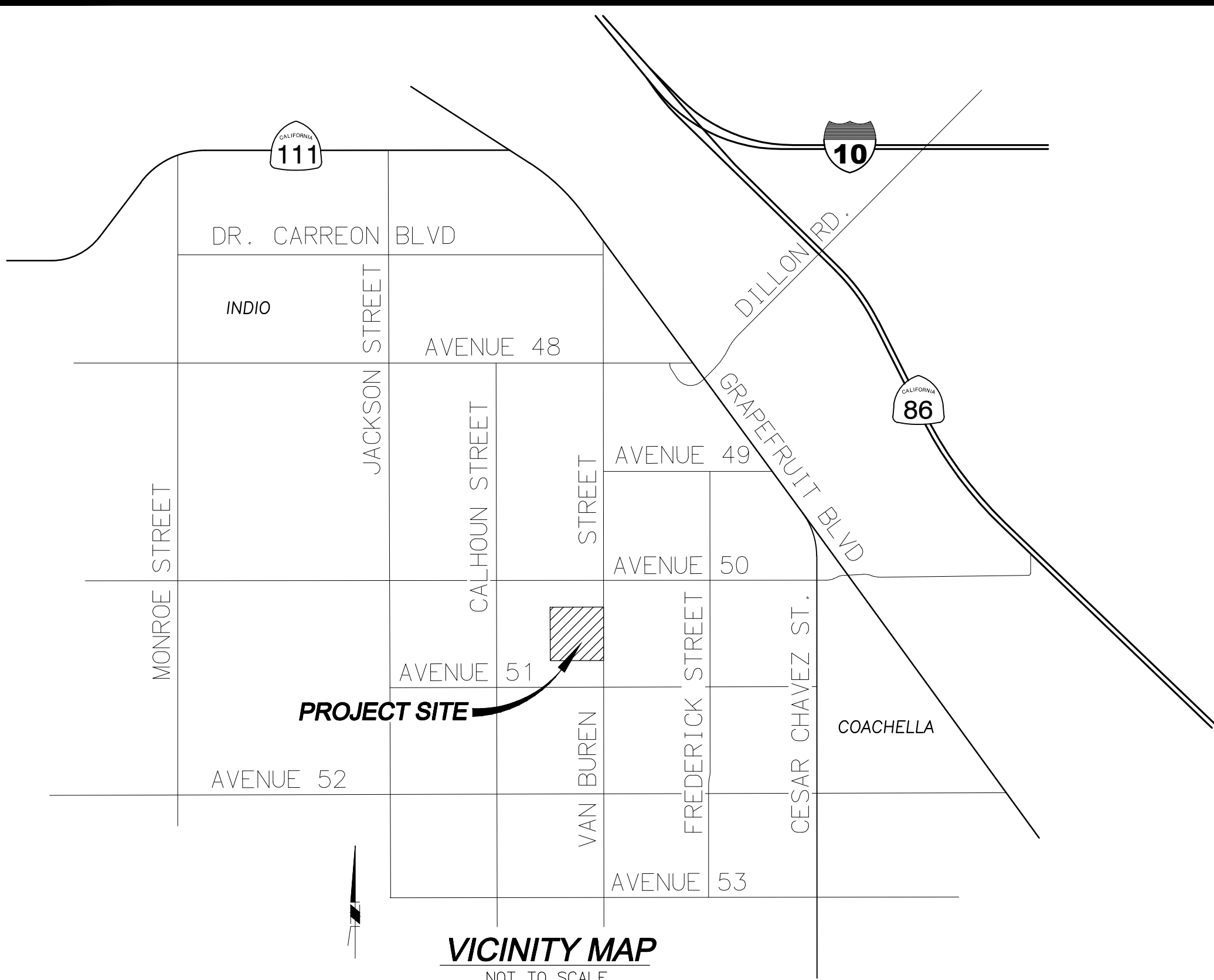


IN THE CITY OF COACHELLA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
TENTATIVE TRACT NO. 38557
 LOCATED WITHIN THE EAST HALF OF SECTION 1, T. 6 S., R. 5 E., S.B.M
 OCTOBER 24, 2023

Attach 5 - TTM 38557
Modifications



VICINITY MAP
 NOT TO SCALE

APPLICANT

PULTE GROUP, INC.
 27401 LOS ALTOS, SUITE 400
 MISSION VIEJO, CA 92691
 CONTACT: DAVID DENEGLI
 PHONE: (760)578-9334

OWNER

NIQOSIAN FAMILY FARMS, INC.
 PO BOX 276, COACHELLA, CA 92236
 CONTACT: NICK NIQOSIAN

CIVIL ENGINEER

MICHAEL BAKER INTERNATIONAL
 75-410 GERALD FORD DR., SUITE 100
 PALM DESERT, CA 92211
 PHONE: (760)346-7481

LEGAL DESCRIPTION

LOTS 2 & 3 OF MAP OF SECTION 1, MB 004/063
 A PORTION OF THE EAST HALF OF THE EAST HALF OF SECTION 1, TOWNSHIP 6 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO BASELINE AND MERIDIAN.

TOPOGRAPHY

INLAND AERIAL SURVEYS, INC.
 7117 ARLINGTON AVE., SUITE A
 RIVERSIDE, CA 92503
 PHONE: (951)687-4252
 DATE FLOWN: JULY 01, 2022

FLOOD ZONE

THIS SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DESIGNATED "ZONE X" AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06055C22624 DATED MARCH 5, 2018.

ASSESSOR'S PARCEL NUMBER

779-280-002 & 779-320-001

ZONING

EXISTING ZONING - SINGLE FAMILY RESIDENTIAL (R-S)
 MULTI-FAMILY RESIDENTIAL (R-M)

SCHOOL DISTRICT

COACHELLA VALLEY UNIFIED SCHOOL DISTRICT
 87-225 CHURCH STREET
 THERMAL, CA 92274
 PHONE: (760)399-5137

SITE DATA

PROJECT SITE - 39.35 GROSS ACRES; 26.58 NET ACRES
 PROPOSED LOT AREA, (LOTS 1-204) - 1,157,900 SF (26.58 AC)
 PROPOSED PUBLIC STREETS "A" THRU "I" - 410,992 SF (9.43 AC)
 PROPOSED PUBLIC STREET (VAN BUREN) - 66,420 SF (1.53 AC)
 PROPOSED OPEN SPACE LOTS "A" THRU "E" - 115,366 SF (2.65 AC)
 PROPOSED WELL SITE, LOT "F" - 10,000 SF (0.23 AC)

UTILITY PURVEYORS

WATER
 COACHELLA WATER AUTHORITY
 1515 SIXTH STREET
 COACHELLA, CA 92236
 PHONE: (760)501-8100

SEWER
 COACHELLA SANITARY DISTRICT
 1515 SIXTH STREET
 COACHELLA, CA 92236
 PHONE: (760)501-8100

GAS
 SOUTHERN CALIFORNIA GAS COMPANY
 45-123 TOWNE AVENUE
 INDIO, CA 92201
 PHONE: (800)427-2200

ELECTRIC
 IMPERIAL IRRIGATION DISTRICT
 81-600 AVENUE 58
 LA QUINTA, CA 92253
 PHONE: (760)335-3640

TELEPHONE
 FRONTIER COMMUNICATIONS
 9 SOUTH 4TH STREET
 REDLANDS, CA 92373
 PHONE: (877)462-6640

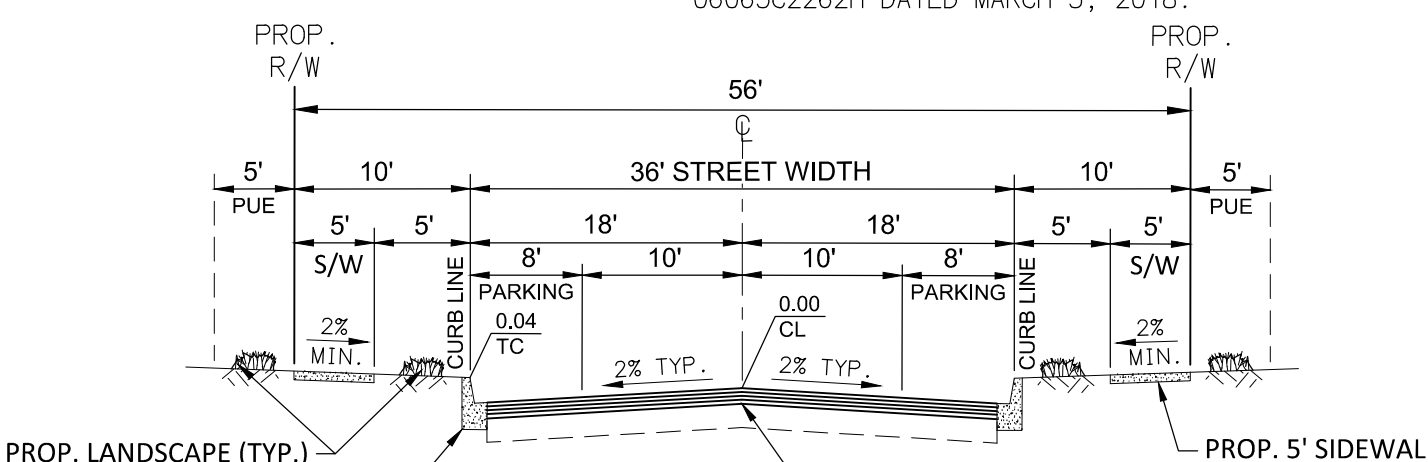
CABLE
 SPECTRUM
 41-725 COOK AVENUE
 PALM DESERT, CA 92211
 PHONE: (760)674-9656

LEGEND

- PROPOSED PROJECT BOUNDARY
- PROPOSED RIGHT OF WAY
- PROPOSED CENTERLINE
- PROPOSED PROPERTY LINE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING CIVID IRRIGATION LINE

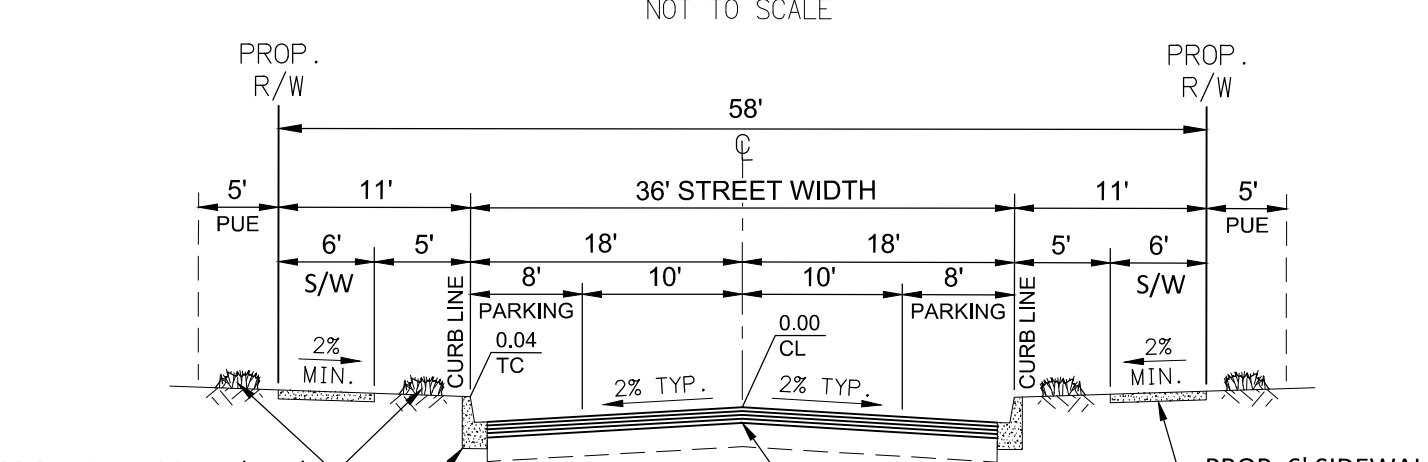
ABBREVIATIONS

- A, B, C AC PVMT
- AC ASPHALT CONCRETE PAVEMENT
- AC ASPHALT CONCRETE PAVEMENT
- AC ASPHALT CONCRETE PAVEMENT
- C/L CENTERLINE
- EX. EXISTING
- MH MANHOLE
- PROP. PROPOSED
- PUE PUBLIC UTILITY EASEMENT
- PVMT PAVEMENT
- R RADIUS
- R/W RIGHT OF WAY
- S/W SIDEWALK
- SF SQUARE FOOTAGE
- TYP. TYPICAL



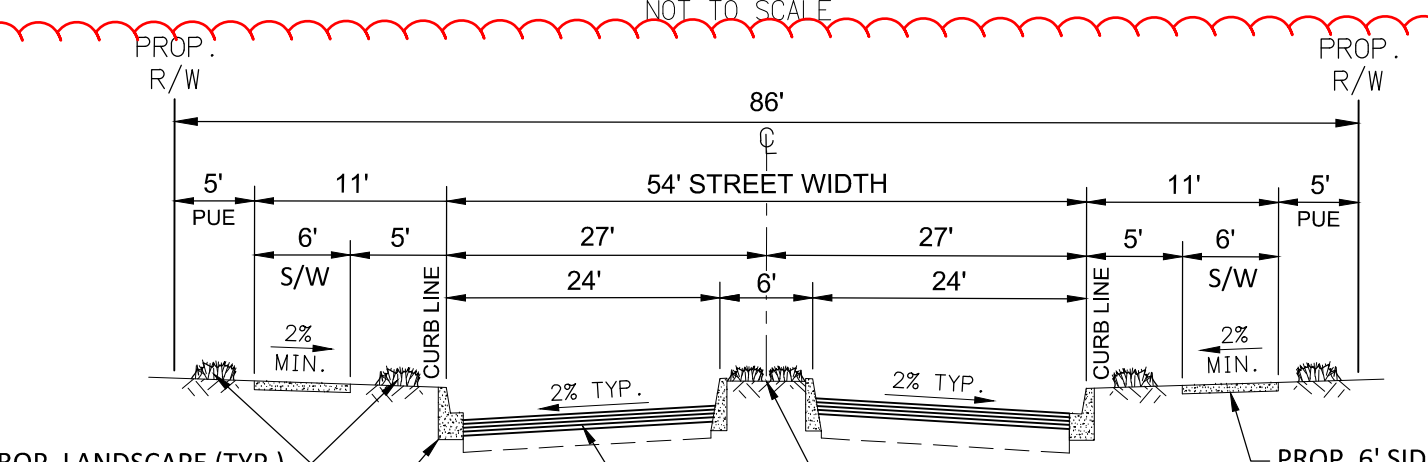
RESIDENTIAL STREET "C" - "I"

TYPICAL SECTION (PUBLIC STREET)
 NOT TO SCALE



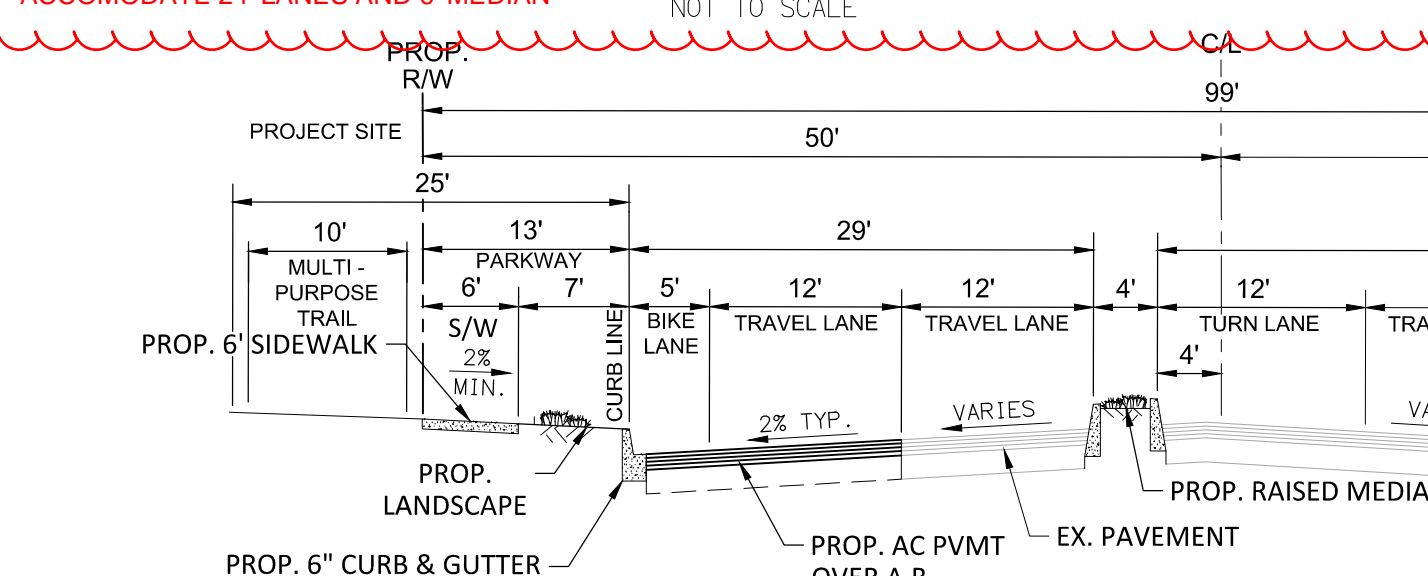
RESIDENTIAL STREET "B"

TYPICAL SECTION (PUBLIC STREET)
 NOT TO SCALE



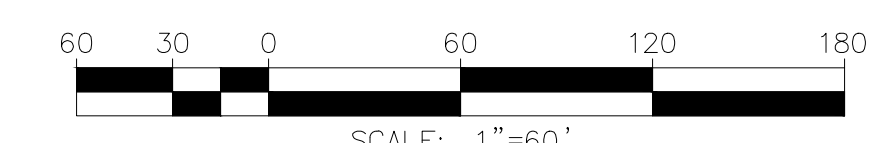
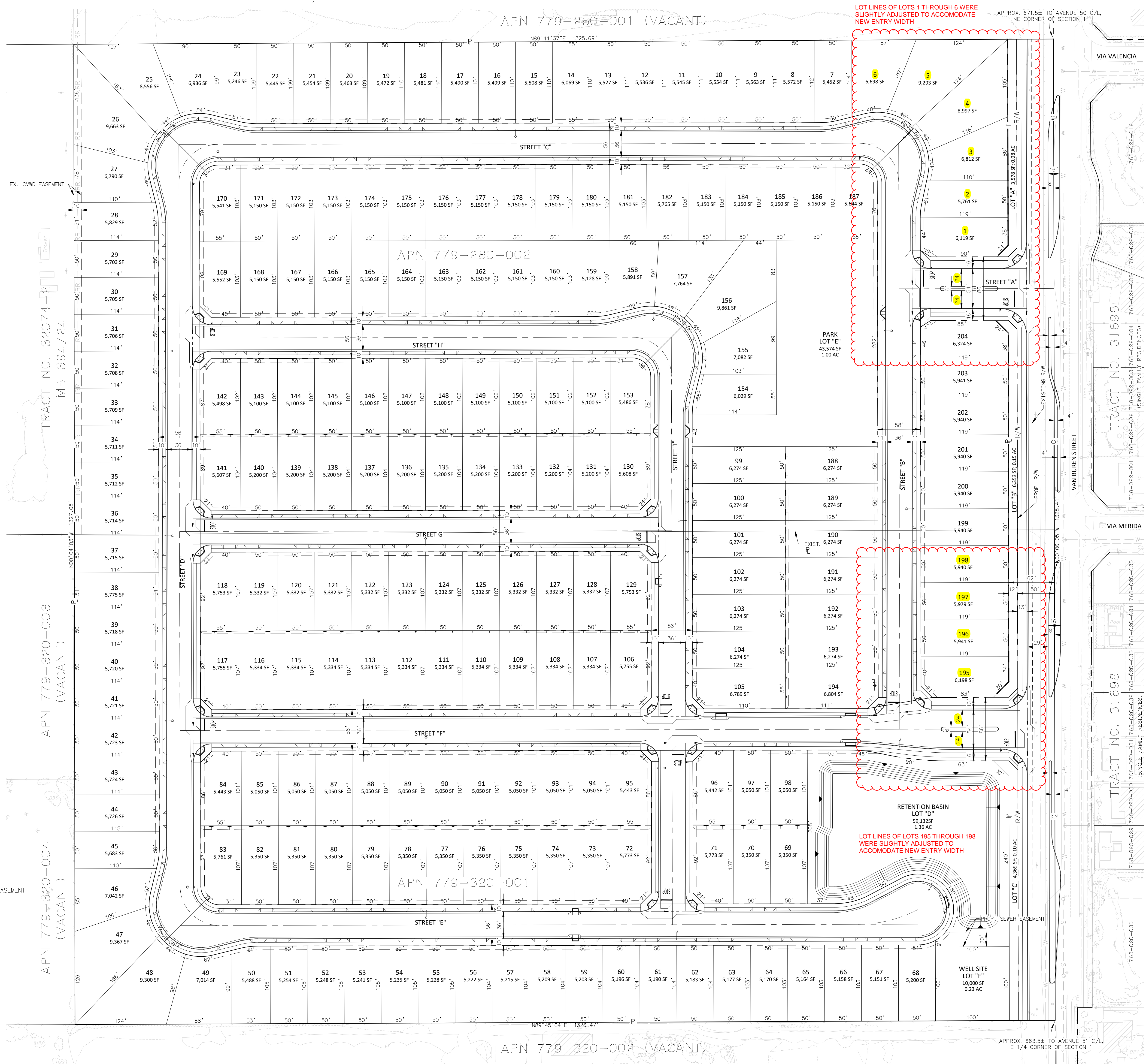
ENTRY WAY "A" & "F"

TYPICAL SECTION (PUBLIC STREET)
 NOT TO SCALE



VAN BUREN STREET

TYPICAL SECTION (PUBLIC STREET)
 NOT TO SCALE



PREPARED BY:
Michael Baker INTERNATIONAL
 75-410 Gerald Ford Drive, Suite 100
 Palm Desert, CA 92211
 Phone: (760) 346-7481
 MBAKERINTL.COM

SHEET
1
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1