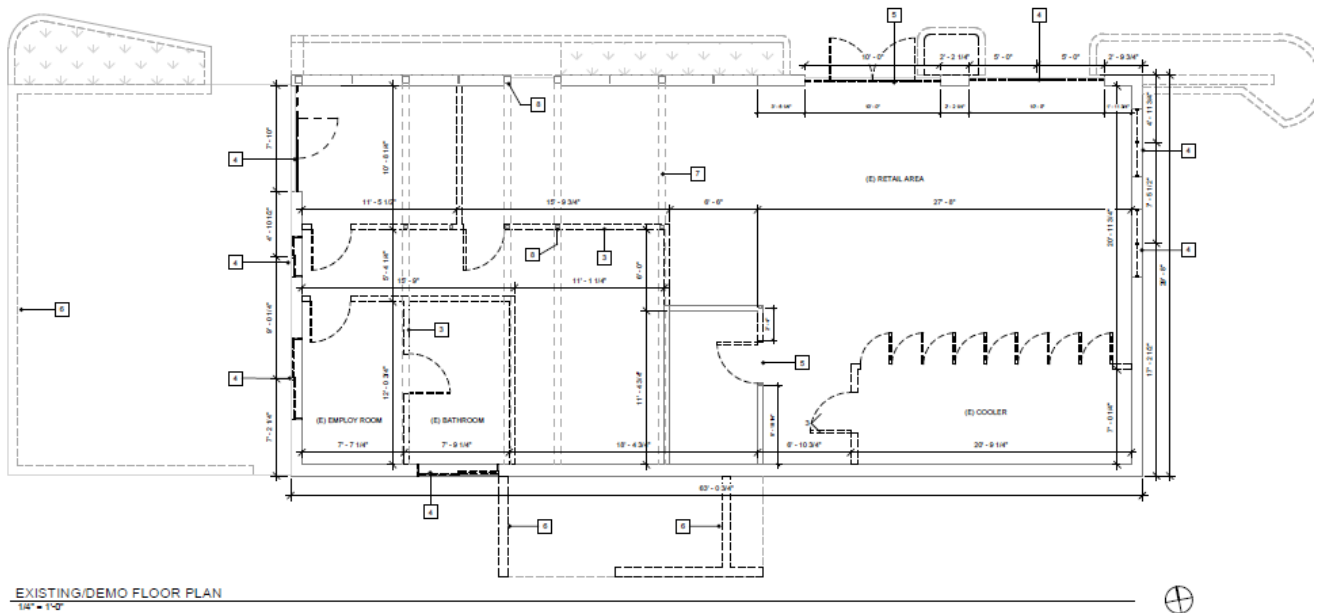
The image below was taken from Dillon Road and illustrates the west side of the building.



The site has an active Code Enforcement case with violations related to the building being unsecured, unmaintained landscaping, and property debris. The refurbishment of the building and proposed exterior work will help address the violations and is included in conditions to address prior to building permit issuance.

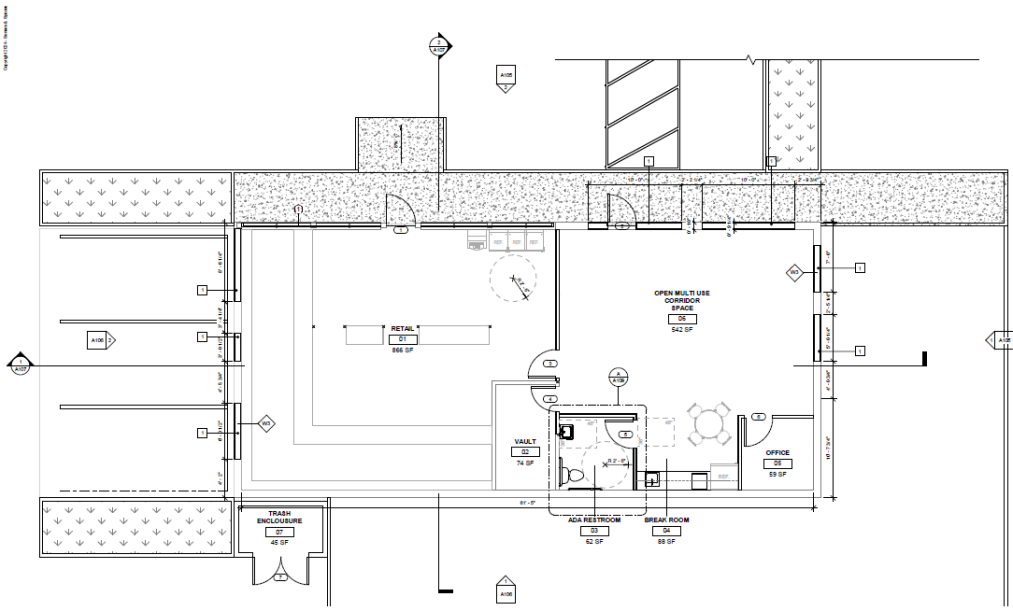
### **Overview of the Roots Cafe Project: CUP 374 and AR 23-16**

CUP 374 proposes to establish a 1,854 square foot retail cannabis business known as The Cake House within an existing commercial building and AR 23-16 proposes the remodeling and exterior improvements to the existing building. Plans include the demolition and modifications to interior partitions and doors. New plumbing fixtures will be installed, and mechanical and electrical systems will be brought up to current codes. A copy of the existing building floor plan is illustrated below.



The proposed interior floor plan of the building is attached below and includes:

- A 866 square foot retail sales area
- A 59 square foot office space
- A 88 square foot breakroom for staff
- 542 square feet of open multiuse corridor space



PROPOSED FLOOR PLAN  
1/4" = 1'-0"

KEYNOTES	GENERAL NOTES	FLOOR PLAN LEGEND
<ol style="list-style-type: none"> <li>1. INFILL GLASS WITH WOOD WALL WS - PER ASSEMBLY SCHEDULE</li> </ol>	<ol style="list-style-type: none"> <li>1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.</li> <li>2. ALL CONTRACTORS SHALL REPORT ANY CONFLICT / INCONSISTENCIES IMMEDIATELY TO THE OWNER.</li> <li>3. DO NOT SCALE DRAWINGS, DIMENSIONS PREVAIL.</li> <li>4. ALL WORK UNDER ALL SECTIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE HIGHEST STANDARDS OF PRACTICE RELATED TO THE TRADES INVOLVED AND SHALL BE COMPLETE AND PROPERLY COORDINATED WITH ALL WORK ADJACENT OR RELATED TO IT.</li> <li>5. OWNER SHALL LAUNCH ALL STUDY, PERMITS, COSTS, MATTERS TO MECHANICAL, ELECTRICAL, PLUMBING, AND ANY OTHER ELECTRICAL / MECHANICAL TRADES.</li> <li>6. OWNER SHALL PAY FOR BUILDING AND OTHER PERMITS. CONTRACTOR SHALL OBTAIN BUILDING AND OTHER PERMITS FROM THE CITY OF JURISDICTION.</li> <li>7. FLOOR GRADE SHALL SLOPE AWAY FROM THE BUILDING A MINIMUM OF 2%.</li> <li>8. ALL NATURAL GAS APPLIANCES THAT ARE INSTALLED IN THE BUILDING MUST BE EQUIPPED WITH APPROVED INTERMITTENT IGNITION DEVICES.</li> </ol>	<p>SYMBOL DESCRIPTION</p> <ul style="list-style-type: none"> <li>WALL ITEM TO BE DEMOLISHED</li> <li>WALL ITEM TO REMAIN</li> <li>DOOR TO BE DEMOLISHED</li> <li>DOOR TO REMAIN</li> <li>NEW WALL</li> </ul> <p>NOTE: CONTRACTOR TO PROVIDE PROTECTION FOR ALL WALLS AND BUILDING ELEMENTS TO REMAIN.</p>

CAKE HOUSE COACHELLA

4888 DILLON RD  
COACHELLA CA 92226

SENSES & SPACES  
1790 N. Harbor Blvd, Suite #1  
Chico, CA 95927  
(916) 754-6028

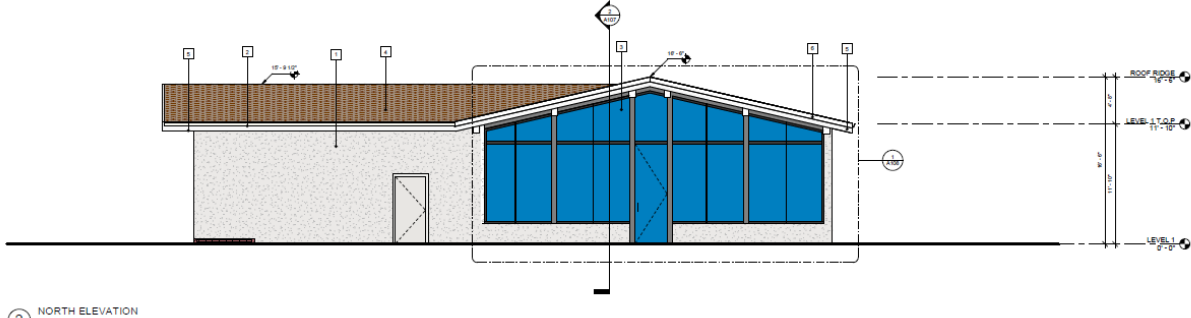
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PROPOSED FLOOR PLAN

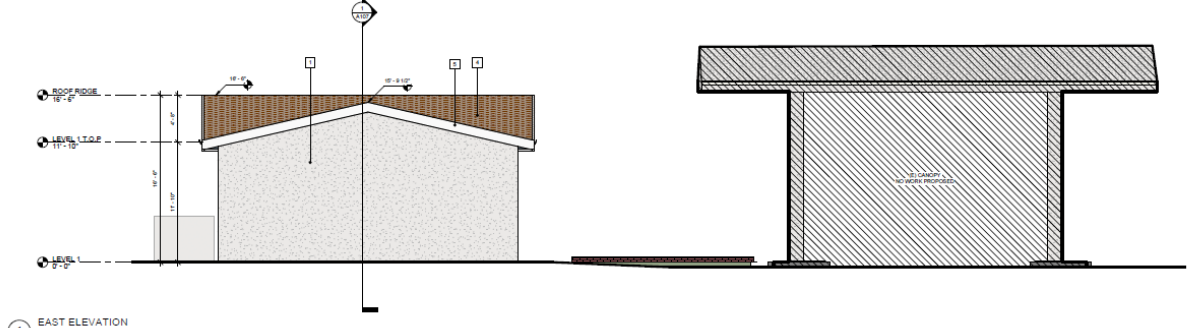
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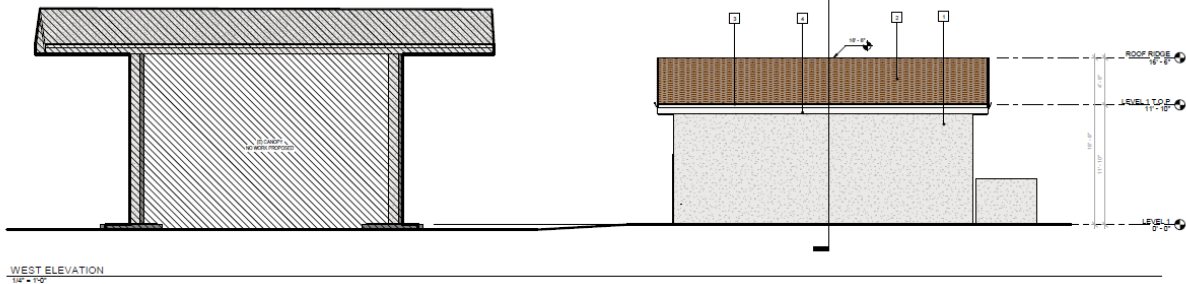
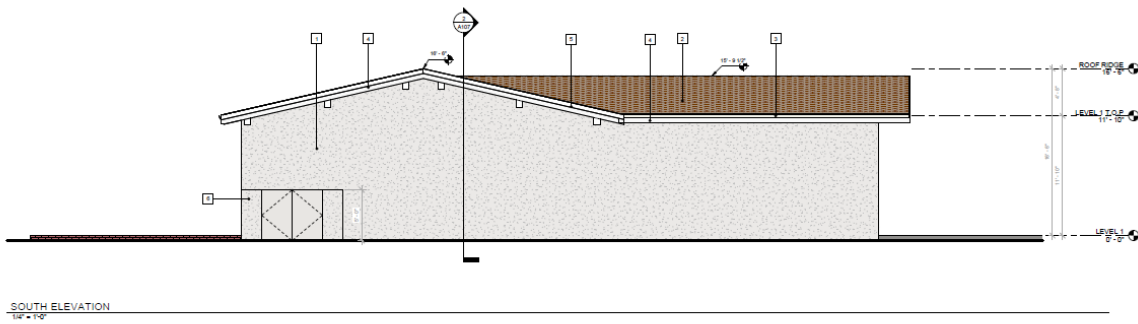
Below are the proposed building elevations for the Roots Cafe project:



2 NORTH ELEVATION  
1/4" = 1'-0"



1 EAST ELEVATION  
1/4" = 1'-0"



The front elevations will be enhanced with stucco finish and a glass curtain wall. The roof will remain the same and will be refinished as needed. The east, south, and west sides of the building will also include a stucco finish with painted wood fascia, the colors have yet to be decided. The existing Spanish tile fascia is to remain.

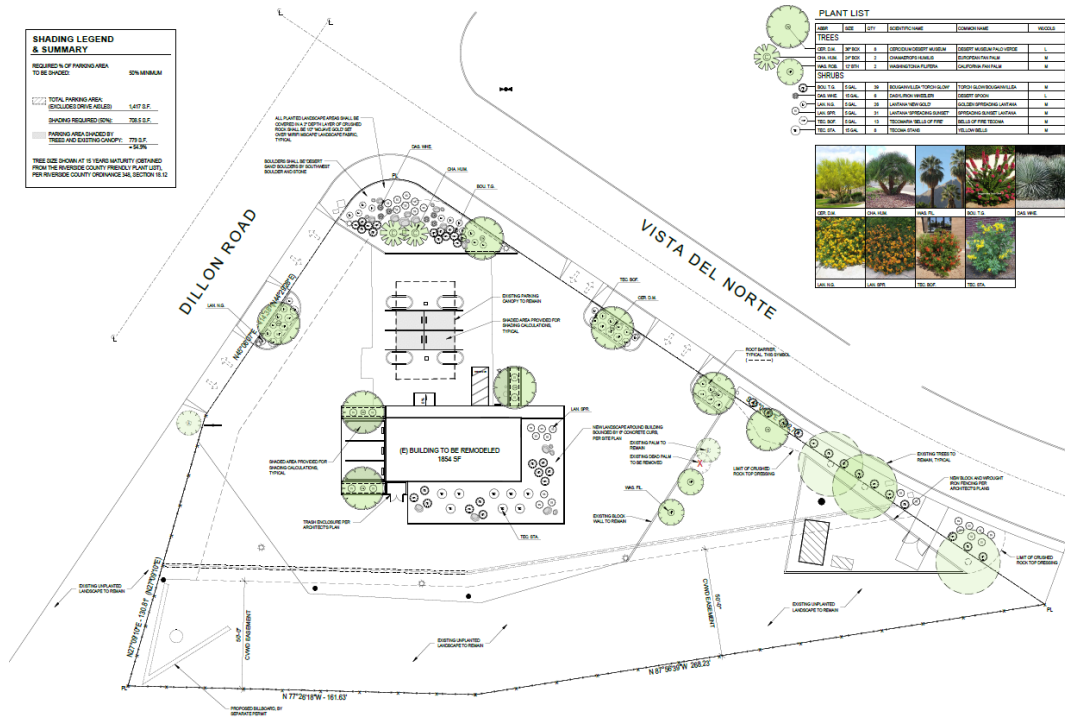
### **Signage**

New signs will replace the existing signs that are located on the north and west sides of the property. Applicant did not submit signage details, but has been conditioned to submit a detailed sign plan to the Planning Division that includes an embossed design, individual channel lettering, or other high quality design. The existing signs that will be replaced are shown below:



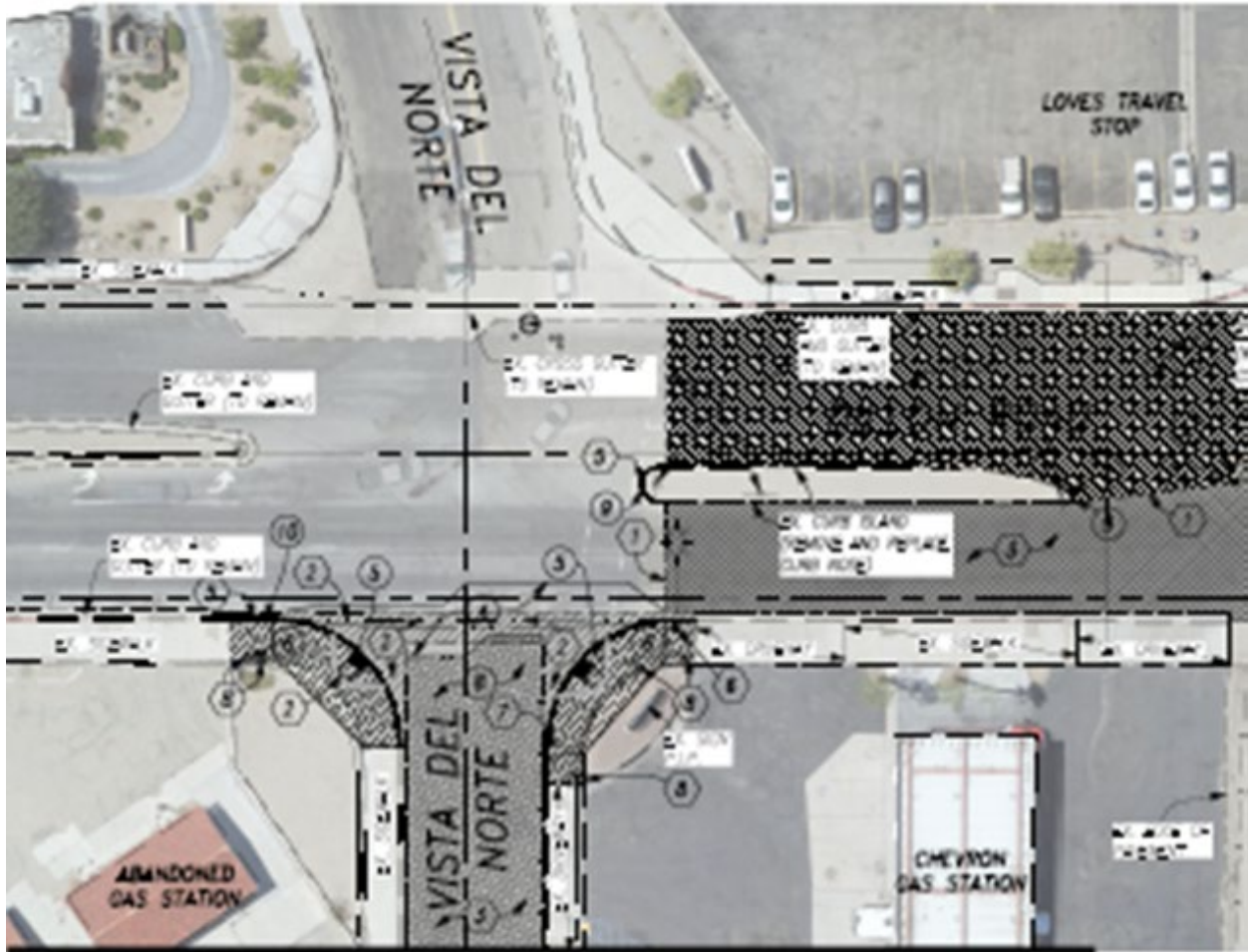
## Landscaping

Landscape will be planted to meet current City landscape requirements as shown on the exhibit below. Staff has conditioned applicant to plant landscaping along entire property frontage on Vista Del Norte and Dillon Road up to the I-10 ramp intersection. The applicant is also required to prepare and submit a detailed landscaping plan for review and approval prior to the issuance of building permits. Below is the submitted landscape plan for the project.



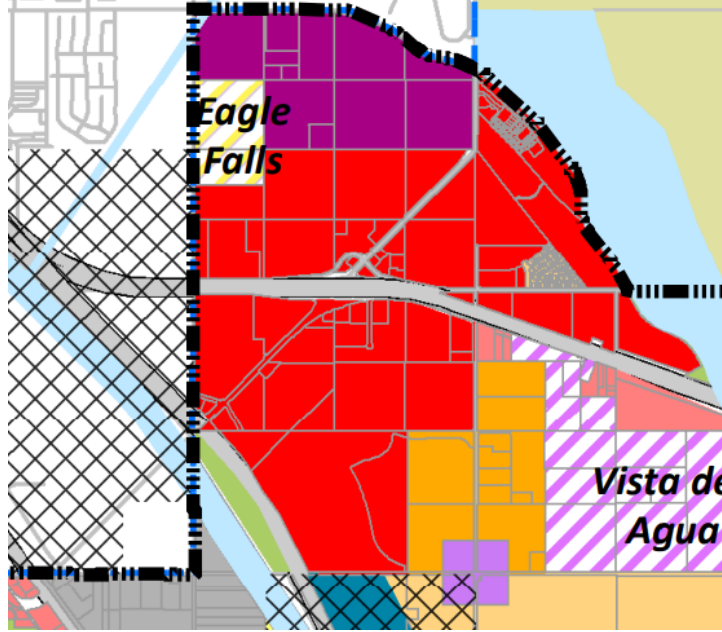
## **Dillon Road North Paving Project**

The proposed project is adjacent to the Dillon Road North Paving Project that will begin construction in late July 2024. The Dillon Road North Paving Project will remove and replace the pavement on Dillon Road from Vista Del Norte to Avenue 44, at the City limits. The project will include the removal and replacement of damaged curbs at the medians, ADA ramps, and concrete cross gutter at Vista Del Norte, including an ADA ramp at the Northwest corner of the Roots Cafe project site. The image below shows the Dillon Road Paving Project work to be started in late July 2024.

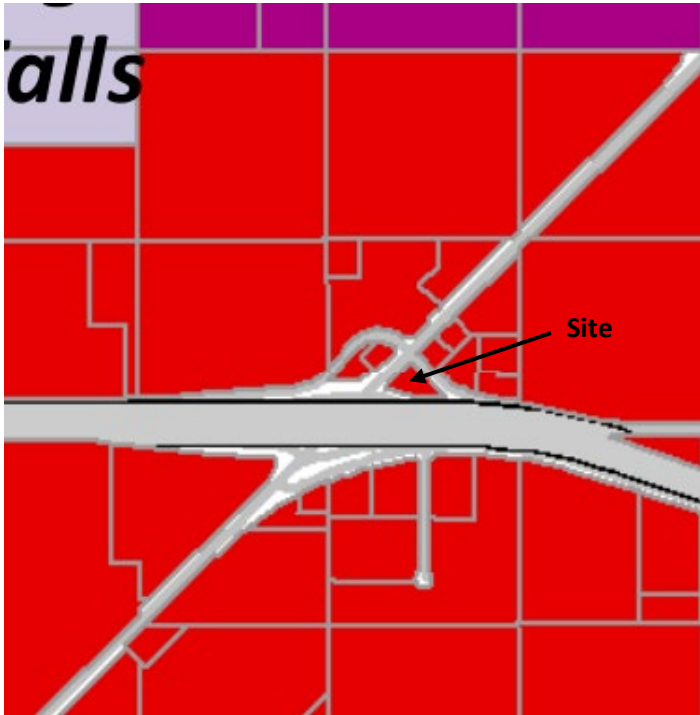


## **Environmental Setting:**

The site is designated Regional Retail District on the 2035 Coachella General Plan as illustrated on the exhibit below. Surrounding properties in all directions are also designated Regional Retail District on the 2035 Coachella General Plan.



The project site is zoned Regional Commercial (R-C) as illustrated on the exhibit below. Surrounding properties to the north, south, east and west are zoned R-C as well.



Surrounding land uses are illustrated on the aerial photograph below.





Property to the west across Dillon Road consists of a Del Taco restaurant, northwest of Dillon Road is the Love's Travel Stop complex, and to the East of the project site is the Chevron fuel station. The I-10 ramp intersection is to the south of the property.

### **Consistency with the Coachella General Plan**

The proposed project is within the Regional Retail District land use designation of the General Plan 2035 Land Use Element. The project is consistent with the development intensity permitted by the Regional Retail District land use category.

### **Consistency with the (R-C) Regional Commercial Zone**

The project is consistent with the development standards of the R-C, Regional Commercial zone. The project complies with the development standards of the Zoning Ordinance for parking, lot requirements, height, landscaping and drive through stacking. Table 1 below displays the development standards of the Zoning Ordinance.

**Table 1 – Development Standards**

	<b>Zoning Ordinance</b>	<b>Proposed</b>	<b>Complies with Code</b>
Parking (Minimum)	Commercial: Roots Cafe - 8 spaces required. Requirement is 1 space for each 250 sq. ft. of gross floor area.	Roots Cafe - 8 spaces	Yes
Lot Requirements	Minimum Lot Size 20,000 sq. ft.	Roots Cafe – Lot size is 56,762 sq. ft.	Yes
Height (maximum)	35’	Roots Cafe – 28’4”	Yes
Landscaping	<ul style="list-style-type: none"> <li>• Parking area or driveway abutting a street requires a 10 foot setback fully landscaped.</li> <li>• Internal landscaping equal to a minimum of 5% of the parking and driveway area.</li> <li>• Parking and driveway area in commercial zones shall be separated from building by a landscape planter.</li> <li>• One 15 gallon tree for every 10 parking spaces.</li> <li>• All landscape planter beds in interior parking areas shall be not less than five feet in width</li> </ul>	<ul style="list-style-type: none"> <li>• 10-foot setback is met.</li> <li>• Internal landscaping is equal to 54.9% of parking area.</li> <li>• Landscape planters are proposed adjacent to parking spaces and new landscaping is proposed around the building.</li> <li>• Site has less than 10 parking spaces.</li> <li>• Landscape planters are more than 5’ in width.</li> </ul>	Yes

**Consistency with Chapter 17.84 (Retail Cannabis Businesses and Chapter 17.85 (Commercial Cannabis Activity)**

The proposed project is consistent with the requirements of both Chapters 17.84 and Chapter 17.85 of the Coachella Municipal Code.

**ENVIRONMENTAL REVIEW:**

The City has determined that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, (Class 1) Existing Facilities, of the CEQA guidelines that provides an exemption for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use including

interior or exterior alterations involving such things as interior partitions, plumbing and electrical conveyances. CUP 374 and AR 23-16 meet the criteria for a Section 15301, Class 1 CEQA exemption.

### **CORRESPONDENCE**

Please see Attachment No. 3 for correspondence received for this project from Imperial Irrigation District (IID) and Riverside County Fire Department.

### **ALTERNATIVES:**

- 1) Adopt Resolution No. PC2024-15 Conditional Use Permit No. 374 and AR 23-16 with the findings and conditions as recommended by Staff.
- 2) Deny Conditional Use Permit No. 374 and AR 23-16.
- 3) Continue these items and provide staff and the applicant with direction.

### **RECOMMENDED ALTERNATIVE(S):**

Staff recommends alternative #1.

#### Attachments:

1. Resolution No. PC2024-15 for CUP 374 and AR 23-16.  
Exhibit A: Conditions of Approval for CUP 330 and CUP 331
2. Architectural Exhibits
3. Correspondence