



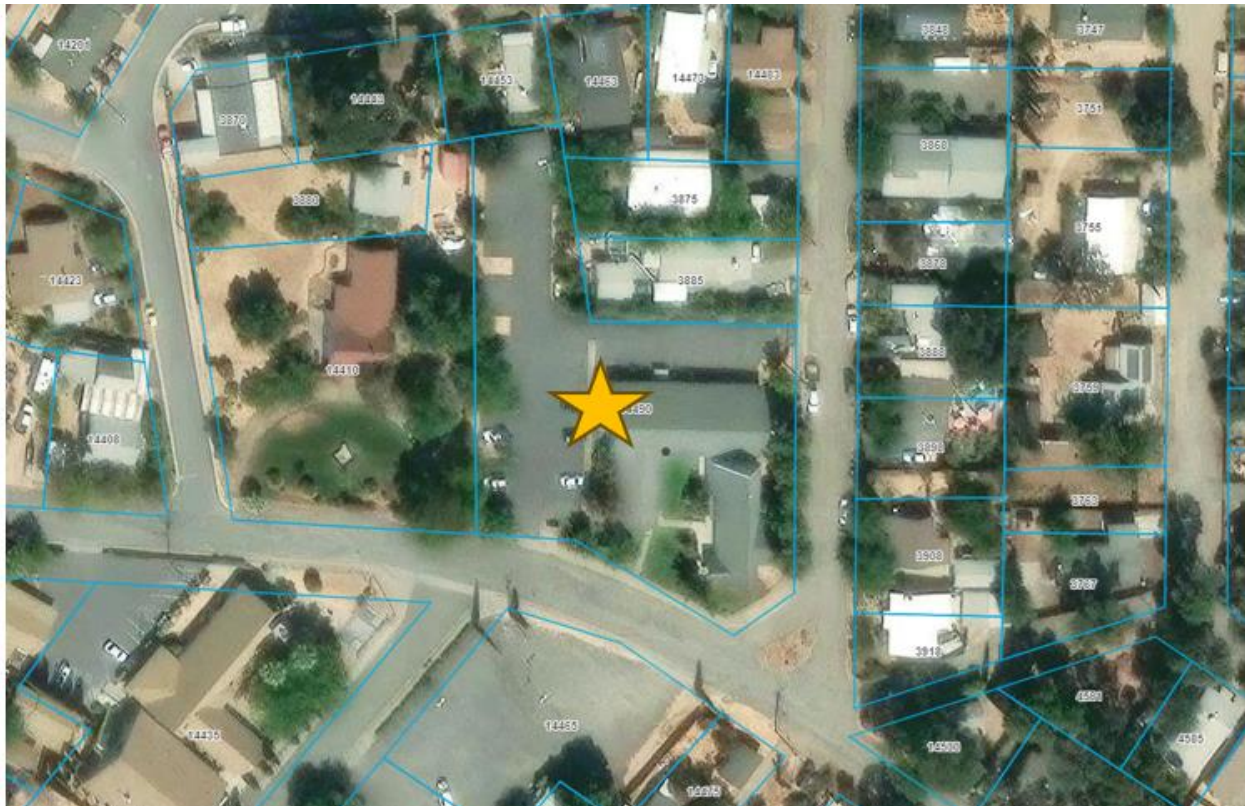
City of Clearlake Planning Commission

STAFF REPORT

Subject: Conditional Use Permit, CUP 2026-08	Meeting Date: Sept. 29 th 2026 6:00 PM
Submitted By: Mark Roberts – Senior Planner	
Report Purpose ☒ Action Item ☐ Discussion ☐ Information Only	
Applicant(s): Catholic Charites of Northwest CA	
Property Owner: Northern Calif Conf Assoc. 7 th Day Adven	
Location: 14490 Uhl Avenue, Clearlake, California 95422 (APN: 040-126-20)	

What is Being Asked of The Planning Commission:

The Planning Commission is being asked to consider Conditional Use Permit, CUP 2026-08 and corresponding environmental Categorical Exemption CE 2026-07 to allow the operation of a Safe Parking Program located at 14490 Uhl Avenue, Clearlake, California 95422, further described as Assessor's Parcel Number 040-126-20.



PROJECT SUMMARY:

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a Safe Parking Program. The Safe Parking Program is a temporary housing-focused intervention designed to provide individuals and families experiencing vehicular homelessness with safe, secure, and structured overnight parking. The objective of the program is for participants to transition into permanent housing within the required timeframe of 180 days. The program may house up to 19 household vehicles onsite at any given time. The program would operate daily from 8:00PM to 8:00AM and approved participants would be assigned a designated parking space upon arrival. All approved participants must check in between 8:00PM to 10:00PM and shall leave the premises between 6:00AM to 8:00AM. The site would also include portable sanitation facilities to accommodate program participants during operating hours. Participants would enter the program through a structured referral, screening and orientation process. Referrals may come through outreach teams, the Coordinated Entry System, Lake County Continuum of Care Partners, and other approved service partners. Refer to *Attachment 3 & 4 for full details*.

AGENCY REVIEW:

A Request for Review (RFR) was distributed via email on June 1st, 2026, to all applicable Federal, State and local agencies. Agencies were asked to provide comments no later than June 22nd, 2026. The project was circulated to the following agencies. (*Refer to Attachment 5 for details*).

- *Building Department*
- *Lake Co. Fire Protection District*
- *Lake Co. Environmental Health*
- *Police/Code Enforcement*
- *Highland Water District*
- *Lake County Air Quality*
- *Special Districts*
- *Public Works*

The city did receive comments from the Police Department and Lake County Special Districts. Conditions of Approval have been incorporated to adhere to all applicable Federal, State and local agency requirements (*Refer to Attachment 2 for details*).

ZONING AND GENERAL PLAN CONSISTENCY:

Zoning Regulations: As part of the City's comprehensive Zoning Code Update in 2020, the City adopted Municipal Code Section 18-19.350 to establish a regulatory process and operating standards for safe parking facilities. The ordinance does not require the City to establish, fund, or operate a safe parking program. Rather, it provides a land use process through which a qualified provider may seek approval to operate a safe parking facility in specified zoning districts, subject to applicable permitting requirements and operational standards. Accordingly, the current proposal is being considered pursuant to the process previously established by the City Council in Section 18-19.350.

Section 18-19.350, Section C, Item 8 of the Performance Standards requires the operation to maintain a minimum 50-foot buffer from any property line containing a residential use. The purpose of this standard is to provide adequate separation between the proposed operation and adjacent residential uses and to minimize potential impacts associated with the operation.

As proposed, the operation would be located approximately 10 feet from a property line containing a residential use, resulting in a reduction of approximately 40 feet from the required 50-foot buffer.

The applicable provisions allow for consideration of a reduced separation on a case-by-case basis through the Conditional Use Permit (CUP) process. The approval of the CUP would need to include consideration of whether the proposed reduced buffer is appropriate given the specific site conditions, the nature of the proposed operation, the location and characteristics of the adjacent residential use.

Parking Requirements: Currently, the site has greater than 30 parking spaces. The proposed operations will utilize up to 19 of the existing on-site parking spaces. Based on the existing site conditions and proposed operations, the site has adequate parking to accommodate the proposed use.

General Plan: While the City of Clearlake 2040 General Plan may not contain specific goals or objectives addressing Safe Parking Operations, Policy LU 1.1.7 states, “An assortment of housing types should be provided to meet community and regional housing needs and to fulfill objectives of choice and affordability.” This policy prioritizes the development and availability of a variety of housing opportunities to meet the needs of the community. Although the proposed Safe Parking Program provides temporary vehicle housing alternatives for participating individuals, its long-term objective is to assist participants in transitioning into permanent housing within 180 days. As such, the proposed operation supports the intent of Policy LU 1.1.7 by providing a temporary housing option for individuals experiencing housing instability while facilitating their transition into permanent housing. The proposed operation is consistent with the applicable provisions of the City of Clearlake Municipal Code with the incorporated Conditions of Approval.

ENVIRONMENTAL REVIEW (CEQA):

The California Environmental Quality Act (CEQA) mandates that agencies assess the environmental impacts of land use actions. Following a review of the application, agency comments and noting that the project is situated in an urbanized area and will operate on an existing developed commercial parcel (within the existing parking lot) staff concluded that the project is Categorically Exempt from Environmental Review in accordance with Chapter 19, Section Class 1 - 15301 (Existing Facilities).

- *Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The types of “existing facilities” itemized below are not intended to be all-inclusive of the types of projects which might fall within Class 1. The key consideration is whether the project involves negligible or no expansion of use.*

The proposed use qualifies for this exemption, as it will utilize a commercially developed site, within the existing parking lot. By utilizing the existing facilities as-is, the project avoids any significant environmental impacts and aligns with the criteria outlined in CEQA Guidelines Section 15301. Additionally, project and/or existing developed site requires no negligible and/or expansion of the developed site.

LEGAL NOTICE & PUBLIC COMMENT:

The public hearing was noticed at least ten (10) days in advance through an electronic publication of the Lake County Record-Bee on *Saturday, September 19, 2026*, posted in the City Bulletin Board and notices were mailed via USPS to all property owners within a 300-foot radius of the subject parcel in accordance with the Clearlake Municipal Code (*All mailing addresses were obtained from the electronic database maintained by the Lake County Assessor's Office*).

MOTION/OPTIONS:

1. Move to Adopt Resolution PC 2026-11, A Resolution of the Planning Commission of the City of Clearlake approving Conditional Use Permit, CUP 2026-08 and corresponding environmental categorical exemptions CE 2026-07 to allow a Safe Parking Program located at 14490 Uhl Avenue, Clearlake, California 95422, further described as Assessor's Parcel Number 040-126-20.
2. Move to Deny Resolution PC 2026-11, and direct staff to prepare appropriate findings.
3. Move to continue the item and provide alternate directions to staff.

ATTACHMENTS:

- Attachment 1 - PC Resolution
- Attachment 2 - Conditions of Approval
- Attachment 3 - Application Packet
- Attachment 4 - Site Plan Layout
- Attachment 5 - Agency Comments
- Attachment 6 – Draft Safe Parking Program Agreement